



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2230 Venable Street

DATE: 25 Aug 2016

OWNER'S NAME: BHC

TEL NO.: 804-644-0546

AND ADDRESS: 23 W Broad Street

EMAIL: j.bolton@betterhousingcoalition.org

CITY, STATE AND ZIPCODE: Richmond, VA 23220

ARCHITECT/CONTRACTOR'S NAME: Walter Parks Architect

TEL. NO.: 804-552-1614

AND ADDRESS: 313 N Adams Street

EMAIL: sarah@wparks.com

CITY, STATE AND ZIPCODE: Richmond, VA 23220

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS


I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and **12 copies** of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See *instruction sheet for requirements.*)

See attached

Signature of Owner or Authorized Agent: **X** 

Name of Owner or Authorized Agent (please print legibly): John S. Bolton

(Space below for staff use only)

RECEIVED

Received by Commission Secretary

APPLICATION NO. _____

DATE 10:30 AUG 26 2016

SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.

APPLICATION FOR 2230 VENABLE STREET LOCATED IN UNION HILL DISTRICT

Site

The property is located along Venable Street, Jessamine Street and a portion of Carrington Street. An existing building, Citadel of Hope, faces Venable St. The rest of the property is vacant.

The proposal includes building two new construction buildings. Building 2 is located on the corner of Jessamine and Carrington Streets, and Building 3 is on Venable Street, east of the Citadel of Hope building. Descriptions of each building below.

Additionally, a small brick building, with operable steel garage door, will be added facing Carrington to enclose the trash and screen it from the street. See reference to small structures found in the district below.

HVAC units will be located on the roof of Buildings 2 and 3, not visible from public right of way. The HVAC units for the Citadel of Hope will sit on ground level at the rear of the building and screened by landscaping (*guidelines chapter 3, pg. 64*).

Building 1 - Renovation of the Citadel of Hope Building. The existing two and a half story building will be renovated into 12 units. The plan maintains the original circulation path. The brick will be repointed as required (*guidelines chapter 4, pg. 84*). New aluminum windows with 3 piece simulated divided lines (*guidelines pg. 66*) will be installed within the original openings. The wood cornice will be repaired and repainted white (*guidelines chapter 4, pf 93*). The stairs will be repaired and the rails will be repaired/replaced in kind and repainted.

Building 2 - The new construction along Jessamine and Carrington Streets., is a three story building with 36 residential units. The building is set along the property line on Jessamine Street. It is set back from Venable street and the Citadel of Hope building. Seven apartments along the streets have entrances from the public right of way (*guidelines chapter 3, pg. 53*). All units can be entered through the primary entry from the parking lot side of the building, (two means of egress are provided).

The building is segmented into 6 sections to maintain the architectural rhythm of the district. There is a combination of brick facades, and painted cementitious panel separated by dark recessed brick, to emphasize the segments.

The building takes cues from the historic Citadel of Hope including a soldier course band at the lower third of the building and the brick parapet extends past the steel cornice. Following patterns found in the district, the segment is comprised of three bays. The mill finish aluminum windows are vertical with an operable awning style sash at the bottom, ganged together 3 wide, on one bay, and a single vertical window on the other side. The center bay is recessed and has two full height vertical windows and a clear glass door to the porch. Indicative of district porches, the porches have painted steel posts and each with a cover or roof (*guidelines chapter 3, pg 44*). The brick is a warm gray/brown brick which is complimentary of the existing building on site, and found in the district.

The cementitious portion is paneled with reveals. Each segment will be painted. The building is comprised of three bays. The mill finish aluminum windows are vertical with an operable awning style sash on each side at the bottom. The center bay is recessed and has two full height vertical windows and a clear glass door to the porch. The porches have painted steel posts and frames. The top porch is open to the air.

The scale of the building is kept subservient to the Citadel of Hope in height.

Building 3 - New construction on Venable Street. Three story brick building with 4 residential units on the upper floors over leasing and amenity space on the ground level. The ground level has large storefront windows for visual connection to the street (*guidelines chapter 3, pg. 46*). The building is setback between the Citadel of Hope building and the existing gas station. The scale of the building is kept subservient to the Citadel of Hope in both height and width.

