

St. Luke Building

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FILED: 16038_cov
 DATE: MARCH 13, 2017
 REVISED: OCTOBER 11, 2017
 REVISED: NOVEMBER 22, 2017
 REVISED:

SITE DATA

OWNER/DEVELOPER: ST. LUKE BUILDING, LLC.
 C/O CHARLEY AYERS
 3007 HAWTHORNE AVE
 RICHMOND, VA 23222
 PHONE: (804) 358-4731
 EMAIL: ericap@ayerslaw.com

ENGINEER: THE BAY COMPANIES, INC.
 C/O DANIEL CASKIE, P.E.
 8500 BELL CREEK ROAD
 MECHANICSVILLE, VA 23116
 PHONE: (804) 569-7060
 EMAIL: dan.caskie@thebaycompanies.com

MAP REFERENCE # (S): N0000107009 (IN PART), N0000107010 (IN PART),
 N0000107011, N0000107012, N0000107013,
 N0000107014, N0000107015, N0000107022,
 N0000107023, N0000107024, N0000107025 (IN PART),
 N0000107026, N0000107027,
 N0000107030 (IN PART), N0000107031 (IN PART),
 N0000107032 (IN PART), N0000107033 (IN PART),
 N0000107034 (IN PART), N0000107037 (IN PART),
 N0000107038

ADDRESS: 900 ST. JAMES STREET
 RICHMOND, VA 23222

ZONING: R-53

TRAFFIC ZONE: 1031

EXISTING USE: 409-B COMMERCIAL SHELL

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

ACREAGE: TOTAL: 0.875 ACRES
 RIGHT-OF-WAY: 0.000 ACRES
 COMMON AREA: 0.000 ACRES
 LOTS: 0.875 ACRES

PROPOSED LOTS: 1 LOTS

WATER: PUBLIC

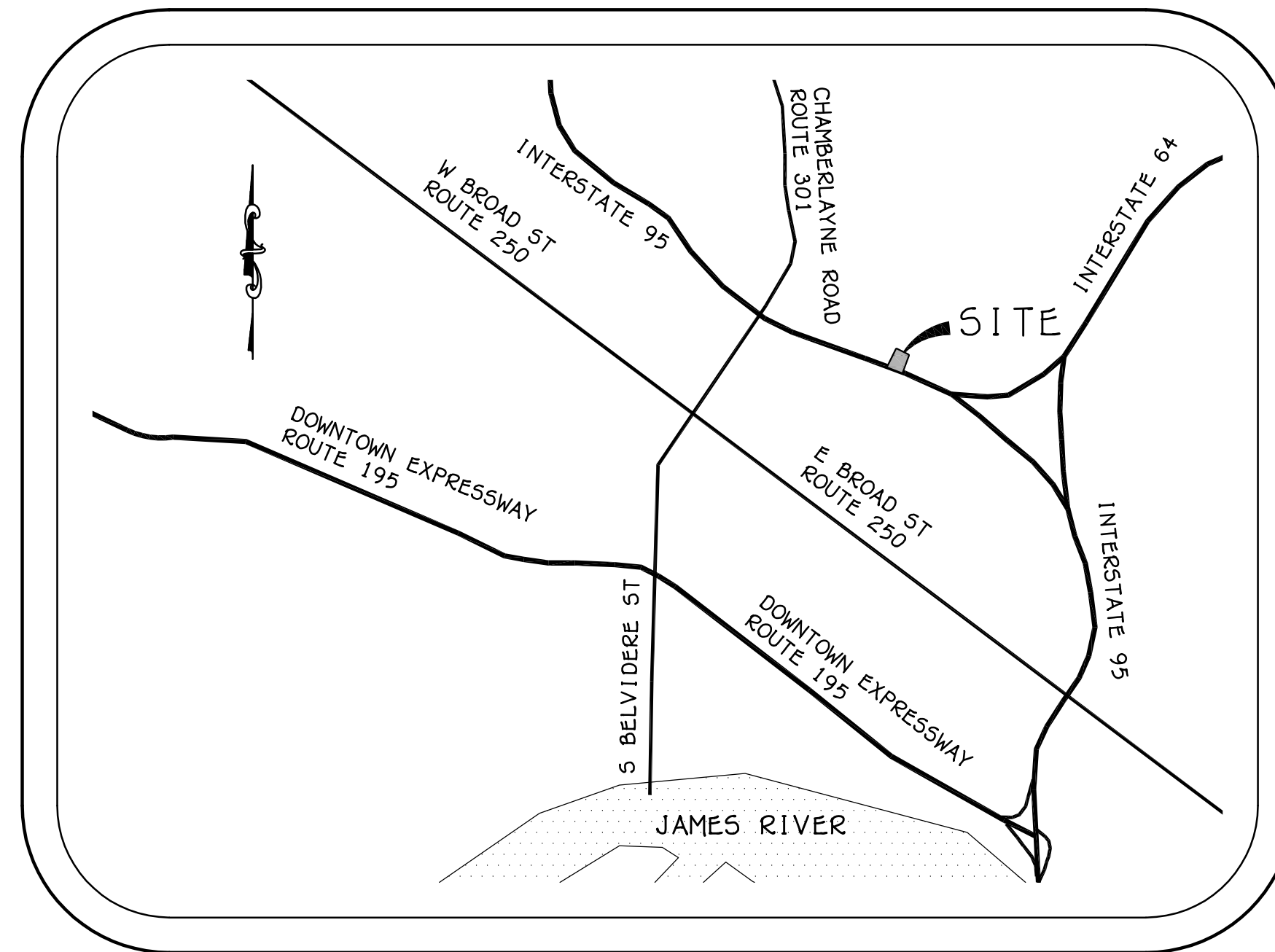
SEWER: PUBLIC

PUBLIC UTILITIES: UNDERGROUND

900 St. James Street
 North District
 City of Richmond, Virginia

NOTES

1. THIS PLAN WAS PREPARED BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF VIRGINIA.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND THE PERMITTEE WILL INSPECT THE EROSION AND SEDIMENT CONTROL MEASURES AT LEAST ONCE EVERY TWO WEEKS AND WITHIN 48 HOURS OF A RAINSTORM EVENT DURING CONSTRUCTION TO ENSURE COMPLIANCE WITH THE APPROVED PLAN. RECORDS OF SELF-INSPECTION SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW BY COUNTY INSPECTORS.
3. THIS PROJECT COMPLIES WITH MINIMUM STANDARDS (MS) AS SET FORTH BY THE VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION.



VICINITY MAP
 SCALE: 1" = 2000'

ENVIRONMENTAL SITE ASSESSMENT

1. BASE FLOOD HAZARD AREAS - SITE LIES IN ZONE "OTHER AREAS" PER THE FLOOD INSURANCE RATE MAP FOR THE CITY OF RICHMOND (PANEL 510129-0041E) DATED JULY 16, 2014.
2. NON-TIDAL WETLANDS DO NOT EXIST ON THIS SITE.
3. TIDAL WETLANDS DO NOT EXIST ON THIS SITE.
4. NO TIDAL SHORES EXIST ON THIS SITE.
5. NO TRIBUTARY OR NON-TRIBUTARY STREAMS EXIST ON THIS SITE.
6. PROPERTY WITHIN THE LIMITS OF THIS SITE IS NOT LOCATED IN CHESAPEAKE BAY PRESERVATION AREA DESIGNATED BY THE CITY OF RICHMOND, VIRGINIA PURSUANT TO CHAPTER 14 OF THE CITY CODE OF 2015.

TOPOGRAPHY
 SOURCE: FIELD SURVEY
 SURVEY DATE: FEBRUARY 2017
 RESPONSIBLE PARTY: THE BAY COMPANIES; CEDRIC B. YOUNG, L.S.

NOTE:
 HORIZONTAL DATUM = NAD83
 VERTICAL DATUM = NAVD88

SHEET INDEX

- C1 COVER SHEET
- C2 LAYOUT & UTILITY AND GRADING & DRAINAGE
- C3 OFFSITE STORM PLAN, PROFILE, AND CALCULATIONS
- C4 BMP#1 CALCULATIONS AND DETAILS
- C5 SITE DETAILS
- C6 EROSION CONTROL NOTES AND DETAILS
- C7 MINIMUM STANDARDS PER VAESCH
- C8 UTILITY DETAILS
- L1 LANDSCAPE PLAN AND DETAILS
- L2 LIGHTING PLAN
- L3 LIGHTING DETAILS

APPROXIMATE UTILITY QUANTITIES

| WATER | SEWER |
|---------------------------------------|-------|
| 8" x 6" T&V..... 2 EA | N/A |
| 6" DOUBLE DECTOR CHECK..... 1 EA | |
| 1 1/2" DOMESTIC WATER METER..... 1 EA | |
| FIRE HYDRANT..... 1 EA | |

EROSION CONTROL QUANTITIES

| | |
|---|---------|
| SILT FENCE..... | 499 LF |
| INLET PROTECTION..... | 1 EA |
| EC SEEDING at \$2,200 /AC..... | 0.21 AC |
| EC LAND DISTURBANCE at \$2,100 /AC..... | 0.75 AC |

DRAINAGE QUANTITIES

| | |
|-----------------------|--------|
| 15" CL III RCP..... | 151 LF |
| PG-2A TYPE D..... | 10 LF |
| D1-1 STRUCTURE..... | 1 EA |
| TRAP MANHOLE..... | 1 EA |
| DOGHOUSE MANHOLE..... | 1 EA |

NOTE:
 DRAINAGE AND UTILITY QUANTITIES INCLUDE ALL ITEMS LOCATED WITHIN CITY RIGHT-OF-WAY AND PUBLIC EASEMENTS.

FLOOR USE SUMMARY:

FOUR STORY BUILDING:
 BASEMENT = STORAGE
 1ST FLOOR = RESIDENTIAL/BUSINESS
 2ND FLOOR = 4 RESIDENTIAL UNITS
 3RD FLOOR = 4 RESIDENTIAL UNITS
 4TH FLOOR = 4 RESIDENTIAL UNITS

TWO STORY BUILDING:
 1ST FLOOR = VACANT
 2ND FLOOR = VACANT

PARKING REQUIREMENTS:

1 SPACE PER RESIDENTIAL UNIT
 REQUIRED = 12 SPACES

1 SPACE PER 300 SF OF OFFICE FOR FIRST 1,500 SF,
 PLUS 1 SPACE PER 400 SF IN EXCESS THEREOF
 REQUIRED = 7 SPACES

TOTAL REQUIRED = 19 SPACES

TOTAL PROVIDED = 37 SPACES (2 HANDICAP)

BICYCLE REQUIREMENTS:

NUMBER OF DWELLING UNITS = 12

SHORT-TERM BICYCLE PARKING REQUIRED: NONE

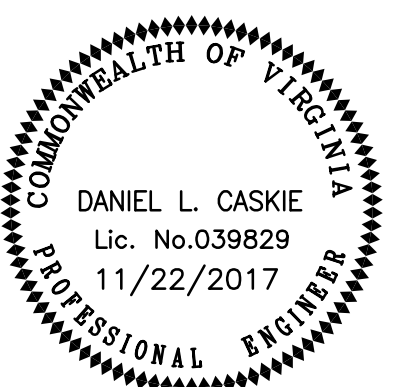
LONG-TERM BICYCLE PARKING REQUIRED: 4 SPACES
 LONG-TERM BICYCLE PARKING PROVIDED: 4 SPACES
 (IN BASEMENT)

REVISIONS TO APPROVED PLANS

| DATE | SHEET NUMBERS |
|------|---------------|
| | |
| | |
| | |
| | |

THE BAY COMPANIES
CIVIL ENGINEERS

8500 BELL CREEK ROAD
 MECHANICSVILLE, VA 23116
 (804) 569-7060
 FAX: (804) 569-7061



PROJECT:

St. Luke Building

900 St. James Street
 North District
 City of Richmond, Virginia

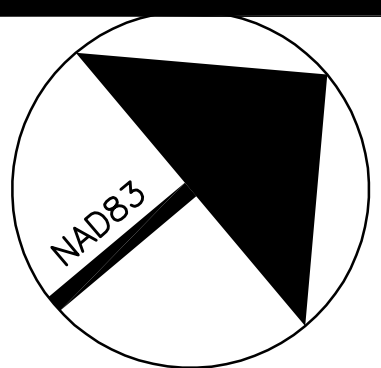
SHEET:

Cover Sheet

SHEET NO:

C1

JOB NO. 16038



PUBLIC ACCESS AND ALLEY NOTES:

- THE PUBLIC ACCESS AND ALLEY EASEMENT TO BE RECORDED PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY FOR THE COMMERCIAL/OFFICE USES COVERED BY SUP 019949 2017.
- THE LOCATION OF THE PUBLIC ACCESS AND ALLEY EASEMENT MAY BE CHANGED AT A FUTURE TIME TO BETTER ALIGN WITH THE BLOCK AND RELATE TO FUTURE DEVELOPMENT PLANS.

NOTE:
SEE OFFSITE STORM PLAN, PROFILE, AND CALCULATION FOR STORM OUTFALL.

STRUCTURE SCHEDULE

IS-1 REQUIRED ON ALL STRUCTURES
ST-1 REQUIRED ON STRUCTURES HIGHER THAN 4'
SL-1 REQUIRED ON STRUCTURES HIGHER THAN 12'

| STRUCTURES | DI-T | INV IN | INV OUT | TOP | H |
|------------|----------|---------|---------|-----|--------|
| 1 | DI-T | INV IN | 157.75 | TOP | 161.05 |
| 2 | TRAP MH | INV IN | 154.40 | TOP | 161.30 |
| 3 | DOGHOUSE | INV IN | 150.91 | TOP | 161.20 |
| | MH | INV OUT | 150.81 | H | 10.39 |

PIPES

| PIPES | TO | TO | 118.39 LF 15" RCP AT | 2.83% |
|-------|----|----|----------------------|--------|
| 1 | TO | 2 | 118.39 LF 15" RCP AT | 2.83% |
| 2 | TO | 3 | 32.53 LF 15" RCP AT | 10.42% |

HATCH LEGEND:

- EXISTING BRICK PAVEMENT SIDEWALK
- PROPOSED BRICK PAVEMENT SIDEWALK
- EXISTING CONCRETE SIDEWALK TO BE REMOVED
- PROPOSED CONCRETE SIDEWALK/PAV
- EXISTING PAVEMENT
- PROPOSED PAVEMENT

EROSION CONTROL NARRATIVE

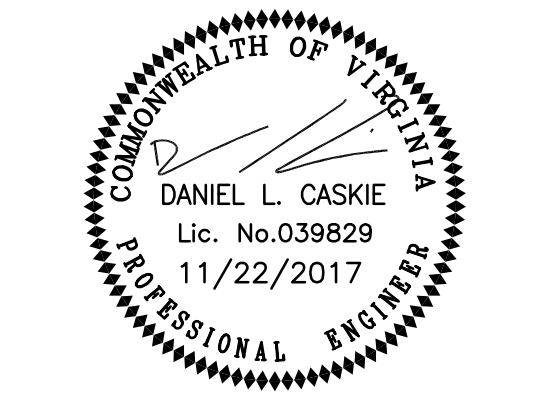
- ENGINEER TO FLAG ULTIMATE LIMITS OF DISTURBANCE AND PRE CONSTRUCTION MEETING TO BE HELD
- INSTALL SILT FENCE, CONSTRUCTION ENTRANCE, DIVERSION, AND STORM STRUCTURES WITH INLET PROTECTION.
- EROSION CONTROL DEVICES TO BE INSPECTED BY ENVIRONMENTAL ENGINEER INSPECTOR.
- ROUGH GRADE SITE AND INSTALL UTILITIES.
- INSTALL REMAINING INFRASTRUCTURE.
- SITE TO BE FINAL GRADED AND PERMANENTLY SEEDDED.
- ALLOW FOR PERMANENT SEEDING TO BECOME ESTABLISHED SUFFICIENTLY TO DETER EROSION.
- ANY REMAINING SILT FENCE TO BE REMOVED AND AREAS FINAL GRADED AND PERMANENTLY SEEDDED AFTER APPROVAL FROM THE CITY OF RICHMOND EROSION CONTROL INSPECTOR.
- CITY ENGINEER AND BAY COMPANIES ENGINEER TO PERFORM "FINAL PERFORMANCE" INSPECTION - THE BAY COMPANIES TO PROVIDE LETTER OF CONFORMANCE.
- NO EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED WITHOUT APPROVAL OF THE RICHMOND CITY EROSION CONTROL INSPECTOR.

