



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

Commission of Architectural Review
Certificate of Appropriateness Application
900 E. Broad Street, Room 510
Richmond, VA 23219
804-646-6569

Property (location of work)

Property Address: 863 North 22nd St, Richmond, VA Current Zoning: R-63

Historic District: Union Hill

Application is submitted for: (check one)

- Alteration
 Demolition
 New Construction

Project Description (attach additional sheets if needed):

Single family Two Story Residence. The residence will feature Hardie Planks for exterior finish., Aluminum Cladded Windows, Front Porch with Tuscan Columns and Richmond Railing.

Applicant/Contact Person: [REDACTED]

Company: [REDACTED]

Mailing Address: [REDACTED]

City: Richmond State: VA Zip Code: 23225

Telephone: [REDACTED]

Email: [REDACTED]

Billing Contact? Yes Applicant Type (owner, architect, etc.): Agent

Property Owner: [REDACTED]

If Business Entity, name and title of authorized signee: [REDACTED]

Mailing Address: [REDACTED]

City: Richmond State: VA Zip Code: 23224

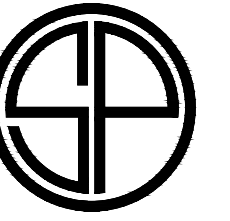
Telephone: [REDACTED]

Email: [REDACTED]

Billing Contact? No

****Owner must sign at the bottom of this page****

HISTORIC BOARD REVIEW DOCUMENTS



SIDE PRACTICE
DESIGN STUDIO LLC
724 BUGGY PLACE
NORTH CHERFIELD, VA
23225
804.512.5539
SIDEPRACTICEVA@GMAIL.COM

PROJECT LOCATION



863 NORTH 22ND ST
RICHMOND, VA
23223

PROJECT INFORMATION

SCOPE OF WORK:
DESCRIPTION: TWO STORY RESIDENCE

TOTAL SQUARE FOOTAGE:
FIRST FLOOR: 1110
SECOND FLOOR: 1110
2220 TOTAL

APPLICABLE CODES

2021 VIRGINIA RESIDENTIAL CONSTRUCTION CODE

CODE ANALYSIS

OCCUPANCY: R-5
CONSTRUCTION TYPE: V-B
UNSPRINKLERED

SHEET INDEX

T-1: COVER SHEET
PS: SITE PICTURES
SP-1 SITE PLAN
A-1: FLOOR PLAN
A-2: ELEVATIONS
A-3: ENLARGED ELEVATIONS
A-4: HEIGHT STUDY

GRAPHIC SYMBOLS

GENERAL		CONSTRUCTION	
	NUMBER ON SHEET		ROOM TAG
	EXTERIOR ELEVATION REFERENCE		DOOR TAG
	SHEET ON WHICH ELEVATION IS DRAWN		PARTITION TAG
	INTERIOR ELEVATION REFERENCE		WINDOW TAG
	SECTION NUMBER		LOUVER TAG
	BUILDING SECTION REFERENCE		AREA NOT IN SCOPE
	WALL SECTION REFERENCE		NEW GLASS PARTITION
	CALLOUT NUMBER		NEW DOOR
	DETAIL CALLOUT REFERENCE		EXISTING DOOR TO REMAIN
	PLAN OR DETAIL NUMBER		NEW WALL
	DRAWING SCALE		EXISTING WALL TO REMAIN
	SPOT ELEVATION		MILLWORK, PROVIDE BLOCKING WITHIN PARTITION AS REQUIRED, SEE REFERENCED ELEVATION AND CORRESPONDING DETAILS.
			RECESSED FIRE EXTINGUISHER CABINET
			BREAK POINT BETWEEN (2) OBJECTS/MATERIALS
			CARD READER
			AREA NOT IN SCOPE
			DEMO GLASS PARTITION
			DEMO DOOR
			EXISTING DOOR TO REMAIN
			DEMO WALL
			EXISTING WALL TO REMAIN
			DEMO MILLWORK

