

INTRODUCED: February 14, 2022

AN ORDINANCE No. 2022-042

To authorize the special use of the property known as 615 North 30th Street for the purpose of a two-family detached dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: MAR 14 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 615 North 30th Street, which is situated in a R-63 Multifamily Urban Residential District, desires to use such property for the purpose of a two-family detached dwelling, which use, among other things, is not currently allowed by section 30-419.5, concerning lot area and width, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: MAR 14 2022 REJECTED: _____ STRICKEN: _____

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 615 North 30th Street and identified as Tax Parcel No. E000-0632/035 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Survey of 615 N 30th Street, City of Richmond, Virginia,” prepared by Long Surveying, LLC, and dated May 12, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a two-family detached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “New Two Family Residence, 615 North 30th Street, Richmond, Virginia,” prepared by David R. Winn, LLC, dated October 20, 2021, and “Site Plan, 615 N 30th Street, City of Richmond, Virginia,” prepared by Long Surveying, LLC, and dated October 21, 2021, and hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a two-family detached dwelling, substantially as shown on the Plans.

(b) No fewer than two off-street parking spaces located at the rear of the Property shall be required for the Special Use.

(c) All building materials, elevations, and site improvement shall be substantially as shown on the Plans. Vinyl siding shall not be permitted.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(e) The height of the Special Use shall not exceed two stories, substantially as shown on the Plans.

(f) Setbacks for the Special Use shall be as shown on the plans entitled “ Site Plan, 615 N 30th Street, City of Richmond, Virginia,” prepared by Long Surveying, LLC, and dated October 21, 2021.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as

amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

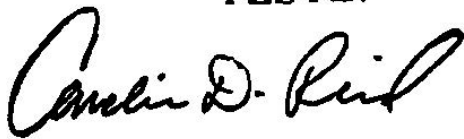
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, appearing to read "Carlin D. Reil". The signature is written in a cursive, flowing style.

City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2021.1006

O & R Request

DATE: January 14, 2022

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 615 North 30th Street for the purpose of the construction of a two-family detached dwelling, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 615 North 30th Street for the purpose of the construction of a two-family detached dwelling, upon certain terms and conditions.

REASON: The subject property is located in the R-63 Multifamily Urban Residential zoning district and two-family detached dwellings are permitted uses in this district. Sec. 30-419.5 of the zoning ordinance states that two-family detached dwellings shall be located on lots of not less than 3,200 square feet in area. Lot width shall be not less than 27 feet. The subject property has 3,118 square feet of area and is 24 feet wide. A special use permit is necessary for this request.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its March 7, 2022 meeting.

BACKGROUND: The subject property is located on the eastern side of North 30th Street near the midpoint between East Leigh Street and M Street. The property is 24 feet wide and 126 feet in depth for a total of

3,118 square feet of area. The lots on the street are generally 18 to 27 feet in width with a depth of 126 feet. The proposed use of the subject property would be consistent with the neighborhood. Off-street parking can be provided in the rear of the property and accessed via alley.

The Richmond 300 Master Plan recommends Neighborhood Mixed Uses for the Property. Primary uses include Single-family houses and duplexes.

Properties in the area generally contain single-family attached and detached homes.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: January 24, 2022

CITY COUNCIL PUBLIC HEARING DATE: March 14, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
March 7, 2022

AFFECTED AGENCIES: Office of Chief Administration Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application and Narrative, Plans, Survey, Map

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 615 N 30th Street Date: 7/2/2021
 Tax Map #: E0000477030 Fee: \$250
 Total area of affected site in acres: 2560 square feet

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-63 - Residential (Multi-family Urban)
 Existing Use: Vacant

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Construct a new two-family structure, to be owned and maintained by Urban Hope

Existing Use: Vacant

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Sarah Hale

Company: Urban Hope
 Mailing Address: PO Box 23171
 City: Richmond State: VA Zip Code: 23223
 Telephone: (804) 349-5915 Fax: ()
 Email: sarah@urbanhoperva.org

Property Owner: Urban Hope

If Business Entity, name and title of authorized signee: Sarah Hale, President

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: PO Box 23171
 City: Richmond State: VA Zip Code: 23223
 Telephone: () Fax: ()
 Email: sarah@urbanhoperva.org

Property Owner Signature: 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



Special Use Permit Applicant's Report: 615 N 30th Street

With this application, Urban Hope is requesting a Special Use Permit to build a detached two-family dwelling at 615 N 30th street as allowed in the R-63 zoning district. The proposed structure consists of two 1,280 square foot two-bedroom apartments. Our non-profit, Urban Hope, intends to build an affordable two-family building on the lot. Urban Hope is a Richmond-based non-profit, that helps clients gain financial management skills, provide safe, quality, affordable housing, and walk alongside clients looking to begin the pathway to homeownership

While the construction of a two-family dwelling is permitted in the R-63 district, the proposed dwelling does not meet the minimum lot requirements for a detached structure by 81.5 square feet. It is Urban Hope's desire to construct this building as a detached structure instead of an attached structure as allowed by the current zoning and lot size.

This property lies on a block greatly in need of the preservation of affordable housing. Urban Hope's building partner, project:HOMES, has a strong reputation of building aesthetically appropriate homes throughout the East End. All of their new homes are designed with the character of the neighborhood in mind. The aesthetic look of the home is designed to match its neighbors. All aspects from the columns, to trim, to the type of windows used are selected based on what will best suit the neighborhood. All of our homes built throughout North Church Hill have been submitted to, and approved by, the Section 106 historic review process. The home design we have chosen for this project (see attached elevations and floor plans) will feature neighborhood housing characteristics.

Furthermore, as this structure meets the existing zoning requirements of a two-family structure, there will be no adverse impact on traffic, congestion, or parking. The plans for the building reflect two parking spaces at the rear of the home for the tenants. The home will not have any negative environmental effects, create density problems, or create an additional hazard for fires and other dangers.

In summary, the proposed use of the property at 615 N 30th Street will be an affordable, two-family home that will be owned and maintained by Urban Hope. This house will match the historic character of the neighborhood, while providing opportunity for affordable housing, reduced vacancy, and neighborhood infill for North Church Hill. There will be no adverse impacts to community health, traffic congestion, or safety.

NEW TWO-FAMILY RESIDENCE 615 NORTH 30TH STREET RICHMOND, VIRGINIA

LIST OF DRAWINGS

NO.	TITLE
A-001	COVER SHEET / SITE / BUILDING DATA
A-101	FOUNDATION PLAN / FLOOR PLANS
A-102	FRAMING PLANS STRUCTURAL NOTES PIER DETAIL
A-103	BRACED WALL PANEL PLANS / DETAILS
A-201	BUILDING ELEVATIONS DOOR / WINDOW SCHEDULES
A-202	BUILDING ELEVATIONS / FRAMING DETAILS
A-301	WALL SECTIONS / U.L. DESIGNS
E-101	SCHEMATIC ELECTRICAL POWER AND LIGHTING

BUILDING DATA - 615 N. 30TH STREET

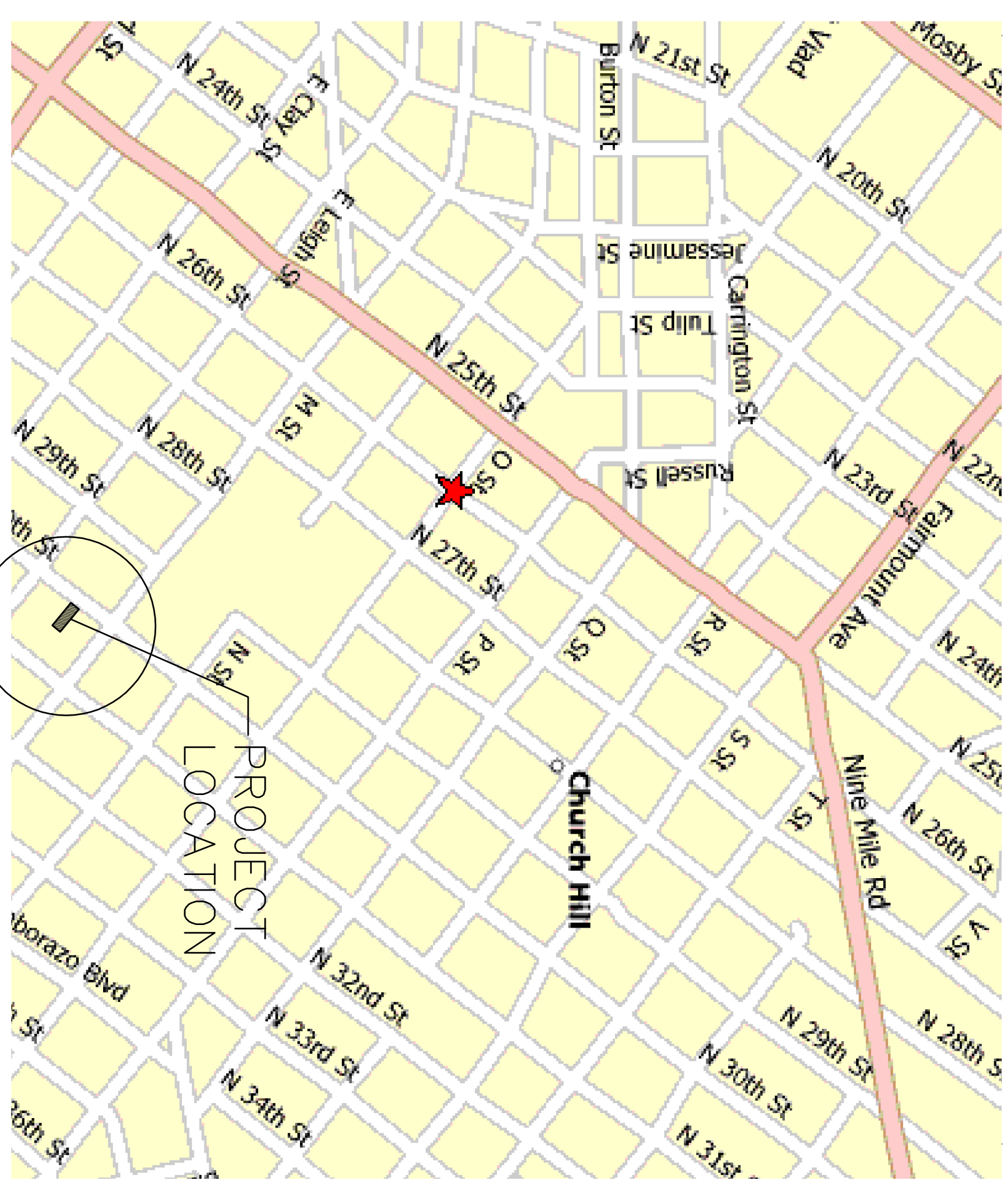
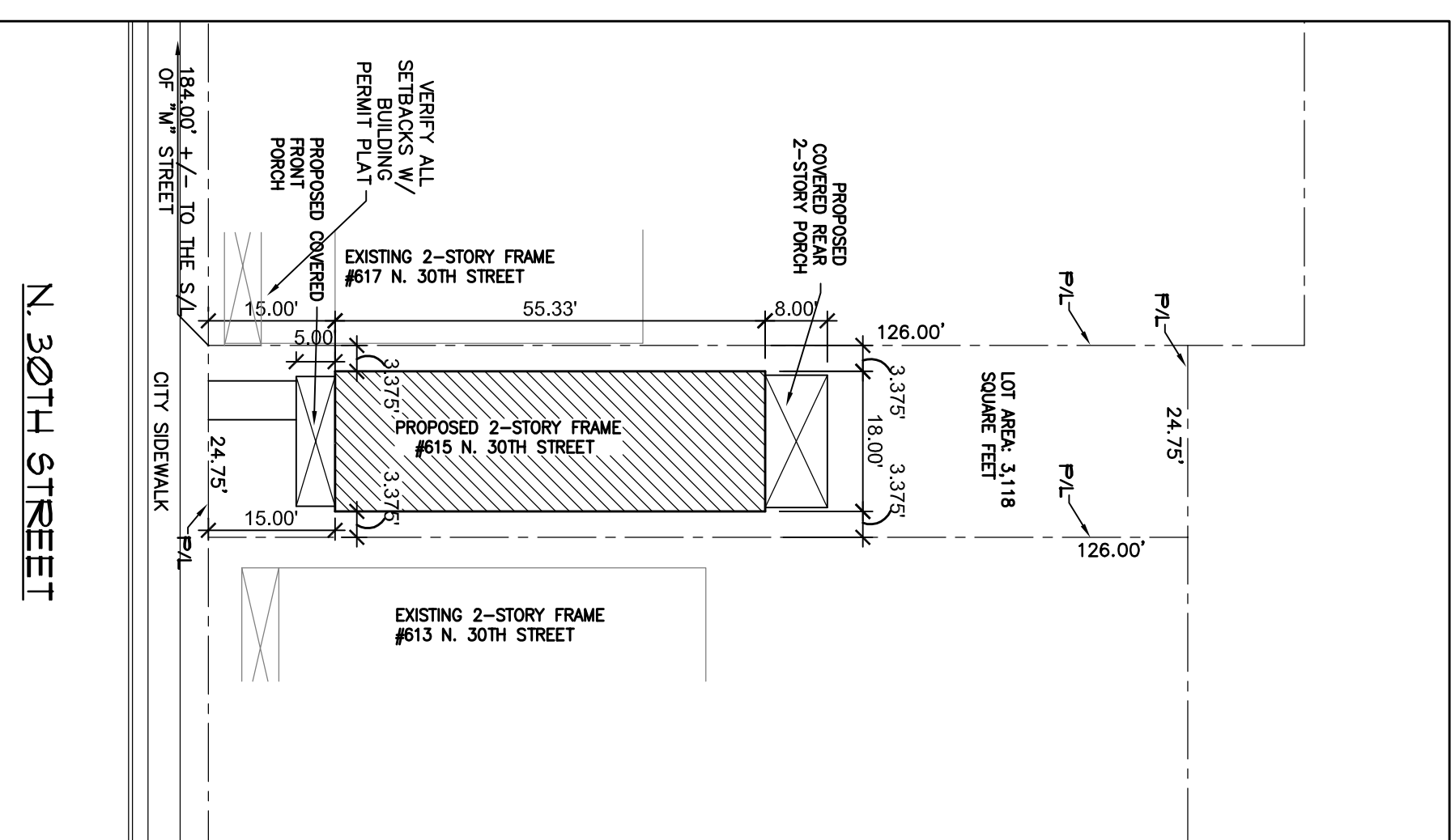
SCOPE OF WORK:	CONSTRUCTION OF A NEW TWO-FAMILY, ATTACHED, TWO-STORY RESIDENCE.
APPLICABLE CODES:	2015 VIRGINIA RESIDENTIAL CODE, PART 1 VA USBC
ZONING DISTRICT:	R-63
SETBACKS - FRONT:	15 FEET, MAXIMUM
SIDE:	3 FEET, MINIMUM
REAR:	3 FEET, MINIMUM
CONSTRUCTION TYPE:	V8 (WOOD FRAME, UNPROTECTED)
USE GROUP:	R-3, TWO FAMILY RESIDENCE
BUILDING AREAS: FIRST FLOOR	157 FLOOR: 996 SQ FT (31.94% OF LOT AREA)
SECOND FLOOR	2ND FLOOR: 996 SQ FT
TOTAL	TOTAL: 1,992 SQ FT
LOT AREA:	3,118 SQ FT
FIRE RATED ASSEMBLIES:	<ul style="list-style-type: none"> SIDE EXTERIOR WALLS CLOSER THAN 5'-0" TO ANY LOT LINE SHALL BE ONE HOUR FIRE RATED CONSTRUCTION FLOOR ASSEMBLY SEPARATING DWELLING UNITS SHALL BE ONE HOUR FIRE RATED CONSTRUCTION FIRST FLOOR ENTRY/STAIRWAY ENCLOSURE WALLS SHALL BE ONE HOUR FIRE RATED CONSTRUCTION

GENERAL NOTES

- CONTRACTOR SHALL CONFORM TO THE 2015 VIRGINIA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, PART 1 OF THE WAIVER AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- CONTRACTOR SHALL CAULK, FLASH OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS.
- ALL WOOD SILLS THAT ARE WITHIN 8" OF EXPOSED EARTH OR ON CONCRETE SLABS SHALL BE PRESURE TREATED.
- ALL HOSE BIBBS SHALL BE FREEZE PROOF AND HAVE A BACKFLOW PREVENTER.
- RUN ALL TOILET TRAPS AND EXHAUST VENTS TO AN APPROVED EXTERIOR DISCHARGE.
- 8" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SING.
- CONTRACTOR SHALL COORDINATE PLACEMENT OF ROOF TRUSSES AND INSTALLATION OF ATTIC ACCESS DOORS.
- ALL EXISTING GLAZING WITHIN 18" OF FLOOR OR 12" OF DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED.
- SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD ROOF TRUSSES, GIRDERS AND BEAMS.