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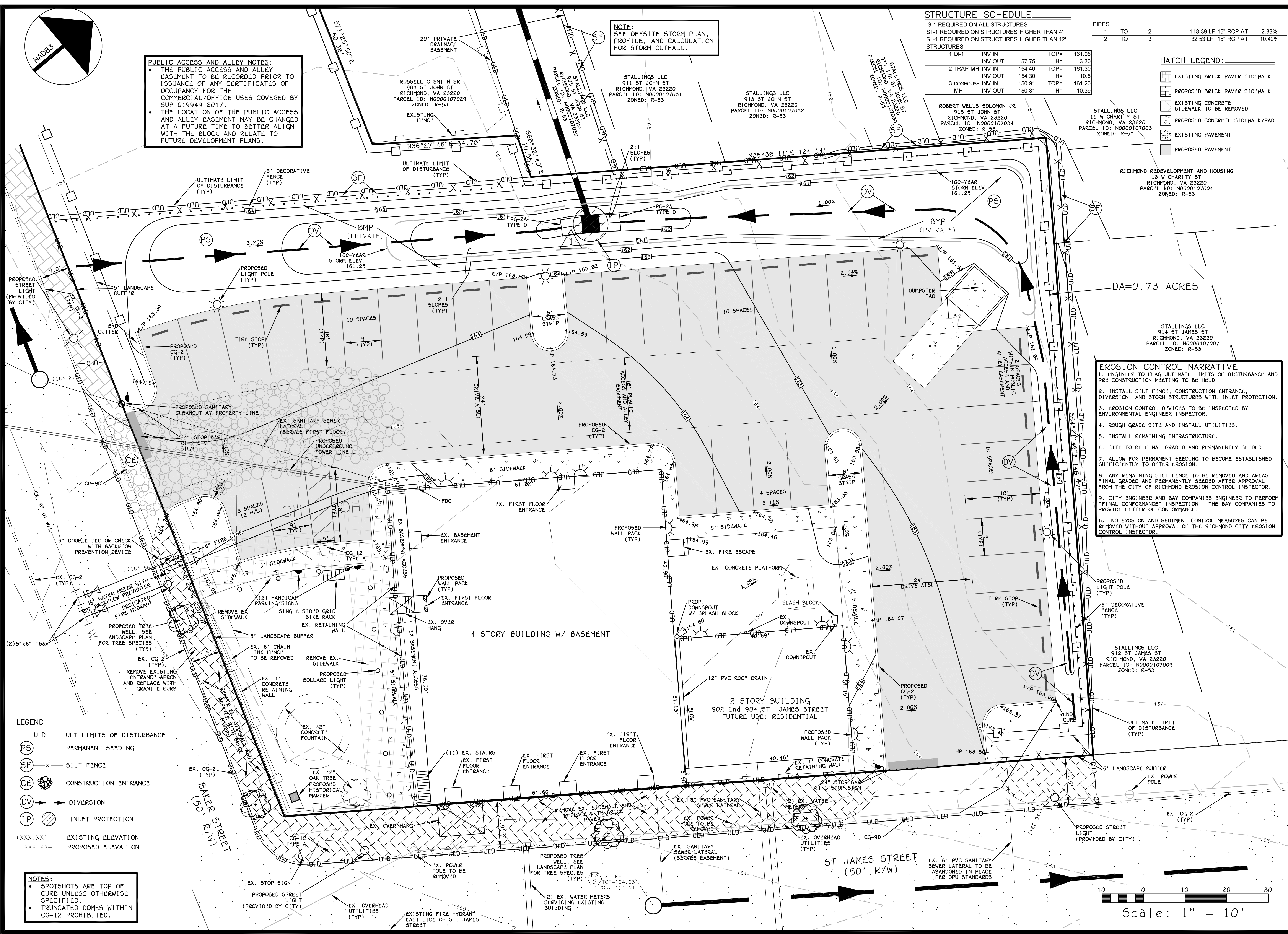
8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
(804) 569-7060
FAX: (804) 569-7061



PROJECT:
St. Luke Building
900 St. James Street
North District
City of Richmond, Virginia

SHEET:
Layout & Utility and Grading & Drainage Plan
SHEET NO:

C2
JOB NO. 16038

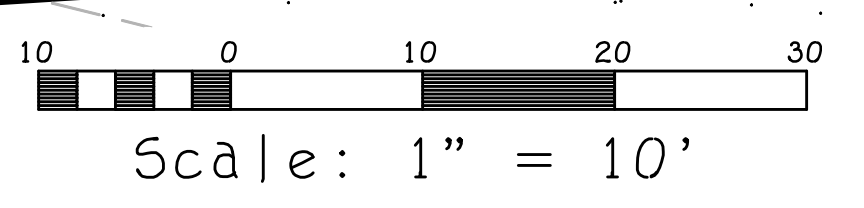


LEGEND

- ULD - ULT LIMITS OF DISTURBANCE
- PS - PERMANENT SEEDING
- SF - SILT FENCE
- CE - CONSTRUCTION ENTRANCE
- DV - DIVERSION
- IP - INLET PROTECTION
- (XXX.XX)+ - EXISTING ELEVATION
- XXX.XX+ - PROPOSED ELEVATION

NOTES:

- SPOTS ARE TOP OF CURB UNLESS OTHERWISE SPECIFIED.
- TRUNCATED DOMES WITHIN CG-12 PROHIBITED.