GENERAL NOTES

- CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE REQUIRED TO CHECK AND BE RESPONSIBLE FOR CONFORMANCE OF PLANS WITH ALL REQUIREMENTS AND LOCAL ORDINANCES, BUILDING CODES, BUILDING INSPECTOR, AND MANUFACTURERS' RECOMMENDATIONS PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THE COST OF CORRECTION, MODIFICATIONS, ADDITIONS, ETC., WHICH ARE CALLED FOR OR REQUIRED BY LOCAL ORDINANCES, BUILDING CODES, BUILDING INSPECTOR AND MANUFACTURERS AND NOT SPECIFICALLY NOTED OR SHOWN ON THE DRAWINGS TO COMPLETE A TURNKEY JOB SHALL BE PAID FOR AND BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DRAWINGS ARE DIAGRAMMATIC, INTENDED TO OUTLINE GENERAL REQUIREMENTS ONLY AND NOT INTENDED TO BE COMPLETE IN ALL DETAILS. SPECIFIC IMPLEMENTATIONS OF PLANS SHALL BE THE REQUIREMENT OF THE CONTRACTOR WHO REPRESENTS HE HAS THE SKILL AND EXPERT KNOWLEDGE TO EXECUTE THE WORK REQUIRED.
- ALL WORK SHALL BE ACCURATELY LAID OUT IN COOPERATION WITH OTHER TRADES TO AVOID CONFLICTS AND TO OBTAIN A NEAT WORKMANLIKE INSTALLATION. EACH SUB-CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND MAKING SURE HIS WORK PROPERLY CONNECTS WITH ADJOINING OR CONNECTING WORK ON WHICH THE CONSTRUCTION OF HIS WORK IS DEPENDENT FOR A TURNKEY JOB.
- ALL DRAWINGS ARE INTENDED TO BE RIGID IN SPECIFIC DETAILS. WHERE SUCH DETAILS MAY BE IN CONFLICT WITH RECOMMENDATIONS OF THE MANUFACTURER OF EQUIPMENT ACTUALLY PROVIDED AND WHEN DISCREPANCIES BETWEEN DRAWINGS AND RECOMMENDATIONS CHANGE THE INTENT OF THE DRAWINGS,
- THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL PROTECT HIS AND OTHERS WORK FROM DAMAGE DUE TO HIS OPERATIONS AND SHALL REPLACE, OR REPAIR AS REQUIRED, ALL DAMAGED WORK TO THE SATISFACTION OF THE OWNER.
- MEASUREMENTS AND WORKMANSHIP AND WORKING CONDITIONS FOR ALL WORK SHALL BE TAKEN AT THE SITE AND COORDINATED WITH CONNECTING WORK BY EACH SUB-CONTRACTOR. EACH SUB-CONTRACTOR SHALL VERIFY FIGURES SHOWN ON DRAWINGS BEFORE LAYING OUT OR PROCEEDING WITH WORK AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS RESULTING FROM HIS FAILURE TO EXERCISE SUCH VERIFICATION.
- THE ELECTRICAL AND MECHANICAL CONTRACTORS SHALL OBTAIN AND SUBMIT TO THE LOCAL DEPARTMENT OF BUILDING INSPECTIONS ALL DRAWINGS AND DOCUMENTATION REQUIRED TO OBTAIN A PERMIT FOR THE ELECTRICAL AND MECHANICAL WORK. HVAC PLANS MUST BE APPROVED BY HHHUNT PRIOR TO INSTALLATION.
- BLOCKING: GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING ON WALLS AND CEILING FOR ATTACHING FIXTURES, EQUIPMENT, DRAPERY TRACK, ETC.