EXISTING CONDITIONS



Venable St



Jessamine St



Carrington St

SMALL STRUCTURES FOUND IN DISTRICT



METAL SHED WITH OPERABLE GARAGE DOORS



BRICK SHED WITH OPERABLE WOOD DOORS



BRICK SHED WITH DOOR



BRICK SHED WITH OPERABLE GARAGE DOOR

BUILDINGS FOUND IN DISTRICT



THREE STORY BUILDING



THREE STORY BUILDING



FOUR STORY BUILDING



FIVE STORY BUILDING



3 BAY WINDOWS



3 BAY WINDOWS



STREET ENTRANCES



COVERED, SECOND STORY PORCHES



COVERED, SECOND STORY PORCHES



UNCOVERED, SECOND STORY PORCHES



CARRINGTON ST



52 PARKING SPACES

TRASH ENCLOSURE

BUILDING 2
36 - UNITS
HVAC UNITS ON ROOF

BUILDING 1
12 - UNITS

BUILDING 3
4 - UNITS
CLUBHOUSE/
LEASING
HVAC UNITS ON ROOF

JESSAMINE ST

VENABLE ST

2230 Venable Street
Richmond, Virginia 23223

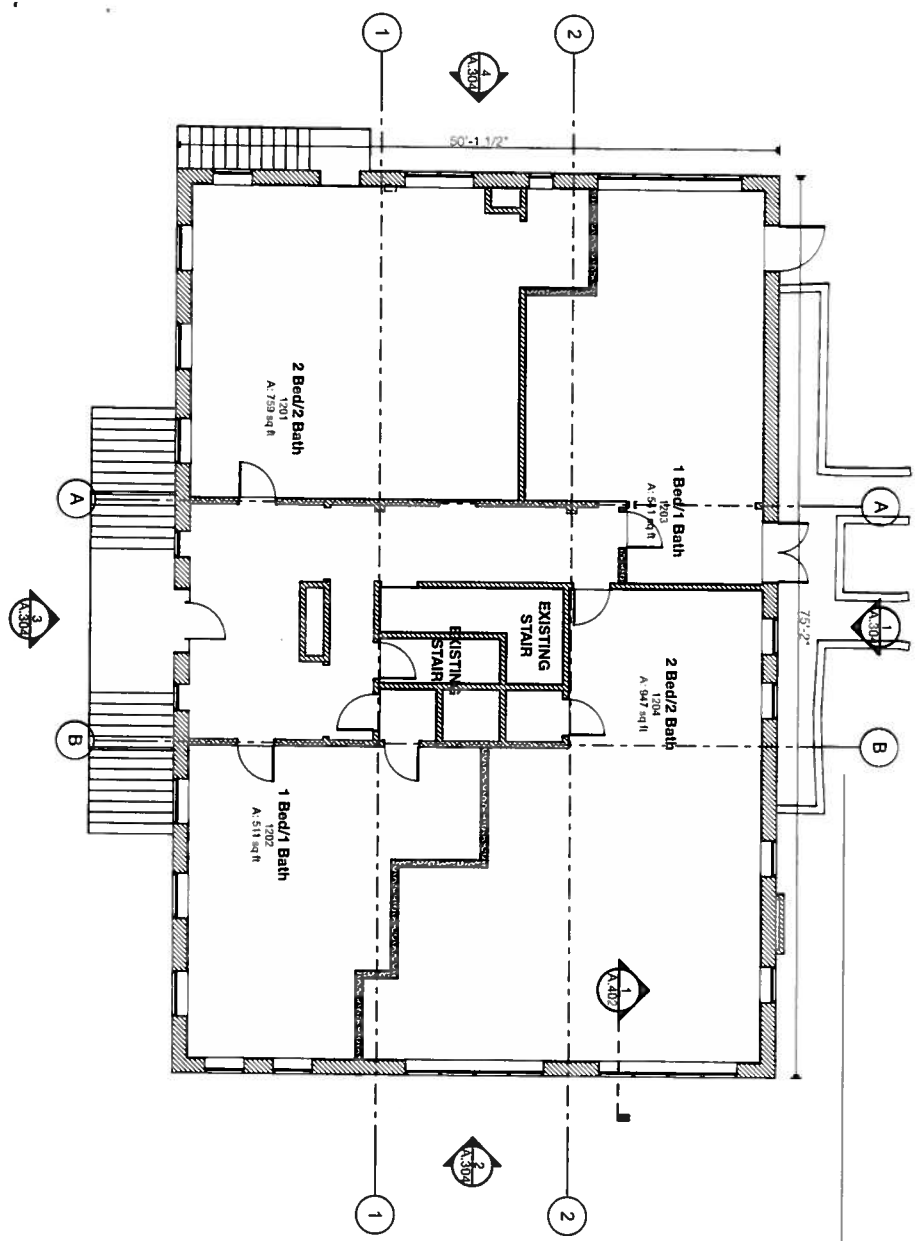
project #: 15.53
date: 8/25/16

SCHEMATIC SITE PLAN

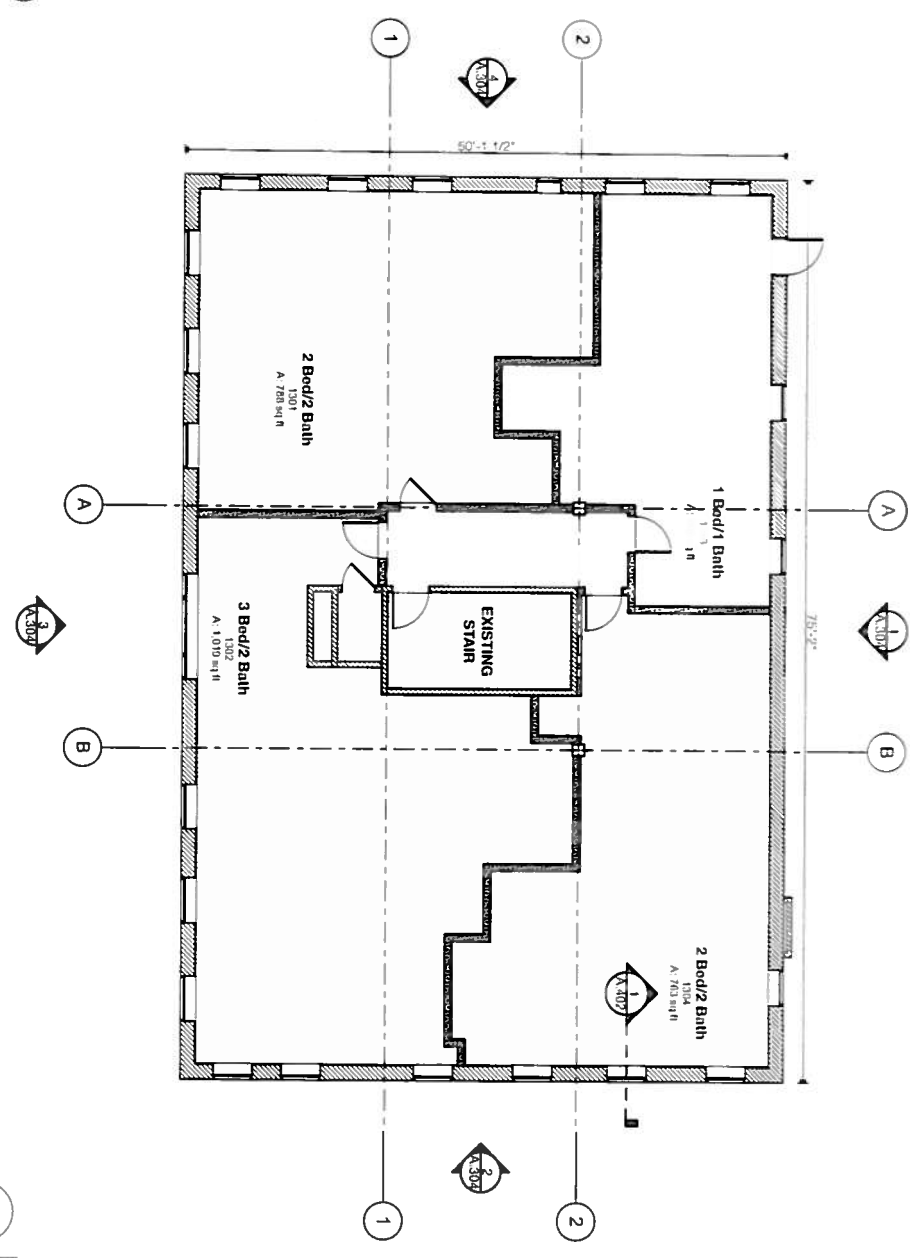
A.1

walterPARKS
ARCHITECTS

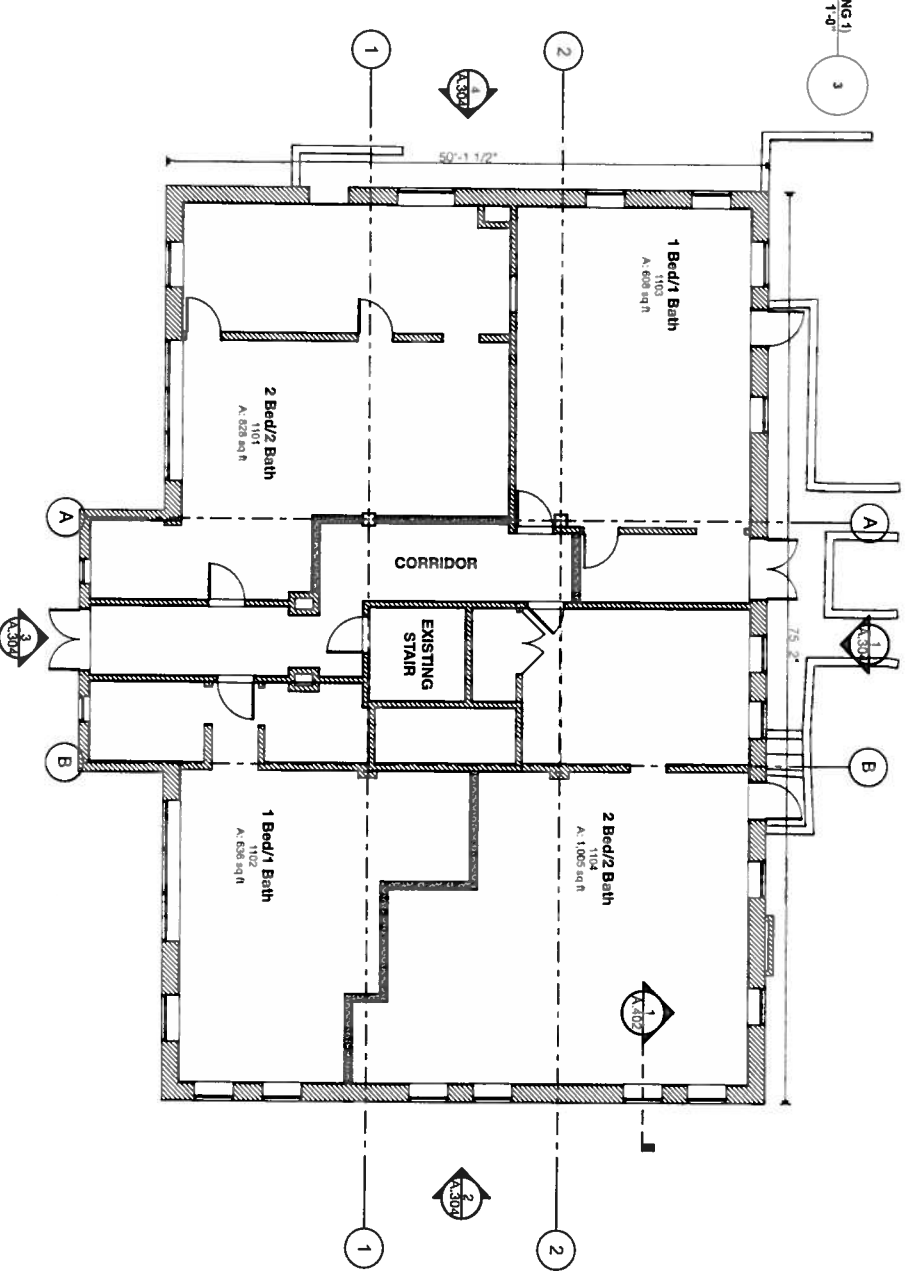
313 N. Adams Street
Richmond, VA 23220
1.800.644.4763
1.800.644.4763



FIRST FLOOR LAYOUT PLAN (BUILDING 1)
SCALE: 1/8" = 1'-0" 2



SECOND FLOOR LAYOUT PLAN (BUILDING 1)
SCALE: 1/8" = 1'-0" 3



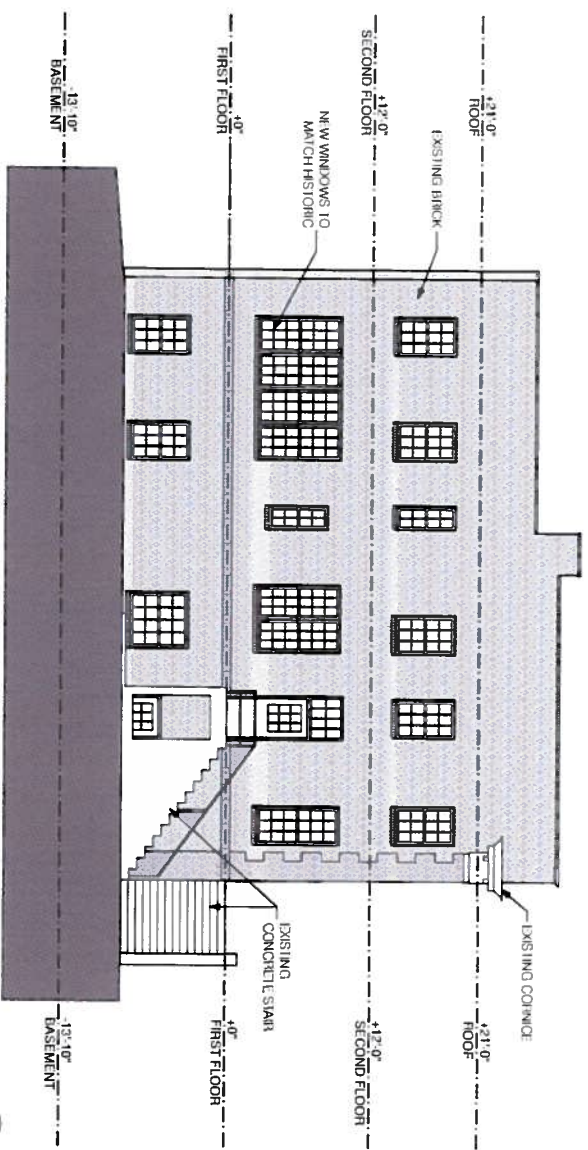
BASEMENT LAYOUT PLAN (BUILDING 1)
SCALE: 1/8" = 1'-0" 1

2230 Venable Street
Richmond, Virginia 23223

Project #: 15.53
date: 8/25/16

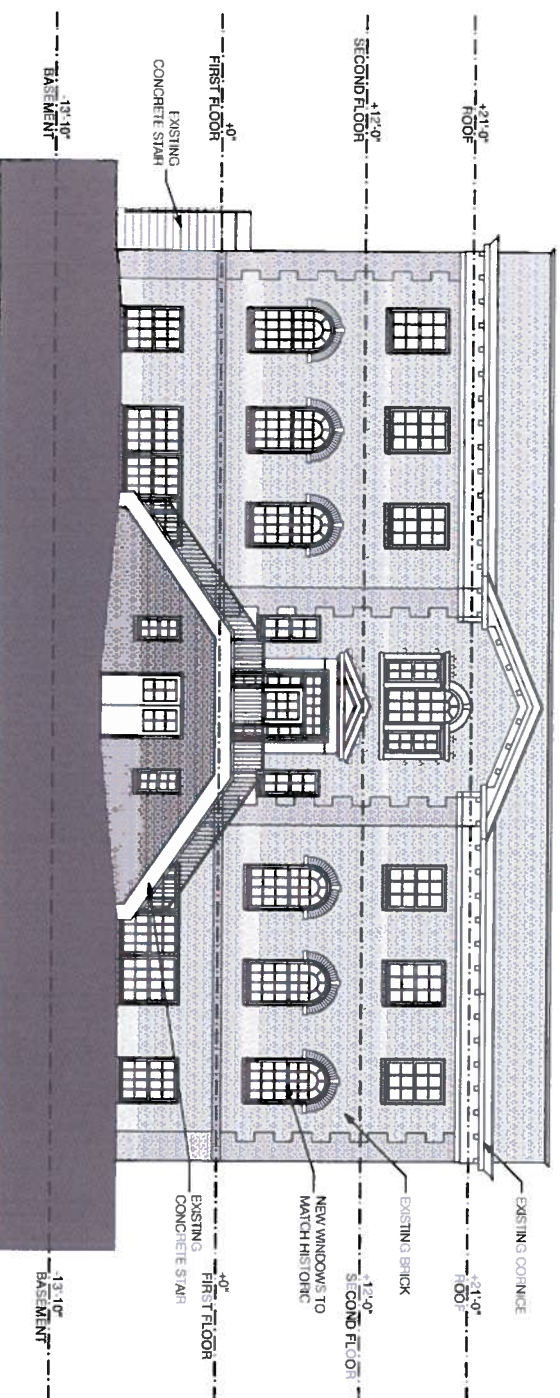
FLOOR PLANS - BUILDING 1 (EXISTING)

A1.1



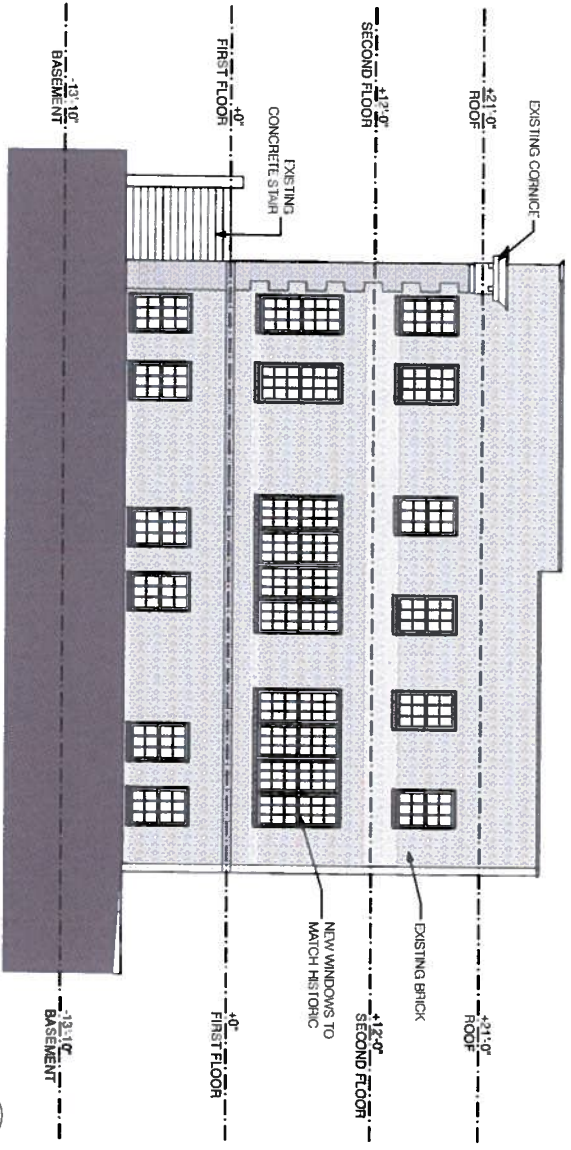
WEST ELEVATION
SCALE: 1/8" = 1'-0"