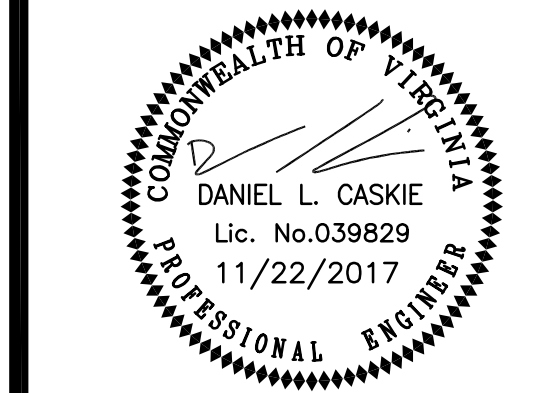


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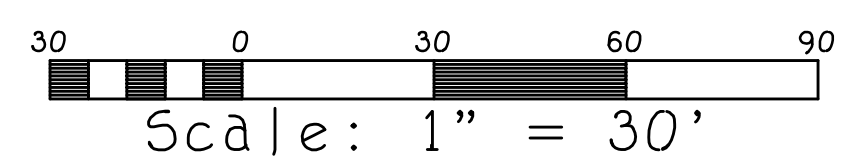
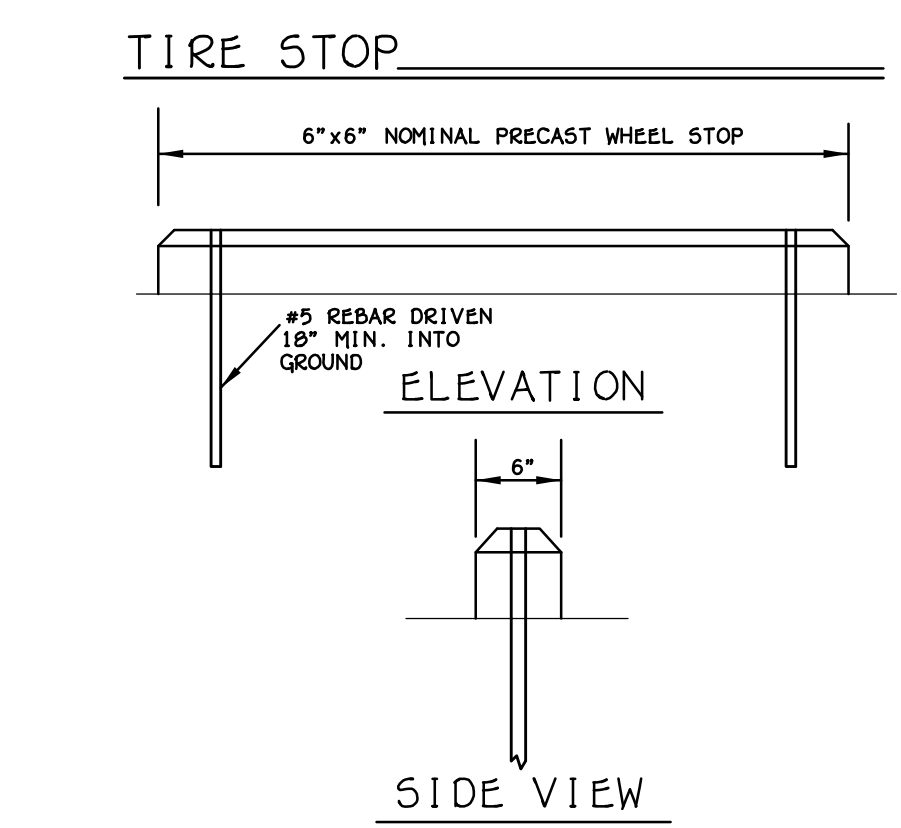
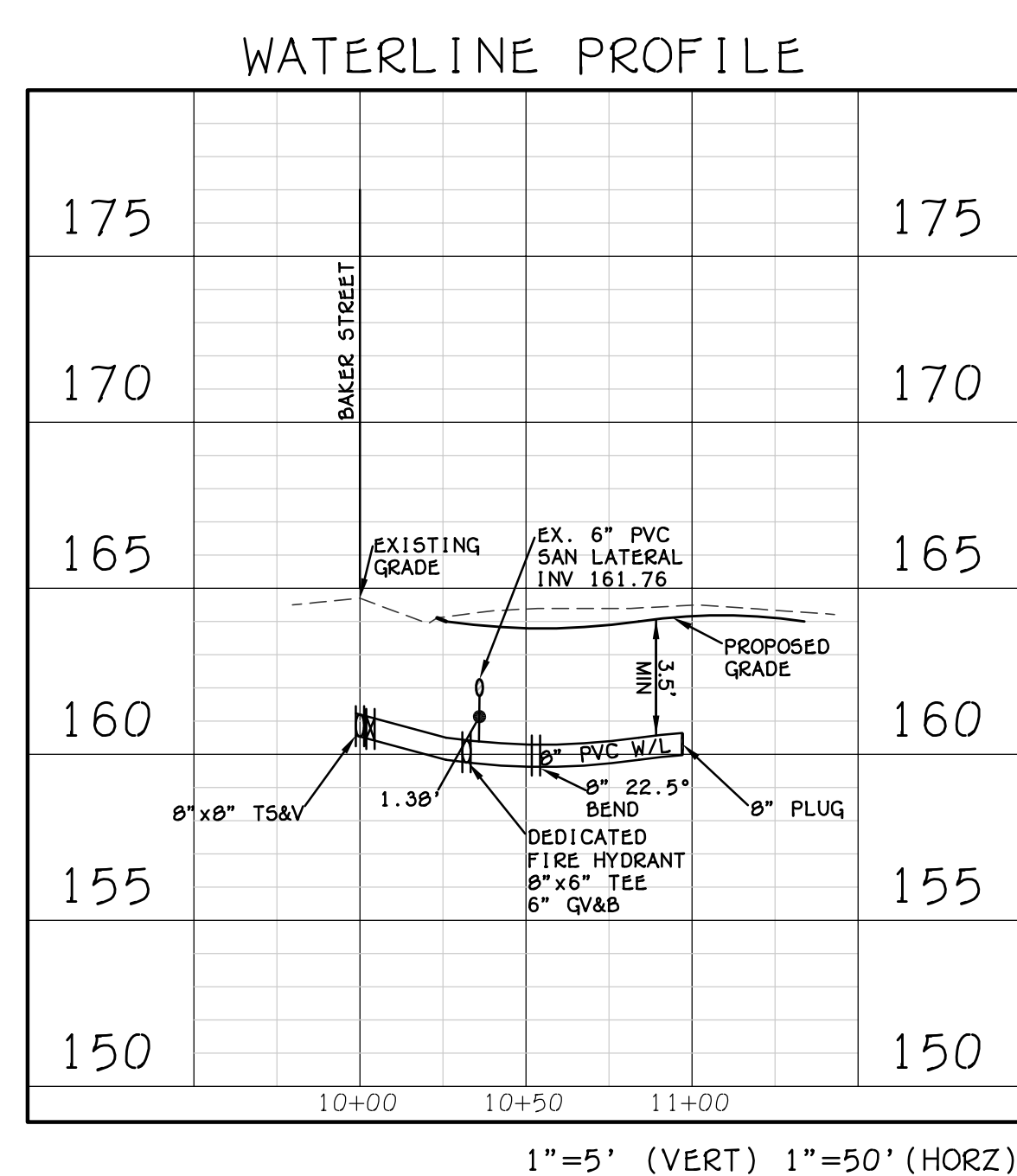
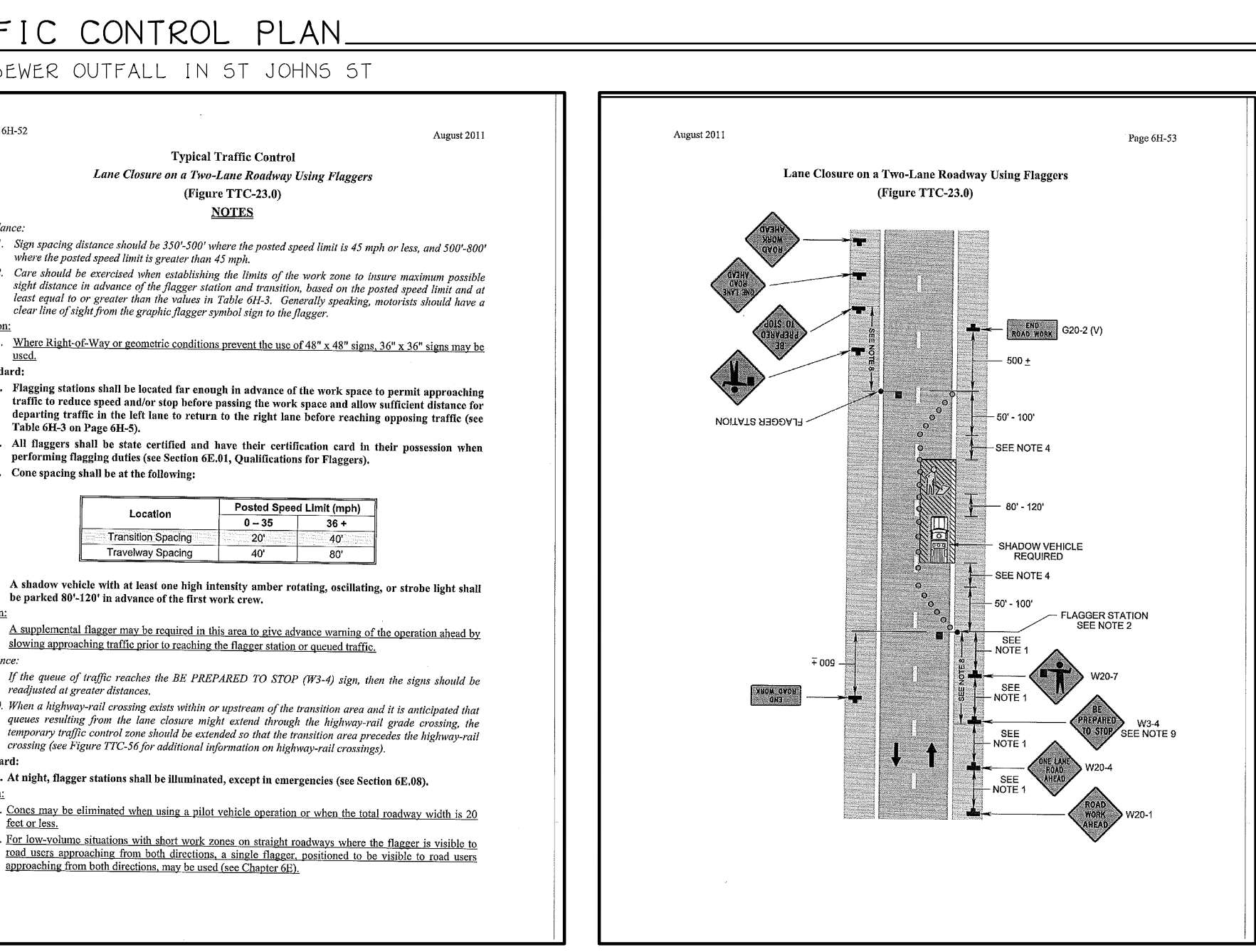
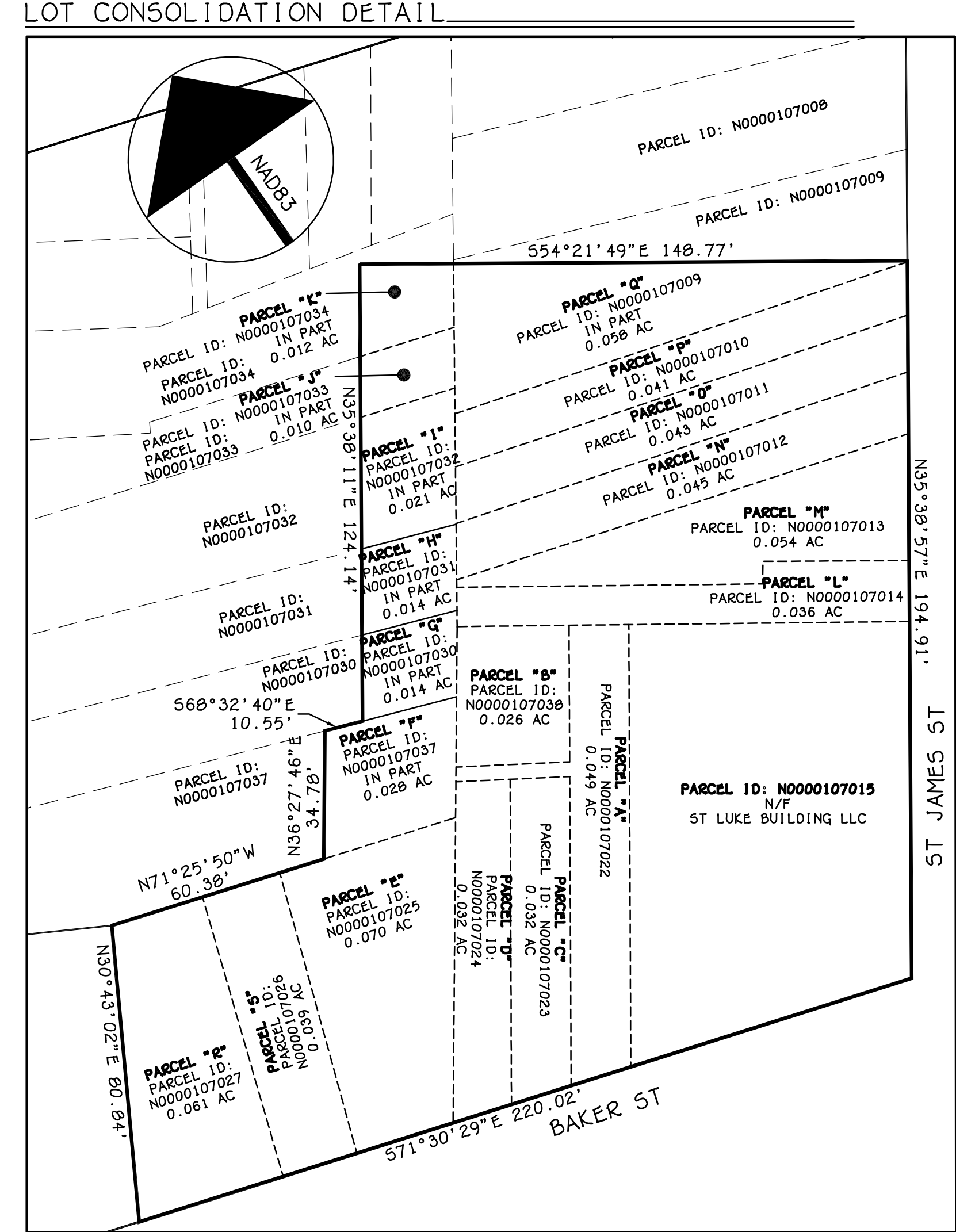
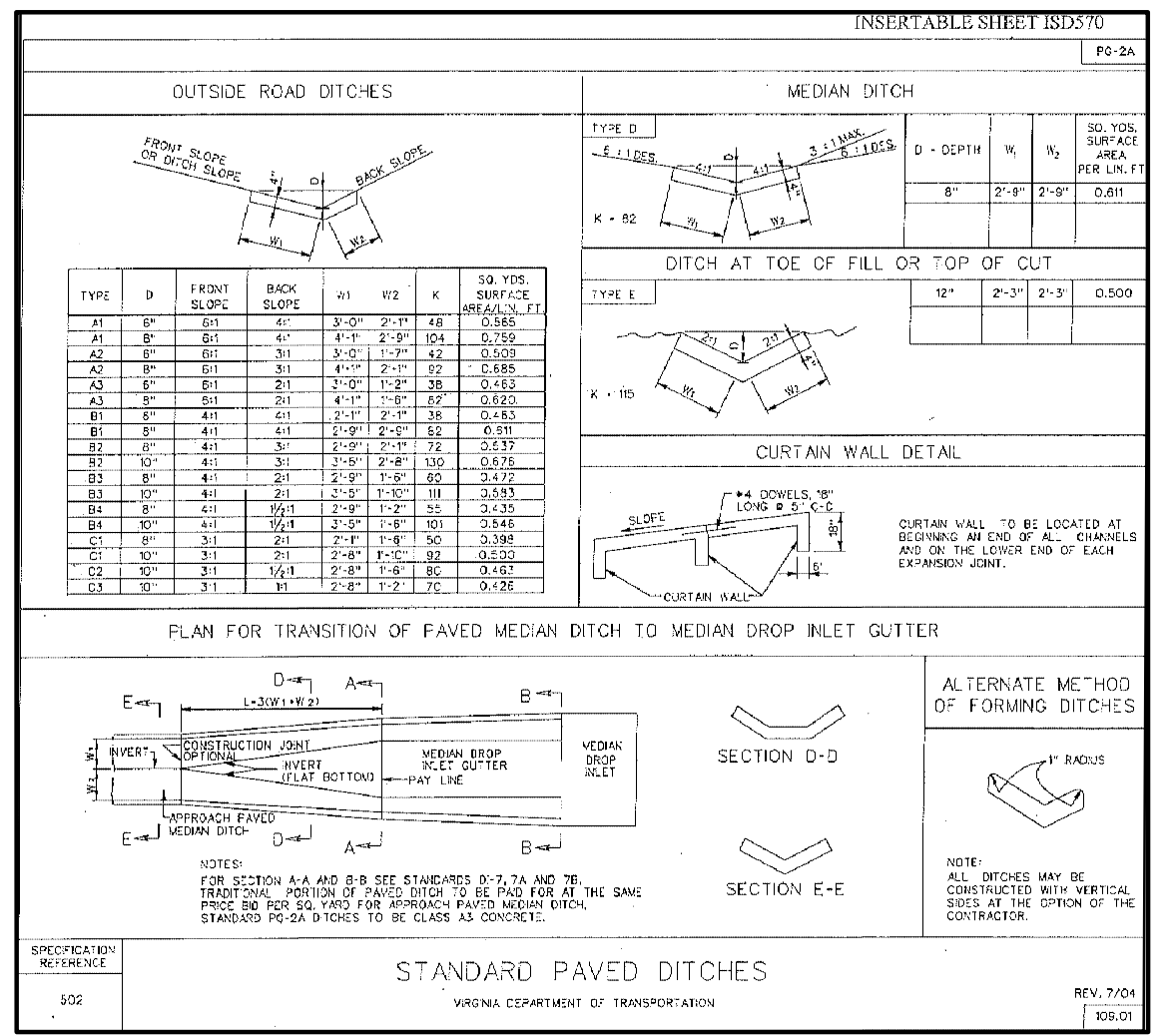
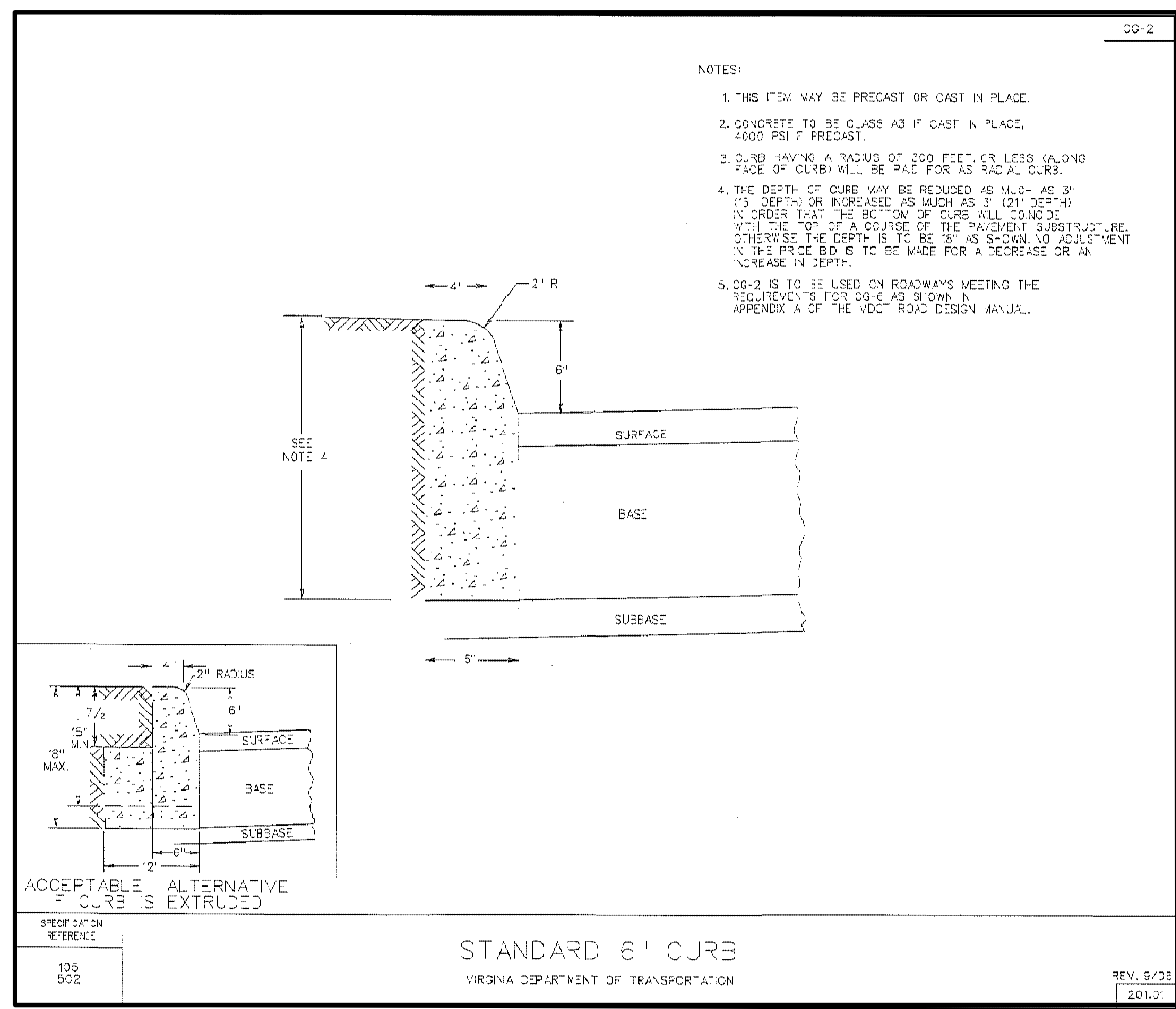