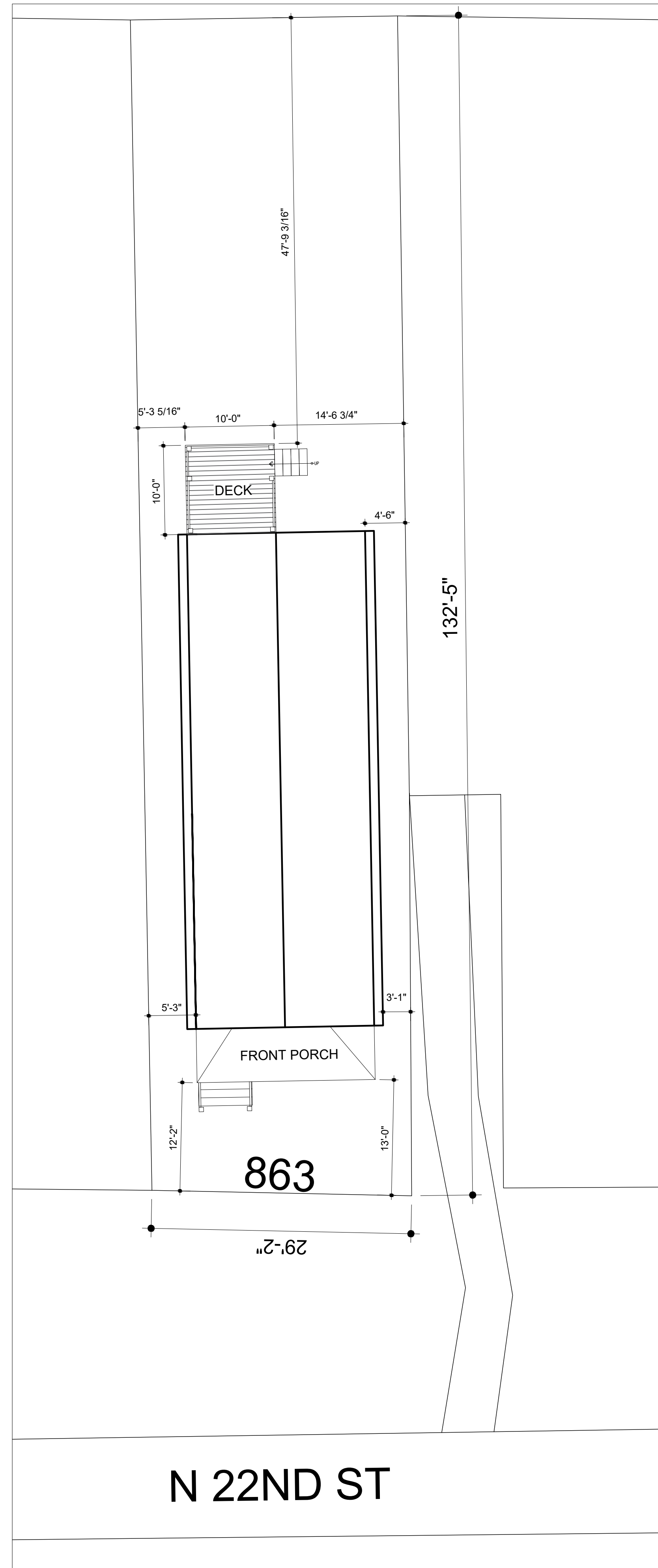
PREPARED FOR:
ATALLA
MAHAES

RESIDENTIAL CONSTRUCTION
DOCUMENTS
863 NORTH 22ND ST
RICHMOND, VA
23223

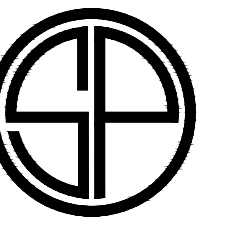
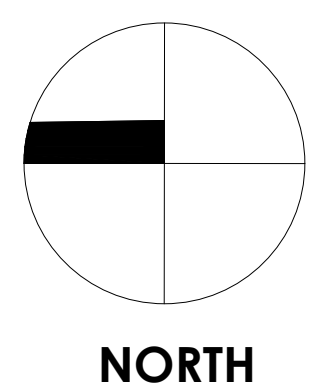
PLAN REVISIONS DATES

COVER
SHEET

SHEET
T-1
SCALE AS NOTED



1 PLOT PLAN
SP-1 SCALE: 1/8"=1'-0"



SIDE PRACTICE
DESIGN STUDIO LLC
724 BUGGY PLACE
NORTH CHESTERFIELD, VA
23225
804.512.5539
SIDOPRACTICEVA@GMAIL.COM

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MAHADES

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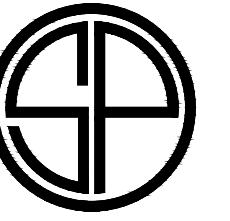
PLAN REVISIONS DATES