4



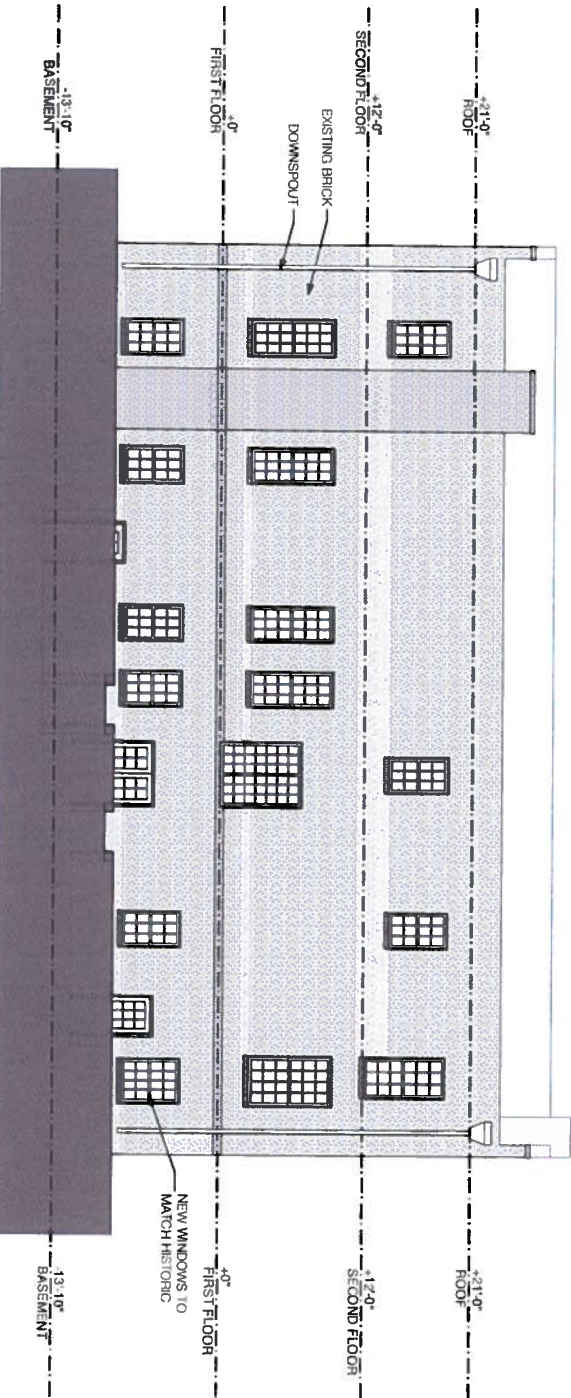
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

3



EAST ELEVATION
SCALE: 1/8" = 1'-0"

2



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

1



2230 Venable Street
Richmond, Virginia 23223

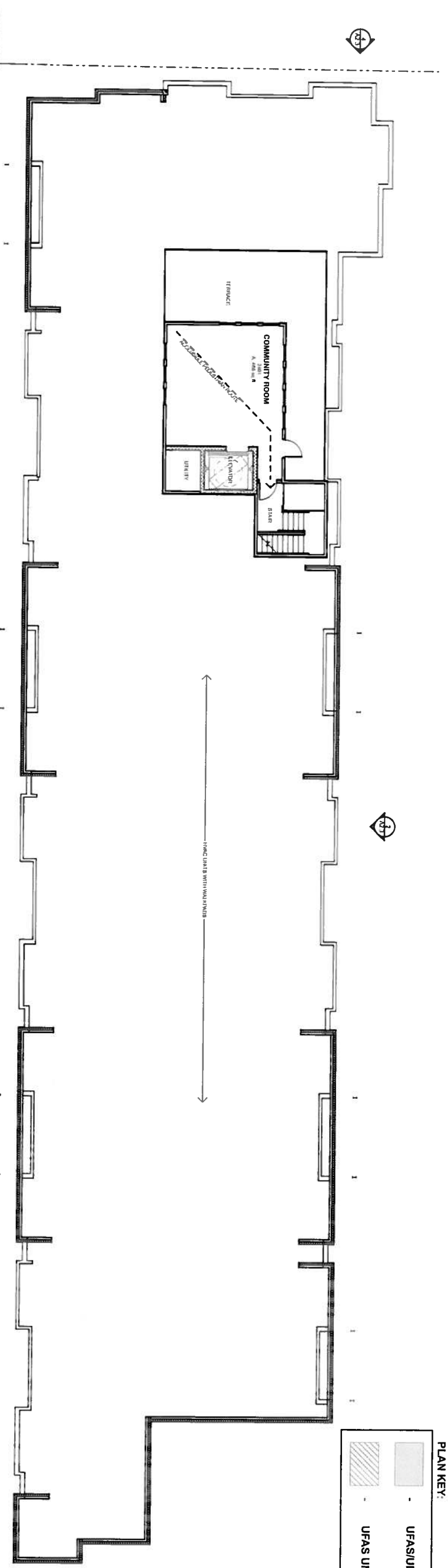
Project #: 15.53
Date: 8/25/16

ELEVATION - BUILDING 1 (EXISTING)

A1.2

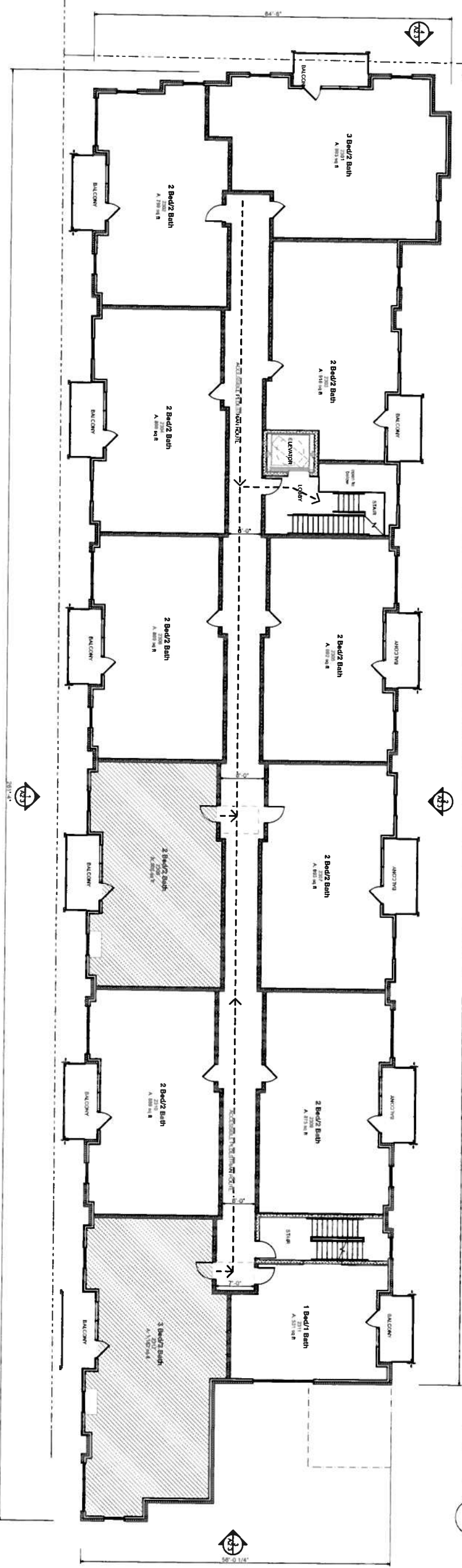
PLAN KEY:

	UFAS/UD UNITS
	UFAS UNITS



ROOF PLAN
SCALE: 1" = 10'

1



THIRD FLOOR LAYOUT PLAN
SCALE: 1" = 10'

1

2230 Venable Street
Richmond, Virginia 23223

project #: 15.53
date: 8/25/16

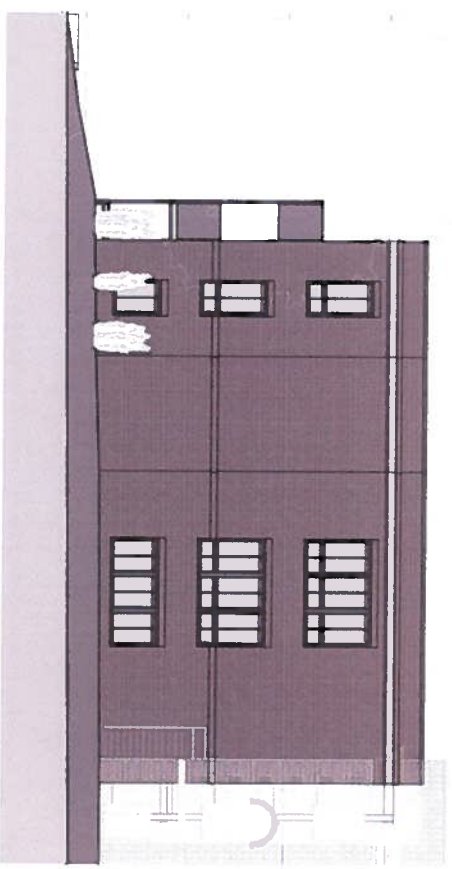
FLOOR PLANS - BUILDING 2

A2.2



NORTH ELEVATION (CARRINGTON STREET)
SCALE: 1" = 10'

4



SOUTH ELEVATION
SCALE: 1" = 10'

3



EAST ELEVATION (PARKING ELEVATION)
SCALE: 1" = 10'

2



WEST ELEVATION (DESSAMINE STREET)
SCALE: 1" = 10'