GENERAL NOTES:

- THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL LOCATIONS OF CONCEALED UTILITIES WHICH MAY AFFECT THE NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS OF THE NEW WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE APPLICATION FOR AND OBTAINING OF ALL REQUIRED PERMITS FOR WORK REQUIRED BY THE PROJECT, INCLUDING PAYMENT OF ALL ASSOCIATED PERMIT FEES TO THE CITY OF RICHMOND.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING OF ALL WORK TO BE COMPLETED FOR THE OWNER AS POSSIBLE OR AS AGREED BETWEEN THE OWNER AND GENERAL CONTRACTOR. THE OWNER IS TO BE KEPT ADVISED OF ALL CHANGES TO THE PROPOSED CONTRACTED SCHEDULE.
- THE SITE IS TO BE KEPT CLEAN AT ALL TIMES, NO DEBRIS OR RUMOR IS TO BE ALLOWED IN NEIGHBORING YARDS, FRONT YARD OR STREETS.
- FIELD VERIFY LOCATION OF ALL EXISTING WATER AND SEWER DRAINAGE CONNECTION POINTS REQUIRED FOR THE PLUMBING DRAWINGS.
- FIELD VERIFY AND IDENTIFY LOCATION OF ALL ELECTRICAL POWER LINES, TELEPHONE LINES, CABLE LINES, WHETHER COVERED OR UNCOVERED. VERIFY CONNECTION POINTS REQUIRED AS INDICATED ON THE ELECTRICAL DRAWINGS.
- COORDINATE ALL WORK WITH OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FIXTURES, IF ANY.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE RESPONSIBLE FOR THE DESIGN AND PERMITTING OF THEIR RESPECTIVE PORTIONS OF THE WORK.
- ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE BEGINNING ANY WORK. THIS SHALL INCLUDE SANITARY LINES, DRAIN FIELD (IF ANY), POWER LINES, TELEPHONE AND CABLE LINES. GENERAL CONTRACTOR SHALL CONTACT "MISS UTILITY" BY DIALING 811 OR OTHER AGENCIES AS APPROPRIATE.



LOCATION MAP

NOT TO SCALE



LEGEND

(9)	DOOR NUMBER	[Symbol]	LUMBER (IN SECTION)
[Symbol]	WINDOW TYPE	[Symbol]	WOOD STUD WALL (PLAN)
[Symbol]	ELEVATION	[Symbol]	FINISH WOODWORK (IN SECTION)
[Symbol]	BATT INSULATION	[Symbol]	PLYWOOD
[Symbol]	BRICK (IN SECTION)	[Symbol]	CONCRETE (IN SECTION)
[Symbol]	C. M. U. (PLAN/SECTION)	[Symbol]	UNLESS NOTED OTHERWISE
[Symbol]	OUT TO OUT	[Symbol]	

SCHEMATIC SITE PLAN

1" = 20'

NOTE: DATA FOR THIS SCHEMATIC SITE PLAN WAS DERIVED FROM A DRAWING TITLED "SURVEY OF 615 N. 30TH STREET, CITY OF RICHMOND, VIRGINIA", DATED: MAY 12, 2021, BY LONG SURVEYING LLC, 4650 FACTORY MILL ROAD, WADENSVILLE, VA 23012

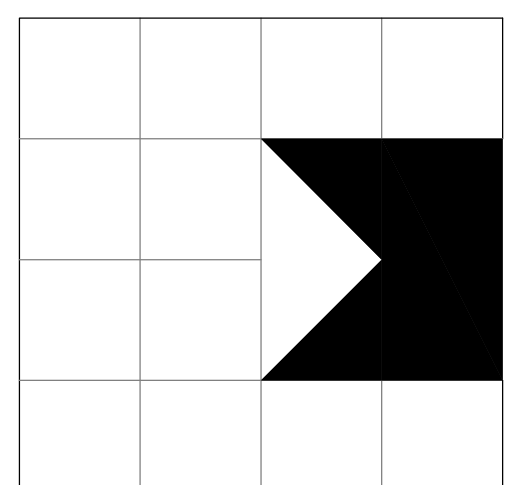
PERMIT SET

Sheet	1 of 7
A-001	
© COPYRIGHT 2021	

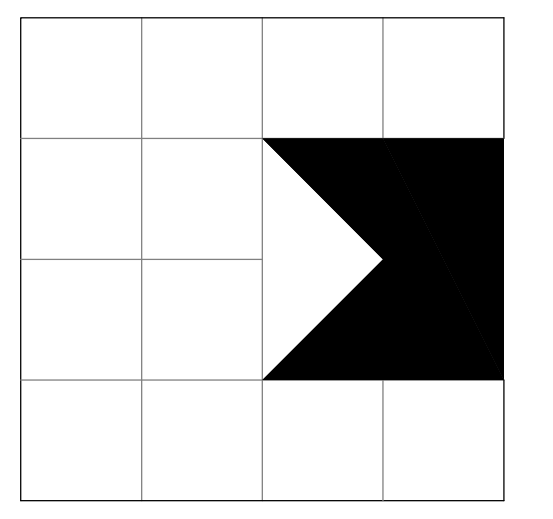
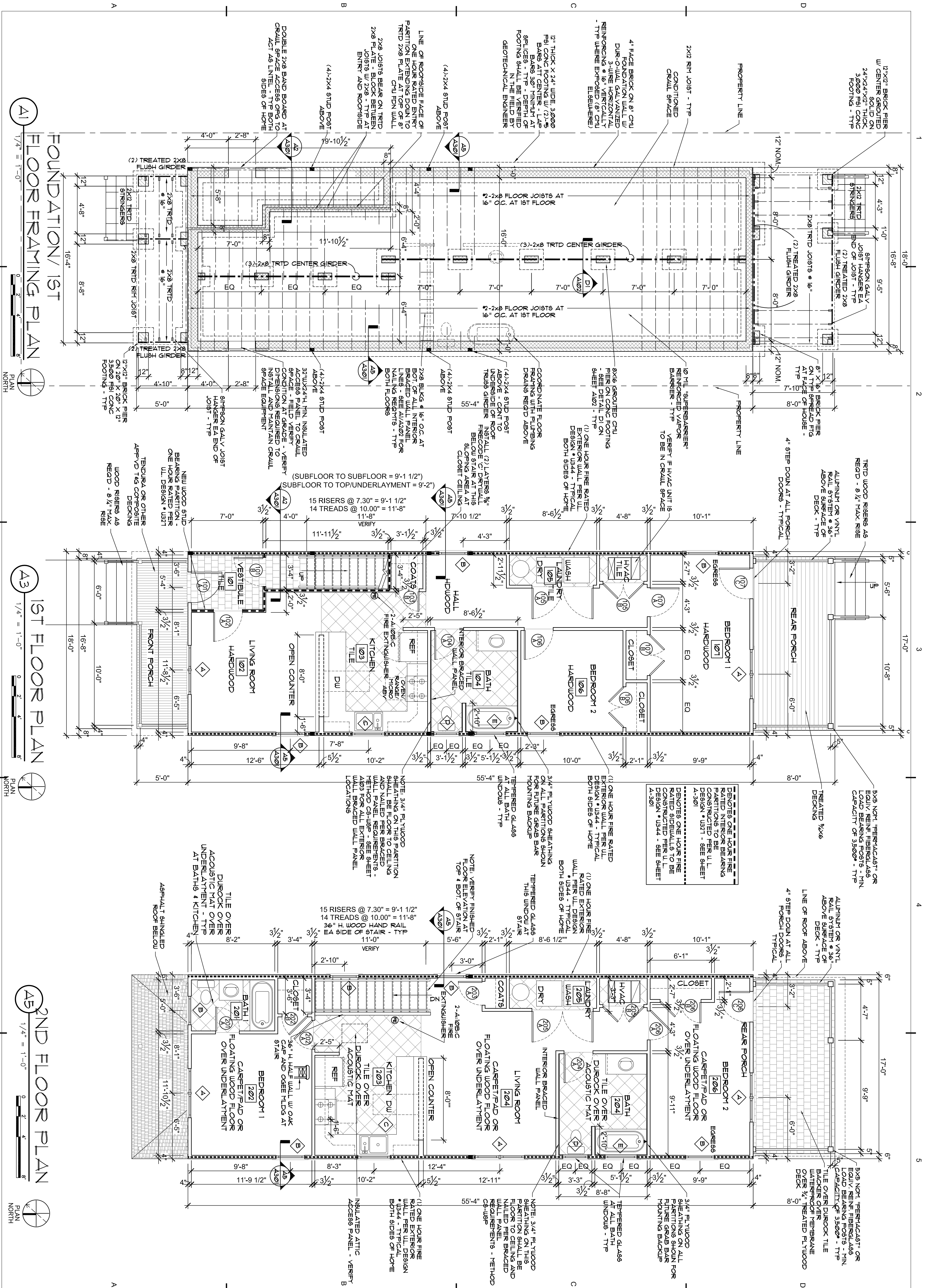
mark	date	description
	10/20/21	PERMIT SET
job #:	2021-0007	
chkd:	drw	
cd #:	4001.DWG	

Sheet title
COVER SHEET

DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060



**new two family residence
615 NORTH 30TH STREET**
RICHMOND, VIRGINIA
PREPARED FOR PROJECT:HOMES



DAVID R. WINN, LLC
 residential design
 10133 BERRYMEADE PLACE
 GLEN ALLEN, VIRGINIA 23060

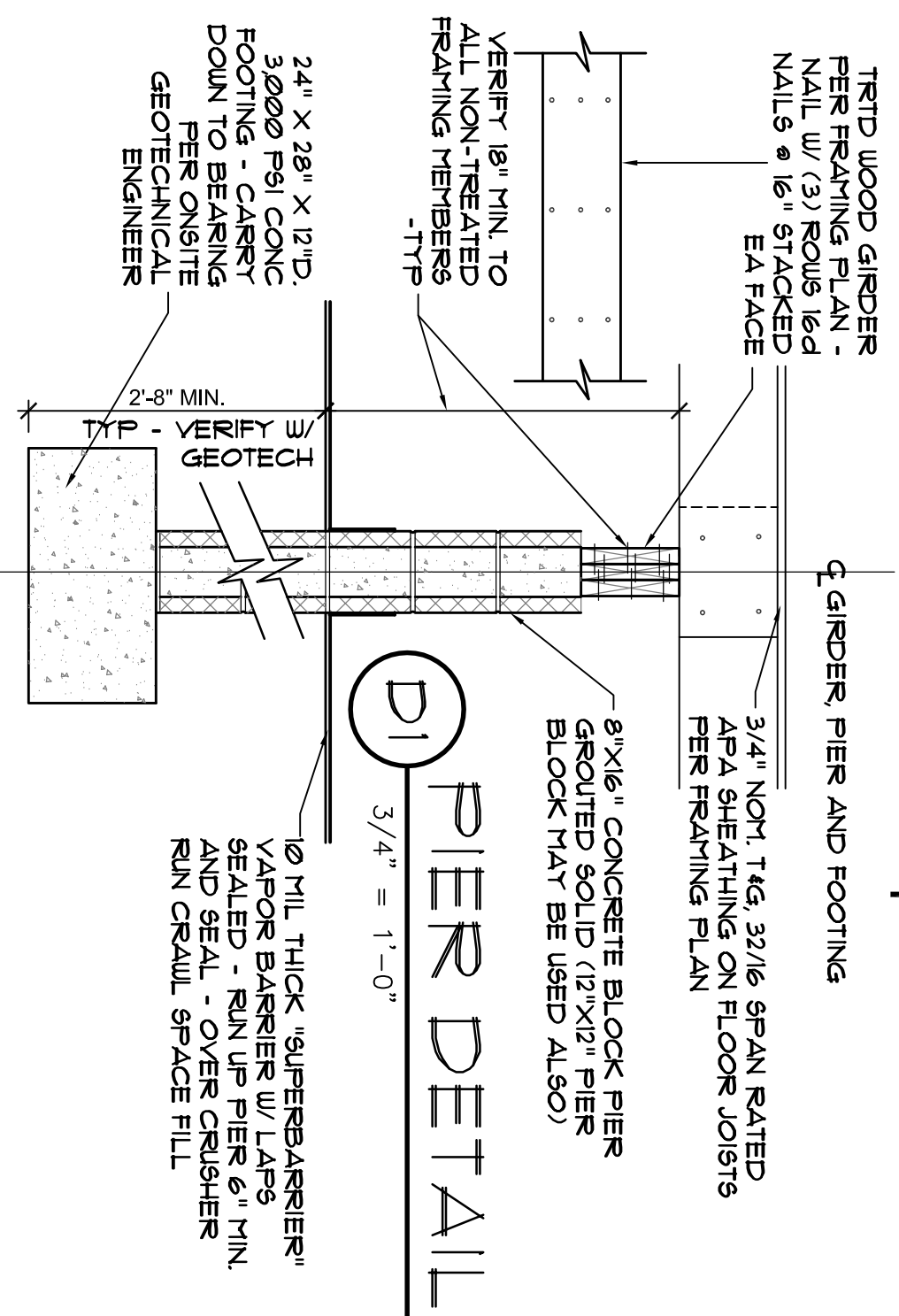
new two family residence
615 NORTH 30TH STREET
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT: HOMES