SITE PLOT PLAN

SHEET
SP-1
SCALE: AS NOTED



ADJACENT PROPERTIES AND STREETScape



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724 BUGGY PLACE
NORTH CHESTERFIELD, VA
23025
804.512.5539
SIDEPRACTICEVA@GMAIL.COM

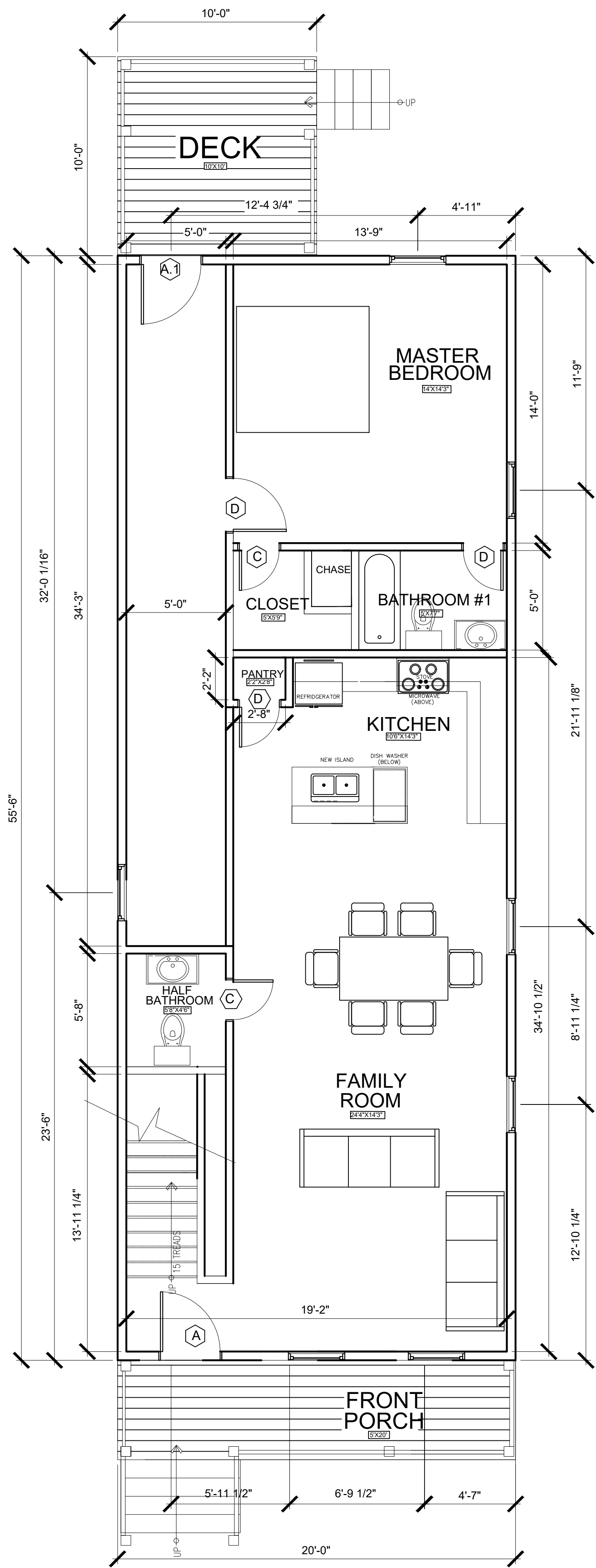
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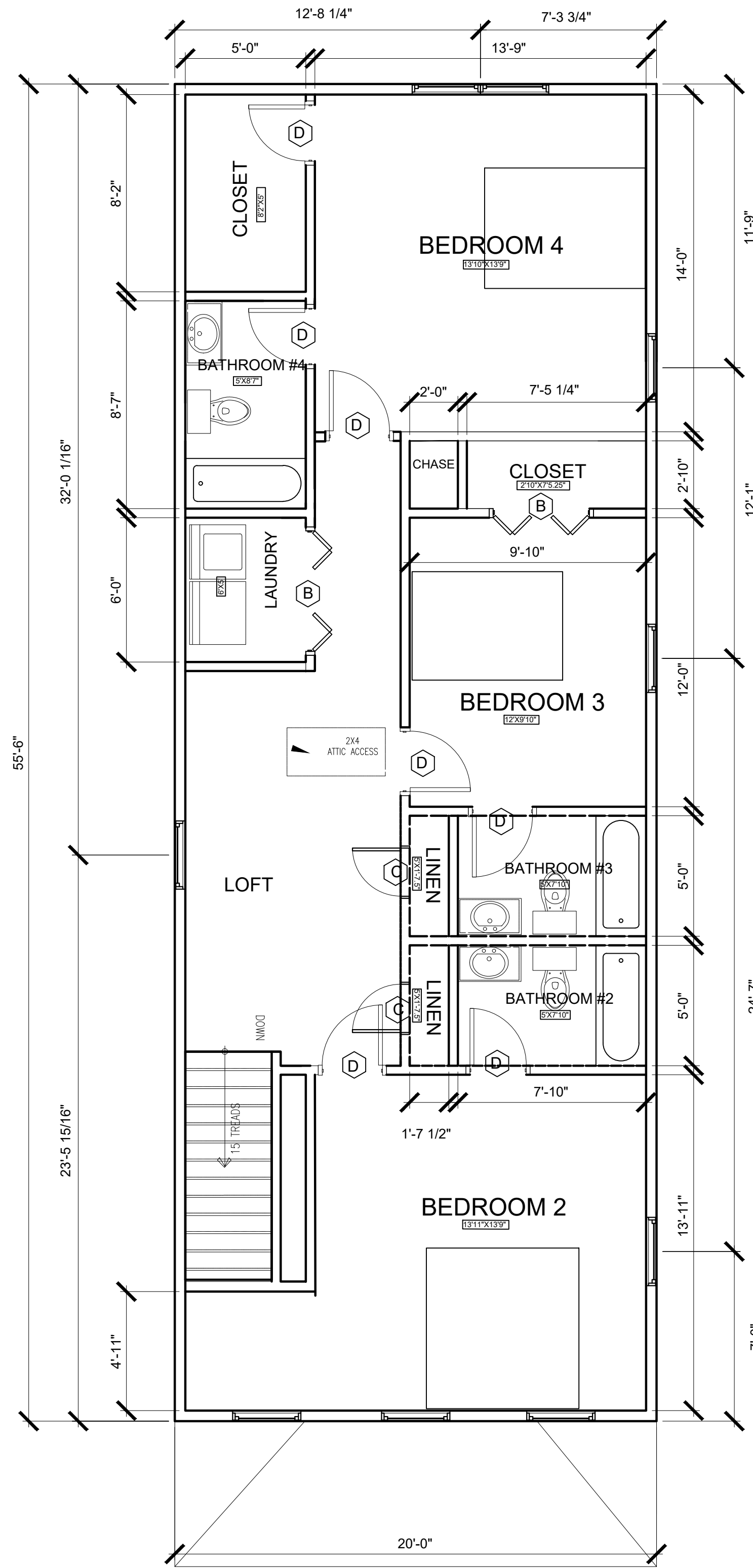
PLAN REVISIONS DATES