1

2230 Venable Street
Richmond, Virginia 23223

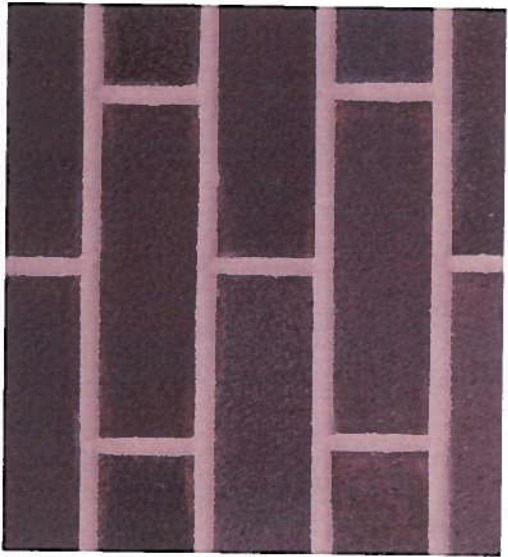
Project #: 15-53
date: 8/25/16

NORTH & WEST ELEVATIONS - BUILDING 2

A2.3

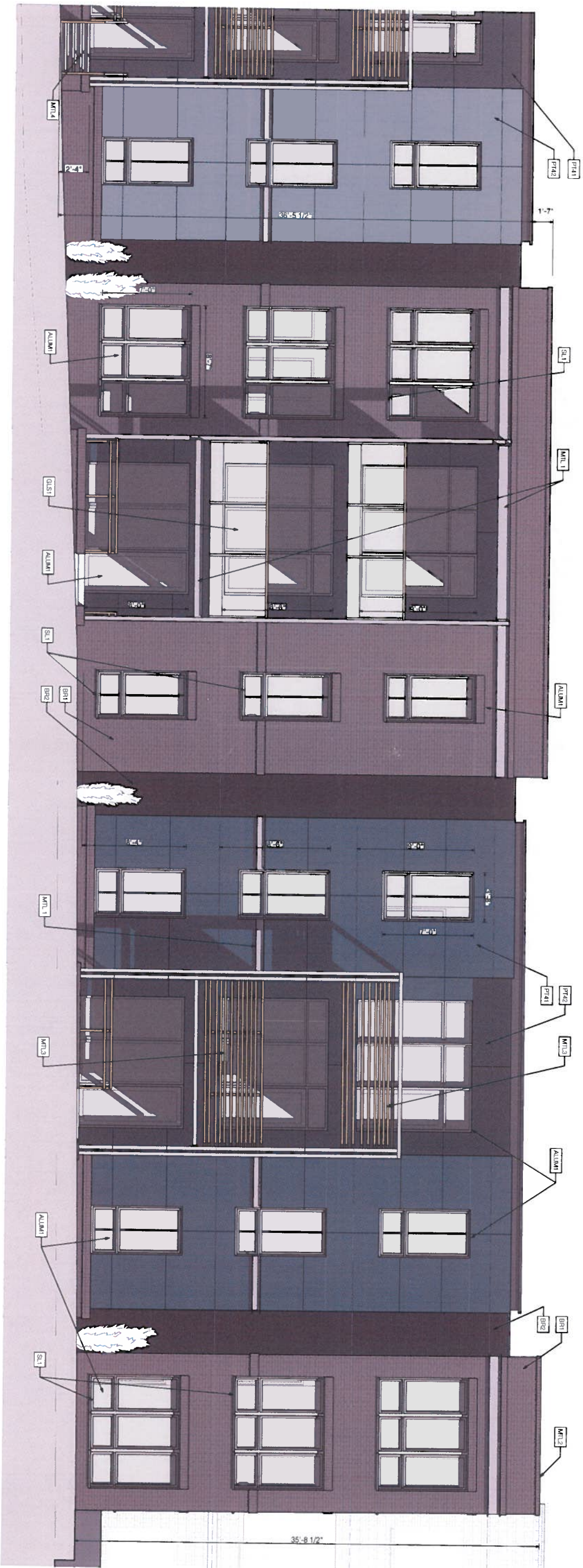
walterPARKS
ARCHITECTS

313 N. Adams Street
Richmond, VA 23220
1.800.944.4763
1.803.824.0765



EXTERIOR FINISHES

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
ALUM1	ALUMINUM WINDOWS / DOORS					
BR1	BRICK	GLENDEN BRICK	TUBCAN SERIES	DARK GREY (PWT)	OVERALL	
BR2	MANTON DCR GR BRICK MANTON COLOR	GLENDEN BRICK	CLASSIC ROMBOY SERIES	TWILIGHT ROMBOY	RECESSED	
SI.1	STONE WORKING SILL			BLACK	RECESSED	
GL.01	CLEAR GLASS QUARTERPIECE				OVERALL	
MNT.1	CUSTOM STEEL TUBE SHAWD CANOPY				POWDER COATED - 10 YEAR WARRANTY	
MNT.2	CORROG				POWDER COATED - 10 YEAR WARRANTY	
MNT.3	CUSTOM STEEL PANEL QUARTERPIECE				POWDER COATED - 10 YEAR WARRANTY	
MNT.4	STEEL STAIRS W/ PRECAST CONCRETE TREADS				POWDER COATED - 10 YEAR WARRANTY	
PF.01	CONCRETE/STAINLESS STEEL				POWDER COATED - 10 YEAR WARRANTY	
PF.02	CONCRETE/STAINLESS STEEL				POWDER COATED - 10 YEAR WARRANTY	



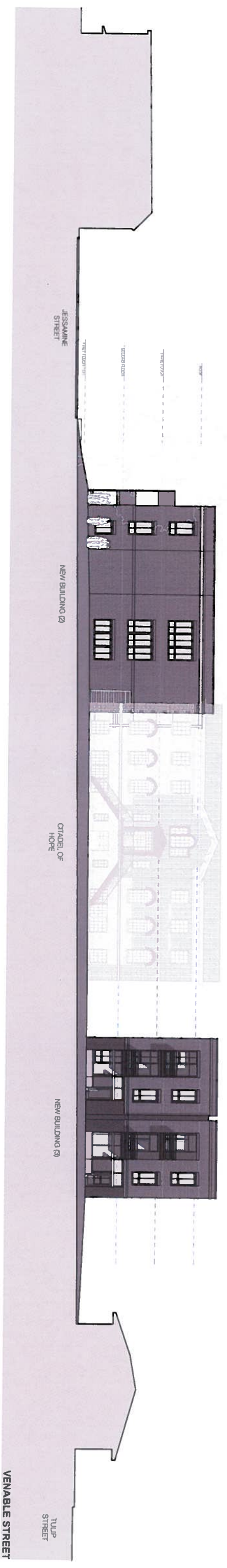
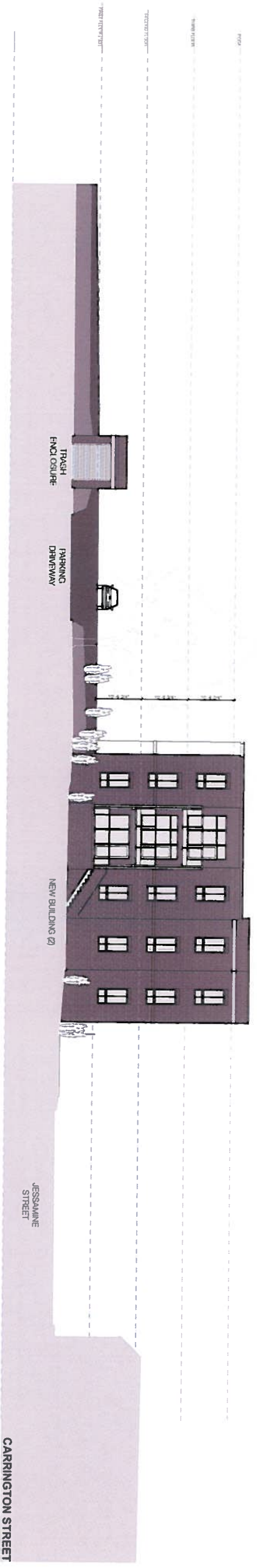
2230 Venable Street