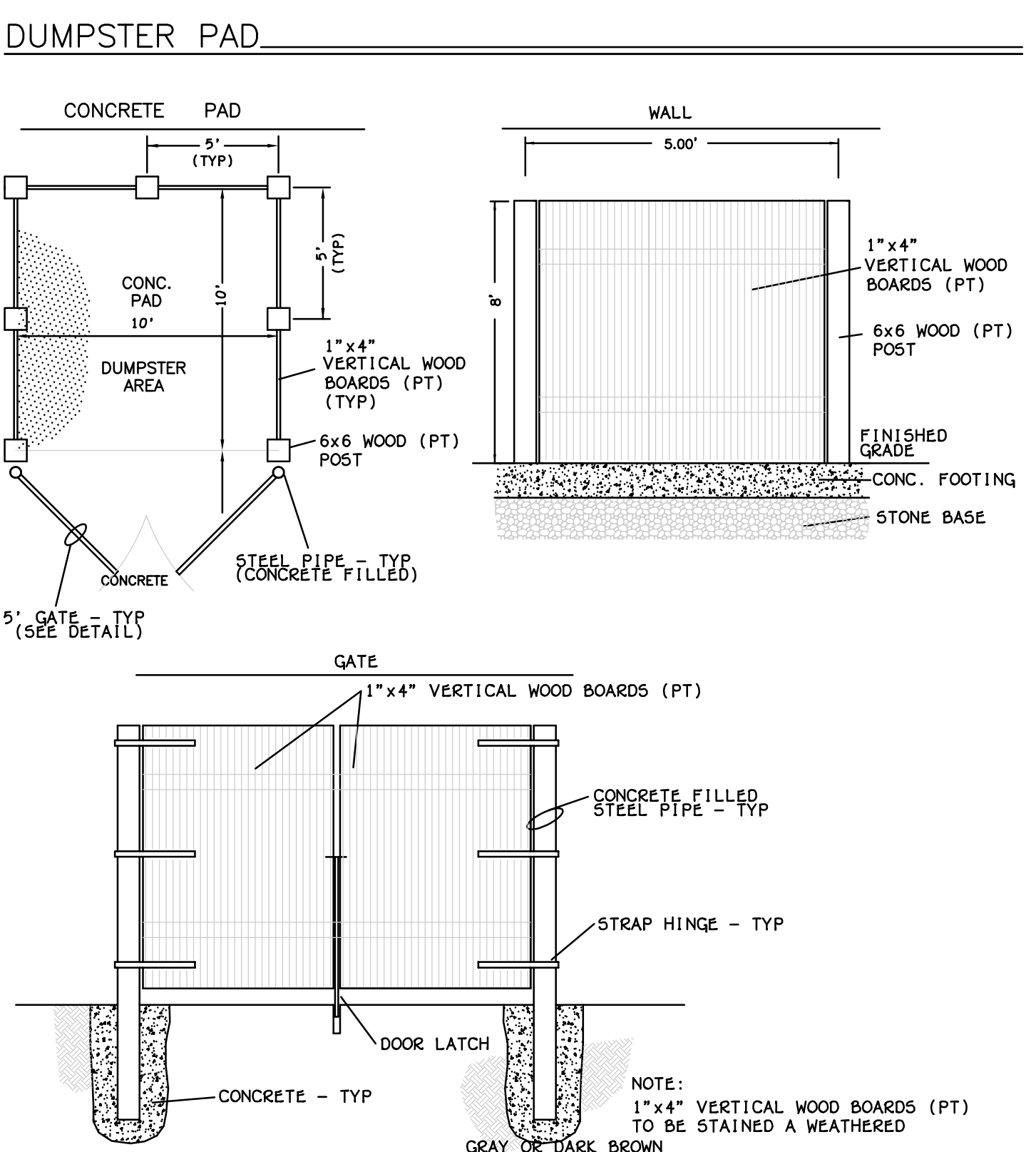
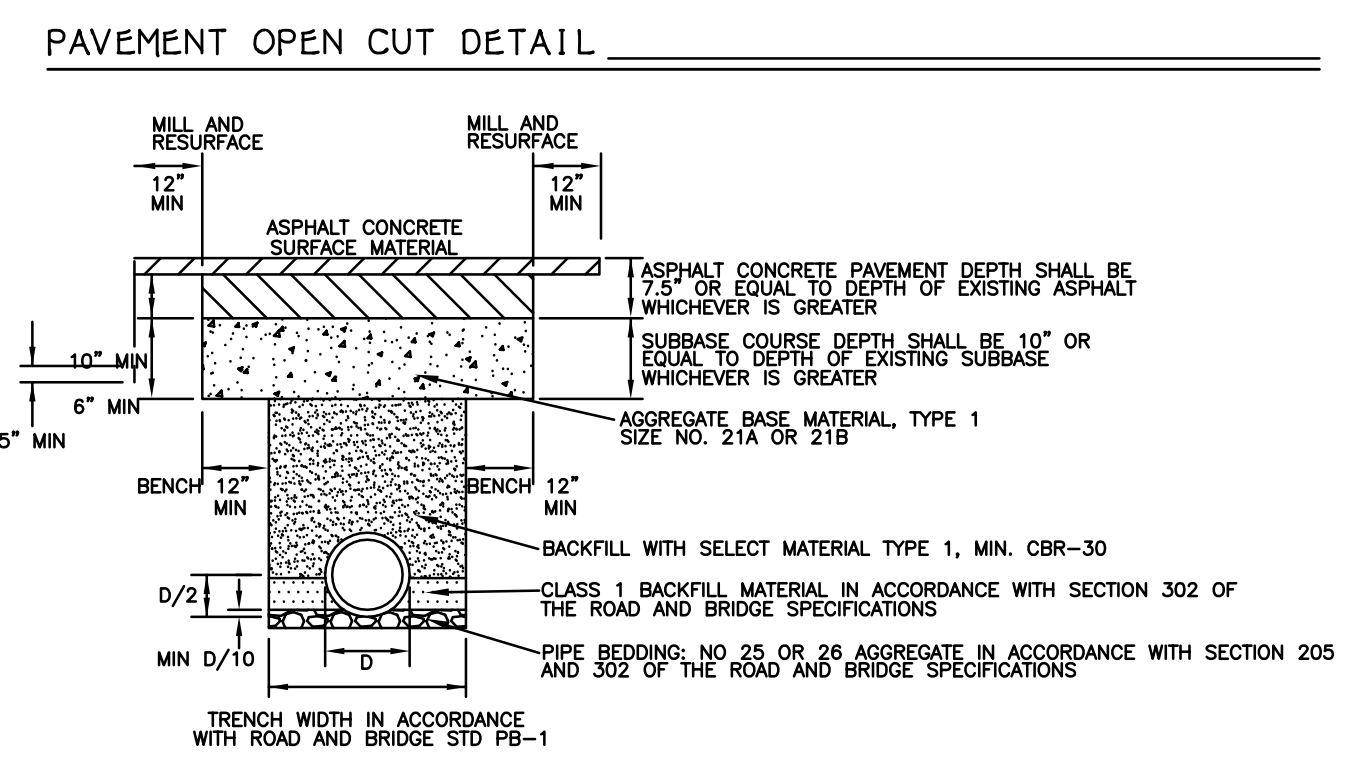
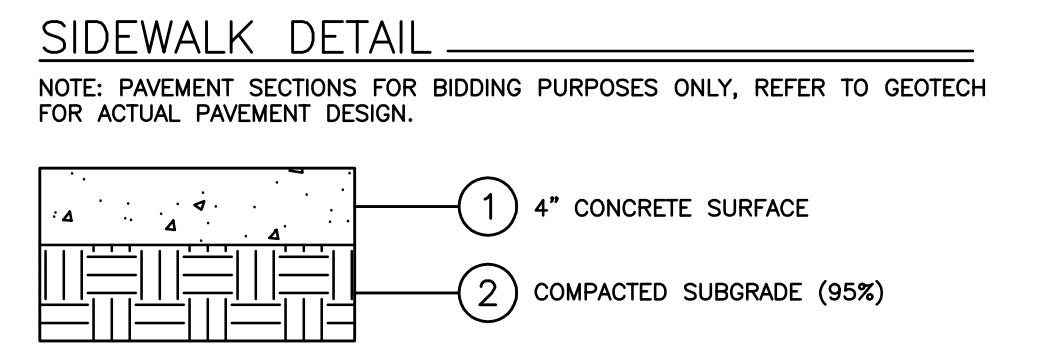
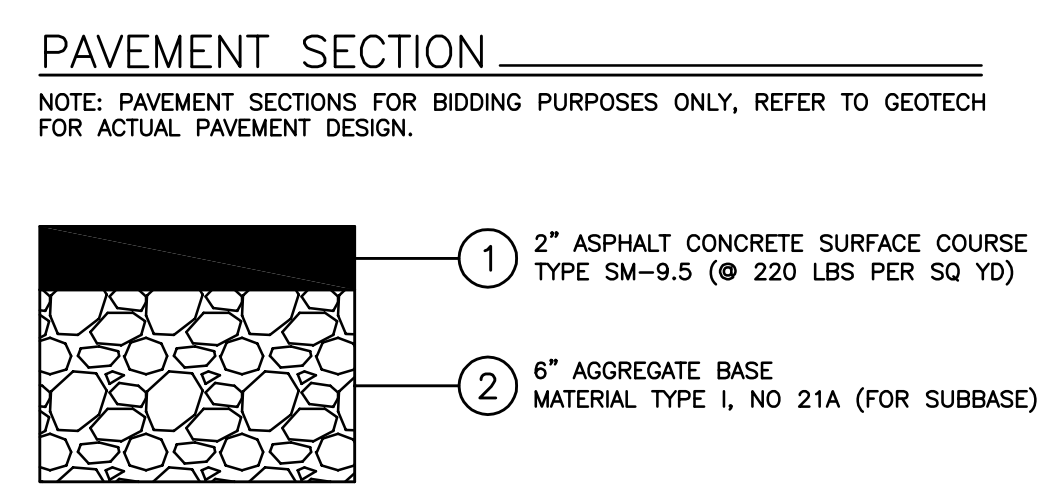
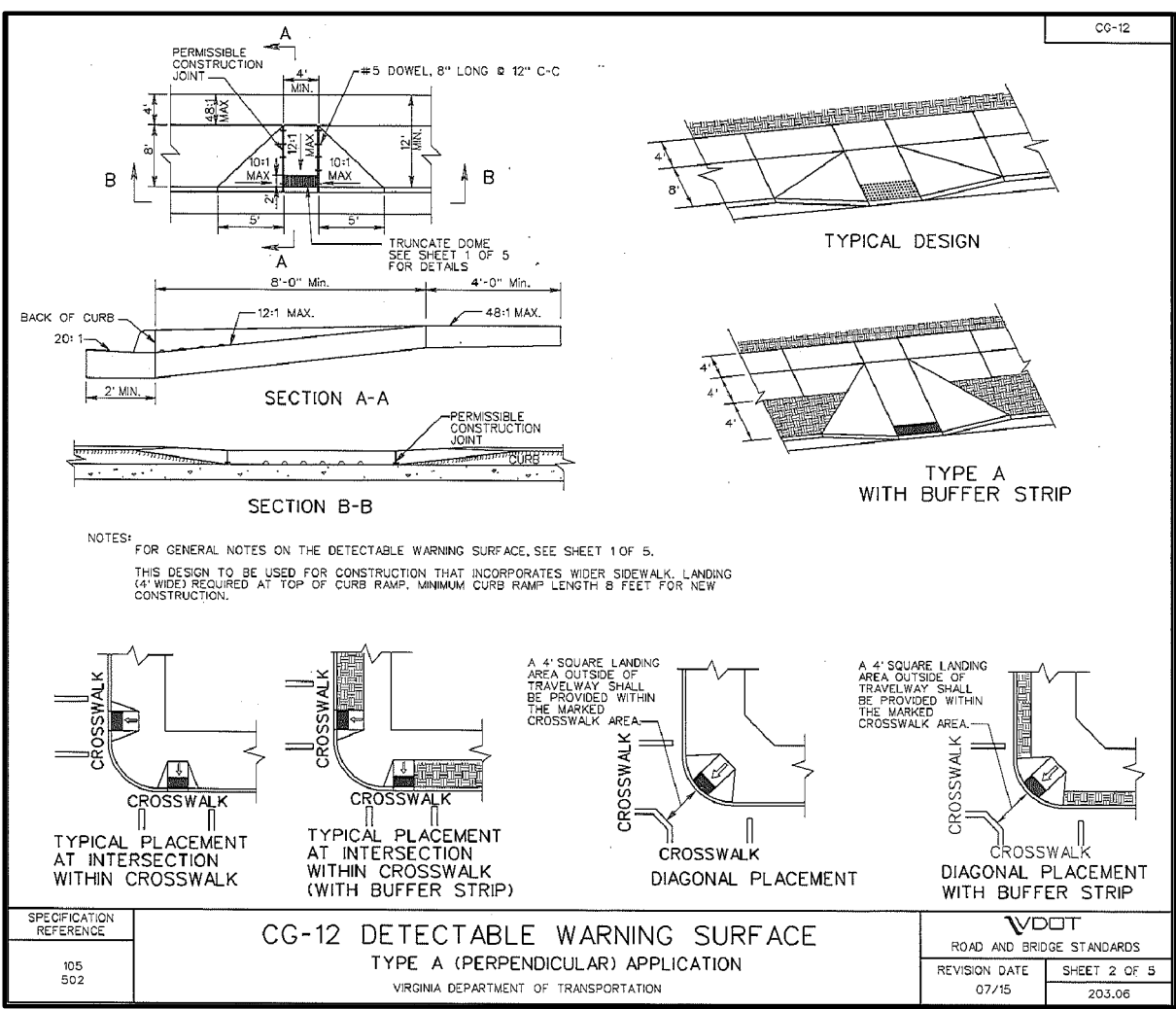
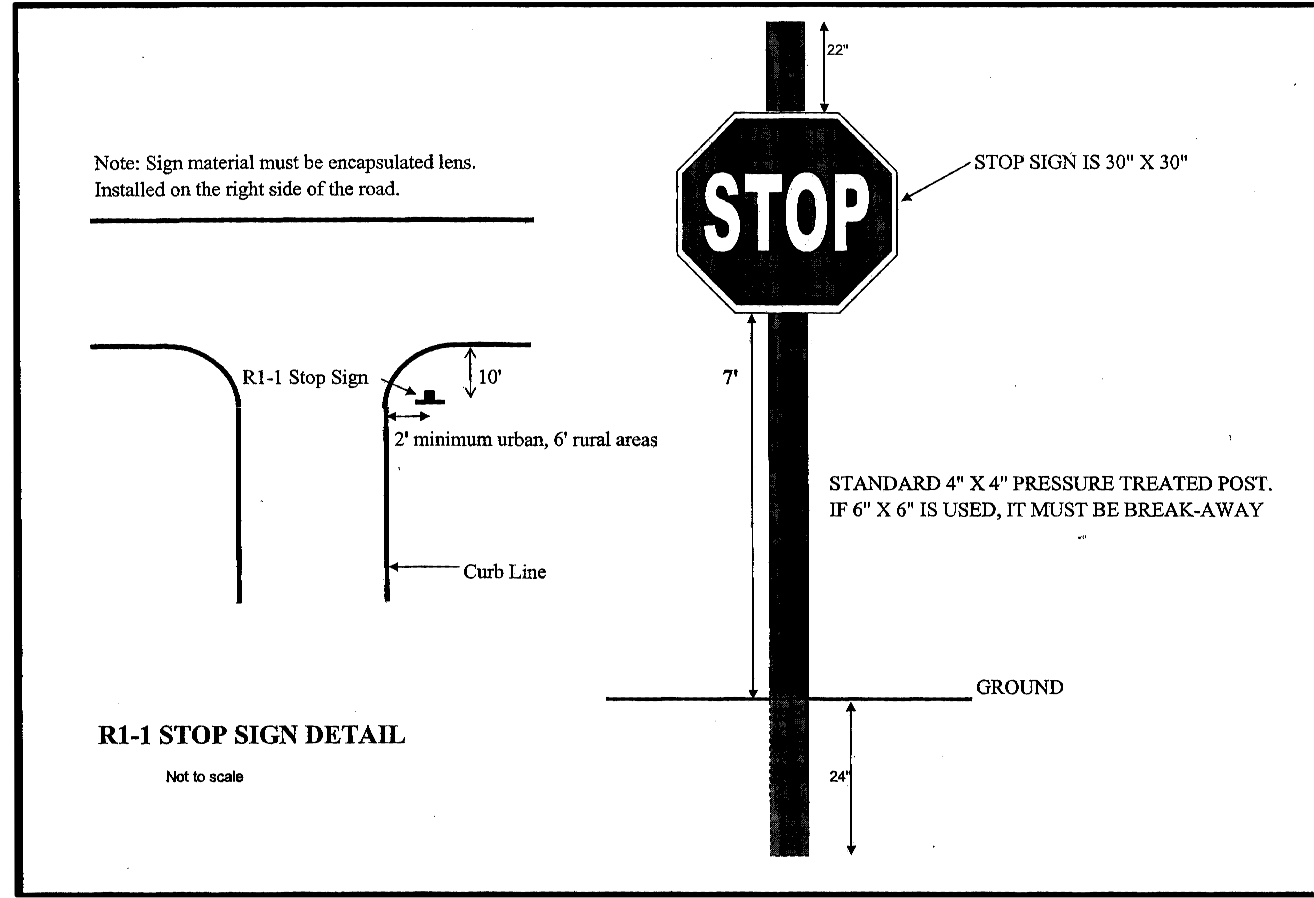
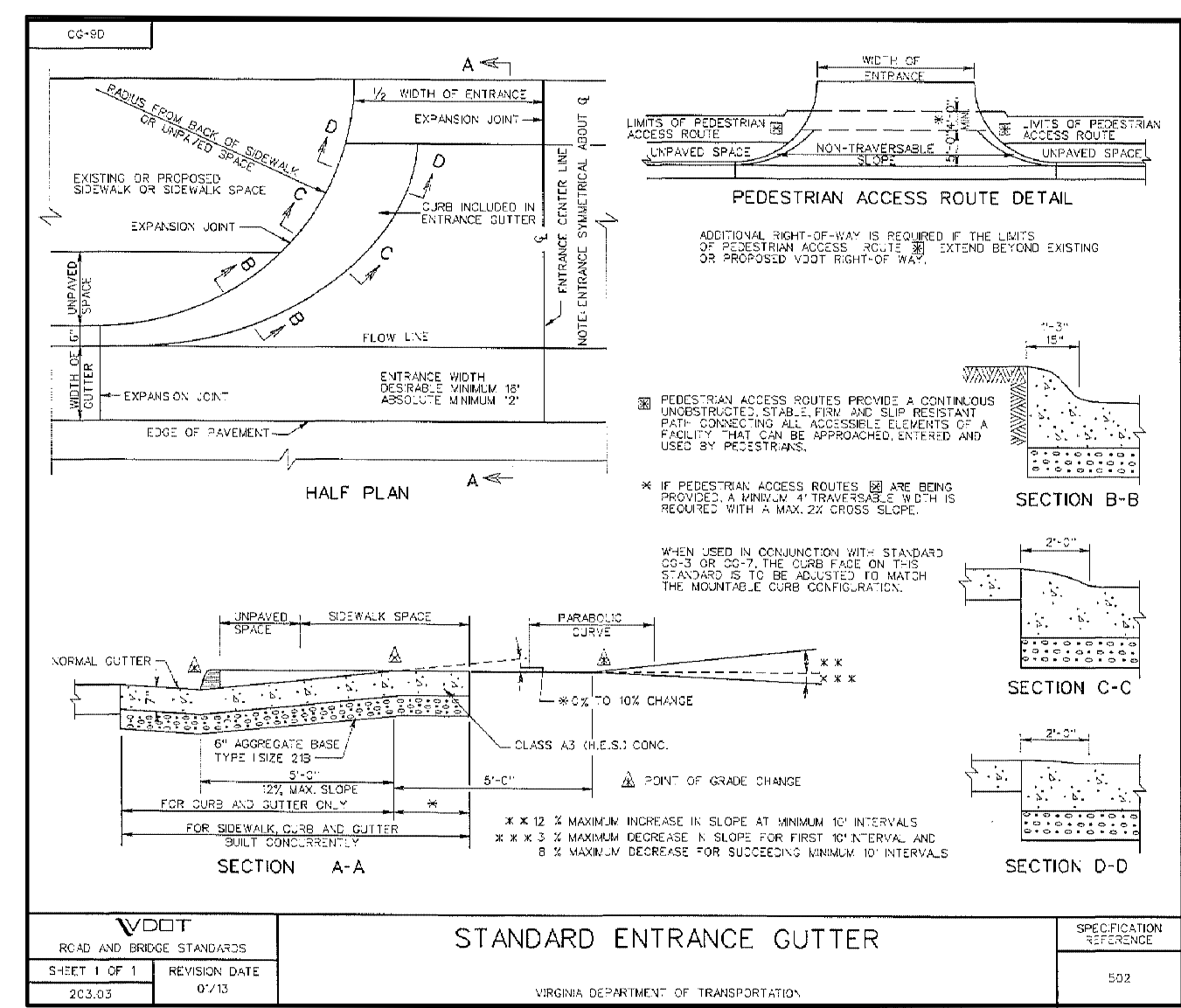
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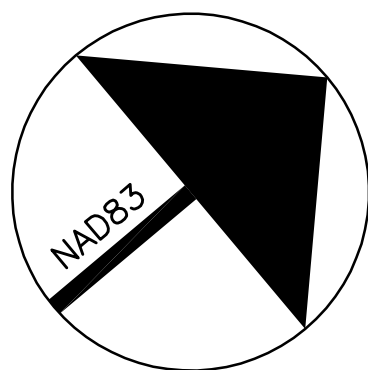