SITE PICTURES

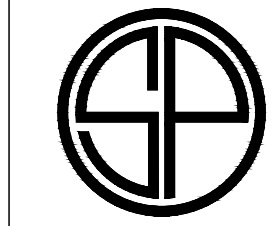
SHEET
PS
SCALE: AS NOTED



1
A-1 **FIRST FLOOR PLAN**
SCALE: 1/4"=1'-0"



2
A-1 **SECOND FLOOR PLAN**
SCALE: 1/4"=1'-0"



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DESIGN STUDIO LLC
724 BUGGY PLACE
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804.532.5539
SIDEPRACTICEVA@GMAIL.COM

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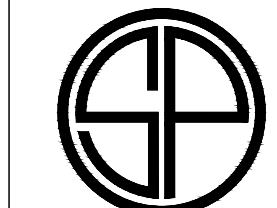
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PLAN REVISIONS DATES

FLOOR PLANS

SHEET
A-1

SCALE: AS NOTED



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724 BUGGY PLACE
NORTH CHERFIELD, VA
23225
804.512.5539
SIDOPRACTICE@GMAIL.COM

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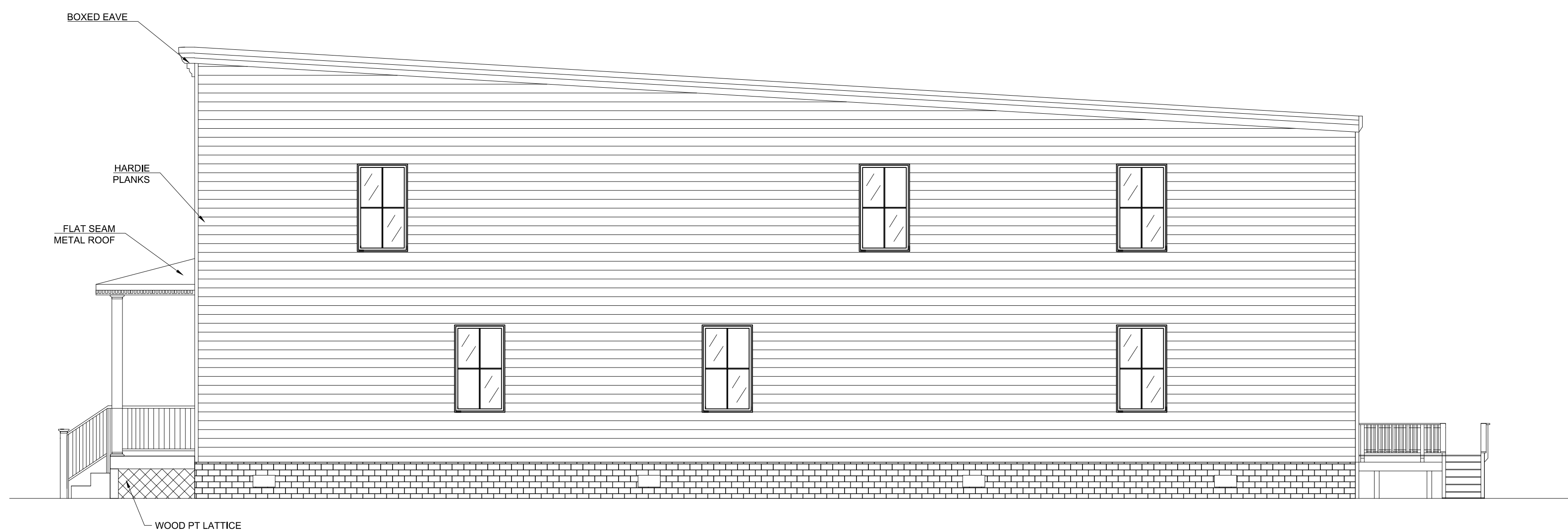
ELEVATIONS