Richmond, Virginia 23223

project #: 1553
date: 8/25/16

DETAIL ELEVATION - BUILDING 2

A2.4



2230 Venable Street
 Richmond, Virginia 23223

project #: 1553
 date: 8/25/16

STREET ELEVATIONS

A2.5



2230 Venable Street
Richmond, Virginia 23223

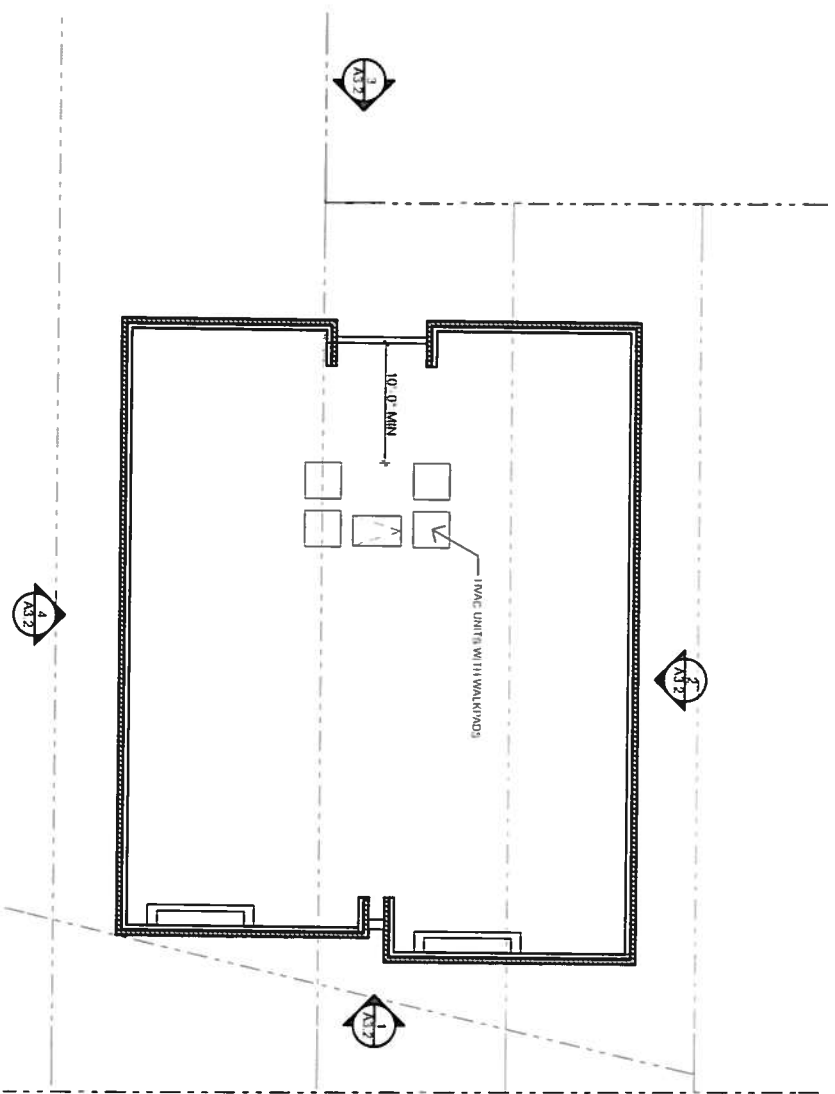
project #: 15.53
date: 8/25/16

PERSPECTIVE

A2.6

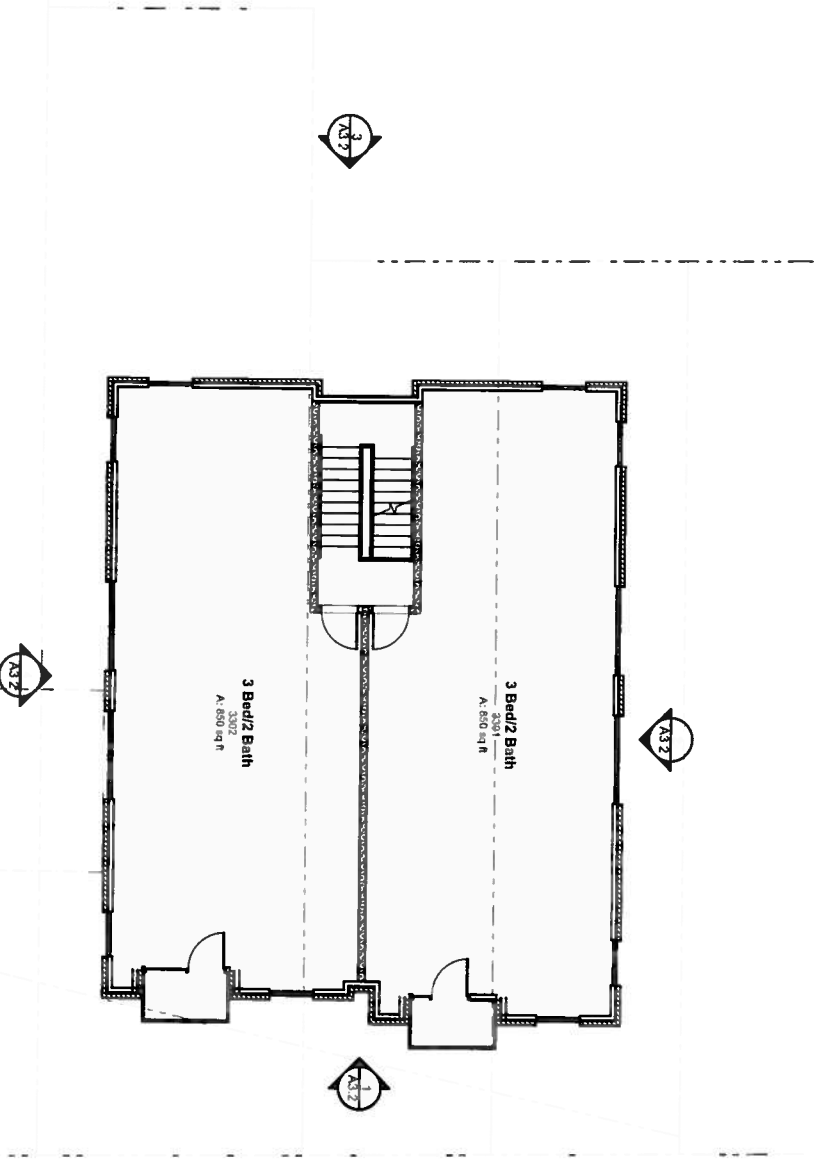
walterPARKS
ARCHITECT

313 N. Adams Street
Richmond, VA 23220
t 804.644.4761
f 804.644.4763



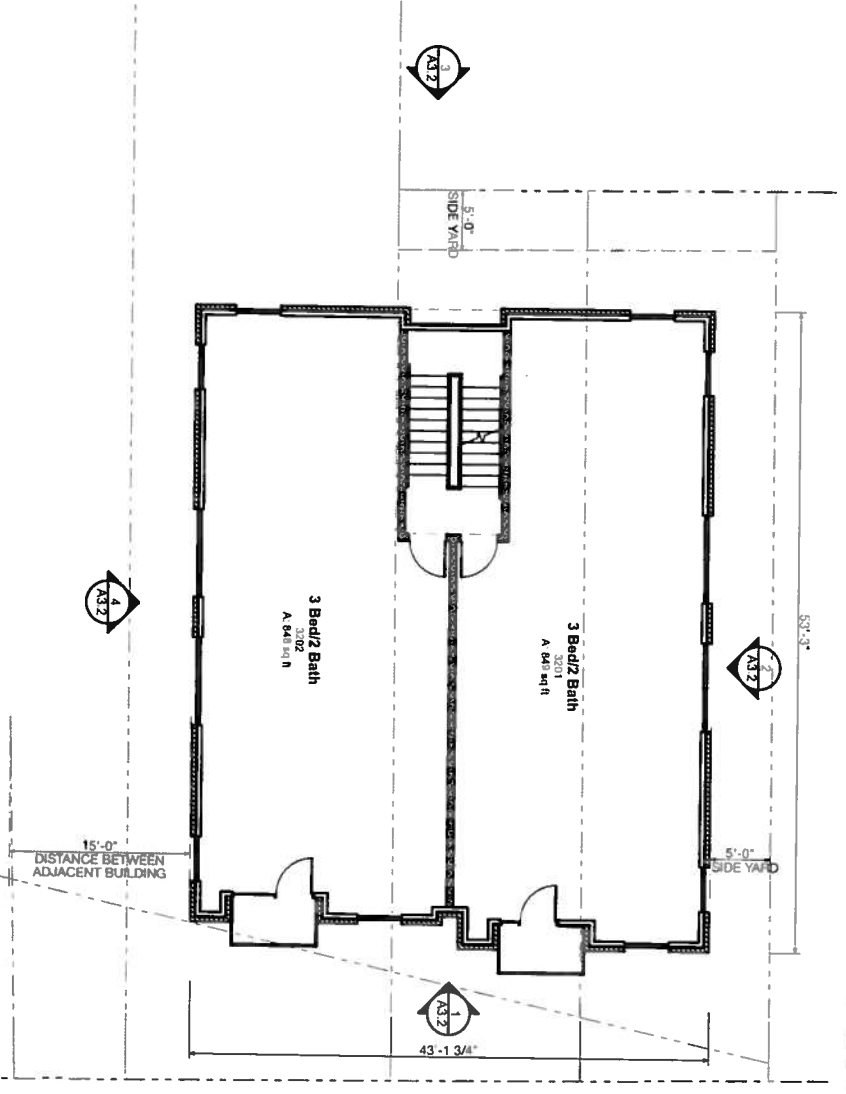
ROOF PLAN
SCALE: 1/8" = 1'-0"

4



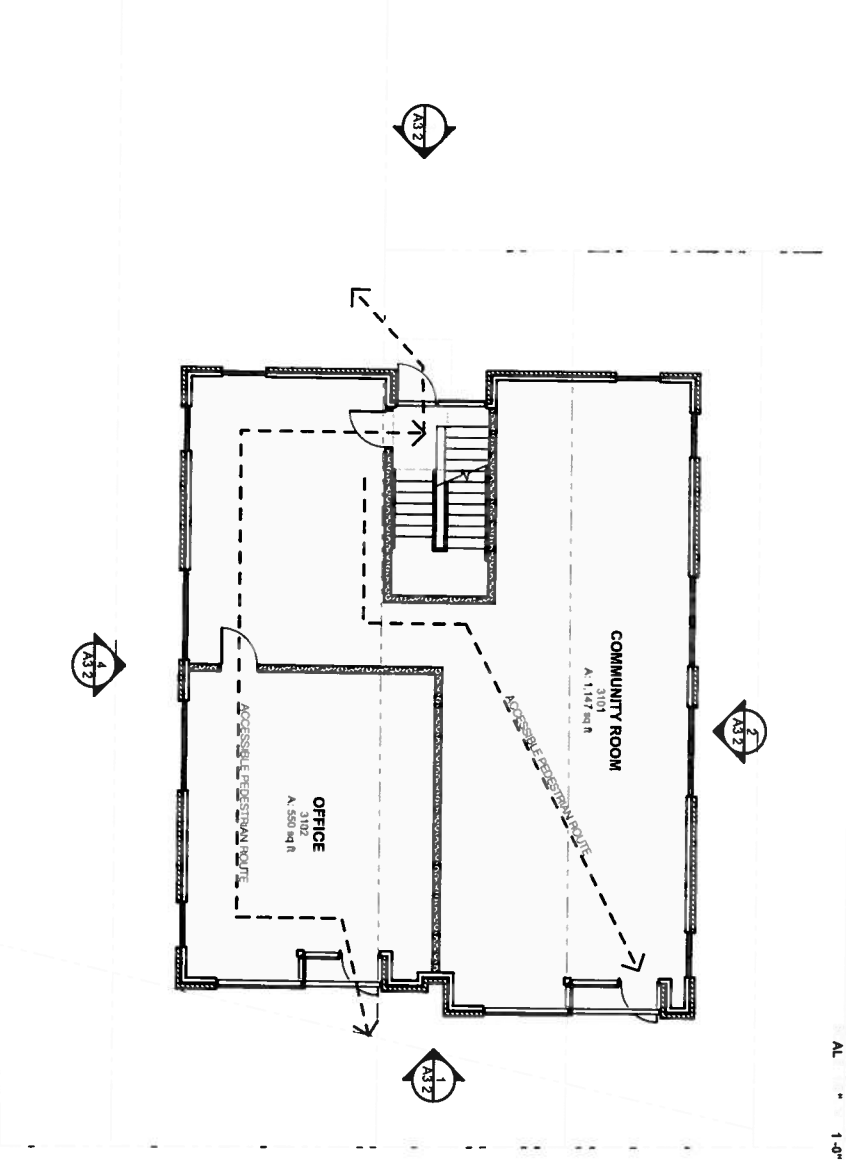
THIRD FLOOR LAYOUT PLAN
SCALE: 1/8" = 1'-0"

3



SECOND FLOOR LAYOUT PLAN
SCALE: 1/8" = 1'-0"

2



FIRST FLOOR LAYOUT PLAN
SCALE: 1/8" = 1'-0"

1

2230 Venable Street
Richmond, Virginia 23223

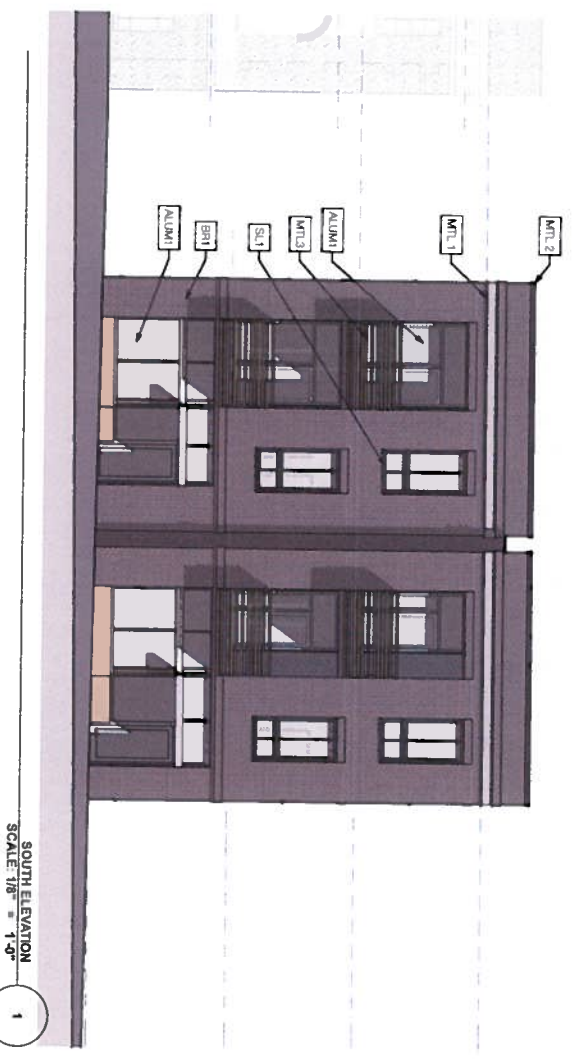
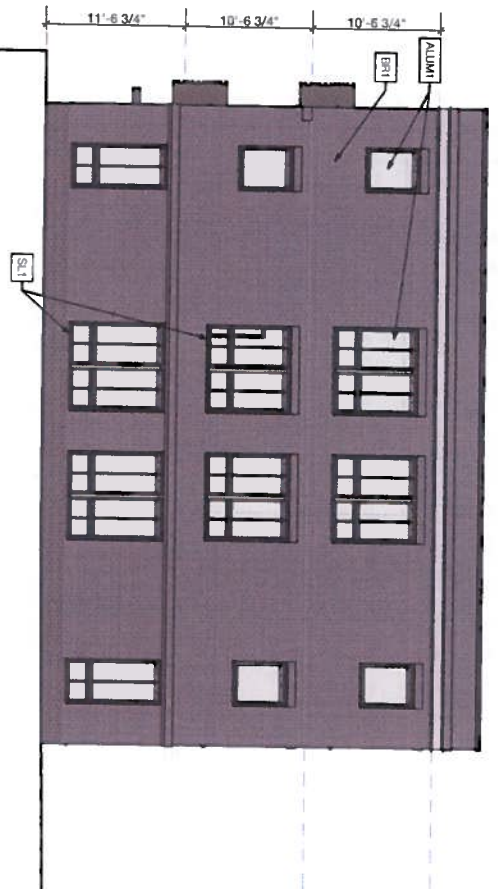
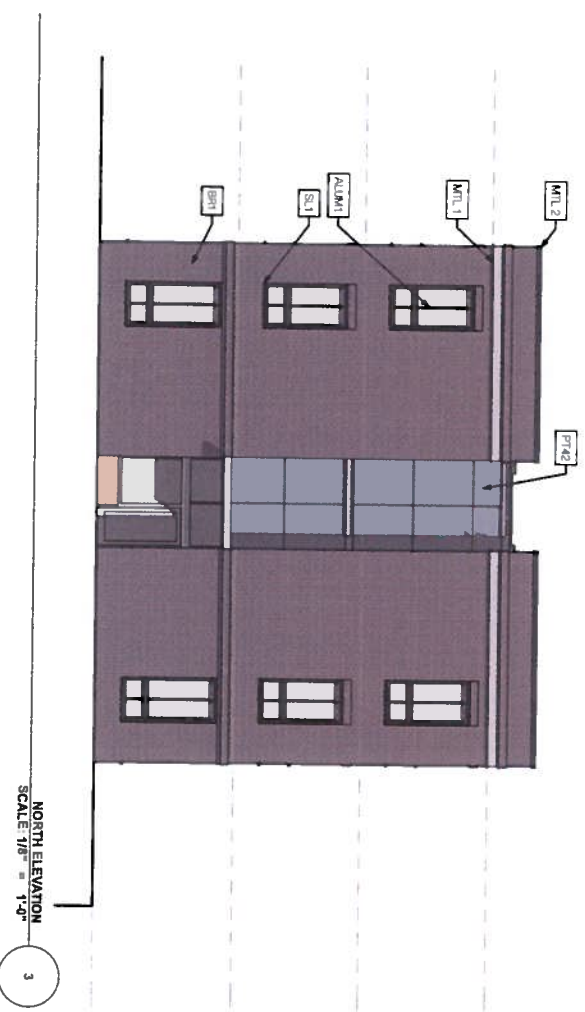
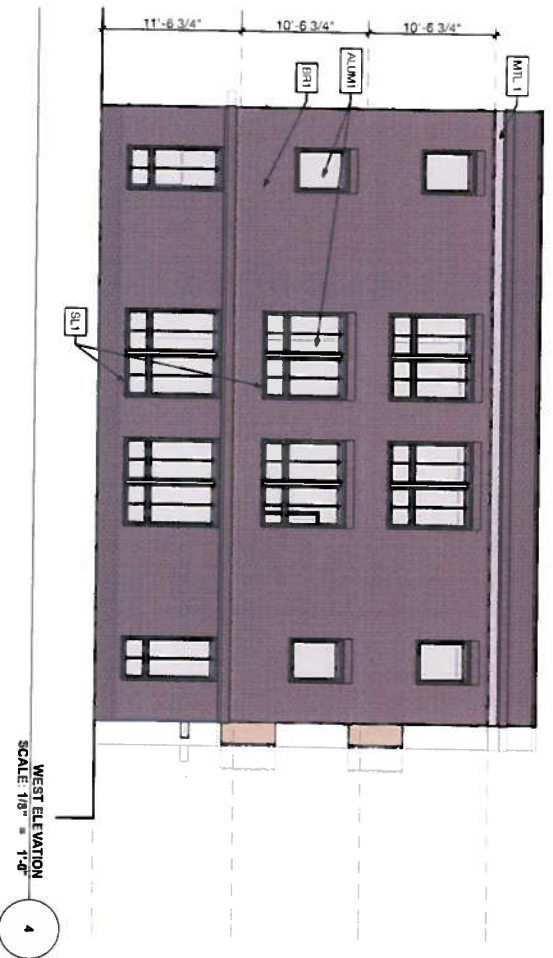
project #: 15-53
date: 8/25/16