mark	date	description
10.20.21		PERMIT SET

job #:	2021-0007
drawn by:	drw
checked by:	ckd
date:	4/01/2021

Sheet title
 FOUNDATION PLAN/
 FRAMING PLAN/
 FLOOR PLANS

PERMIT SET

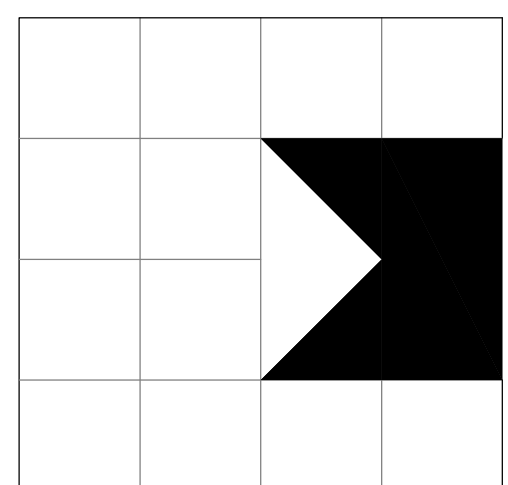
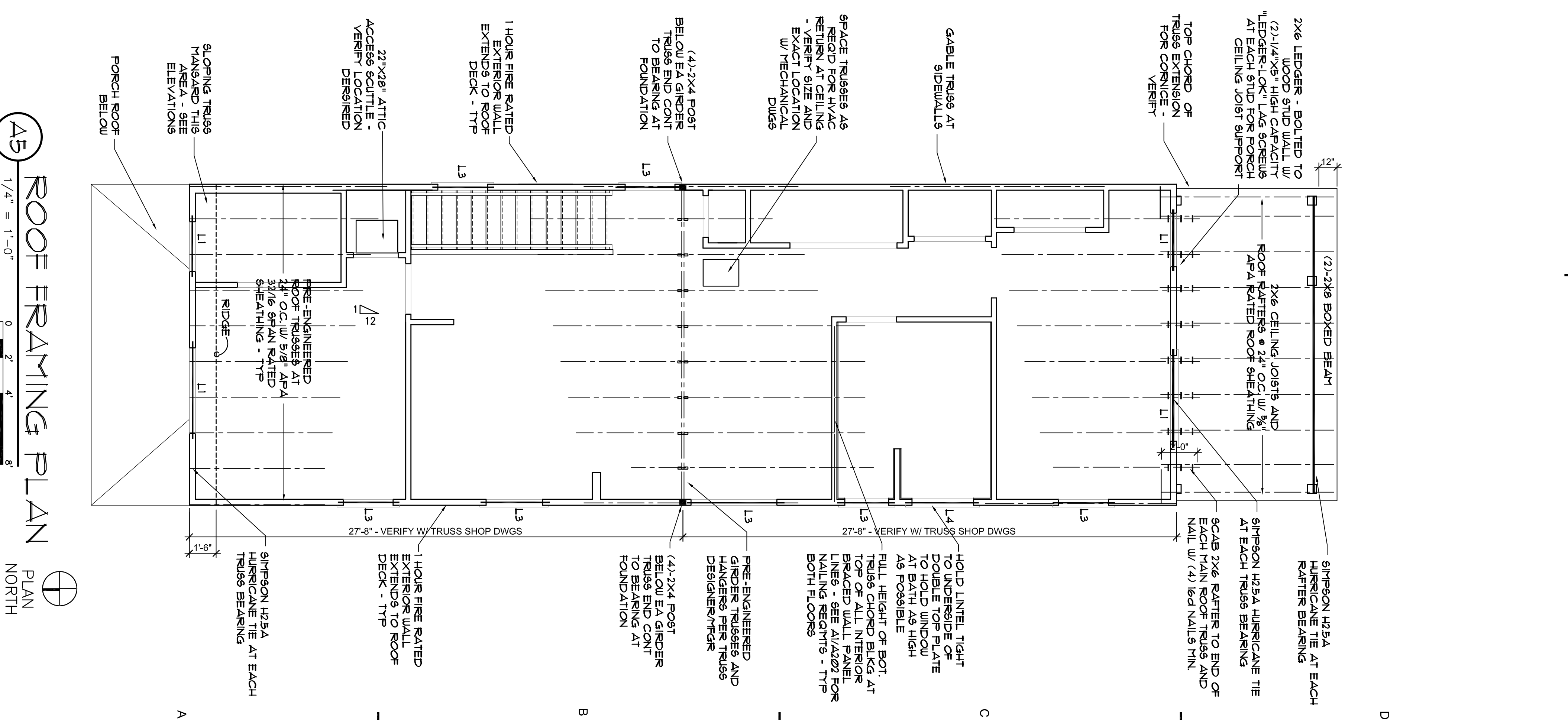
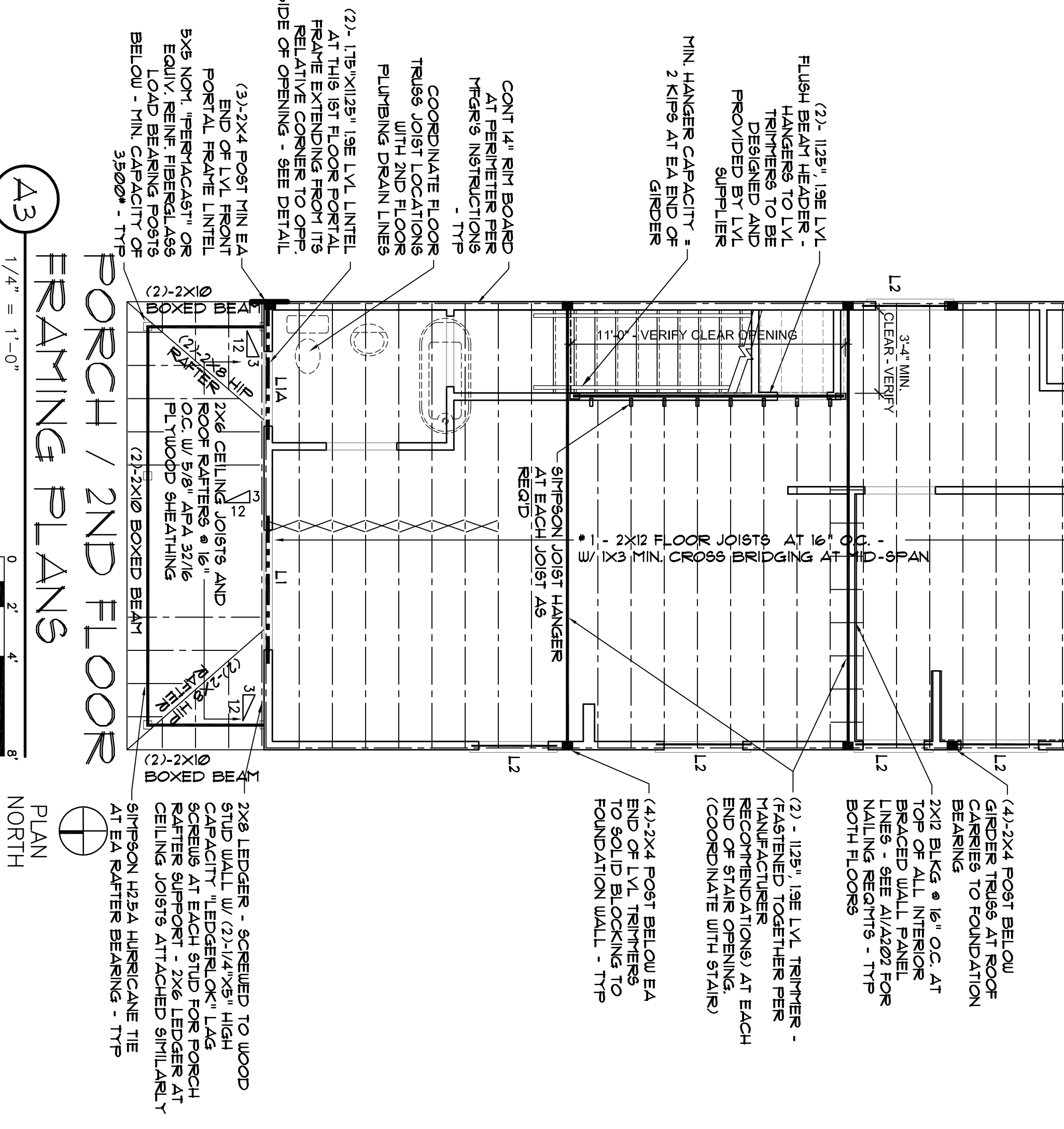


STRUCTURAL NOTES

- THE DESIGN INDICATED ON THESE DRAWINGS PRESUMES THAT THE STRUCTURE IS TO BE CONSTRUCTED ON UNDISTURBED AND UNCOMPACTED STRUCTURAL FILL HAVING A SAFE ALLOWABLE BEARING PRESSURE OF 2000 PSF. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THIS VALUE VERIFIED BY COMPETENT GEOTECHNICAL PERSONNEL. DESIGN CODES: 2015 VIRGINIA RESIDENTIAL CODE
- ALL FOUNDATION AND FOOTING WORK SHALL BE PERFORMED TO COMPLY WITH CHAPTER 4 OF 2015 VIRGINIA RESIDENTIAL CODE
- NEW FOUNDATION WALL SHALL BE 4" FACE BRICK ON 8" CMU BACKUP MASONRY WALL WITH FULLY MORTARED OR GROUTED COLLAR JOINT AS NOTED. INSTALL SOLID CMU BLOCK UNITS AT ALL BEARING POINTS WITH WALLS AND AT INSIDE CORNERS. BALANCED EARTH FILL EACH SIDE OF WALL. GROUT CORES OF ALL PIERS SOLID. ALLOW MASONRY TO SET 24 HRS. MIN. BEFORE PLACING GROUT/CORRELL.
- ANCHOR BOLTS SHALL BE PLACED WITHIN THE FULLY GROUTED CORE OF THE CMU. NOT THE COLLAR JOINT.
- TREAT FOUNDATION SOIL FOR INSECTS AS REQUIRED BY BUILDING CODE WITH A WARRANTED PROFESSIONAL PEST CONTROL COMPANY USING TREATMENT PRODUCTS WHICH ARE ENVIRONMENTALLY APPROVED AS SAFE.
- PRESERVATIVE TREAT ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR WOOD USED FOR EXTERIOR WEATHER EXPOSURE (ACO). TREATMENT SHALL BE ENVIRONMENTALLY APPROVED AS SAFE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY BRACE AND SHORE ALL NEW OR EXISTING CONSTRUCTION TO SAFELY RESIST ALL REASONABLE LOADS TO WHICH THE NEW CONSTRUCTION MAY BE SUBJECTED UNTIL PERMANENT BRACING AND SUPPORT IS IN PLACE.
- MATERIALS:
 - CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH = 3000 PSI
 - GROUT/CORRELL: ASTM C416, 9"-11" SLUMP, 3000 PSI MIN. COMPRESSIVE STRENGTH
 - REINFORCING STEEL: BARS - ASTM A615, GRADE 60 W/F - ASTM A955
 - CONCRETE MASONRY UNITS: ASTM C90, TYPE N, MIN. COMPRESSIVE STRENGTH OF 1800 PSI, f'm = 1500 PSI
 - FACE BRICK: AS SELECTED BY PROJECT/OWNER.
 - MASONRY MORTAR: ASTM C270, TYPE S.
 - ANCHOR BOLTS: ASTM A307 / A36 (MILD STEEL)
 - STRUCTURAL 6x4x10 LUMBER: 2x8 FIRST FLOOR JOISTS; * 2 SOUTHERN YELLOW PINE, MC 19 2x12 SECOND FLOOR JOISTS; * 1 SOUTHERN YELLOW PINE, MC 19 2x12; * 2 95F
 - PLYWOOD AND OSB: APA RATED SHEATHING, 3/4" EXPOSURE 1. ALL EXTERIOR PLYWOOD OR OSB WALL SHEATHING SHALL BE NAILLED PER THE REQUIREMENTS FOR BRICKED WALL PANELS - METHOD C-3 (U-SUB) (CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL) - 8d COMMON NAIL # 6 O.C. ALONG PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUD SUPPORTS. ALL EDGES BLOCKED.
 - PLATE CONNECTED WOOD TRUSSES: PER LATEST REQUIREMENTS OF THE TRUSS PLATE INSTITUTE (TPI)
 - LAMINATED VENEREER LUMBER (LVL): HAVING THE FOLLOWING MINIMUM PROPERTIES: E=1959 PSI; Fv=2600 PSI; Fm= 285 PSI; Fc=1750 PSI
 - FOR ALL CONCRETE WORK: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 318 AND ACI 302, CODE-CURRENT EDITIONS
 - FOR ALL STRUCTURAL MASONRY CONSTRUCTION: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 530J, CODE-CURRENT EDITION.
 - DESIGN LOADS
 - GROUND SNOW LOAD, 20 PSF
 - MIN. ROOF LIVE LOAD, 20 PSF
 - MIN. ROOF DEAD LOAD, 10 PSF
 - WIND SPEED / EXPOSURE: Vult = 15 MPH, Vmax = 89 MPH / EXPOSURE B
 - FLOOR STRENGTH DESIGN IS BASED ON RESIDENTIAL LIVING AREA LIVE LOAD = 40 PSF
 - LOADING CONDITION MINIMUM WITH L/D DEFLECTION = L/360 MAXIMUM
 - PROVIDE FULL STUD SUPPORT UNDER BEARING SURFACES OF ROOF RAFTERS.
 - VERIFY STUDS AT ALL WINDOW AND DOOR LINTELS.
 - VERIFY ALL FLOOR JOIST AND RAFTER BEARING ELEVATIONS W/ OWNER IN THE FIELD.
 - PROVIDE AND INSTALL HURRICANE TIES AS MANUFACTURED BY SIMPSON STRONG TIE" AT ROOF RAFTER BEARINGS.
 - PROVIDE WOOD LINTELS AT ALL WOOD FRAMED WINDOW AND DOOR OPENINGS AS SHOWN ON THE DRAWINGS.

LINTEL SCHEDULE

L1A = (2) 1 1/2" x 1 1/2" 19E LVL LINTEL W/ 3-2x4 JACK STUDS EA END - MIN.
L1B = (2) 1 1/2" x 3/4" 19E LVL LINTEL W/ 2-2x4 JACK STUDS EA END - MIN.
L2 = (2) 2x8 LINTEL MIN.
L3 = (2) 2x6 LINTEL MIN.
L4 = (2) 1 1/2" x 3/4" 19E LVL LINTEL W/ 2-2x4 JACK STUDS EA END - MIN.
L5 = (2) 1 1/2" x 3/4" 19E LVL LINTEL W/ 2-2x4 JACK STUDS EA END - MIN.



DAVID R. WINN, LLC
residential design
10133 BERRYMEADE PLACE
GLENN ALLEN, VIRGINIA 23060

new two family residence
615 NORTH 30TH STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT: HOMES

mark	date	description
10.20.21	PERMIT SET	

Sheet title
2ND FLR AND ROOF FRAMING PLANS
STRUCTURAL NOTES

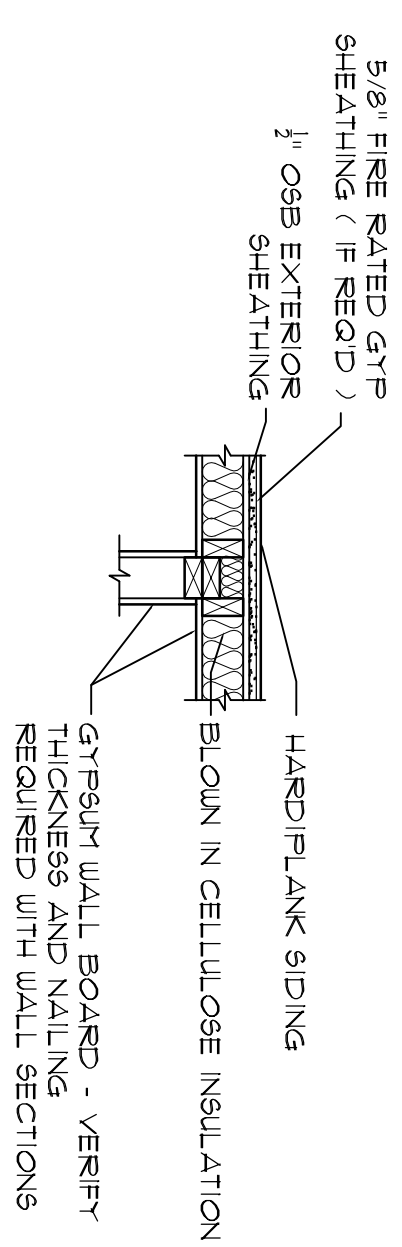
Job #:
2021-0007
dwg #:
A102.DWG
Sheet #:
3 of 7
A-102
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BRACED WALL PANEL CALCULATIONS - 615 N. 30TH STREET

SEE CALCULATIONS ATTACHED WITH PERMIT APPLICATION

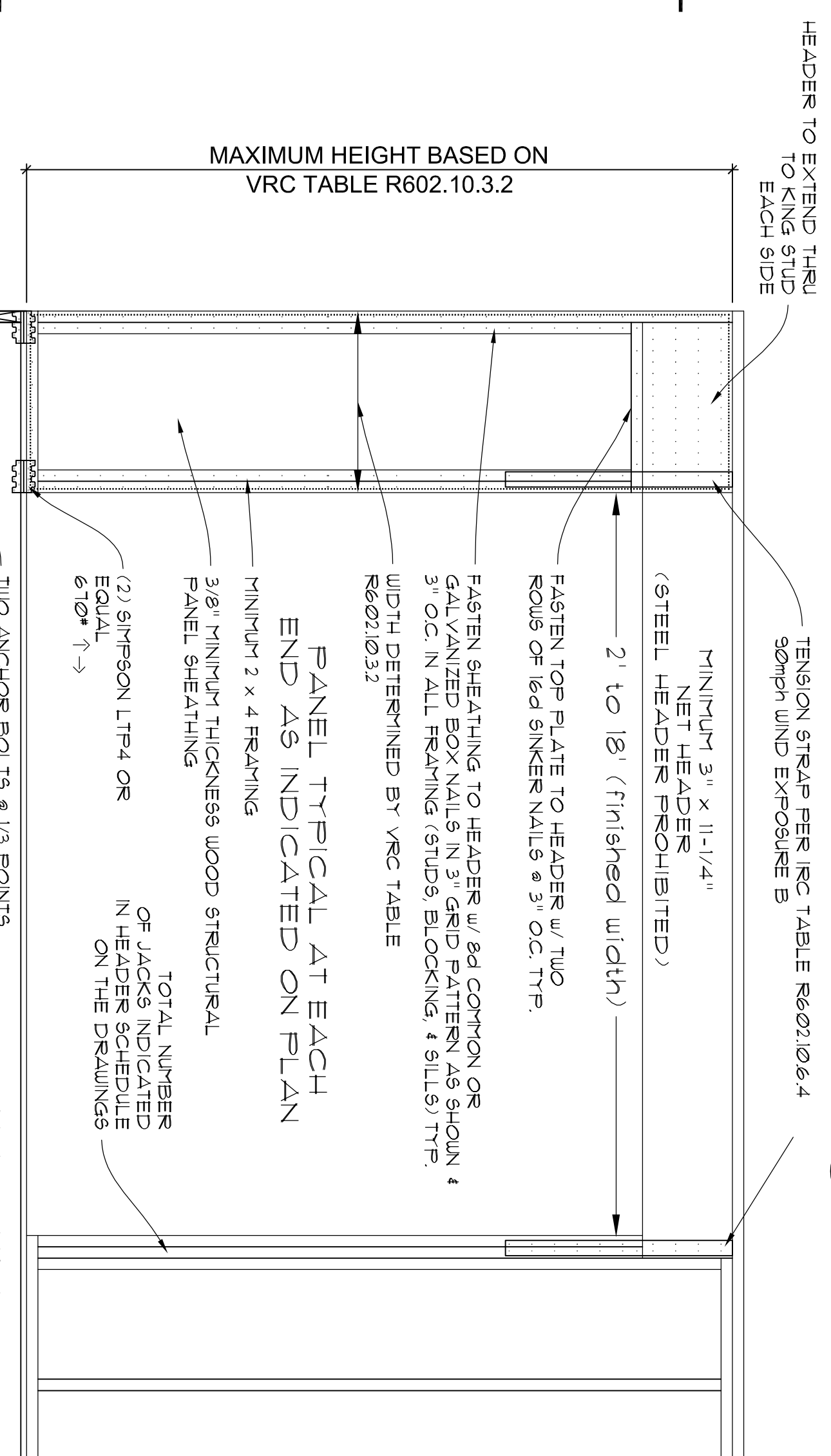
BRACED WALL PANELS

VRC SR602.10.4 METHODS CS-WSP AND CS-PF
(7/16" OSB or 15/32" PLYWOOD)
CORNERS PER SR602.10.7 AND
CONNECTIONS PER SR602.10.8.
ROOF DIAPHRAGM CONNECTION
PER SR602.10.8.2
FASTEN PER VRC SR602.3(1)