SHEET
A-2
SCALE: AS NOTED



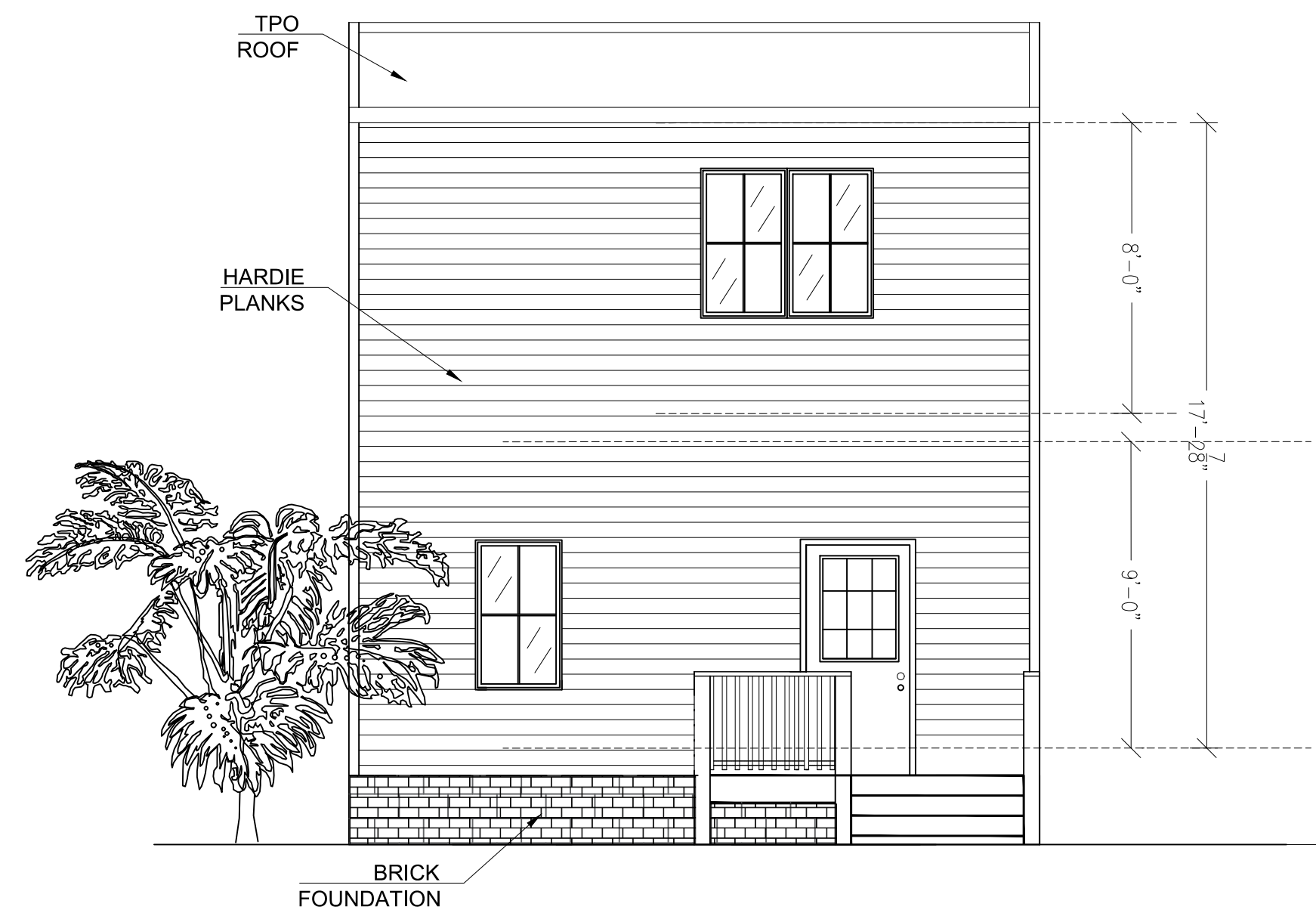
1 FRONT ELEVATION

SCALE: 1/4=1'-0"