FLOOR PLANS - BUILDING 3

A3.1

EXTERIOR FINISHES

Item	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
ALUMI	ALUMINUM WINDOWS / DOORS					
BRN	BRICK	GLYN-DE-GR BRICK	CL EXPANDED TUBULAR SERIES	DARK GREY (N7)	OVERALL OVERALL RECESSED	OVERALL POWDER COATED - 10 YEAR WARRANTY MARINE GRADE - 10 YEAR WARRANTY MARINE GRADE - 10 YEAR WARRANTY
BRN	SPRINKLER COIL BRN	GLYN-DE-GR BRICK	CLASCO ROOFBOAT SERIES	TRACERY ROOFBOAT	RECESSED	
BRN	MONITOR COIL BRN			BLACK		
SL1	STONE WINDOW SILL					
SL1	CEILING CLASS QUARNITE					
MTL 1	CENTRAL STILEE IRON BARNETT CANNERY					
MTL 2	CONCRETE					
MTL 3	CONCRETE					
MTL 4	CONCRETE					
MTL 5	CONCRETE					
MTL 6	CONCRETE					
MTL 7	CONCRETE					
MTL 8	CONCRETE					
MTL 9	CONCRETE					
MTL 10	CONCRETE					
MTL 11	CONCRETE					
MTL 12	CONCRETE					
MTL 13	CONCRETE					
MTL 14	CONCRETE					
MTL 15	CONCRETE					
MTL 16	CONCRETE					
MTL 17	CONCRETE					
MTL 18	CONCRETE					
MTL 19	CONCRETE					
MTL 20	CONCRETE					
MTL 21	CONCRETE					
MTL 22	CONCRETE					
MTL 23	CONCRETE					
MTL 24	CONCRETE					
MTL 25	CONCRETE					
MTL 26	CONCRETE					
MTL 27	CONCRETE					
MTL 28	CONCRETE					
MTL 29	CONCRETE					
MTL 30	CONCRETE					
MTL 31	CONCRETE					
MTL 32	CONCRETE					
MTL 33	CONCRETE					
MTL 34	CONCRETE					
MTL 35	CONCRETE					
MTL 36	CONCRETE					
MTL 37	CONCRETE					
MTL 38	CONCRETE					
MTL 39	CONCRETE					
MTL 40	CONCRETE					
MTL 41	CONCRETE					
MTL 42	CONCRETE					
MTL 43	CONCRETE					
MTL 44	CONCRETE					
MTL 45	CONCRETE					
MTL 46	CONCRETE					
MTL 47	CONCRETE					
MTL 48	CONCRETE					
MTL 49	CONCRETE					
MTL 50	CONCRETE					
MTL 51	CONCRETE					
MTL 52	CONCRETE					
MTL 53	CONCRETE					
MTL 54	CONCRETE					
MTL 55	CONCRETE					
MTL 56	CONCRETE					
MTL 57	CONCRETE					
MTL 58	CONCRETE					
MTL 59	CONCRETE					
MTL 60	CONCRETE					
MTL 61	CONCRETE					
MTL 62	CONCRETE					
MTL 63	CONCRETE					
MTL 64	CONCRETE					
MTL 65	CONCRETE					
MTL 66	CONCRETE					
MTL 67	CONCRETE					
MTL 68	CONCRETE					
MTL 69	CONCRETE					
MTL 70	CONCRETE					
MTL 71	CONCRETE					
MTL 72	CONCRETE					
MTL 73	CONCRETE					
MTL 74	CONCRETE					
MTL 75	CONCRETE					
MTL 76	CONCRETE					
MTL 77	CONCRETE					
MTL 78	CONCRETE					
MTL 79	CONCRETE					
MTL 80	CONCRETE					
MTL 81	CONCRETE					
MTL 82	CONCRETE					
MTL 83	CONCRETE					
MTL 84	CONCRETE					
MTL 85	CONCRETE					
MTL 86	CONCRETE					
MTL 87	CONCRETE					
MTL 88	CONCRETE					
MTL 89	CONCRETE					
MTL 90	CONCRETE					
MTL 91	CONCRETE					
MTL 92	CONCRETE					
MTL 93	CONCRETE					
MTL 94	CONCRETE					
MTL 95	CONCRETE					
MTL 96	CONCRETE					
MTL 97	CONCRETE					
MTL 98	CONCRETE					
MTL 99	CONCRETE					
MTL 100	CONCRETE					



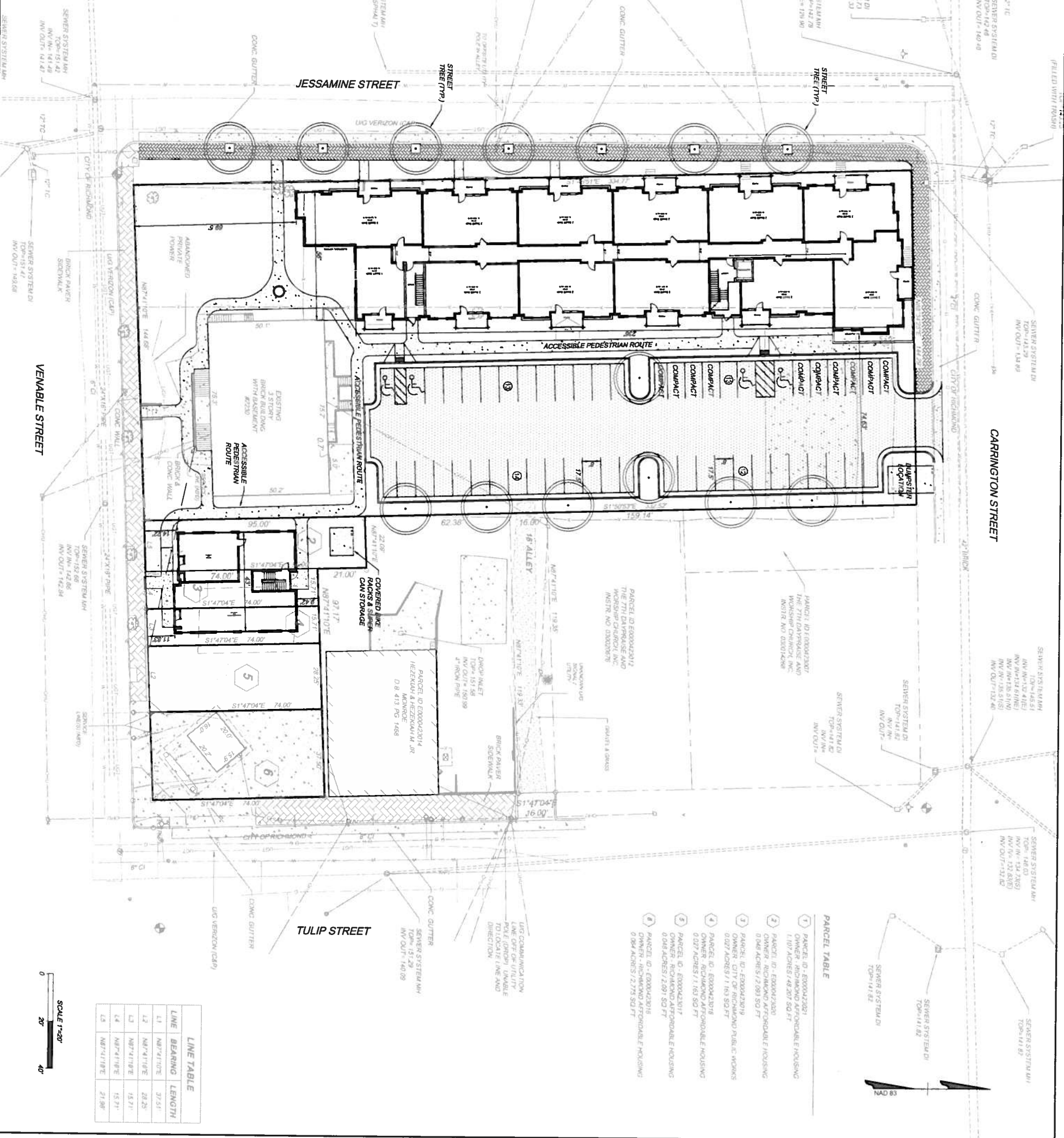
2230 Venable Street
Richmond, Virginia 23223
project #: 15-53
date: 8/25/16

ELEVATIONS - BUILDING 3

GENERAL NOTES:

- 1 OWNER/DEVELOPER
RICHMOND AFFORDABLE HOUSING
C/O BETTER HOUSING COALITION
23 WEST BROAD STREET SUITE 100
RICHMOND, VIRGINIA 23220
PHONE: (804) 644-0546 EXT. 112
FAX: (804) 644-1057
CONTACT: JOHN BOLTON
- 2 ENGINEER
TIMMONS GROUP
1001 BOULDERS PARKWAY, SUITE 300
RICHMOND, VIRGINIA 23225
PHONE: (804) 230-8585
FAX: (804) 580-1016
CONTACT: SHAWN SMITH
- 3 ARCHITECT
WALTER PARKS ARCHITECTS
3131 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
PHONE: (804) 644-4761 EXT. 1014
CONTACT: SARAH MCINERNEY
- 4 EXISTING ZONING: R-63 MULTI-FAMILY URBAN RESIDENTIAL
- 5 NATIONAL HISTORIC DISTRICT: UNION HILL
- 6 PROPOSED USE: RESIDENTIAL
- 7 PARCEL ID: E0000423021
1.107 ACRES/48,207 SQ. FT.
E0000423020
0.048 ACRES/2,093 SQ. FT.
E0000423019
0.027 ACRES/1,163 SQ. FT.
E0000423018
0.027 ACRES/1,163 SQ. FT.
- 8 TOTAL SITE AREA: 1.209 ACRES (62,626 SQ. FT.)
- 9 NUMBER OF UNITS: 52 UNITS
- 10 NUMBER OF STORIES: 3
- 11 PARKING REQUIRED:
52 DWELLING UNITS x 1 = 52 SPACES
TOTAL PARKING REQUIRED = 52 SPACES
- 12 PARKING PROVIDED: 52 TOTAL SPACES (3 HANDICAP)
- 13 AREA COVERED BY BUILDINGS = 0.46 ACRES (20,223 SF)
AREA PAVED (PARKING & WALKS) = 0.37 ACRES (16,280 SF)
AREA OPEN SPACE = 0.37 ACRES (16,181 SF)
- 14 WATER PUBLIC
SEWER PUBLIC

VICINITY MAP
SCALE: 1" = 1,000'



PARCEL TABLE

1	PARCEL ID: E0000423021 OWNER: RICHMOND AFFORDABLE HOUSING 1.107 ACRES/48,207 SQ. FT.
2	PARCEL ID: E0000423020 OWNER: RICHMOND AFFORDABLE HOUSING 0.048 ACRES/2,093 SQ. FT.
3	PARCEL ID: E0000423019 OWNER: CITY OF RICHMOND PUBLIC WORKS 0.027 ACRES/1,163 SQ. FT.
4	PARCEL ID: E0000423018 OWNER: RICHMOND AFFORDABLE HOUSING 0.027 ACRES/1,163 SQ. FT.
5	PARCEL ID: E0000423017 OWNER: RICHMOND AFFORDABLE HOUSING 0.048 ACRES/2,093 SQ. FT.
6	PARCEL ID: E0000423016 OWNER: RICHMOND AFFORDABLE HOUSING 0.048 ACRES/2,093 SQ. FT.

LINE TABLE

LINE	BEARING	LENGTH
L1	N87°41'07"E	37.51'
L2	N87°41'18"E	28.25'
L3	N87°41'18"E	15.71'
L4	N87°41'18"E	15.71'
L5	N87°41'18"E	21.89'

TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS.

THIS DRAWING PREPARED AT THE
1001 Boulders Parkway, Suite 300
Richmond, Virginia 23225
Tel: (804) 230-8585 Fax: (804) 580-1016 www.timmons.com

CITADEL OF HOPE-VENABLE STREET
7th DISTRICT - CITY OF RICHMOND - VIRGINIA
PRELIMINARY LAYOUT PLAN

TOWNSHIP NO.
37496
SHEET NO.
C1.0

DATE
8/25/16

REVISION DESCRIPTION
UPDATED THE BUILDING FOOTPRINTS

DATE
2/22/16

DRAWN BY
S. SMITH

DESIGNED BY
S. SMITH

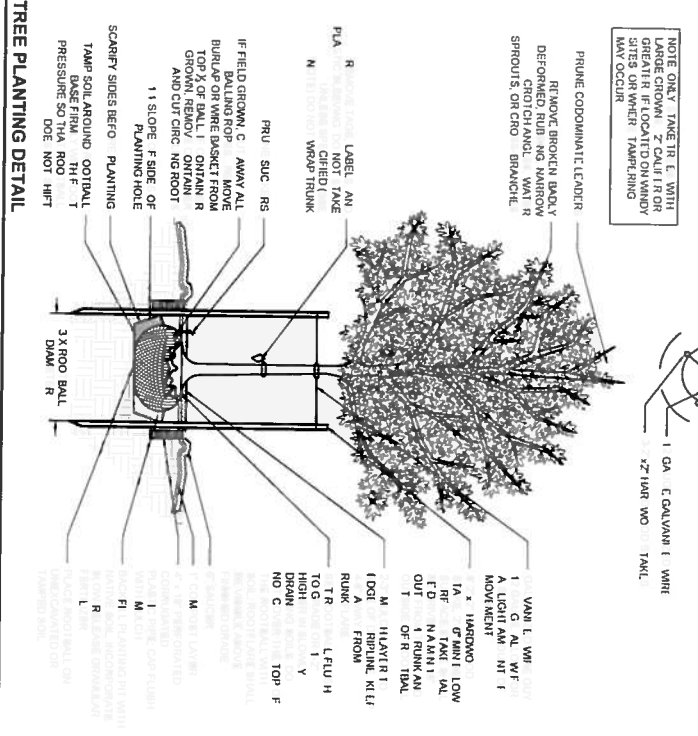
CHECKED BY
S. SMITH

SCALE
1"=20'

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

PLAN SCHEDULE

NO.	SYMBOL	DESCRIPTION
1	IA	1" GALV. E. GALV. I. WIRE
2	IB	1" GALV. E. GALV. I. WIRE
3	IC	1" GALV. E. GALV. I. WIRE
4	ID	1" GALV. E. GALV. I. WIRE
5	IE	1" GALV. E. GALV. I. WIRE
6	IF	1" GALV. E. GALV. I. WIRE
7	IG	1" GALV. E. GALV. I. WIRE
8	IH	1" GALV. E. GALV. I. WIRE
9	II	1" GALV. E. GALV. I. WIRE
10	IJ	1" GALV. E. GALV. I. WIRE
11	IK	1" GALV. E. GALV. I. WIRE
12	IL	1" GALV. E. GALV. I. WIRE
13	IM	1" GALV. E. GALV. I. WIRE
14	IN	1" GALV. E. GALV. I. WIRE
15	IO	1" GALV. E. GALV. I. WIRE
16	IP	1" GALV. E. GALV. I. WIRE
17	IQ	1" GALV. E. GALV. I. WIRE
18	IR	1" GALV. E. GALV. I. WIRE
19	IS	1" GALV. E. GALV. I. WIRE
20	IT	1" GALV. E. GALV. I. WIRE
21	IU	1" GALV. E. GALV. I. WIRE
22	IV	1" GALV. E. GALV. I. WIRE
23	IW	1" GALV. E. GALV. I. WIRE
24	IX	1" GALV. E. GALV. I. WIRE
25	IY	1" GALV. E. GALV. I. WIRE
26	IZ	1" GALV. E. GALV. I. WIRE
27	JA	1" GALV. E. GALV. I. WIRE
28	JB	1" GALV. E. GALV. I. WIRE
29	JC	1" GALV. E. GALV. I. WIRE
30	JD	1" GALV. E. GALV. I. WIRE
31	JE	1" GALV. E. GALV. I. WIRE
32	JF	1" GALV. E. GALV. I. WIRE
33	JG	1" GALV. E. GALV. I. WIRE
34	JH	1" GALV. E. GALV. I. WIRE
35	JI	1" GALV. E. GALV. I. WIRE
36	JJ	1" GALV. E. GALV. I. WIRE
37	JK	1" GALV. E. GALV. I. WIRE
38	JL	1" GALV. E. GALV. I. WIRE
39	JM	1" GALV. E. GALV. I. WIRE
40	JN	1" GALV. E. GALV. I. WIRE
41	JO	1" GALV. E. GALV. I. WIRE
42	JP	1" GALV. E. GALV. I. WIRE
43	JQ	1" GALV. E. GALV. I. WIRE
44	JR	1" GALV. E. GALV. I. WIRE
45	JS	1" GALV. E. GALV. I. WIRE
46	JT	1" GALV. E. GALV. I. WIRE
47	JU	1" GALV. E. GALV. I. WIRE
48	JV	1" GALV. E. GALV. I. WIRE
49	JW	1" GALV. E. GALV. I. WIRE
50	JX	1" GALV. E. GALV. I. WIRE
51	JY	1" GALV. E. GALV. I. WIRE
52	JZ	1" GALV. E. GALV. I. WIRE
53	KA	1" GALV. E. GALV. I. WIRE
54	KB	1" GALV. E. GALV. I. WIRE
55	KC	1" GALV. E. GALV. I. WIRE
56	KD	1" GALV. E. GALV. I. WIRE
57	KE	1" GALV. E. GALV. I. WIRE
58	KF	1" GALV. E. GALV. I. WIRE
59	KG	1" GALV. E. GALV. I. WIRE
60	KH	1" GALV. E. GALV. I. WIRE
61	KI	1" GALV. E. GALV. I. WIRE
62	KJ	1" GALV. E. GALV. I. WIRE
63	KK	1" GALV. E. GALV. I. WIRE
64	KL	1" GALV. E. GALV. I. WIRE
65	KM	1" GALV. E. GALV. I. WIRE
66	KN	1" GALV. E. GALV. I. WIRE
67	KO	1" GALV. E. GALV. I. WIRE
68	KP	1" GALV. E. GALV. I. WIRE
69	KQ	1" GALV. E. GALV. I. WIRE
70	KR	1" GALV. E. GALV. I. WIRE
71	KS	1" GALV. E. GALV. I. WIRE
72	KT	1" GALV. E. GALV. I. WIRE
73	KU	1" GALV. E. GALV. I. WIRE
74	KV	1" GALV. E. GALV. I. WIRE
75	KW	1" GALV. E. GALV. I. WIRE
76	KX	1" GALV. E. GALV. I. WIRE
77	KY	1" GALV. E. GALV. I. WIRE
78	KZ	1" GALV. E. GALV. I. WIRE
79	LA	1" GALV. E. GALV. I. WIRE
80	LB	1" GALV. E. GALV. I. WIRE
81	LC	1" GALV. E. GALV. I. WIRE
82	LD	1" GALV. E. GALV. I. WIRE
83	LE	1" GALV. E. GALV. I. WIRE
84	LF	1" GALV. E. GALV. I. WIRE
85	LG	1" GALV. E. GALV. I. WIRE
86	LH	1" GALV. E. GALV. I. WIRE
87	LI	1" GALV. E. GALV. I. WIRE
88	LJ	1" GALV. E. GALV. I. WIRE
89	LK	1" GALV. E. GALV. I. WIRE
90	LL	1" GALV. E. GALV. I. WIRE
91	LM	1" GALV. E. GALV. I. WIRE
92	LN	1" GALV. E. GALV. I. WIRE
93	LO	1" GALV. E. GALV. I. WIRE
94	LP	1" GALV. E. GALV. I. WIRE
95	LQ	1" GALV. E. GALV. I. WIRE
96	LR	1" GALV. E. GALV. I. WIRE
97	LS	1" GALV. E. GALV. I. WIRE
98	LT	1" GALV. E. GALV. I. WIRE
99	LU	1" GALV. E. GALV. I. WIRE
100	LV	1" GALV. E. GALV. I. WIRE
101	LV	1" GALV. E. GALV. I. WIRE
102	LV	1" GALV. E. GALV. I. WIRE
103	LV	1" GALV. E. GALV. I. WIRE
104	LV	1" GALV. E. GALV. I. WIRE
105	LV	1" GALV. E. GALV. I. WIRE
106	LV	1" GALV. E. GALV. I. WIRE
107	LV	1" GALV. E. GALV. I. WIRE
108	LV	1" GALV. E. GALV. I. WIRE
109	LV	1" GALV. E. GALV. I. WIRE
110	LV	1" GALV. E. GALV. I. WIRE



NOTE ONLY TAKE E WITH LARGE CROWN. CALL FOR GREATER IF LOCATED ON WINDY SITES OR WHERE TAMPERING MAY OCCUR.