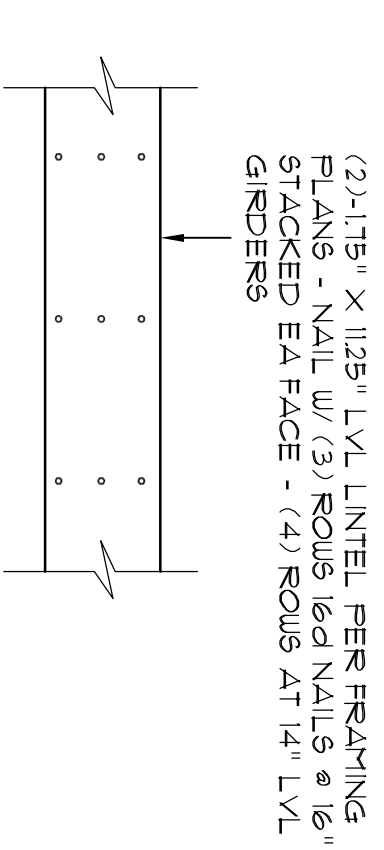
INSULATED WALL DETAIL

D2 Scale: 3/4" = 1'-0"



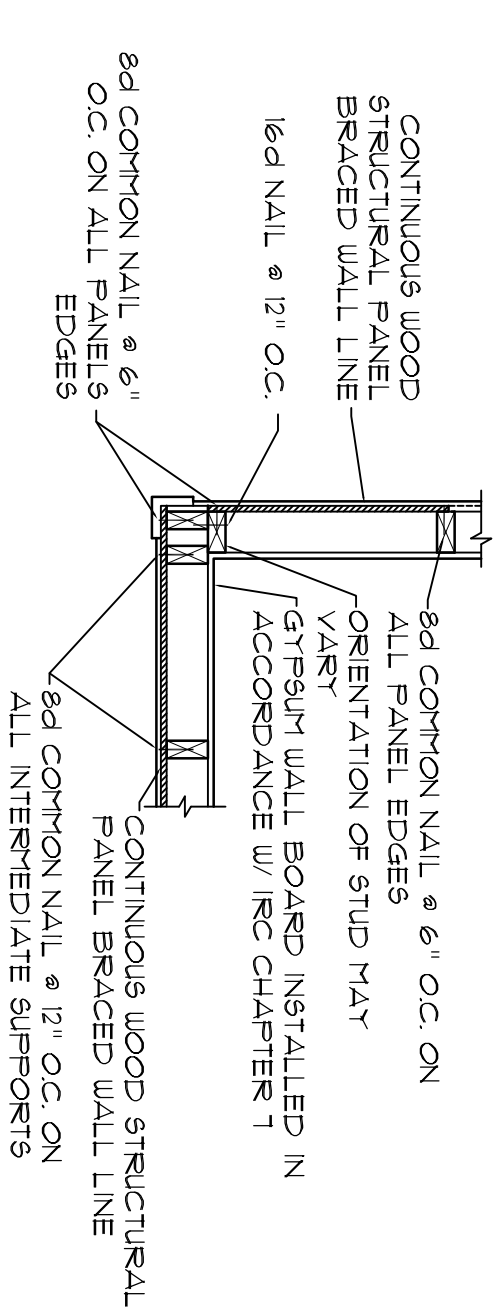
CONTINUOUSLY SHEATHED PORTAL FRAME OVER RAISED WOOD FLOOR SECTION: VRC FIG. R602.10.6.4

B1 Scale: 1/2" = 1'-0"
SEE VRC TEXT FOR ADDITIONAL NOTES AND LIMITATIONS



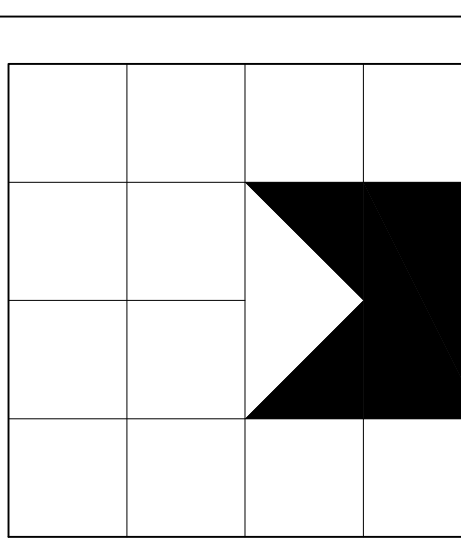
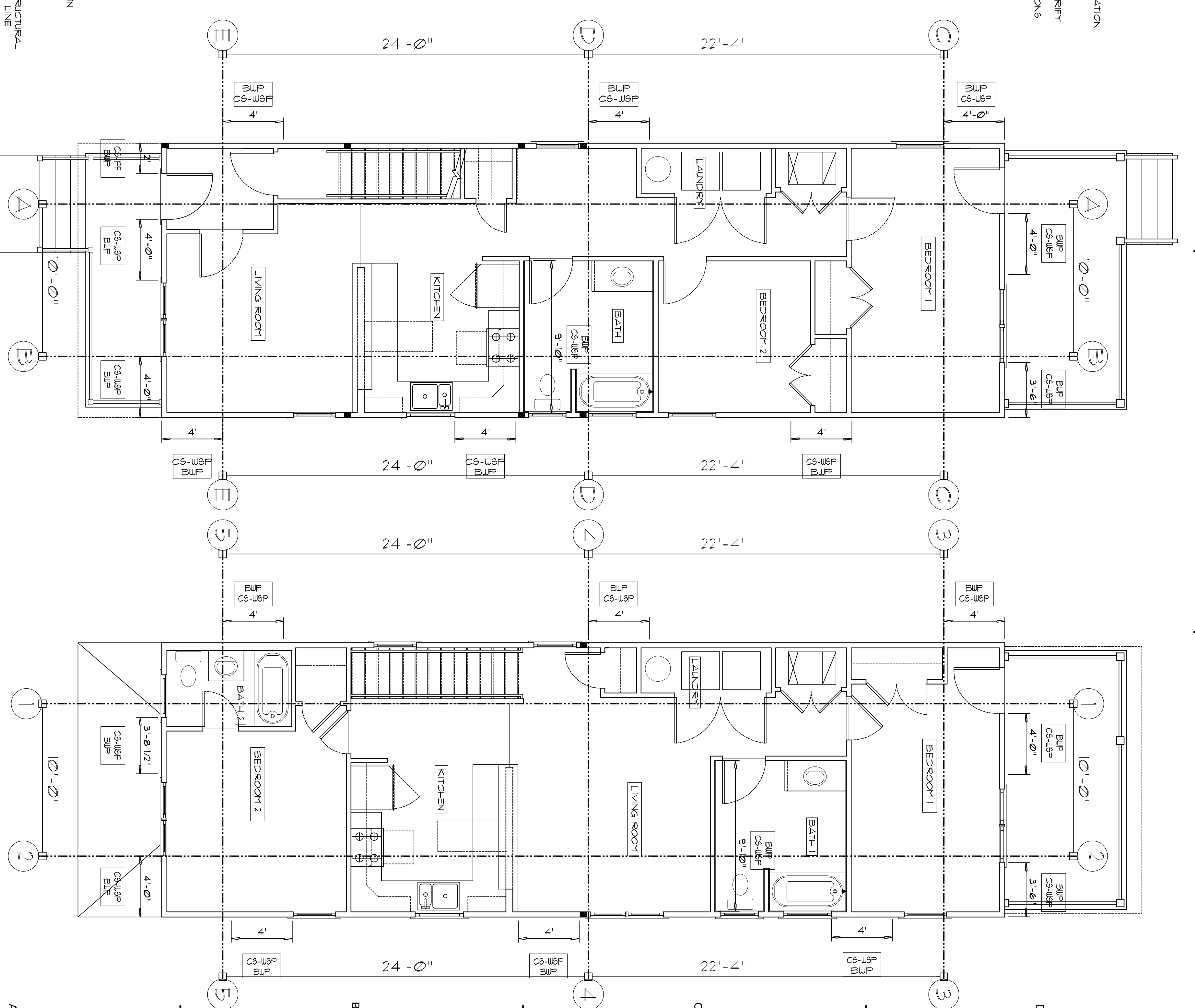
PORTAL FRAME LINTEL AND LVL GIRDER NAILING

A1 NOT TO SCALE



CONTINUOUS SHEATHING OUTSIDE CORNER DETAIL

A2 3/4" = 1'-0"



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residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060

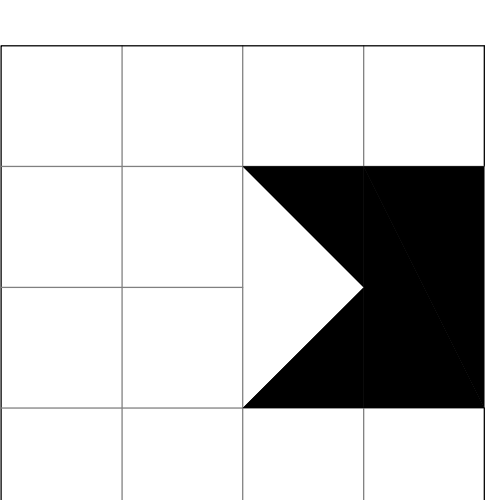
**new two family residence
615 NORTH 30TH STREET**
RICHMOND, VIRGINIA
PREPARED FOR PROJECT: HOMES

mark	date	description
10.20.21		PERMIT SET
job #:	2021-0007	
drawn by:	AW	
checked by:	AW	
cod #:	4103DWG	

sheet title
BRACED WALL PANEL DIAGRAMS

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of	7
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DAVID R. WINN, LLC
residential design
10133 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060

new two family residence 615 NORTH 30TH STREET

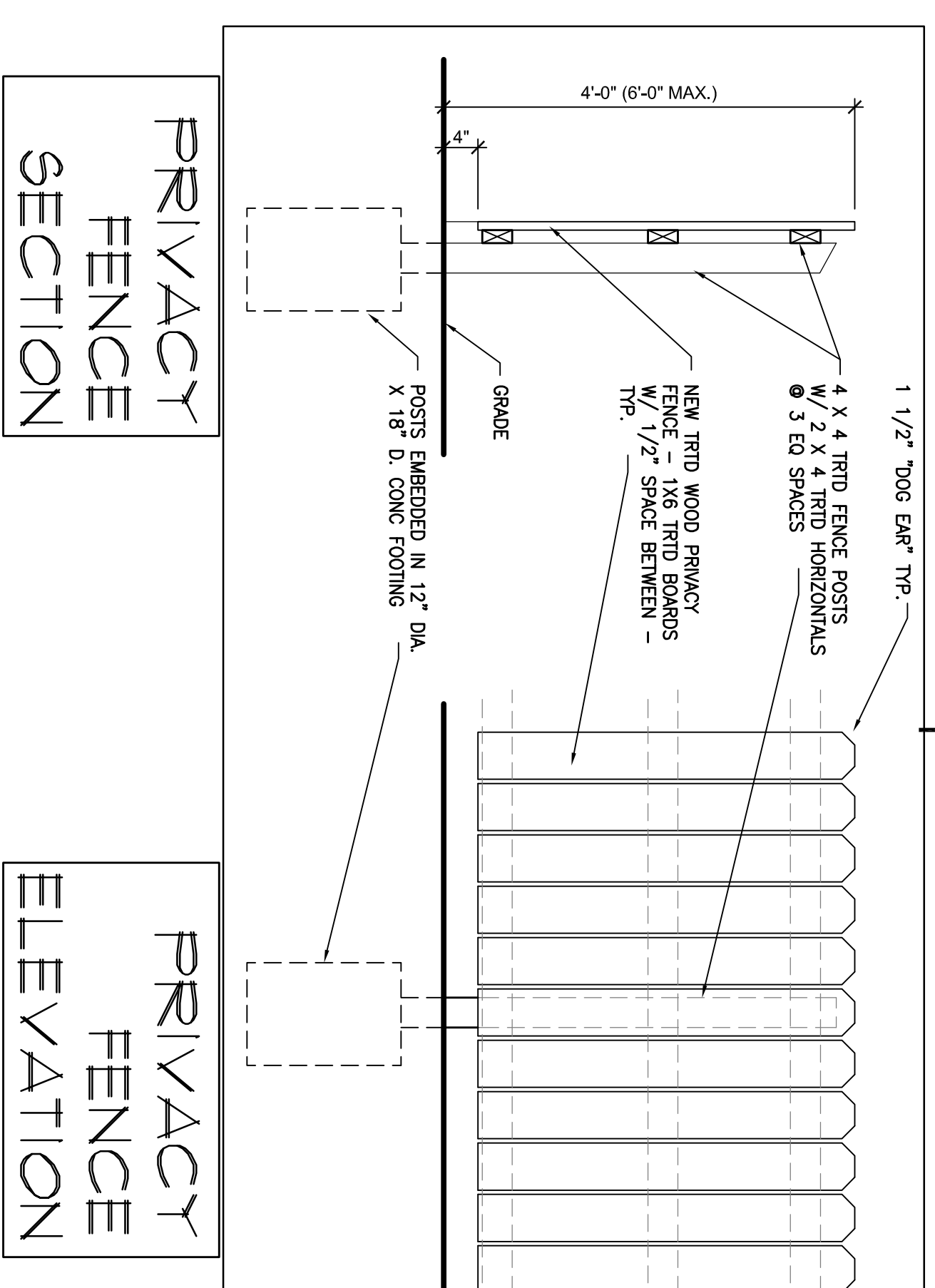
**RICHMOND, VIRGINIA
PREPARED FOR PROJECT: HOMES**

mark	date	description
10/20/21		PERMIT SET

job #: 2021-0007
dwg #: 2021-0007
ch:kcc
cd #: A201.DWG

sheet title
**ELEVATIONS /
DOOR &
WINDOW SCHIED.**

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	5 of 7
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WINDOW SCHEDULE - 615 N 30TH STREET		WINDOW SCHEDULE - 615 N 30TH STREET	
MARK	NO.	UNIT W X H	CONTRACTOR TO VERIFY
A	3	PR-2'-4" X 6'-2"	58.625" x 49.25"
B	8	2'-8" X 8'-2"	34" x 85.25"
C	2	3'-0" X 5'-2"	36" x 41.25"
D	2	2'-4" X 3'-10"	30" x 49.25"
E	2	3'-0" X 1'-5"	38" +/- x 16.25"

MARK	NO.	UNIT W X H	CONTRACTOR TO VERIFY	MATL	TYPE	DEPTH	HEAD	JAMB	SILL	NOTES
A	3	PR-2'-4" X 6'-2"	58.625" x 49.25"	4 1/2" PVC	CELLULAR	PAIR	TEMPERED GLASS AT STAIR			INSULATED - LOW E ARGON FILLED
B	8	2'-8" X 8'-2"	34" x 85.25"	4 1/2" PVC	CELLULAR	DBL HUNG				INSULATED - LOW E ARGON FILLED MUST MEET EGRESS REQUIREMENT
C	2	3'-0" X 5'-2"	36" x 41.25"	4 1/2" PVC	CELLULAR	DBL HUNG				INSULATED - LOW E ARGON FILLED HOLD SILL ABV COUNTER BACKSPASH
D	2	2'-4" X 3'-10"	30" x 49.25"	4 1/2" PVC	CELLULAR	DBL HUNG				INSULATED - LOW E ARGON FILLED
E	2	3'-0" X 1'-5"	38" +/- x 16.25"	4 1/2" PVC	CELLULAR	SLIDER				INSULATED - LOW E ARGON FILLED TEMPERED GLASS AT BATHS

WINDOW NOTES:

1. ALL WINDOW UNITS SHALL BE PROVIDED WITH INSECT SCREENS
2. ALL WINDOWS WILL BE PROVIDED WITH AND HAVE INSTALLED 5/8" X 4 "HARDTRIM" OR "ZEK" CELLULAR PVC TRIM AT EXTERIOR JAMBS, HEAD AND SILL.
3. PROVIDE TEMPERED SAFETY GLAZING IN ALL WINDOWS LOCATED IN HAZARDOUS LOCATIONS PER IRC 2015, SECTION R308.4; PROVIDE TEMPERED GLAZING IN ALL BATHROOM WINDOWS. SEE PLANS.
4. THE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON LEGACY, CELLULAR PVC SASH & FRAME. "DOUBLE HUNG SERIES 180" SIMULATED 200 DOUBLE HUNG WINDOW PRODUCT". TILT SASH UNITS SPACER BAR BETWEEN THE GLASS AND MOUNTS. MOUNTED INBOARD AND OUTBOARD OF THE INSULATED GLASS UNIT.