PROJECT: St. Luke Building
 900 St. James Street
 North District
 City of Richmond, Virginia

SHEET: Site Details

SHEET NO: C5
 JOB NO. 16038

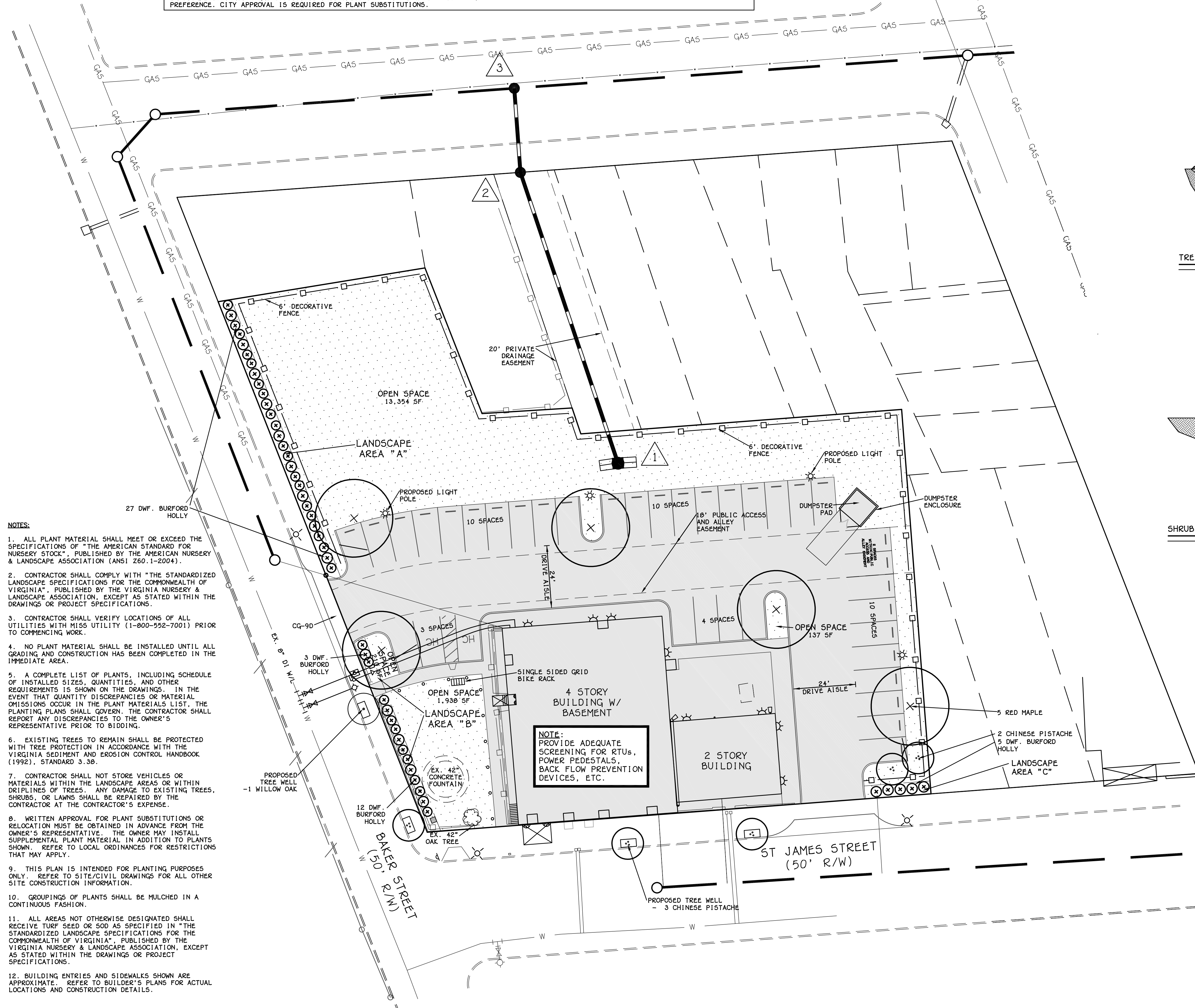




PLANTING SCHEDULE

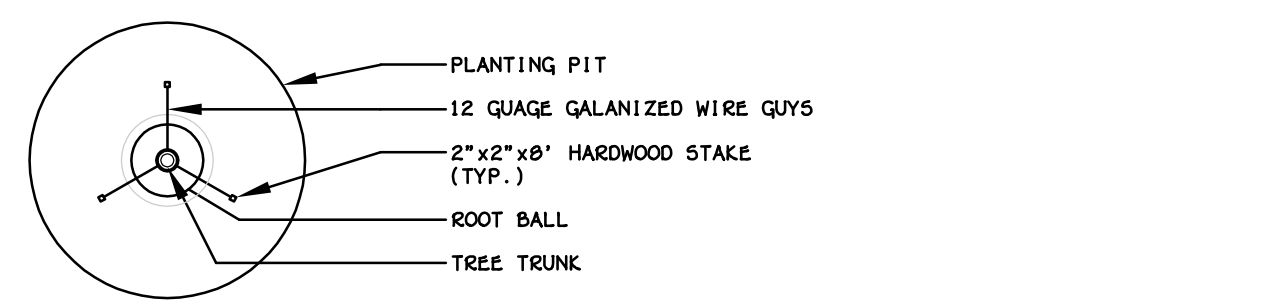
| KEY | NUMBER | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | ROOT | STAKING | CANOPY @ 10 YRS. | TOTAL CANOPY |
|-----|--------|-----------------------------|--------------------|-------------|----------|-------|-----------|------------------|--------------|
| + | 5 | Acer Rubrum | Red Maple | 2-1/2" cal. | see plan | B & B | if needed | 200 | 1000 |
| • | 5 | Pistacia Chinensis | CHINESE PISTACHE | 3-4' HEIGHT | see plan | B & B | if needed | 200 | 1000 |
| ⊙ | 47 | ILEX CORNUTA BURFORDII NANA | DWF. BURFORD HOLLY | 10-24" | see plan | CONT. | No | N/A | N/A |
| ○ | 1 | Quercus phellos | Willow Oak | 2-1/2" cal. | see plan | B & B | if needed | 200 | 200 |

LANDSCAPE CONTRACTOR MAY SUBSTITUTE TREE SPECIES DUE TO AVAILABILITY OR OWNER PREFERENCE. CITY APPROVAL IS REQUIRED FOR PLANT SUBSTITUTIONS.

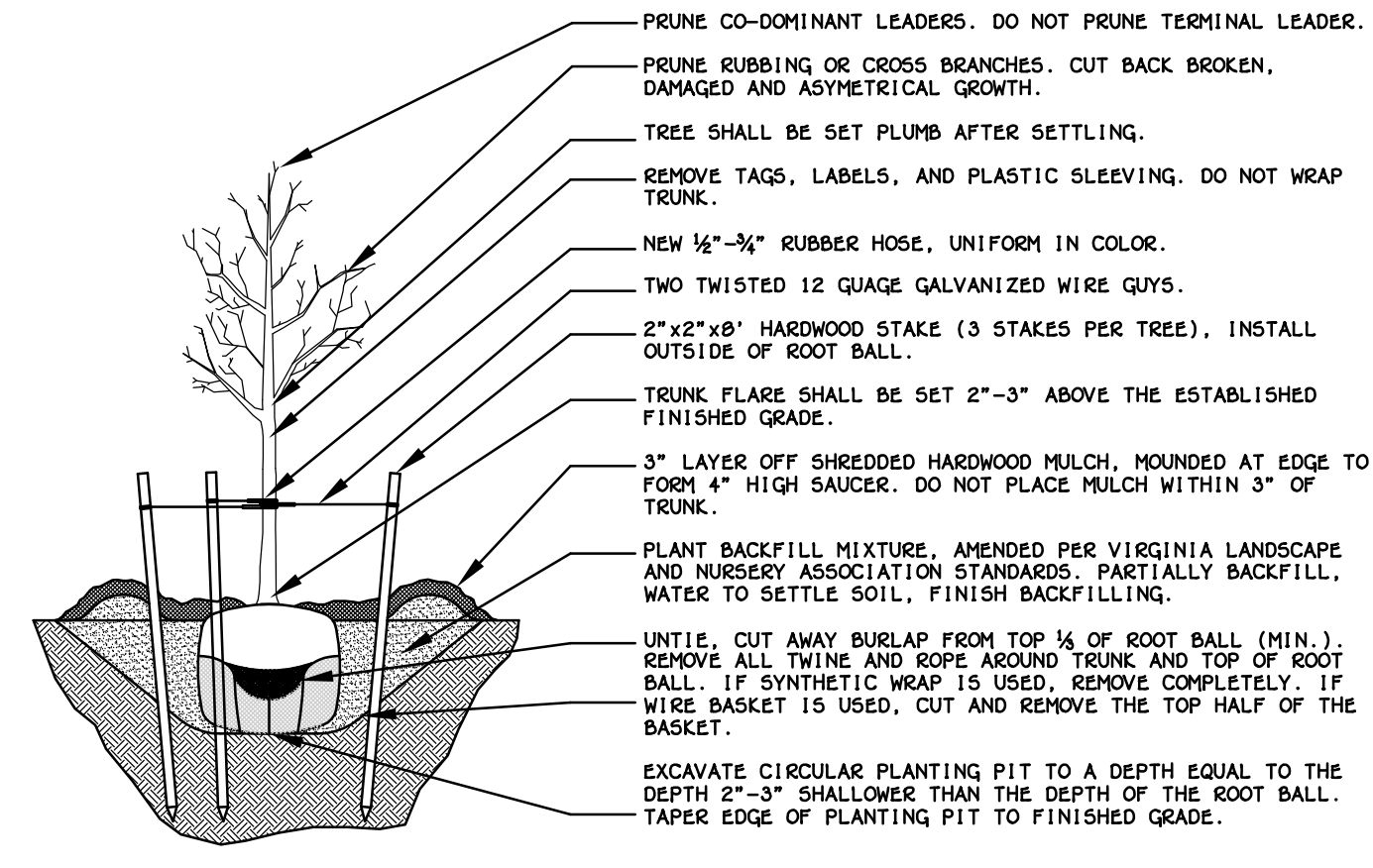


- NOTES:**
1. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANSI Z60.1-2004).
 2. CONTRACTOR SHALL COMPLY WITH "THE STANDARDIZED LANDSCAPE SPECIFICATIONS FOR THE COMMONWEALTH OF VIRGINIA", PUBLISHED BY THE VIRGINIA NURSERY & LANDSCAPE ASSOCIATION, EXCEPT AS STATED WITHIN THE DRAWINGS OR PROJECT SPECIFICATIONS.
 3. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES WITH MISS UTILITY (1-800-952-7001) PRIOR TO COMMENCING WORK.
 4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 5. A COMPLETE LIST OF PLANTS, INCLUDING SCHEDULE OF INSTALLED SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING.
 6. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TREE PROTECTION IN ACCORDANCE WITH THE VIRGINIA SEDIMENT AND EROSION CONTROL HANDBOOK (1992), STANDARD 3.38.
 7. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPE AREAS OR WITHIN DRIPLINES OF TREES. ANY DAMAGE TO EXISTING TREES, SHRUBS, OR LAWNS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 8. WRITTEN APPROVAL FOR PLANT SUBSTITUTIONS OR RELOCATION MUST BE OBTAINED IN ADVANCE FROM THE OWNER'S REPRESENTATIVE. THE OWNER MAY INSTALL SUPPLEMENTAL PLANT MATERIAL IN ADDITION TO PLANTS SHOWN. REFER TO LOCAL ORDINANCES FOR RESTRICTIONS THAT MAY APPLY.
 9. THIS PLAN IS INTENDED FOR PLANTING PURPOSES ONLY. REFER TO SITE/CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.
 10. GROUPINGS OF PLANTS SHALL BE MULCHED IN A CONTINUOUS FASHION.
 11. ALL AREAS NOT OTHERWISE DESIGNATED SHALL RECEIVE TURF SEED OR SOO AS SPECIFIED IN "THE STANDARDIZED LANDSCAPE SPECIFICATIONS FOR THE COMMONWEALTH OF VIRGINIA", PUBLISHED BY THE VIRGINIA NURSERY & LANDSCAPE ASSOCIATION, EXCEPT AS STATED WITHIN THE DRAWINGS OR PROJECT SPECIFICATIONS.
 12. BUILDING ENTRIES AND SIDEWALKS SHOWN ARE APPROXIMATE. REFER TO BUILDER'S PLANS FOR ACTUAL LOCATIONS AND CONSTRUCTION DETAILS.

NOTE:
PROVIDE ADEQUATE SCREENING FOR RTUs, POWER PEDESTALS, BACK FLOW PREVENTION DEVICES, ETC.