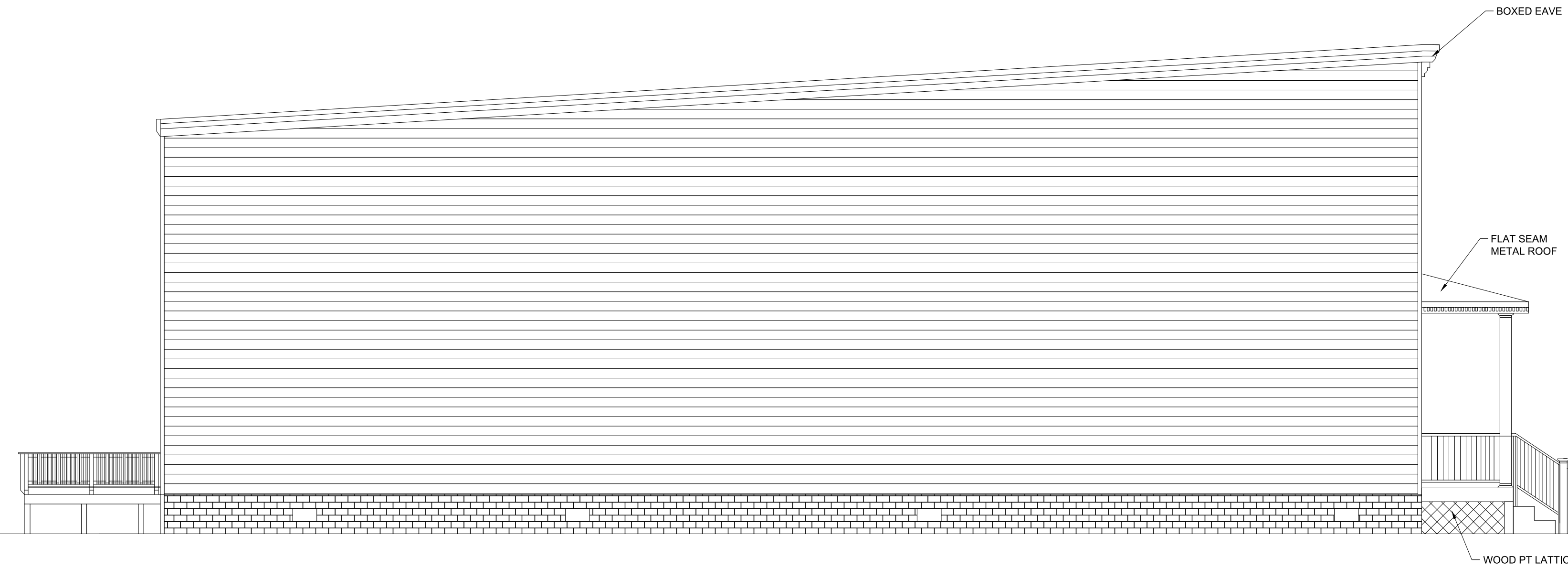
2 LEFT SIDE ELEVATION

SCALE: 1/4=1'-0"



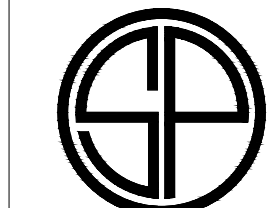
3 REAR ELEVATION

SCALE: 1/4=1'-0"



4 RIGHT SIDE ELEVATION

SCALE: 1/4=1'-0"



SIDE PRACTICE
DESIGN STUDIO LLC
724 BUGGY PLACE
NORTH CHARLESTON, VA
23025
804.512.5589
SIDEPRACTICEVA@GMAIL.COM

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MAHAES

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RICHMOND, VA
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PLAN REVISIONS DATES

ELEVATIONS

SHEET
A-2
SCALE: AS NOTED



CORNICE
BOXED EAVE
W/DENTILS
CORBELS

ALUMINUM CLADDED
DOUBLE HUNG
WINDOWS

HARDIE PLANK
SIDING

FLAT SEAM METAL
ROOF

TUSCAN CAPITAL

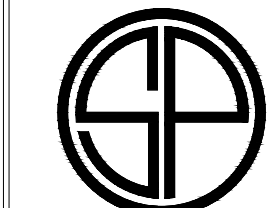
ROUND WOOD
COLUMNS

ALUMINUM CLADDED
DOUBLE HUNG W/
TRIM

RICHMOND STYLE
RAILING

WOOD DECKING
WOOD PT LATTICE
BRICK FOUNDATION

1
A-3 ENLARGED FRONT ELEVATION
SCALE: 1/2"=1'-0"



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DESIGN STUDIO LLC
724 BUGGY PLACE
NORTH CHARLESTON, VA
23025
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SIDPRACTICEVA@GMAIL.COM

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RICHMOND, VA
23223

PLAN REVISIONS DATES

HEIGHT
STUDY

SHEET
A-4
SCALE: AS NOTED