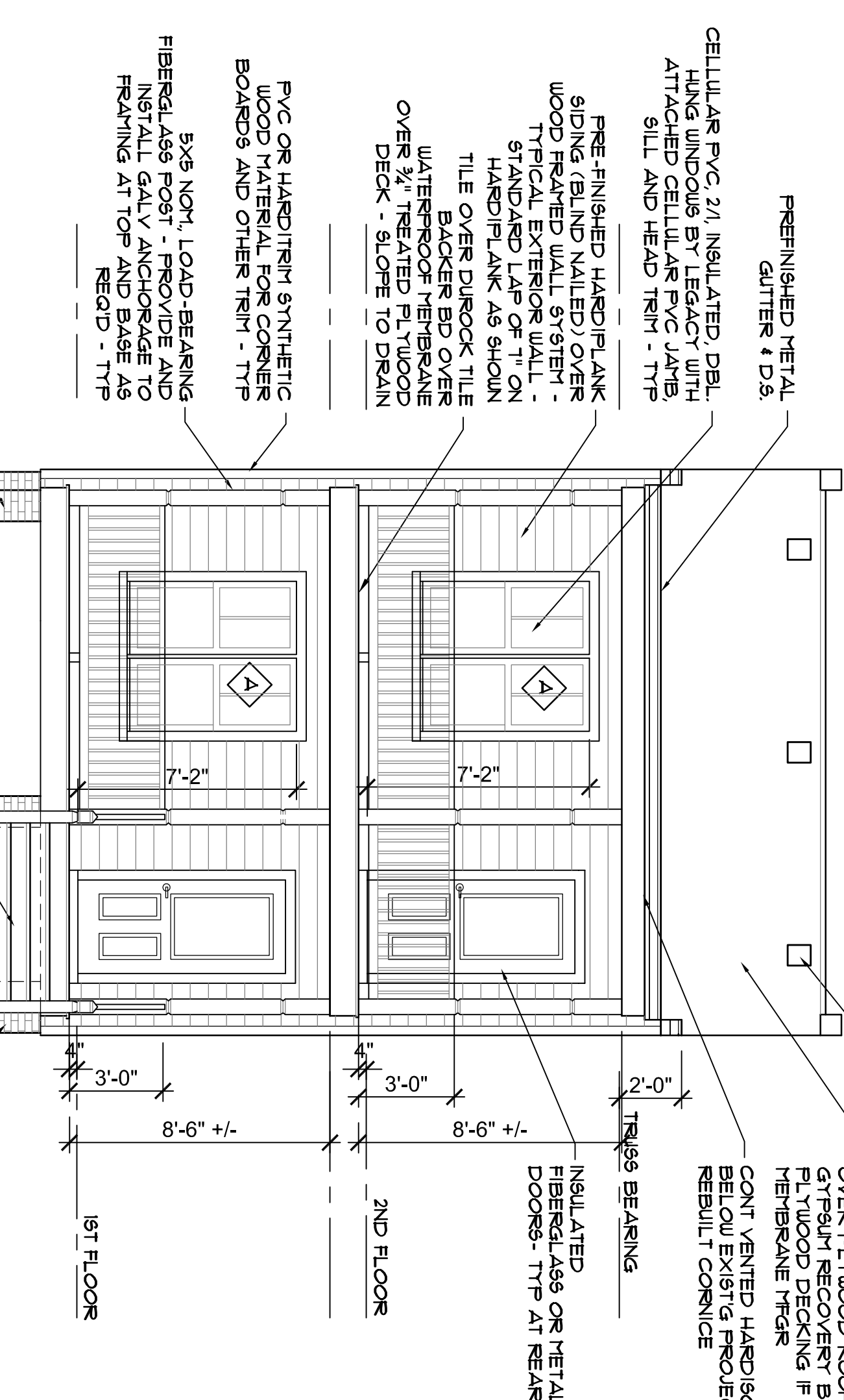
DOOR SCHEDULE - 615 N 30TH STREET

MARK	NO.	UNIT W X H	CONTRACTOR TO VERIFY	MATL	TYPE	DEPTH	HEAD	JAMB	THRESH	FIRE RATING LABEL	NOTES
101A	3'-0"	6'-8"	1-3/4" GL 25/32	WOOD	VPANT	WD	VERIFY	ALUM	ALUM	-	MAIN ENTRY (1ST FLOOR) - INSULATED HALF GLASS LITE / 1/2 RAISED PANELS
101B	3'-0"	6'-8"	1-3/4" HM	WOOD	VPANT	WD	VERIFY	ALUM	ALUM	MIN	MAIN ENTRY (2ND FLOOR APT)
102A	3'-0"	6'-8"	1-3/4" HM	WOOD	VPANT	WD	VERIFY	ALUM	ALUM	MIN	MAIN ENTRY (1ST FLOOR APT)
103B	2'-0"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	COAT CLOSET
104A	2'-10"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BATHROOM
105A	PR-3'-0"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	LAUNDRY
105B	PR-2'-0"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	HVAC CLOSET
106A	2'-10"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BEDROOM
106B	PR-2'-0"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BEDROOM CLOSET
107A	2'-10"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BEDROOM
107B	PR-2'-0"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BEDROOM CLOSET
107C	3'-0"	6'-8"	1-3/4" FIBERGLASS	WOOD	VPANT	WD	VERIFY	ALUM	-	-	INSULATED EXTERIOR DOOR

MARK	NO.	UNIT W X H	CONTRACTOR TO VERIFY	MATL	TYPE	DEPTH	HEAD	JAMB	THRESH	FIRE RATING LABEL	NOTES
201A	2'-10"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BEDROOM
202A	2'-6"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BED CLOSET
202B	2'-4"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BATHROOM
203A	2'-4"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	COAT CLOSET
203A	2'-10"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BATHROOM
205A	PR-3'-0"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	LAUNDRY
205B	PR-2'-0"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	HVAC CLOSET
206A	2'-10"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BEDROOM
206B	PR-2'-0"	6'-8"	1-3/8" WOOD	WOOD	VPANT	WD	4 1/2"	-	-	-	BED CLOSET
206C	3'-0"	6'-8"	1-3/4" FIBERGLASS	WOOD	VPANT	WD	VERIFY	ALUM	-	-	INSULATED EXTERIOR DOOR

DOOR NOTES:

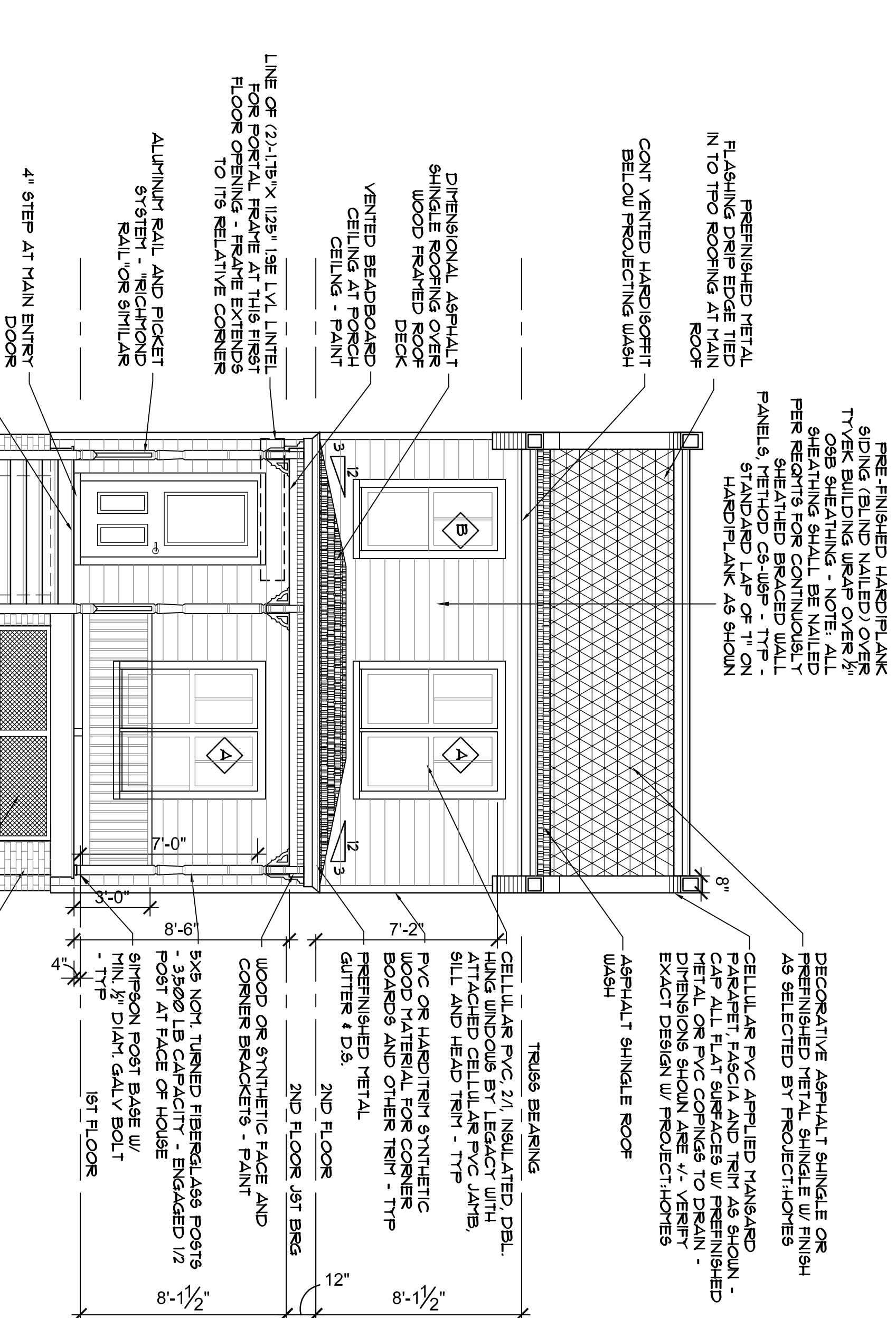
1. ALL DOOR HARDWARE TO HAVE LEVER OPERATORS, OR ADA COMPLIANT
- FG = INSULATED FIBERGLASS FACED DOOR
- HM = INSULATED HOLLOW METAL DOOR & FRAME, ONE HOUR FIRE RATED



SOUTH ELEVATION

1/4" = 1'-0"

0 2' 4'

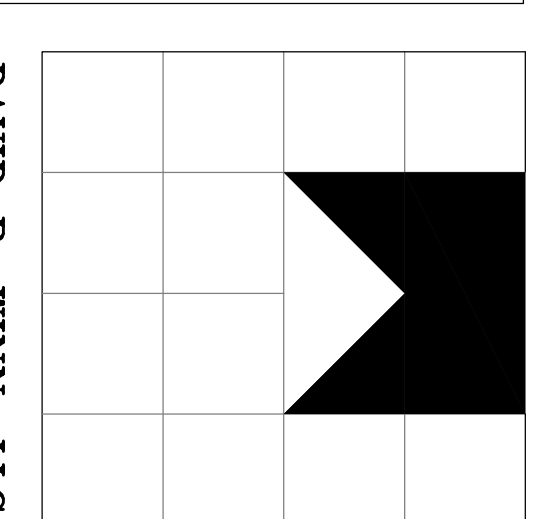


NORTH ELEVATION

1/4" = 1'-0"

0 2' 4'

PERMIT SET



DAVID R. WINN, LLC
 residential design
 10133 BERRYMEADE PLACE
 GLEN ALLEN, VIRGINIA 23060

**new two family residence
 615 NORTH 30TH STREET**

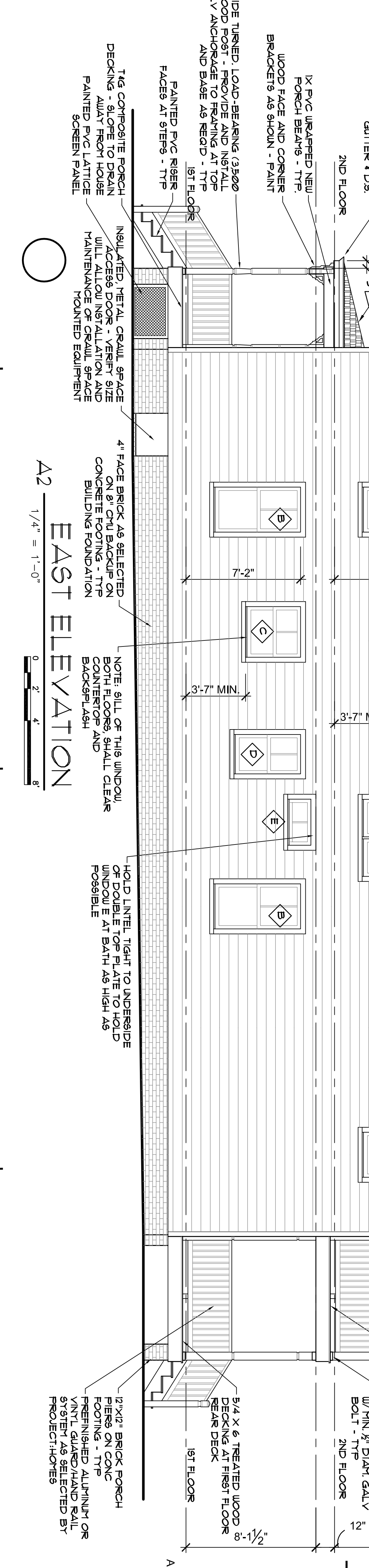
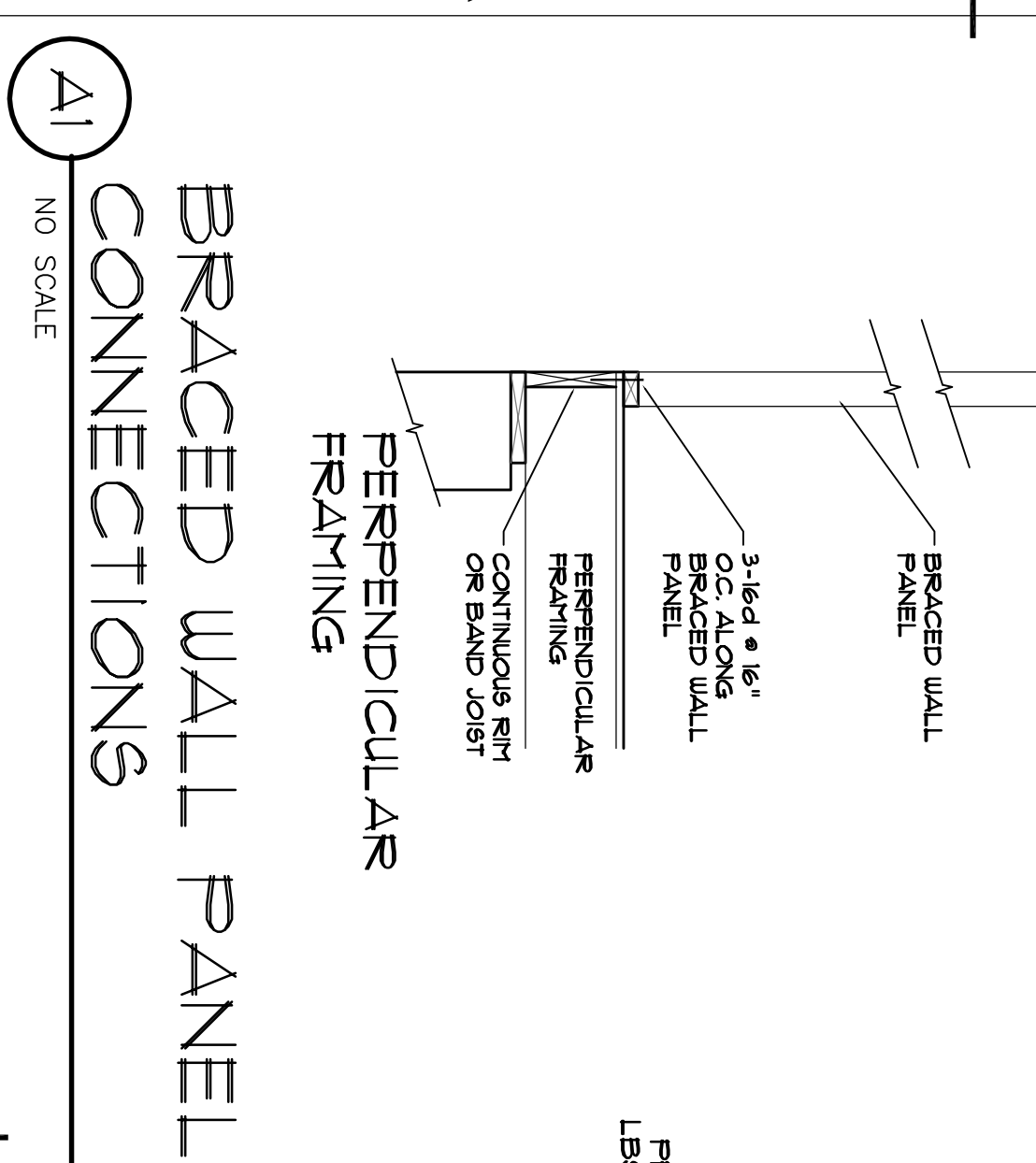
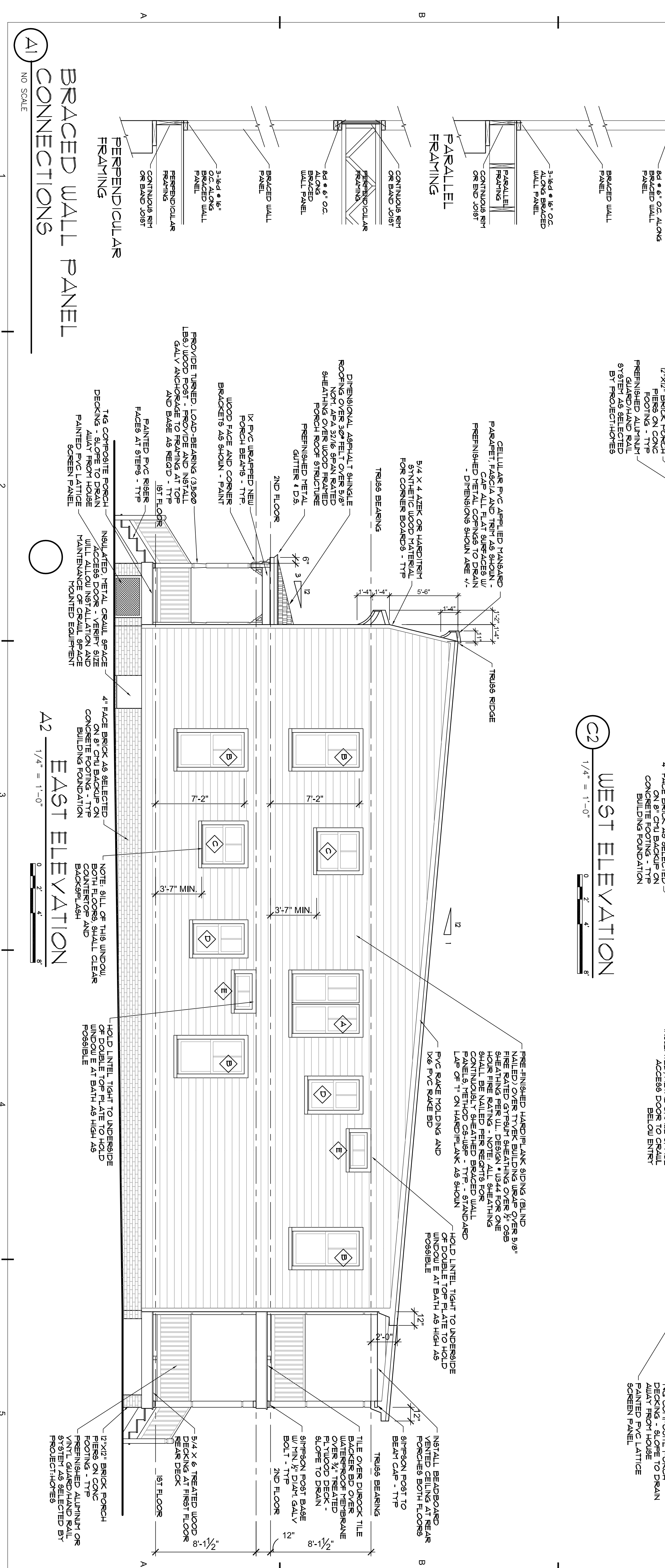
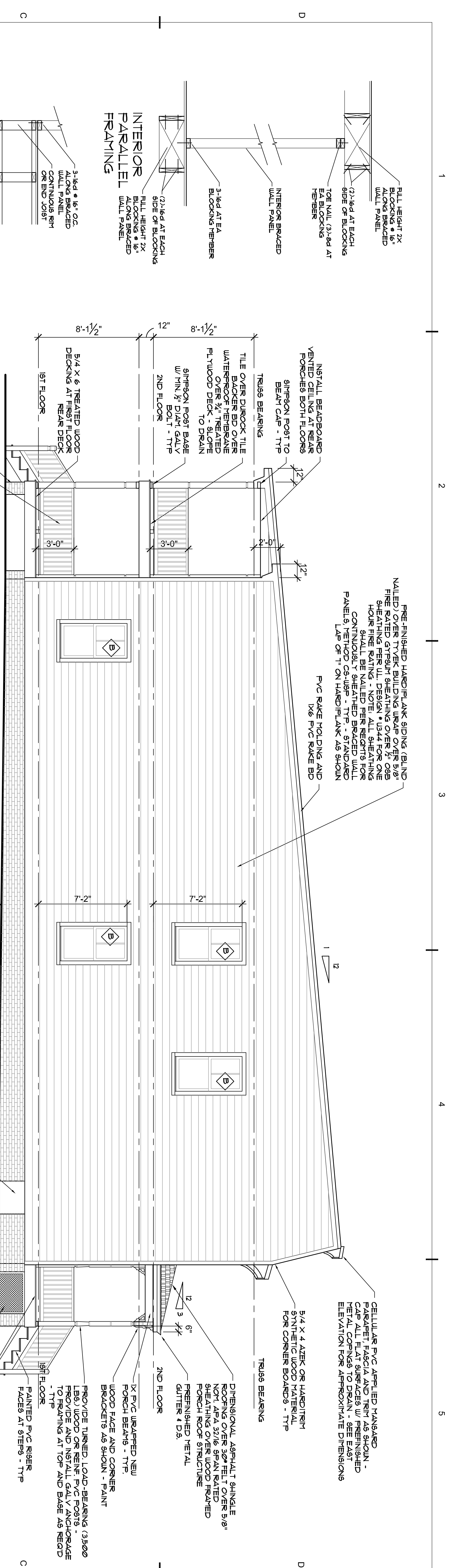
**RICHMOND, VIRGINIA
 PREPARED FOR PROJECT: HOMES**