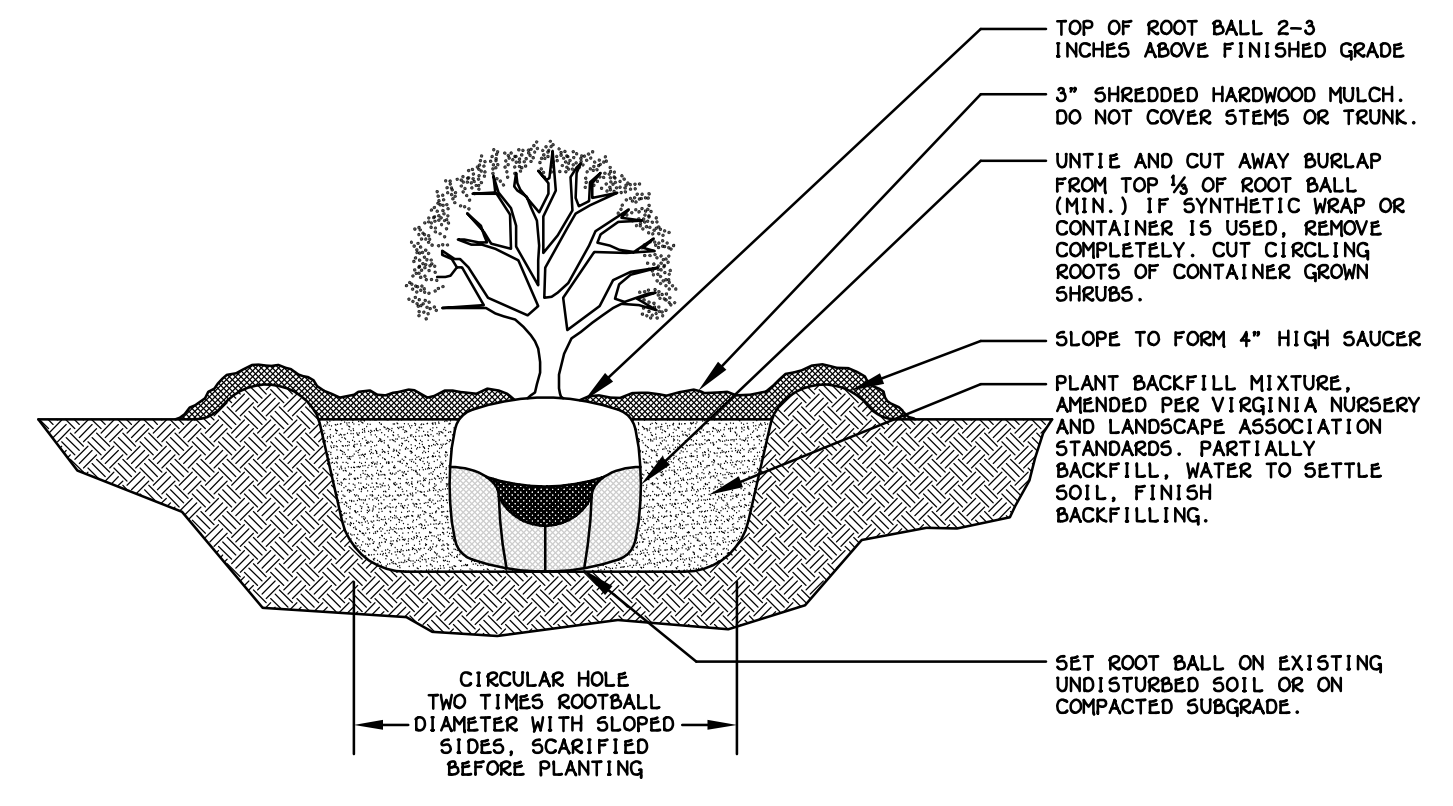


PLAN VIEW



TREE PLANTING DETAIL

SCALE: NONE

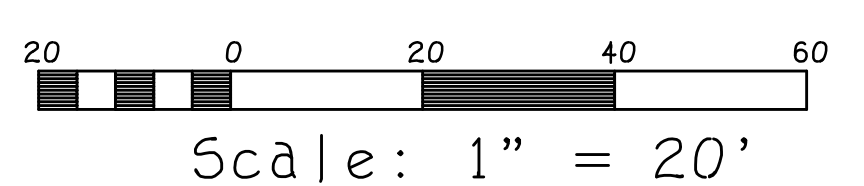


SHRUB PLANTING DETAIL

SCALE: NONE

LANDSCAPE LEGEND

- 5' FRONT AND SIDE YARD REQUIREMENTS (BUFFER "H");
 - 4 SHRUBS (DWF. BURFORD HOLLY, KNOCK-OUT ROSE OR APPROVED ALTERNATIVE);
 - PER 50 LINEAR FEET OF BUFFER
- LANDSCAPE AREA "A"**
LANDSCAPING REQUIRED (115 LF): 12 SHRUBS
LANDSCAPING PROVIDED: 27 SHRUBS
- LANDSCAPE AREA "B"**
LANDSCAPING REQUIRED (80 LF): 8 SHRUBS
LANDSCAPING PROVIDED: 15 SHRUBS
- LANDSCAPE AREA "C"**
LANDSCAPING REQUIRED (25 LF): 4 SHRUBS
LANDSCAPING PROVIDED: 5 SHRUBS
- INTERNAL GREENSPACE**
30 SF PER PARKING SPACE
LARGE TREE AT 2.5" CAL = 200 SF COVER
(RED MAPLE, WILLOW OAK, OR APPROVED ALTERNATIVE);
SMALL TREE AT 2.5" CAL HEIGHT = 100 SF COVER
(CHINESE PISTACHE, AMERICAN HOLLY, OR APPROVED ALTERNATIVE);
- 37 SPACES AT 30 SF PER SPACE = 1110 SF REQUIRED
5 LARGE TREES = 1000 SF
2 SMALL TREES = 150 SF
TOTAL COVER PROVIDED = 1150 SF
- OPEN SPACE**
40% REQUIRED (38,135 SF*40%) = 15,254 SF
PROVIDED = 15,639 SF (41%)

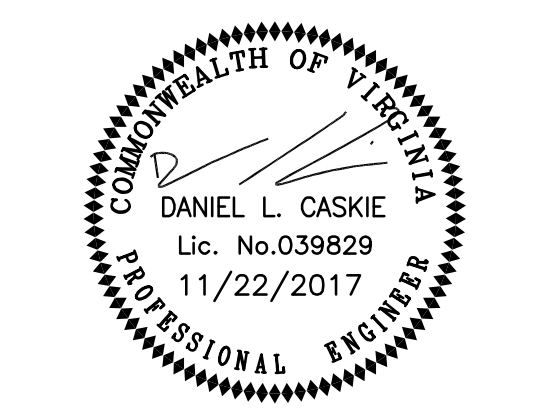


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900 St. James Street
North District
City of Richmond, Virginia

SHEET:

Landscape Plan and Details

SHEET NO:

L1

JOB NO. 16038

ST LUKE BUILDING

RICHMOND, VA 23220

SPECIAL USE PERMIT

OCTOBER 17, 2017



| SHEET INDEX PERMIT RESPONSE 2 | | |
|-------------------------------|---|------------|
| NO. | SHEET TITLE | ISSUE DATE |
| COVER SHEET | | |
| COVER | COVER SHEET | 10/17/17 |
| ST. LUKE - ARCHITECTURAL | | |
| A2.00 | BASEMENT AND FIRST FLOOR PLANS | 10/17/17 |
| A2.01 | SECOND AND SECOND FLOOR LOFT PLANS | 10/17/17 |
| A2.02 | THIRD AND FOURTH FLOOR PLANS | 10/17/17 |
| A2.03 | FOURTH FLOOR LOFT AND FIFTH FLOOR PLANS | 10/17/17 |
| A2.04 | ROOF PLAN | 10/17/17 |
| A3.00 | EAST ELEVATION | 10/17/17 |
| A3.01 | WEST ELEVATION | 10/17/17 |
| A3.02 | NORTH AND SOUTH ELEVATIONS | 10/17/17 |
| A4.00 | BUILDING SECTIONS | 10/17/17 |
| A5.00 | ENLARGED 1ST FLOOR PLAN | 10/17/17 |
| A5.01 | ENLARGED 2ND FLOOR PLAN | 10/17/17 |
| A5.02 | ENLARGED 2ND FLOOR LOFT PLAN | 10/17/17 |
| A5.03 | ENLARGED 3RD FLOOR PLAN | 10/17/17 |
| A5.04 | ENLARGED 4TH FLOOR PLAN | 10/17/17 |
| A5.05 | ENLARGED 4TH FLOOR LOFT PLAN | 10/17/17 |
| A5.06 | ENLARGED UNIT SECTIONS - 2ND FLOOR | 10/17/17 |
| A5.07 | ENLARGED UNIT SECTIONS - 4TH FLOOR | 10/17/17 |
| A5.08 | ENLARGED HALLWAY ELEVATIONS - NORTH | 10/17/17 |
| A5.09 | ENLARGED HALLWAY ELEVATIONS - SOUTH | 10/17/17 |

PROJECT TEAM

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RICHMOND, VIRGINIA 23219

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VOLUME 1

GENERAL CONSTRUCTION NOTES

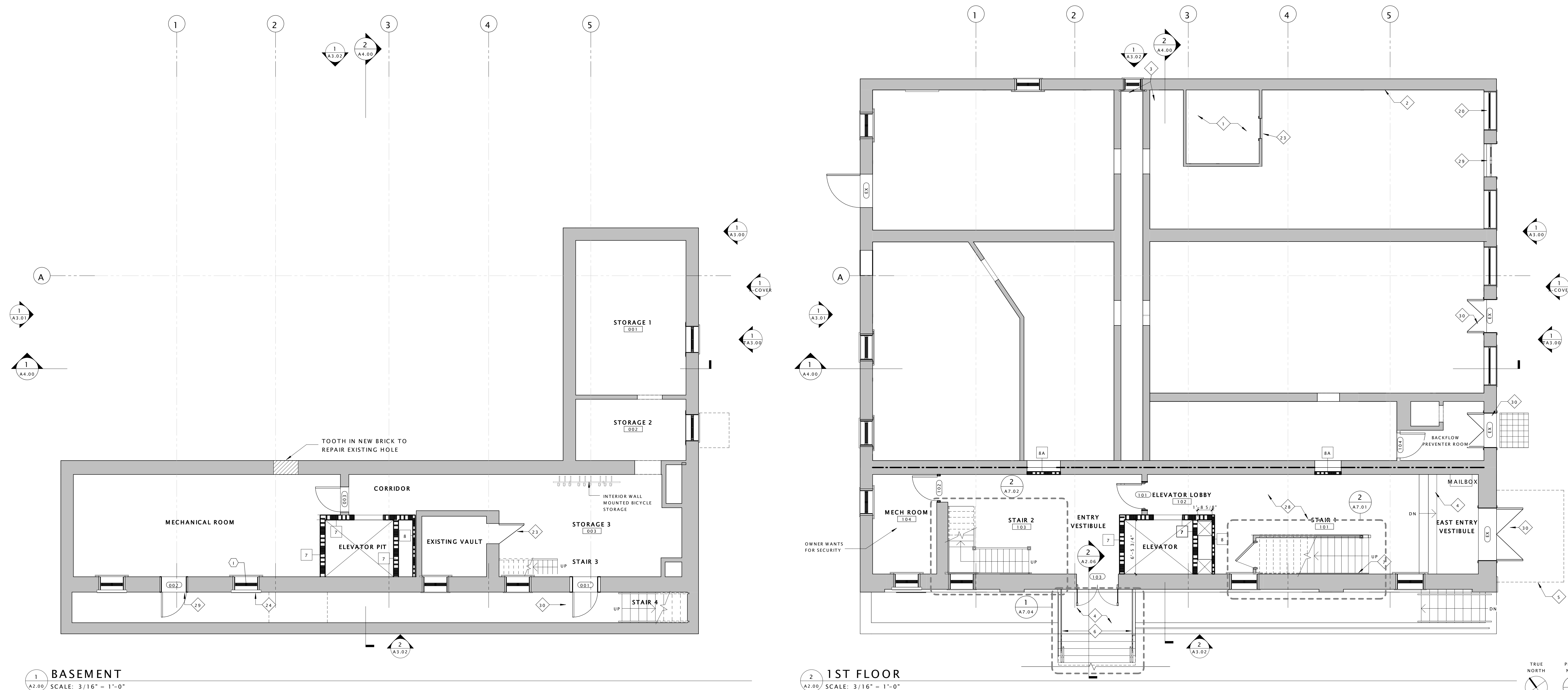
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- DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITIONS (HINGE SIDE) UNLESS NOTED OTHERWISE.
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- REFER TO ELEVATIONS FOR EXISTING AND NEW WINDOW INFORMATION
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- INTERIOR DEPTH DIMENSION OF CLOSETS TO BE 2'-0" MINIMUM
- REPAIR AND RESTORE PLASTER AT ALL EXTERIOR WALLS, HISTORIC INTERIOR WALLS, AND AT THE FIRST AND THIRD FLOOR CEILING.
- AVOID REFINISHING FLOORS IN HISTORIC AREAS. CLEAN LIGHTLY. SAND ONLY AS NECESSARY AND OIL FLOOR BOARDS INSTEAD

CONSTRUCTION KEY NOTES - 1

- EXISTING VAULT TO REMAIN
- REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
- REPAIR EXISTING WOOD JOISTS TO MAKE FLOOR STRUCTUALLY SOUND - SEE STRUCTURAL
- NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
- REPAIR EXISTING CANOPY
- NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
- RAISE EXISTING HISTORIC HANDRAIL TO CODE COMPLIANT HEIGHT
- REPAIR AND PAINT EXISTING HISTORIC RAIL/GUARDRAIL
- NEW LOFT FLOOR AT CONSTRUCTED OUT OF LIGHT GAGE FRAMING - SEE STRUCTURAL FOR DETAILS
- NEW STAIR IN THIS LOCATION.
- NEW INTERIOR WOOD WINDOW AT BEDROOM WALL
- EXISTING HISTORIC WALL AND TRANSOM WINDOWS TO BE RESTORED AND PAINTED
- EXISTING HISTORIC EXTERIOR STOREFRONT TO BE RESTORED - SEE SPECIFICATIONS FOR ALLOWABLE RESTORATION METHODS
- RESTORE AND REPAIR EXISTING DECORATIVE CORNICE
- RESTORE EXISTING BUILT-IN GUTTER
- INSTALL NEW ALUMINUM 4" DOWNSPUT
- NEW MEMBRANE ROOF ON 1/2" COVER BOARD AND (2) LAYERS OF 2" POLYISO INSULATION
- REPAIR AND PAINT EXISTING WOOD DENTAL MOLDING
- EXISTING FIRE ESCAPE DOORS TO REMAIN AND BE FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE. DOORS TO BE REPAIRED AND REPAINTED. EXISTING WIRE GLASS TO BE REPAIRED AS NECESSARY.
- INSTALL NEW WOOD WINDOW IN EXISTING LOCATION
- INSPECT EXISTING MASONRY AFTER REMOVAL OF INVASIVE VEGETATION. REPAIR AND REPAIR BRICK AND MORTAR. MATCH SURROUNDING MORTAR IN MATERIAL, COMPOSITION, COLOR, AGGREGATE, & HARDNESS.
- INSTALL SALVAGED TIN CEILING. SEE REFLECTED CEILING PLANS FOR MORE DETAILS.
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CONSTRUCTION LEGEND

| | | | |
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| | CONSTRUCTION NOTE SYMBOL | | EXISTING WALL TO REMAIN |
| | WALL TYPE SYMBOL SEE SHEET A8.00 | | NEW CONSTRUCTION |
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ST LUKE BUILDING
RICHMOND, VA 23220

| Issue Record | Date |
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| PERMIT SET RESPONSE 2 | 09.29.17 |