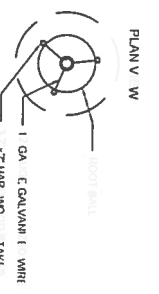
PRUNE CODOMINANT LEADER. REMOVE BROKEN, BOLDY DEFORMED, RUB AND NARROW CROTCH AND. WAT R SPRIGS, OR CRD BRANCH.

IF FIELD GROWN, C AWAY ALL BALDING TOP. REMOVE BUSH TOPS OF BRANCHES FROM GROWN REMOY ONTAIN AND CUT CIRC NG ROOT.

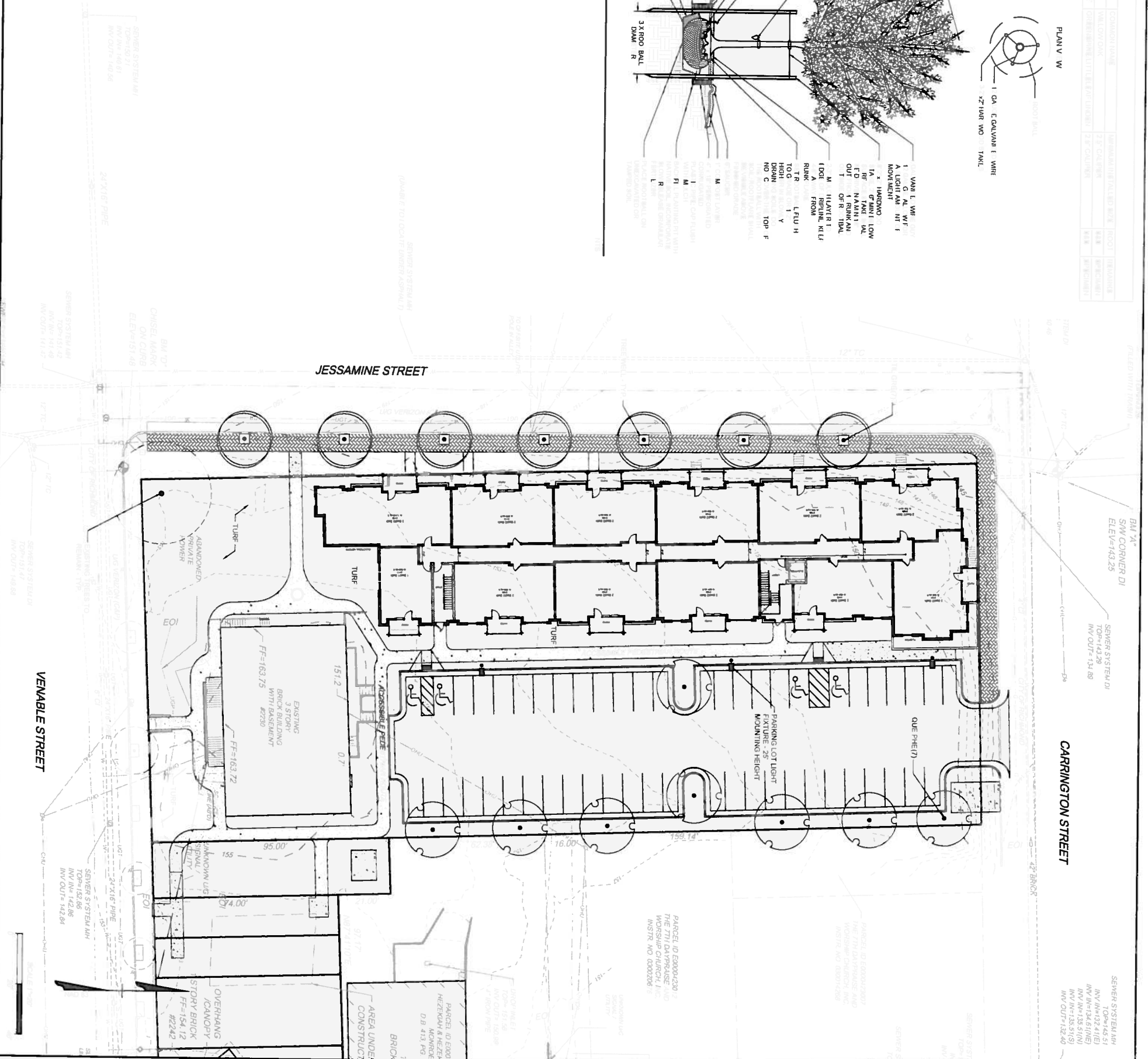
1:1 SLOPE. F SIDE OF PLANTING HOLE.

SCAFFY SIDES BEFO PLANTING TAMP SOIL AROUND OOTBALL BASE FROM THE F T PRESSURE SO THE ROOT DOE NOT HAFT.

TREE PLANTING DETAIL



PARKING LOT LIGHT FIXTURE CUT SHEETS



TIMMONS GROUP

CITADEL OF HOPE-VENABLE STREET
7th DISTRICT - CITY OF RICHMOND - VIRGINIA
PRELIMINARY LANDSCAPE AND LIGHTING PLAN

YOUR VISION ACHIEVED THROUGH OURS.

THIS DRAWING PREPARED AT THE
CORPORATE OFFICE
1001 Boulders Parkway, Suite 300 | Richmond, VA 23225
TEL 804.200.6500 FAX 804.560.1016 www.timmons.com

DATE: 8/26/16

DESIGNED BY: F. HANCOCK

CHECKED BY: F. HANCOCK

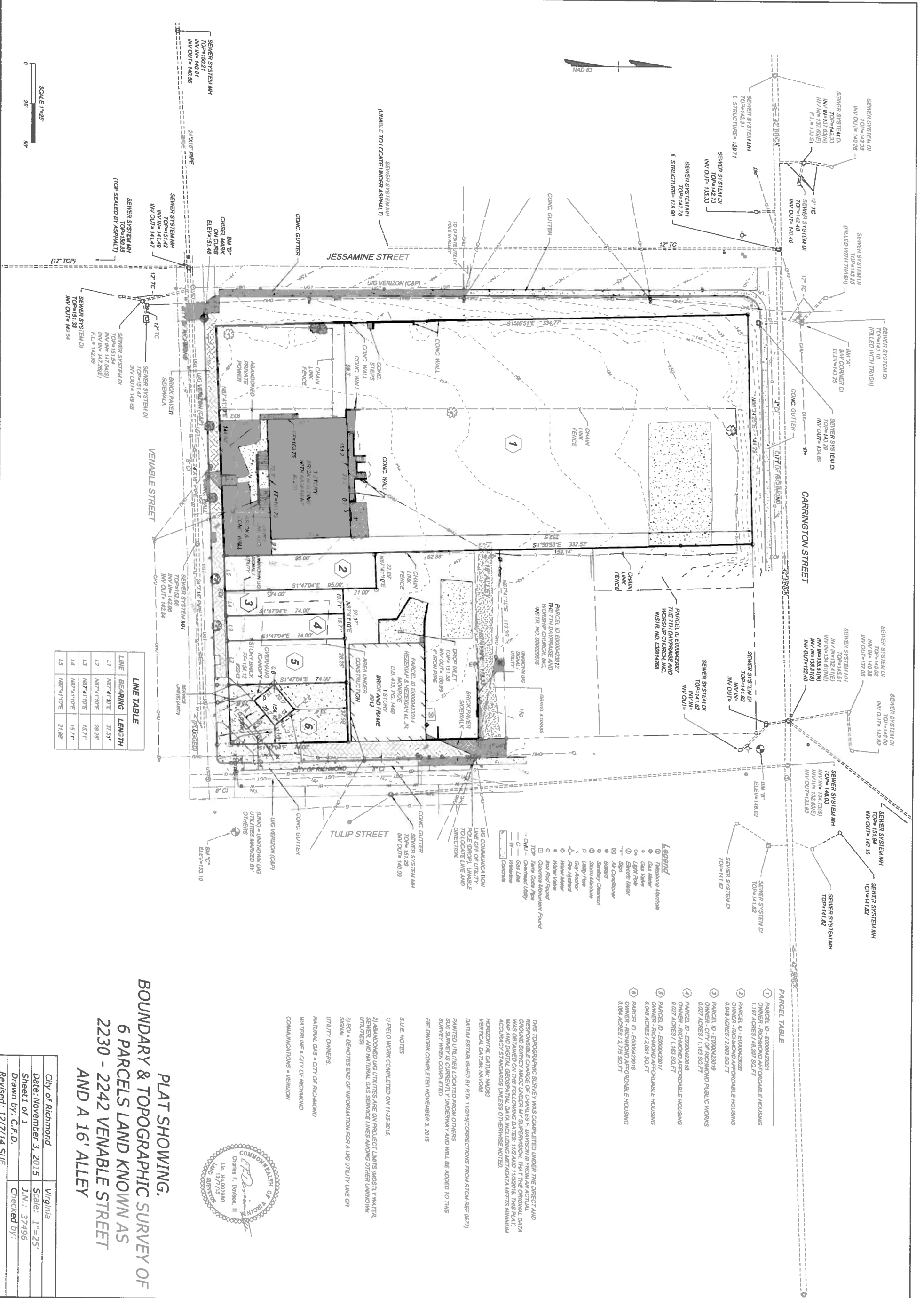
SCALE: 1"=20'

NO.	DATE	REVISION DESCRIPTION

JOB NO: 37496

SHEET NO: 11.0

PARCEL ID: E00004200
THE 7TH DISTRICT PHASE 1
WORKSHOP CHURCH I
INSTR NO: 0000206



**BOUNDARY & TOPOGRAPHIC SURVEY OF
6 PARCELS LAND KNOWN AS
2230 - 2242 VENABLE STREET
AND A 16' ALLEY**

PLAT SHOWING.



S.U.E. NOTES

- 1) FIELD WORK COMPLETED ON 11-26-2015
- 2) ABANDONED UG UTILITIES ARE ON PROJECT LIMITS (MOSTLY WATER, SEWER, AND NATURAL GAS SERVICE LINES AMONG OTHER UNKNOWN UTILITIES)
- 3) EOL - DENOTES END OF INFORMATION FOR A UG UTILITY LINE OR SIGNAL
- 4) UTILITY OWNERS
- 5) NATURAL GAS = CITY OF RICHMOND
- 6) WATERLINE = CITY OF RICHMOND
- 7) COMMUNICATIONS = VERIZON

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF CHARLES F. DAVISON III FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION. THAT THE ORIGINAL DATA WAS OBTAINED ON THE FOLLOWING DATES: 11/22 AND 11/23/2015. THIS PLAT ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD83

DATA ESTABLISHED BY RIK 11/23/15 CORRECTIONS FROM RICH REF 08/77 PAINTED UTILITIES LOCATED FROM OTHERS
SUE SURVEY IS CURRENTLY UNDERWAY AND WILL BE ADDED TO THIS SURVEY WHEN COMPLETED

FIELDWORK COMPLETED NOVEMBER 3, 2015

City of Richmond	Virginia
Date: November 3, 2015	Scale: 1"=25'
Sheet of 1	J.N.: 37496
Drawn by: C.F.D.	Checked by:
Revised: 12/7/14 SUE	