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10.20.21		PERMIT SET

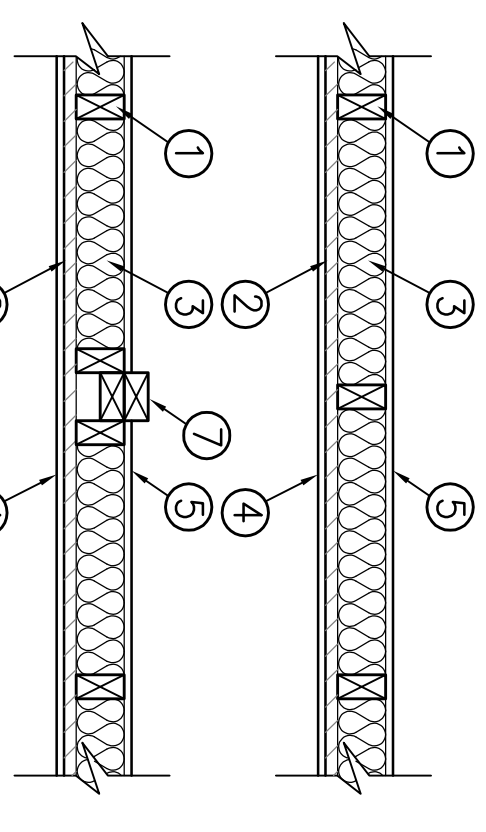
job #:	2021-0007
date:	10/20/21
drawn by:	DHW
checked by:	AWG
scale:	AS SHOWN

ELEVATIONS

sheet	A-202
of	6 of 7
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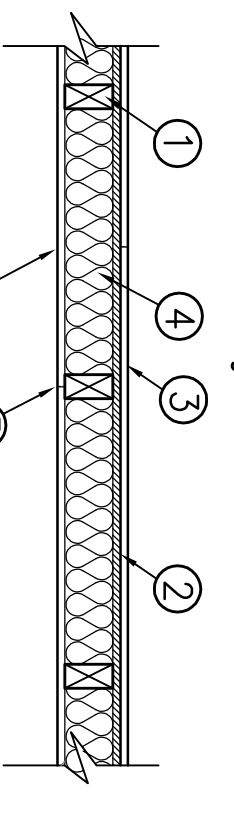


Design No. U344
Bearing Wall Rating - 1 Hr.
Finish Rating - 28 Min.



1. Wood Studs - Nom. 2 by 4 in. spaced 24 in. O.C., laterally braced, and effectively fire stopped at top and bottom.
2. Wood Structural Panel Sheathing - Nom. 5/8 in. thick, 4 ft wide APA Rated Sheathing 32/16. Exposure 1, plywood or oriented strand board (OSB) sheathing. Vertical joints staggered 12 in. O.C. along length of studs. Vertical joints centered on studs, and staggered one stud space from wallboard joints. Horizontal joints backed with nom. 2 by 4 in. wood blocking. Attached to studs on exterior side of wall with 6d cement coated steel box nails spaced 12 in. O.C. along interior studs and 6 in. O.C. at perimeter of panels.
3. Fiber Sprayed - As an alternate to Batts and Blankets (Item 3) - instructions supplied with the product in accordance with the application. Instructions supplied with the product with a nominal dry water or adhesive of a nominal dry density of 3.5 lb/ft³ in accordance with the application instructions supplied with the product.
4. Gypsum Board - 5/8" thick, 4 ft wide, applied vertically or horizontally. Attached to studs through plywood sheathing with 8d cement coated steel nails 2-3/8 in. long, 0.113 in. shank diam, 5/8 in. diam head nails spaced 7 in. O.C. along studs and at perimeter of panels. When used in widths other than 48 in., wallboard is to be installed horizontally. Joints exposed or covered with paper tape and compound.
5. CABOT MANUFACTURING UL Type 5/8 Type Business Exterior Sheathing CCC INC. - Type AR, C, IP-X2, IP-C-AR, SOX, SHX, ULX, USX, WRC, WRX, UNIFIED STATES GYPSUM CO. - Types AR, C, FRX-6, IP-X1, IP-X2, IP-C-AR, SOX, SHX, ULX, USX, WRC, WRX, UNIFIED STATES GYPSUM CO. - Types AR, C, FRX-6, IP-X1, IP-X2, IP-C-AR, SOX, SHX, ULX, USX, WRC, WRX, USG BORD DRYWALL SFZ LLC - Types AR, C, IP-X2, IP-C-AR, SOX, SHX, ULX, USX, WRC, WRX, USG MEXICO S A DE C V - Types AR, C, IP-X1, IP-X2, IP-C-AR, SOX, ULX, USX or WRX.
6. Steel Framing Members - (Optional) - NOT USED
7. Non-Bearing Wall Partition Intersection - (Optional) - Two nom. 2 by 4 in. stud or nom. 2 by 6 in. stud nailed together with two 3-1/2 in. long 10d minimum 2 by 4 stud with 3 in. min. 10d minimum 2 by 4 stud with 3 in. min. 10d OC vertically. Intersection between partition wood studs to be finished with the 2 by 4 in. studs. The wall partition wood studs are to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be finished with a max. 16 in. OC vertically. Maximum one non-bearing wall partition intersection per stud to the depth of the bearing wall.

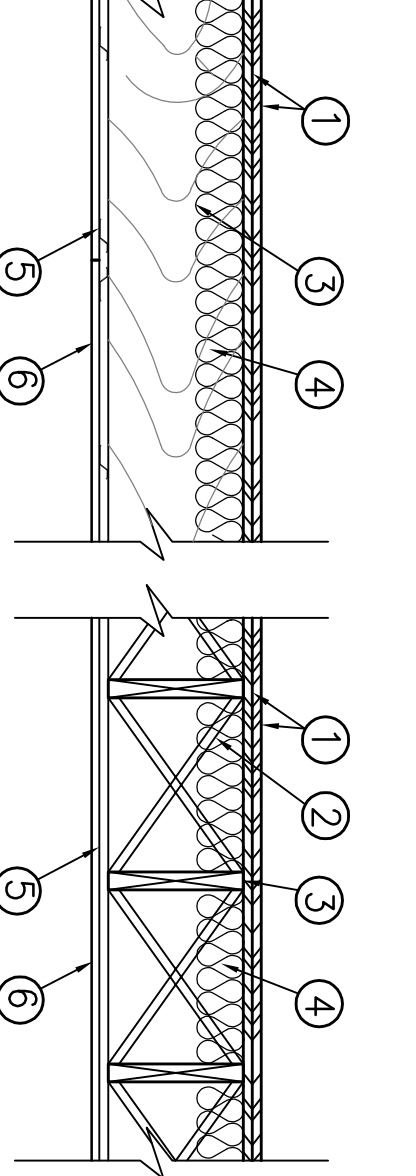
Design No. U327
Bearing Wall Rating - 1 Hr.
Finish Rating - 23 Min.



1. Wood Studs - Nom. 2 by 4 in. spaced 16 or 24 in. O.C., effectively cross braced.
2. Furring Channel - Resilient, 25 M50 galv steel, Furring channels spaced vertically 24 in. OC, flange portion screw attached to one side of studs with 1-1/4 in. long diamond shaped point, double lead Phillips head steel screws.
3. Gypsum Board - 5/8" thick, 4 ft wide applied vertically. Screw self-furring Type S or S-12 steel screws spaced 8 in. OC vertical joints located midway between studs. Wallboard attached on other side directly to studs with 1-1/4" long, diamond shaped point, double lead Phillips head steel screws spaced 12 in. OC vertical joints located over studs.
4. Batts and Blankets - 3 1/2 in. thick mineral wool batts, placed to fill interior of wall, attached to the 4 in. face of the studs with staples placed 24 in. OC.
5. Gypsum Board - 5/8" thick, 4 ft wide applied vertically. Screw self-furring Type S or S-12 steel screws spaced 8 in. OC vertical joints located midway between studs. Wallboard attached on other side directly to studs with 1-1/4" long, diamond shaped point, double lead Phillips head steel screws spaced 12 in. OC vertical joints located over studs.
6. AMERICAN GYPSUM COMPANY - Types AGX-1, M-GLASS, AG-C, LIGHTROC, CCC INC. - Types C, SOX, SHX, FRX-6, IP-X1, IP-X2, IP-C-AR, ULX, ULX, UNIFIED STATES GYPSUM CO. - Types C, SOX, SHX, ULX, USX, WRC, WRX, USG BORD DRYWALL SFZ LLC - Type PRX, IP-X1, IP-X2, IP-C-AR, SOX, SHX, ULX, USX, WRC, WRX, USG MEXICO S A DE C V - Types C, SOX, SHX, FRX-6, IP-X1, IP-X2, IP-C-AR, SOX, ULX, USX or WRX.

1. Wood Studs - Nom. 2 by 4 in. spaced 16 or 24 in. O.C., effectively cross braced.
2. Furring Channel - Resilient, 25 M50 galv steel, Furring channels spaced vertically 24 in. OC, flange portion screw attached to one side of studs with 1-1/4 in. long diamond shaped point, double lead Phillips head steel screws.
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6. AMERICAN GYPSUM COMPANY - Types AGX-1, M-GLASS, AG-C, LIGHTROC, CCC INC. - Types C, SOX, SHX, FRX-6, IP-X1, IP-X2, IP-C-AR, ULX, ULX, UNIFIED STATES GYPSUM CO. - Types C, SOX, SHX, ULX, USX, WRC, WRX, USG BORD DRYWALL SFZ LLC - Type PRX, IP-X1, IP-X2, IP-C-AR, SOX, SHX, ULX, USX, WRC, WRX, USG MEXICO S A DE C V - Types C, SOX, SHX, FRX-6, IP-X1, IP-X2, IP-C-AR, SOX, ULX, USX or WRX.