BASEMENT AND FIRST FLOOR PLANS

Sheet
A2.00
Comm No 1622.00

GENERAL CONSTRUCTION NOTES

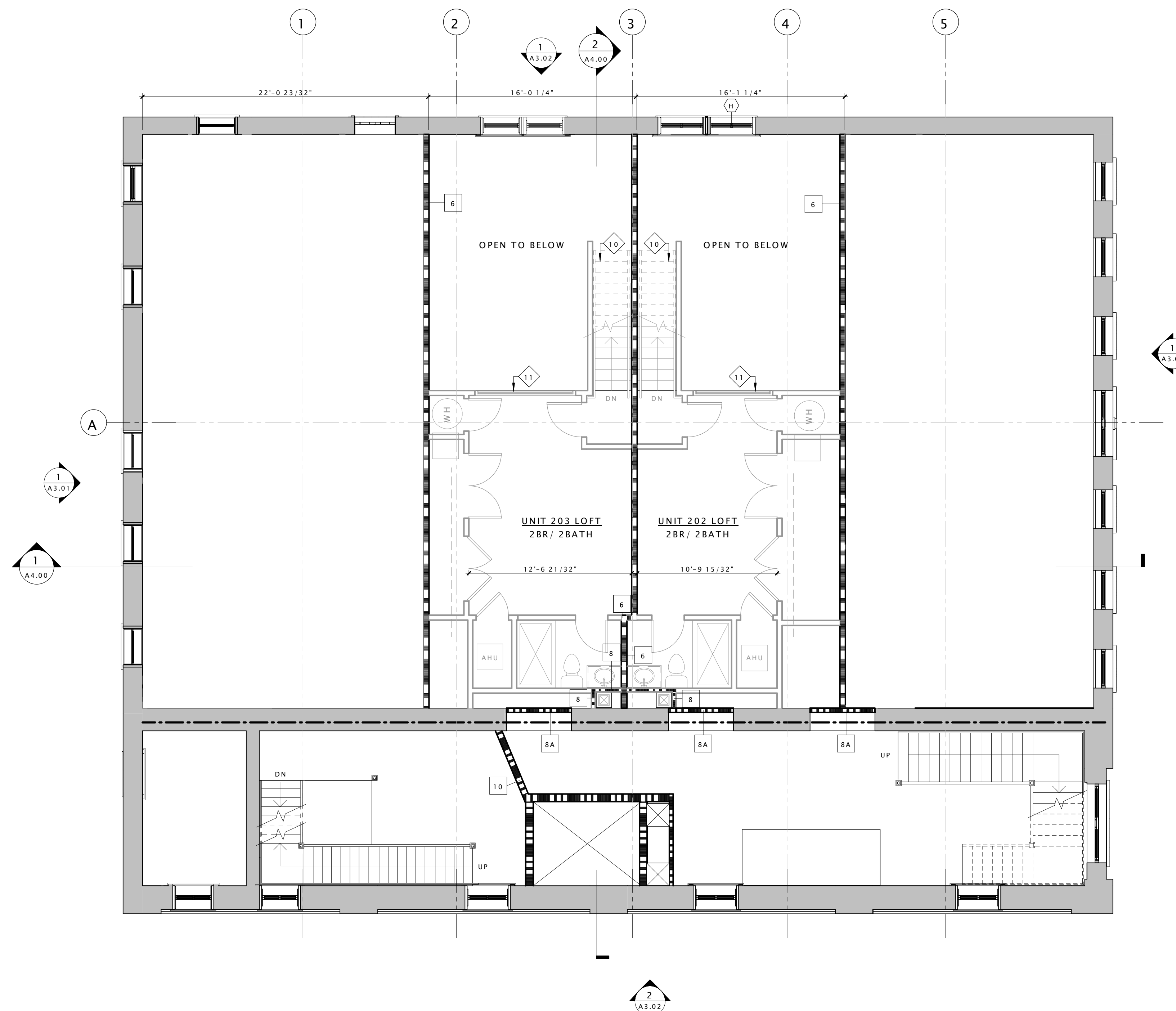
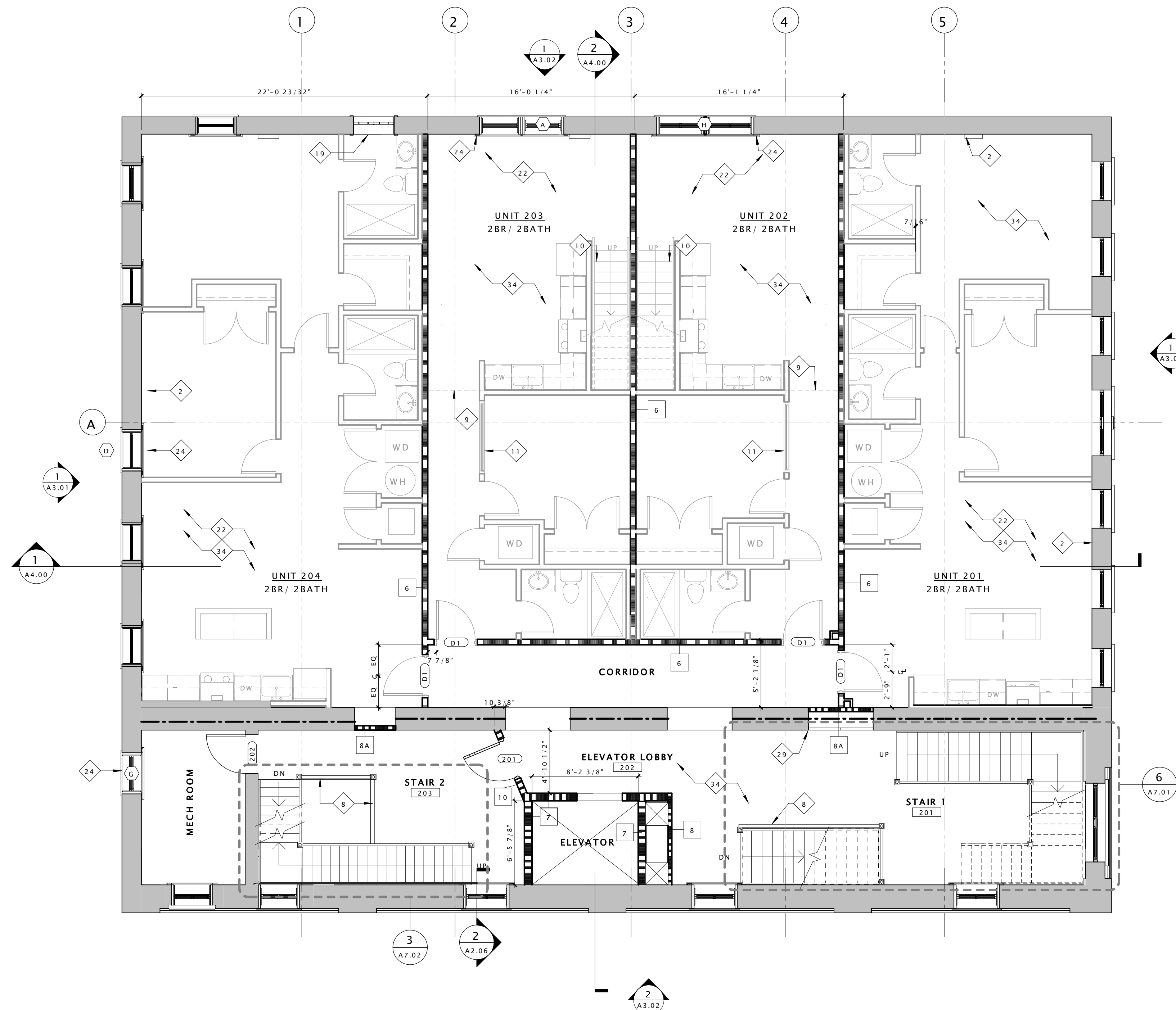
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Drawing Title
SECOND AND SECOND FLOOR LOFT PLANS

GENERAL CONSTRUCTION NOTES

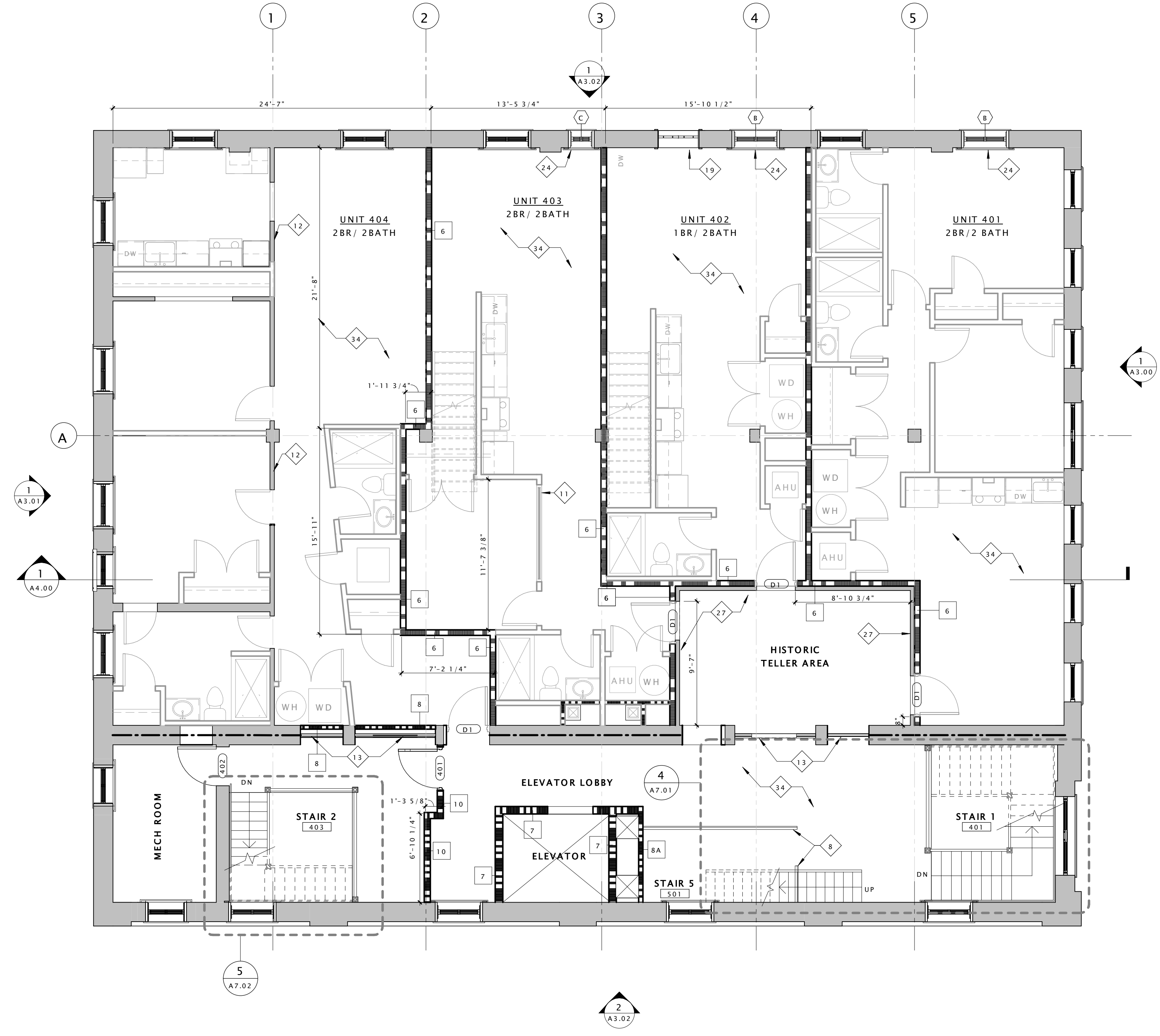
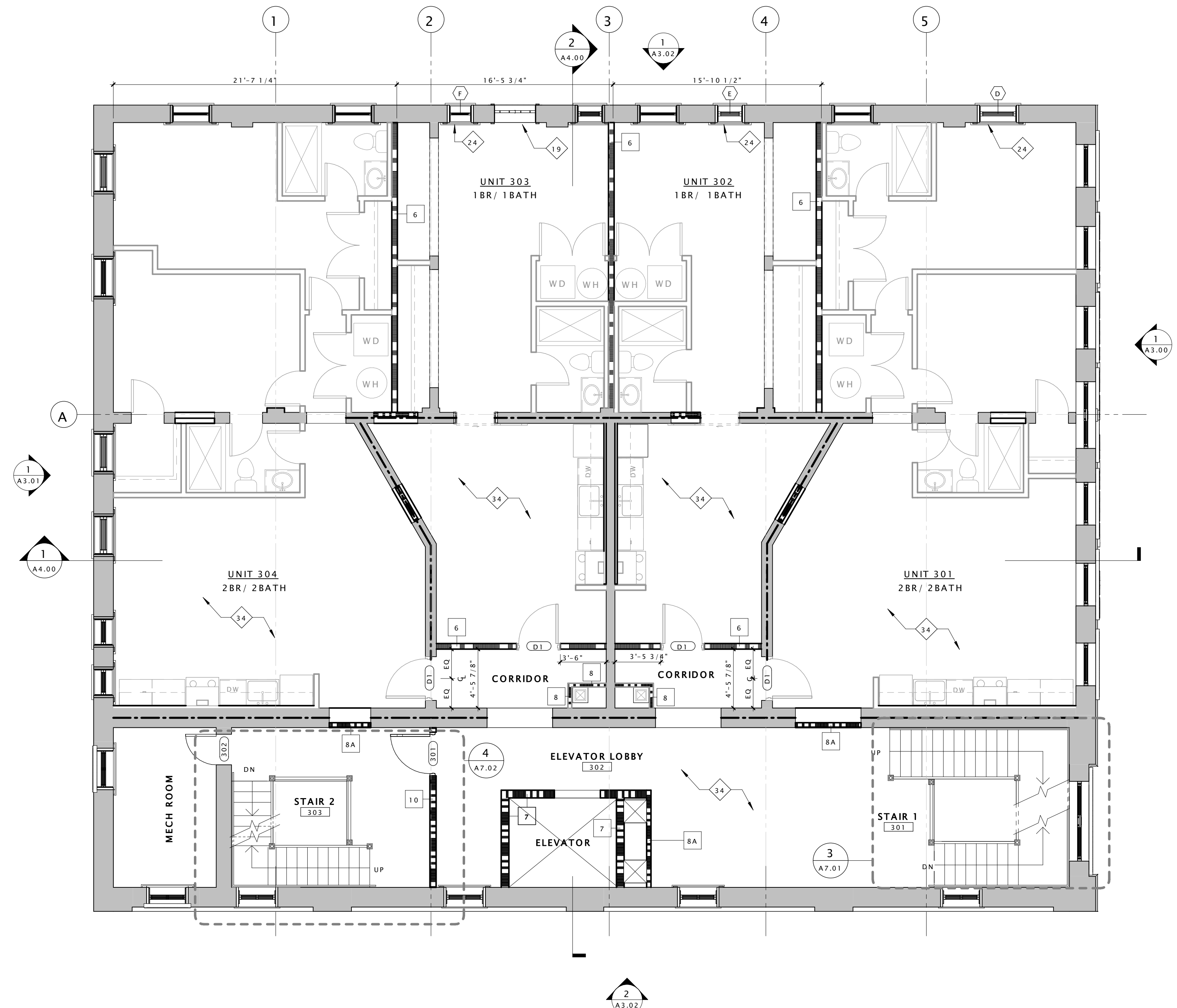
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Drawing Title
THIRD AND FOURTH FLOOR PLANS

Sheet
A2.02
Comm No 1622.00

GENERAL CONSTRUCTION NOTES

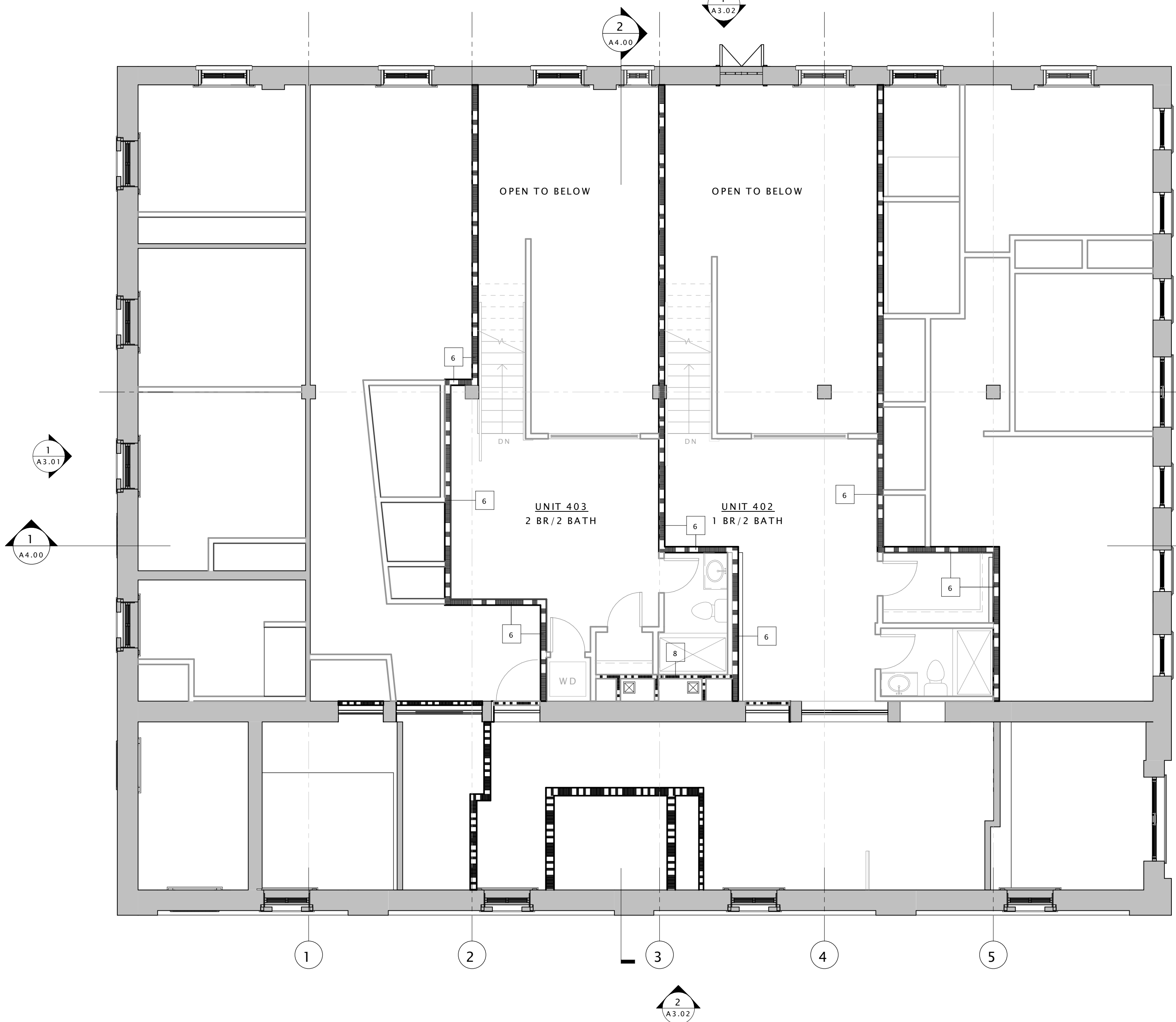
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CONSTRUCTION KEY NOTES -