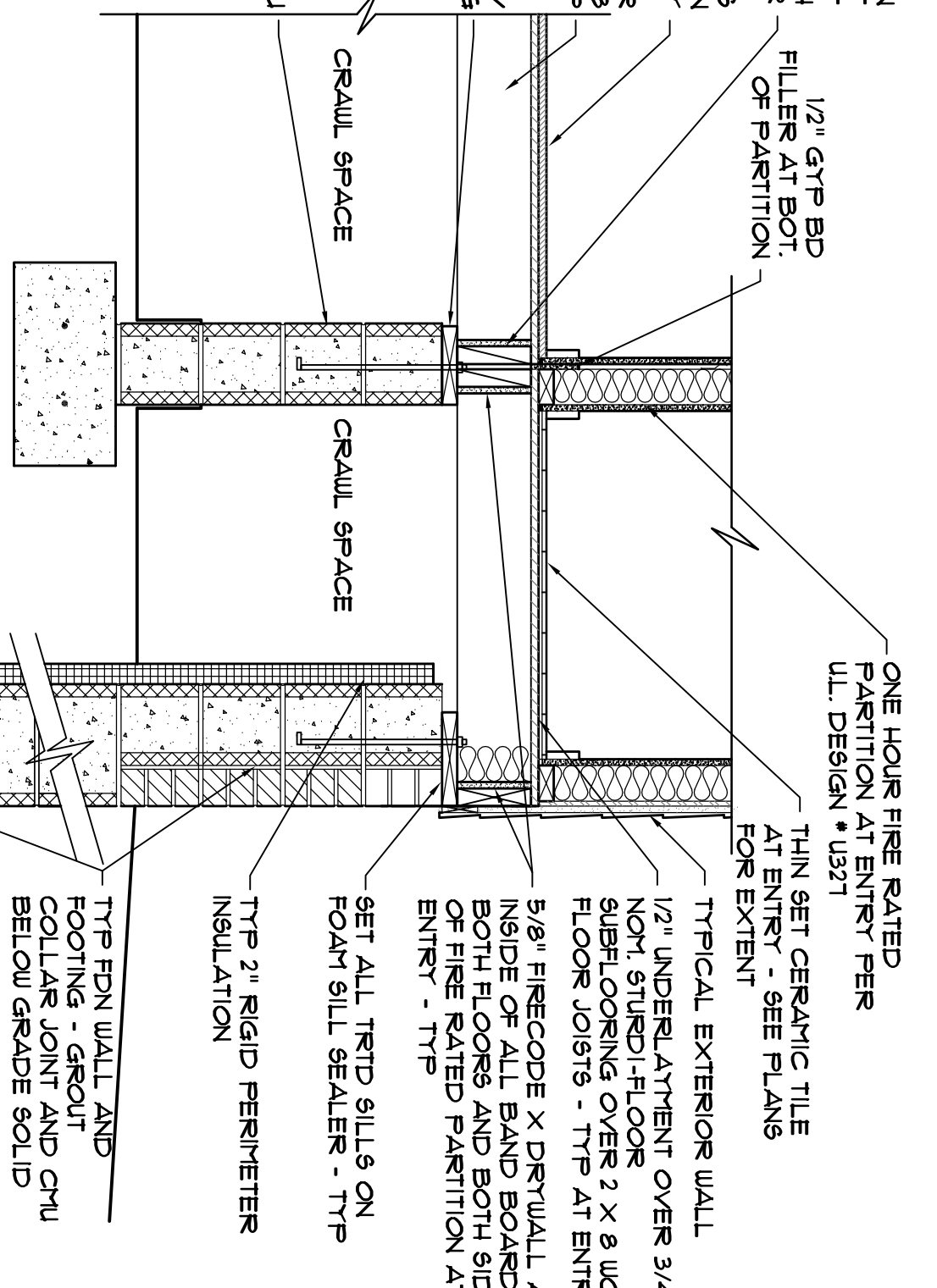
Design No. L569
Unrestrained Assembly Rating - 1 Hr.



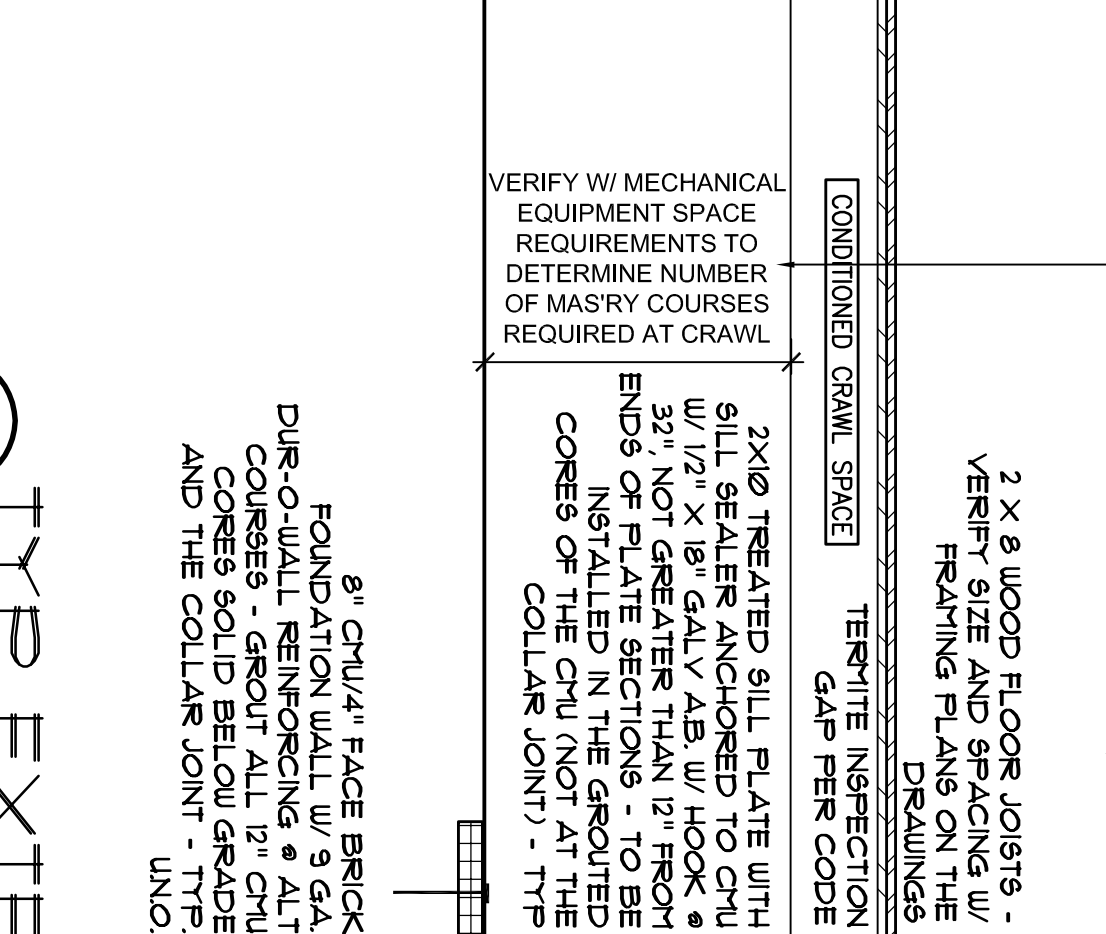
1. Flooring System - The flooring system shall consist of the following:
Subflooring - Nom. 15/32 in. thick (3/4" is to be used) wood structural panels installed perpendicular to the joists with end joints staggered. Plywood secured to joists with construction adhesive and No. 6d ringed shank nails, spaced 12" OC along each joist. Stages having equal or greater withdrawal and lateral resistance strength may be substituted for the 6d nails.
2. Cross Bridging - 1 by 3 in.
3. Wood Joists - 2 by 10 in. (2 x 12's are to be used), spaced 16 in. OC, freestopped.
4. Batts and Blankets - (Optional) - Glass fiber or mineral wool insulation bearing the UL Classification Working as to Surface Burning Characteristics and/or Resistance. When the resilient channels (Item 5) are spaced 16 in. OC, the insulation shall be a minimum of 12 in. OC. When the resilient channels (Item 5) are spaced a maximum of 12 in. OC, there is no limit to the overall thickness of the insulation, and the insulation can be secured against the subflooring, head suspended in the concealed space or dropped over the resilient channels and gypsum panel membrane.
5. Furring Channels - Resilient channels formed of 25 M50 thick galv steel, installed perpendicular to the wood joists, spaced a maximum of 24 in. OC. When no insulation is fitted in the concealed space. Otherwise the resilient channel positioned 6 in. OC at gypsum panel butt-joints (3 in. from each end of panel). Channels oriented opposite of panel butt-joints. Channel splices overlapped 4 in. beneath wood joists. Channels secured to each joist with 1-1/4 in. long Type S screws.
6. Gypsum Board - Nom. 5/8 in. thick, 48 in. wide gypsum panels. When resilient channels (Item 5) are used, gypsum panels installed gypsum joints secured with 1 in. long Type S single head screws spaced 7 in. OC along each edge. Stages formed of 16 SMC (0.002 in. thick) steel with 1-1/8 in. legs and 1/2 in. crown, driven flush with gypsum board bottom flange. The bolters and staples are optional when the finish flooring consists of floor topping mixture.
7. Batten - Nom. 6 by 22-1/2 by 5/8 in. thick pieces of gypsum board (Item 6), centered under subfloor joints and fastened with staples spaced 7 in. OC along each edge. Stages formed of 16 SMC (0.002 in. thick) steel with 1-1/8 in. legs and 1/2 in. crown, driven flush with gypsum board bottom flange. The bolters and staples are optional when the finish flooring consists of floor topping mixture.
8. Finishing System - (Not Shown) - Vinyl, or dry premixed joint compound, applied in two coats to joints and screwheads. Nom. 2 in. wide paper tape embedded in first layer of compound over all joints, as an alternate, 3/32 in. thick veneer plaster may be applied to the entire surface of gypsum panels.

1. Wood Studs - Nom. 2 by 4 in. spaced 16 or 24 in. O.C., effectively cross braced.
2. Furring Channel - Resilient, 25 M50 galv steel, Furring channels spaced vertically 24 in. OC, flange portion screw attached to one side of studs with 1-1/4 in. long diamond shaped point, double lead Phillips head steel screws.
3. Gypsum Board - 5/8" thick, 4 ft wide applied vertically. Screw self-furring Type S or S-12 steel screws spaced 8 in. OC vertical joints located midway between studs. Wallboard attached on other side directly to studs with 1-1/4" long, diamond shaped point, double lead Phillips head steel screws spaced 12 in. OC vertical joints located over studs.
4. Batts and Blankets - 3 1/2 in. thick mineral wool batts, placed to fill interior of wall, attached to the 4 in. face of the studs with staples placed 24 in. OC.
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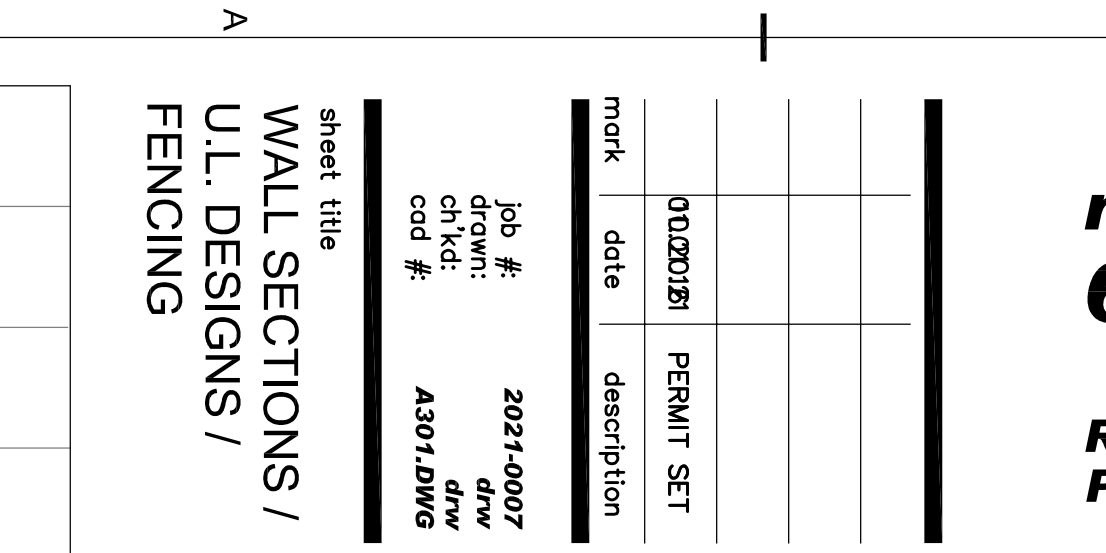
ONE HOUR FLOOR/CEILING ASSEMBLY AT 2ND FLOOR



1. Wood Studs - Nom. 2 by 4 in. spaced 16 or 24 in. O.C., effectively cross braced.
2. Furring Channel - Resilient, 25 M50 galv steel, Furring channels spaced vertically 24 in. OC, flange portion screw attached to one side of studs with 1-1/4 in. long diamond shaped point, double lead Phillips head steel screws.
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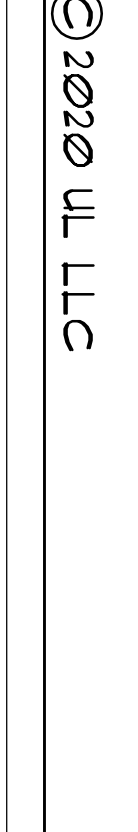


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Design No. U344
Bearing Wall Rating - 1 Hr.
Finish Rating - 28 Min.



1. Wood Studs - Nom. 2 by 4 in. spaced 24 in. O.C., laterally braced, and effectively fire stopped at top and bottom.
2. Wood Structural Panel Sheathing - Nom. 5/8 in. thick, 4 ft wide APA Rated Sheathing 32/16. Exposure 1, plywood or oriented strand board (OSB) sheathing. Vertical joints staggered 12 in. O.C. along length of studs. Vertical joints centered on studs, and staggered one stud space from wallboard joints. Horizontal joints backed with nom. 2 by 4 in. wood blocking. Attached to studs on exterior side of wall with 6d cement coated steel box nails spaced 12 in. O.C. along interior studs and 6 in. O.C. at perimeter of panels.
3. Fiber Sprayed - As an alternate to Batts and Blankets (Item 3) - instructions supplied with the product in accordance with the application. Instructions supplied with the product with a nominal dry water or adhesive of a nominal dry density of 3.5 lb/ft³ in accordance with the application instructions supplied with the product.
4. Gypsum Board - 5/8" thick, 4 ft wide, applied vertically or horizontally. Attached to studs through plywood sheathing with 8d cement coated steel nails 2-3/8 in. long, 0.113 in. shank diam, 5/8 in. diam head nails spaced 7 in. O.C. along studs and at perimeter of panels. When used in widths other than 48 in., wallboard is to be installed horizontally. Joints exposed or covered with paper tape and compound.
5. CABOT MANUFACTURING UL Type 5/8 Type Business Exterior Sheathing CCC INC. - Type AR, C, IP-X2, IP-C-AR, SOX, SHX, ULX, USX, WRC, WRX, UNIFIED STATES GYPSUM CO. - Types AR, C, FRX-6, IP-X1, IP-X2, IP-C-AR, SOX, SHX, ULX, USX, WRC, WRX, UNIFIED STATES GYPSUM CO. - Types AR, C, FRX-6, IP-X1, IP-X2, IP-C-AR, SOX, SHX, ULX, USX, WRC, WRX, USG BORD DRYWALL SFZ LLC - Types AR, C, IP-X2, IP-C-AR, SOX, SHX, ULX, USX, WRC, WRX, USG MEXICO S A DE C V - Types AR, C, IP-X1, IP-X2, IP-C-AR, SOX, ULX, USX or WRX.
6. Steel Framing Members - (Optional) - NOT USED
7. Non-Bearing Wall Partition Intersection - (Optional) - Two nom. 2 by 4 in. stud or nom. 2 by 6 in. stud nailed together with two 3-1/2 in. long 10d minimum 2 by 4 stud with 3 in. min. 10d minimum 2 by 4 stud with 3 in. min. 10d OC vertically. Intersection between partition wood studs to be finished with the 2 by 4 in. studs. The wall partition wood studs are to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be finished with a max. 16 in. OC vertically. Maximum one non-bearing wall partition intersection per stud to the depth of the bearing wall.

Design No. U327
Bearing Wall Rating - 1 Hr.
Finish Rating - 23 Min.

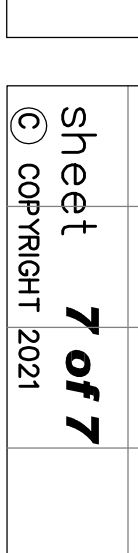


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2. Furring Channel - Resilient, 25 M50 galv steel, Furring channels spaced vertically 24 in. OC, flange portion screw attached to one side of studs with 1-1/4 in. long diamond shaped point, double lead Phillips head steel screws.
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new two family residence
615 NORTH 30TH STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT:HOMES

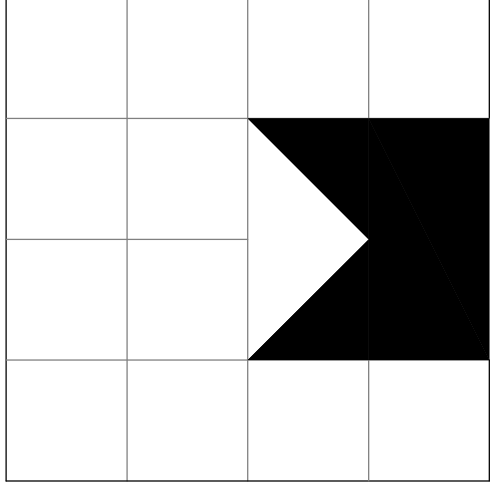
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GLEN ALLEN, VIRGINIA 23060

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U.L. DESIGNS /
FENCING

sheet 7 of 7
A-301

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DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060

new two family residence 615 NORTH 30TH STREET

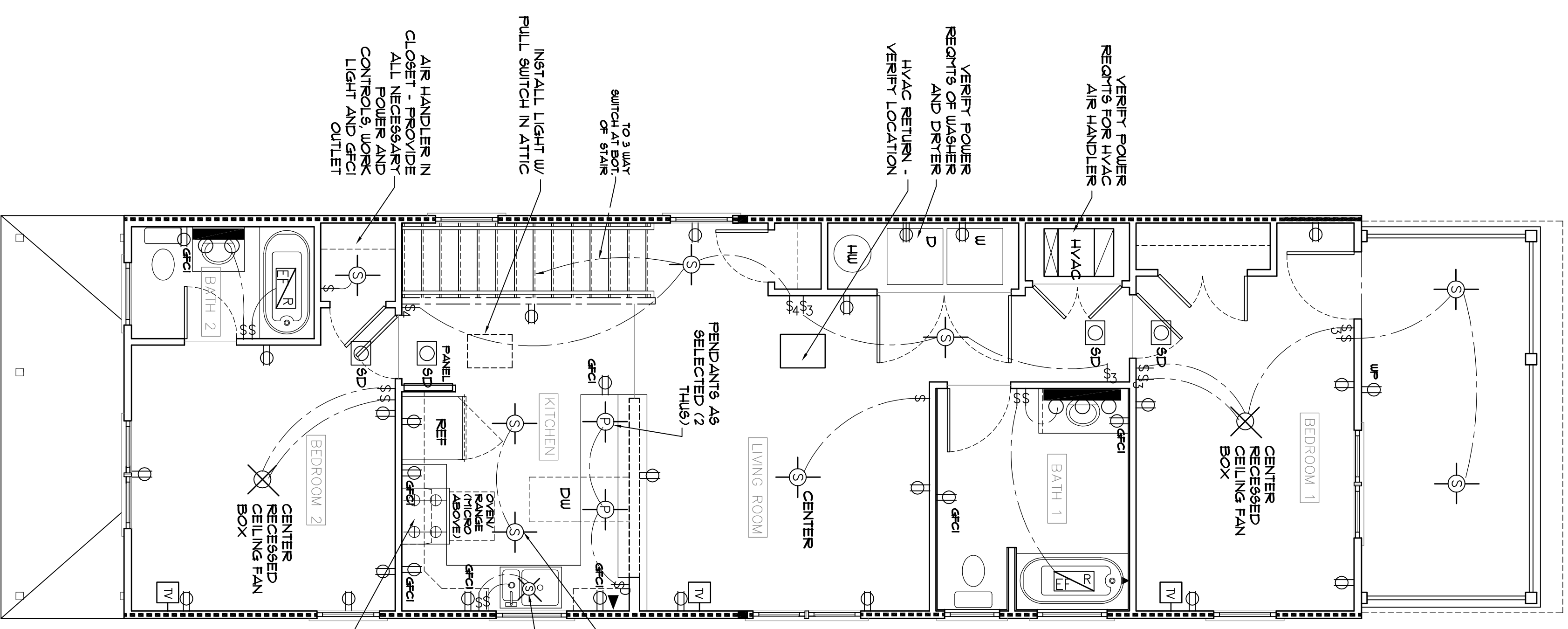
RICHMOND, VIRGINIA
PREPARED FOR PROJECT: HOMES

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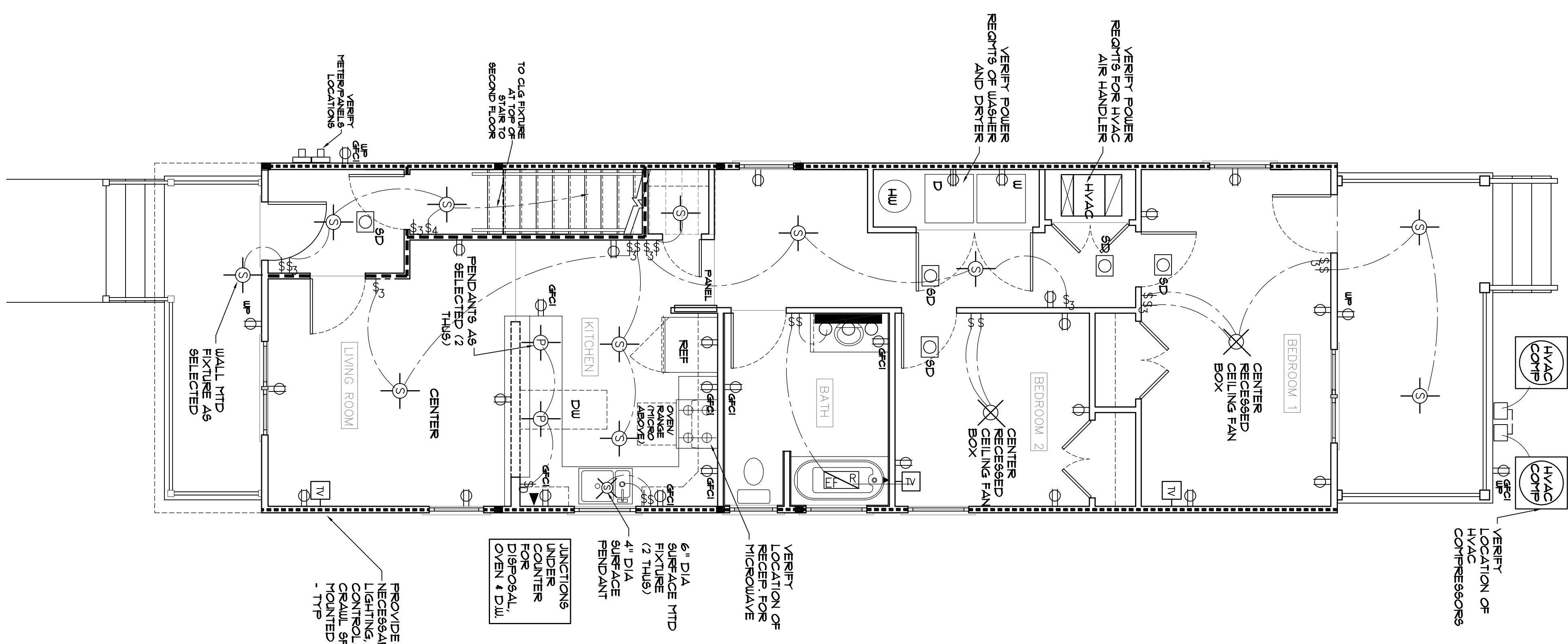
sheet title	ELECTRICAL PLANS
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sheet	1 of 1
E-101	
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NOTE: THIS DRAWING IS PROVIDED FOR GENERAL DESIGN INTENT AND LOCATION OF ELECTRICAL ITEMS. ELECTRICAL SUB-CONTRACTOR SHALL PROVIDE CODE-COMPLIANT DRAWINGS AS REQUIRED FOR BUILDING PERMIT AND CONSTRUCTION.

NOTE: ONE LOWER FIRE RATED EXTERIOR WALLS AND FIRST FLOOR INTERIOR BEARING PARTITIONS AT ENTRY ARE SHOWN BY SHADED LINE AS INDICATED ABOVE. FLOORING ASSEMBLY SEPARATING THE FIRST FLOOR FROM THE LOWER FIRE RATED ASSEMBLY - VERIFY REQUIREMENTS FOR ANY PENETRATIONS OF THESE ITEMS FOR LIGHTING OR POWER AS REQUIRED BY 2018 VIRGINIA RESIDENTIAL EDITION OF THE NATIONAL ELECTRICAL CODE



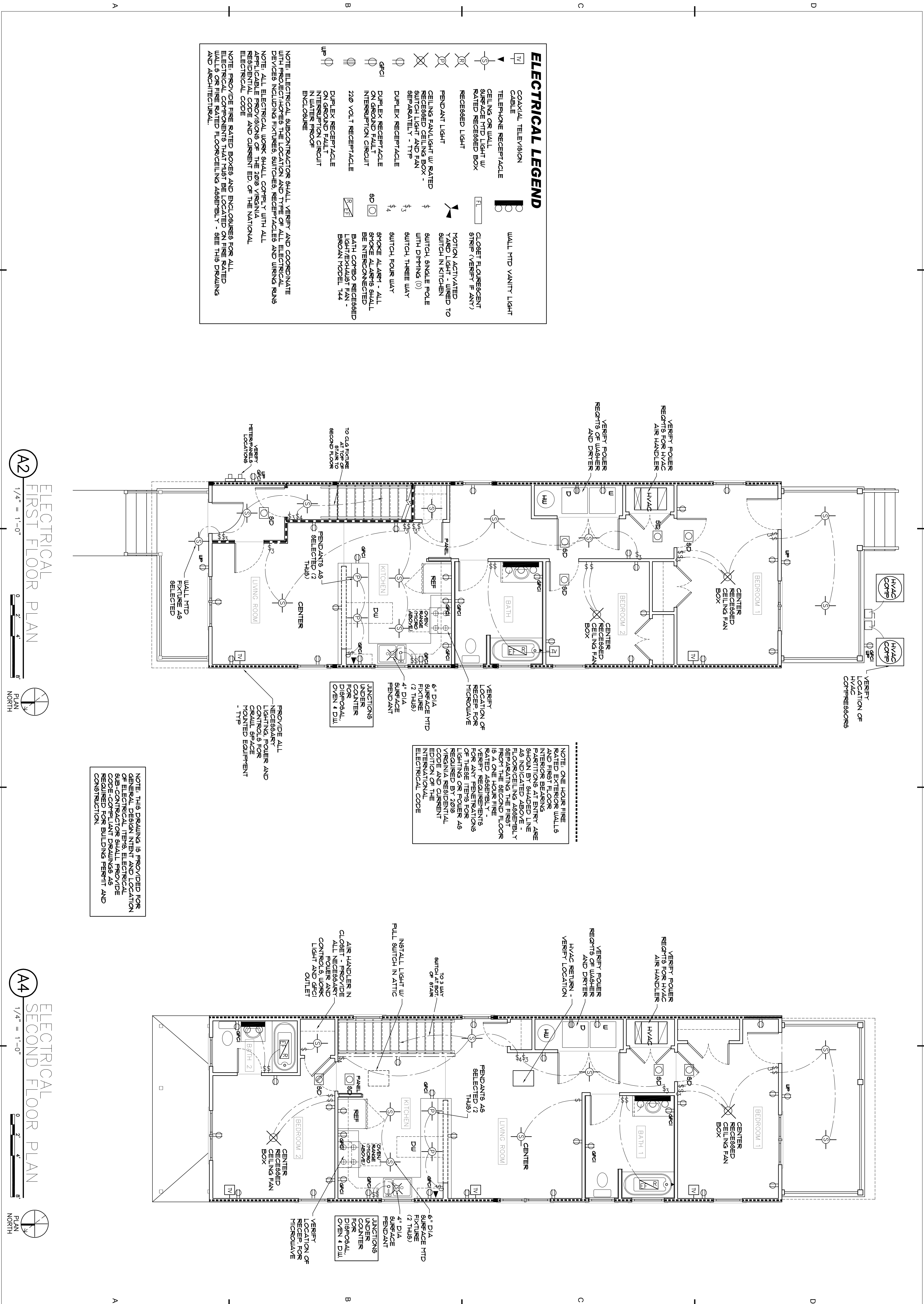
ELECTRICAL LEGEND

	COAXIAL TELEVISION CABLE		WALL MTD VANITY LIGHT
	TELEPHONE RECEPTACLE		CLOSET FLUORESCENT STRIP (VERIFY IF ANY)
	CEILING OR WALL SURFACE MTD LIGHT W/ RATED RECESSED BOX		MOTION ACTIVATED YARD LIGHT - WIRED TO SWITCH IN KITCHEN
	RECESSED LIGHT		SWITCH, SINGLE POLE WITH DIMMING (1)
	PENDANT LIGHT		SWITCH, THREE WAY
	CEILING FAN LIGHT W/ RATED RECESSED BOX AND FAN SEPARATELY - TYP		SWITCH, FOUR WAY
	DUPLEX RECEPTACLE		SMOKE ALARM - ALL SMOKE ALARMS SHALL BE INTERCONNECTED
	DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTION CIRCUIT		BATH CONTROL RECESSED LIGHT EXHAUST FAN - BROWN MODEL 144
	220 VOLT RECEPTACLE		
	DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTION CIRCUIT IN WATER PROOF ENCLOSURE		

NOTE: ELECTRICAL SUBCONTRACTOR SHALL VERIFY AND COORDINATE WITH PROJECT: HOMES THE LOCATION AND TYPE OF ALL ELECTRICAL DEVICES INCLUDING FIXTURES, SWITCHES, RECEPTACLES AND WIRING RUNS
NOTE: ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE 2018 VIRGINIA RESIDENTIAL CODE AND CURRENT ED. OF THE NATIONAL ELECTRICAL CODE
NOTE: PROVIDE FIRE RATED BOXES AND ENCLOSURES FOR ALL ELECTRICAL COMPONENTS THAT MUST BE LOCATED ON FIRE RATED WALLS OR FIRE RATED FLOOR/CEILING ASSEMBLY - SEE THIS DRAWING AND ARCHITECTURAL.

A2 ELECTRICAL FIRST FLOOR PLAN

A4 ELECTRICAL SECOND FLOOR PLAN



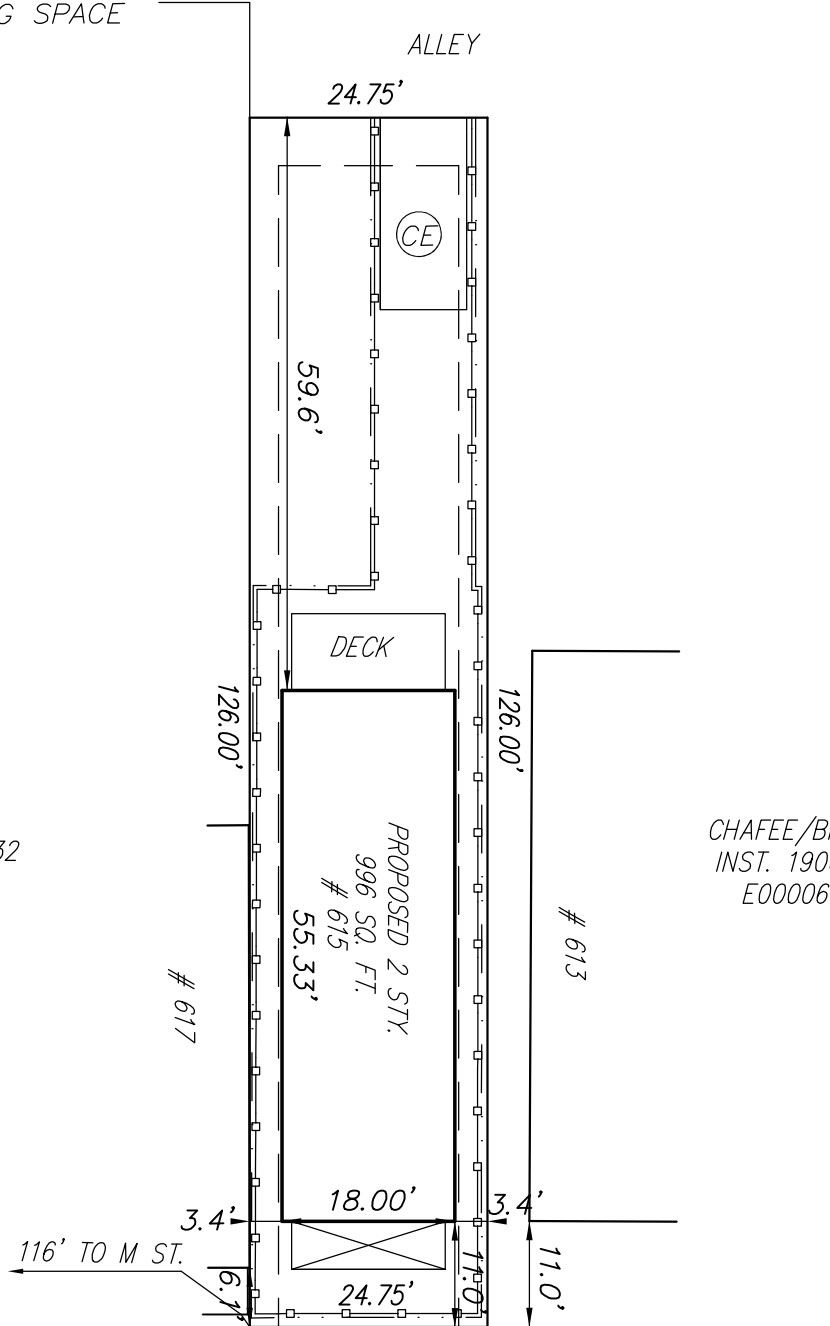
ADDRESS: 615 N 30TH
 PARCEL: E0000632035
 ZONED: R-63
 SETBACKS
 FRONT: 0'
 SIDE: 3'
 REAR: 5'

LOT SIZE: 3119 SQ. FT.
 AREA OF DISTURBANCE: 2354 Sq. Feet
 ONCE CONSTRUCTION IS COMPLETE SITE
 IS TO BE PERMANENTLY SEEDED.



- — — SET BACKS
- □ — □ — SILT FENCE
- · · — LIMITS OF DISTURBANCE

(CE) CONSTRUCTION ENTRANCE/FUTURE GRAVEL
 PARKING SPACE



CONLEY
 INST. 060039832
 E0000632036

CHAFEE/BICKFORD
 INST. 190024870
 E000063034

N 30TH STREET
 VAR. WIDTH PUBLIC R/W

SITE PLAN
 615 N 30TH STREET

LONG SURVEYING, LLC
 4650 FACTORY MILL ROAD
 MAIDENS, VA 23012
 804-314-5620

CITY OF RICHMOND
 VIRGINIA
 OCT. 21, 2021
 SCALE: 1"=20