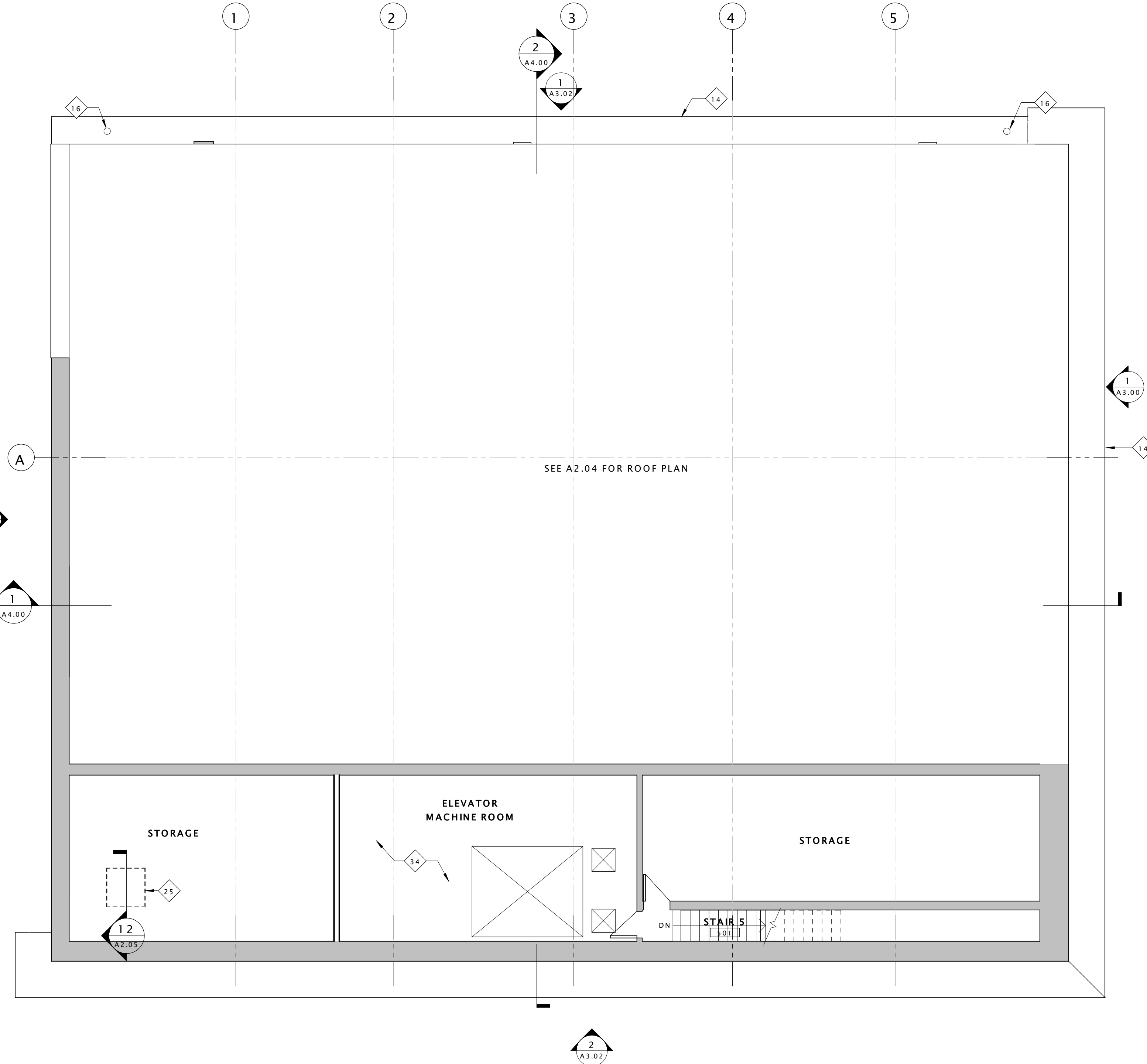
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4TH FLOOR LOFT
SCALE: 3/16" = 1'-0"

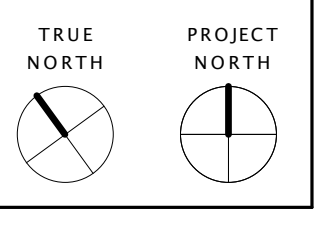


5TH FLOOR
SCALE: 3/16" = 1'-0"

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Drawing Title
FOURTH FLOOR LOFT AND FIFTH FLOOR PLANS



GENERAL CONSTRUCTION NOTES

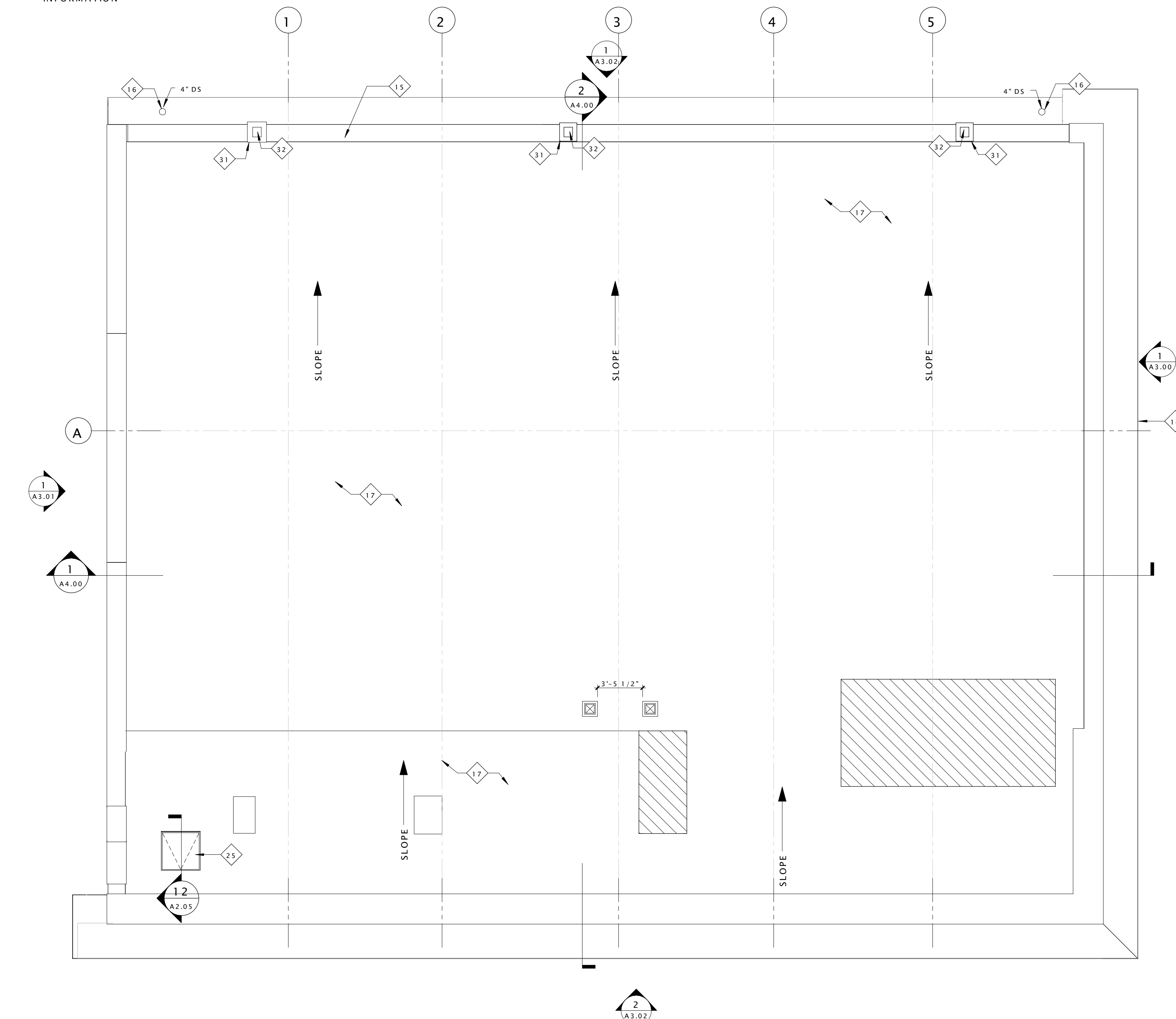
- THIS IS A HISTORIC REHABILITATION TAX CREDIT PROJECT. ALL WORK MUST BE ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC REHABILITATION.
- DIMENSIONS NOTED AS 'ALIGN', 'HOLD', 'CLEAR', ARE TO TAKE PRECEDENCE OVER OTHER DIMENSIONS IN CASE OF DISCREPANCIES BETWEEN DRAWINGS AND ARE ALWAYS TO FINISH FACE. ALL OTHER DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. CONTACT ARCHITECT FOR CLARIFICATION
- DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITIONS (HINGE SIDE) UNLESS NOTED OTHERWISE.
- ALL PARTITIONS ARE TO BE PARTITION TYPE 1 UNLESS NOTED OTHERWISE. REFER TO SHEET A0.01 FOR WALL TYPES.
- ALL TRANSITIONS OF FLOORING SHALL OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS NOTED OTHERWISE.
- USE 1/2" WATER RESISTANT GWB IN ALL BATHROOMS UNLESS NOTE OTHERWISE. USE CEMENT BACKER BOARD @ ALL TILE LOCATIONS
- ALL AREAS THAT INDICATE NEW INSULATION MUST MEET CURRENT IECC STANDARDS.
- REFER TO ELEVATIONS FOR EXISTING AND NEW WINDOW INFORMATION
- PATCH AND REPAIR EXISTING HISTORIC PLASTER WHERE IT HAS BEEN PREVIOUSLY REMOVED OR WHERE DAMAGED. SEE NPS BRIEF FOR METHODOLOGY
- INTERIOR DEPTH DIMENSION OF CLOSETS TO BE 2'-0" MINIMUM
- REPAIR AND RESTORE PLASTER AT ALL EXTERIOR WALLS, HISTORIC INTERIOR WALLS, AND AT THE FIRST AND THIRD FLOOR CEILING.
- AVOID REFINISHING FLOORS IN HISTORIC AREAS. CLEAN LIGHTLY. SAND ONLY AS NECESSARY AND OIL FLOOR BOARDS INSTEAD

CONSTRUCTION KEY NOTES - 1

- EXISTING VAULT TO REMAIN
- REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
- REPAIR EXISTING WOOD JOISTS TO MAKE FLOOR STRUCTUALLY SOUND - SEE STRUCTURAL
- NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
- REPAIR EXISTING CANOPY
- NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
- RAISE EXISTING HISTORIC HANDRAIL TO CODE COMPLIANT HEIGHT
- REPAIR AND PAINT EXISTING HISTORIC RAIL/GUARDRAIL
- NEW LOFT FLOOR AT CONSTRUCTED OUT OF LIGHT GAGE FRAMING - SEE STRUCTURAL FOR DETAILS
- NEW STAIR IN THIS LOCATION.
- NEW INTERIOR WOOD WINDOW AT BEDROOM WALL
- EXISTING HISTORIC WALL AND TRANSOM WINDOWS TO BE RESTORED AND PAINTED
- EXISTING HISTORIC EXTERIOR STOREFRONT TO BE RESTORED - SEE SPECIFICATIONS FOR ALLOWABLE RESTORATION METHODS
- RESTORE AND REPAIR EXISTING DECORATIVE CORNICE
- RESTORE EXISTING BUILT-IN GUTTER
- INSTALL NEW ALUMINUM 4" DOWNSPUT
- NEW MEMBRANE ROOF ON 1/2" COVER BOARD AND (2) LAYERS OF 2" POLYISO INSULATION
- REPAIR AND PAINT EXISTING WOOD DENTAL MOLDING
- EXISTING FIRE ESCAPE DOORS TO REMAIN AND BE FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE. DOORS TO BE REPAIRED AND REPAINTED. EXISTING WIRE GLASS TO BE REPAIRED AS NECESSARY.
- INSTALL NEW WOOD WINDOW IN EXISTING LOCATION
- INSPECT EXISTING MASONRY AFTER REMOVAL OF INVASIVE VEGETATION. REPAIR AND REPAIR BRICK AND MORTAR. MATCH SURROUNDING MORTAR IN MATERIAL, COMPOSITION, COLOR, AGGREGATE, & HARDNESS.
- INSTALL SALVAGED TIN CEILING. SEE REFLECTED CEILING PLANS FOR MORE DETAILS.
- EXISTING VAULT DOOR TO BE OPENED AND FIXED IN PLACE
- NEW WOOD WINDOW IN INDICATED LOCATION. WINDOW TO MATCH EXISTING ADJACENT WINDOWS IN TYPE AND PROFILE
- NEW ROOF ACCESS HATCH & LADDER - SEE SHEET A2.05 FOR DETAILS
- EXISTING INTERIOR STOREFRONT TO REMAIN
- EXISTING HISTORIC TELLER PARTITIONS AND STOREFRONT TO REMAIN
- CLEAN AND POLISH EXISTING HISTORIC TILE FLOORS.
- EXISTING DOOR TO REMAIN AND FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE
- EXISTING WOOD DOORS TO BE REPAIRED, RECEIVE NEW HARDWARE, PAINTED, AND RESTORED TO WORKING ORDER - SEE DOOR SCHEDULE FOR MORE INFORMATION
- INSPECT EXISTING FLUE SHAFTS AND REPAIR BRICK AS NECESSARY TO MAINTAIN A WATER TIGHT ASSEMBLY
- INSTALL NEW FLUE CAP
- NEW DRYER VENT EXHAUST OPENING
- REPAIR AND RESTORE EXISTING HARDWOOD FLOOR AS NECESSARY AND CREATE ONE HOUR FLOOR/CEILING ASSEMBLY - SEE SPECIFICATIONS AND SHEET A0.01 FOR MORE INFORMATION

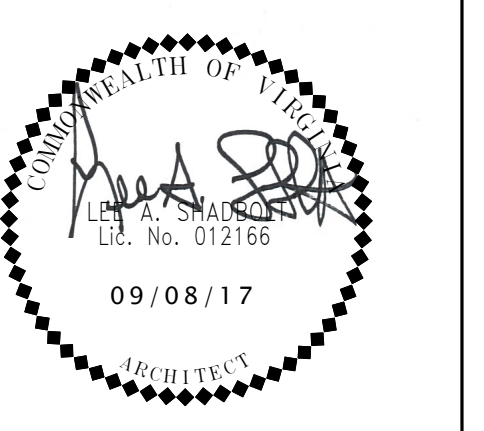
CONSTRUCTION LEGEND

| | | | |
|--|---------------------------------------|--|-------------------------|
| | CONSTRUCTION NOTE SYMBOL | | EXISTING WALL TO REMAIN |
| | WALL TYPE SYMBOL SEE SHEET A8.00 | | NEW CONSTRUCTION |
| | WINDOW TYPE SYMBOL SEE SHEET A8.05 | | MASONRY INFILL |
| | 1 HOUR FIRE RATED WALL | | NEW DOORS |
| | 2 HOUR FIRE RATED WALL | | EXISTING DOORS |



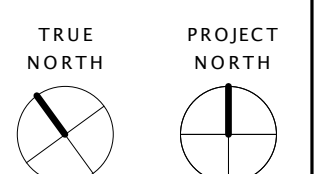
1 ROOF
A2.04 / SCALE: 3/16" = 1'-0"

| Issue Record | Date |
|-------------------------|----------|
| DHR PART II SUBMISSION | 10.26.16 |
| PERMIT SET | 01.18.17 |
| DHR PART II AMENDMENT 1 | 06.30.17 |
| PERMIT SET RESPONSE | 09.08.17 |
| PERMIT SET RESPONSE 2 | 09.29.17 |



Drawing Title
ROOF PLAN

Sheet



A2.04

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- THIS IS A HISTORIC REHABILITATION TAX CREDIT PROJECT. ALL WORK MUST BE ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC REHABILITATION.
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- CONTRACTOR SHALL REPAINT ALL EXPOSED EXTERIOR BRICKS AS NOTED FRO STRUCTURAL SOUNDNESS AND WATER-TIGHTNESS. MATCH EXISTING MORTAR COLOR AND JOINT PROFILE. PROVIDE SAMPLE MOCK-UP ON BUILDING FOR ARCHITECT'S APPROVAL.
- CONTRACTOR SHALL REPAIR/REPLACE ANY DAMAGED, SPLIT, SEVERELY SPALLED BRICK. CONTRACTOR SHALL REWORK BRICK AT NEW OR ENLARGED OPENING AS REQUIRED FOR NEW WINDOWS, DOORS, VENTS, ETC. BRICK SHALL BE REBUILT BY TOOTHING TOGETHER. SAW CUTTING NOT ALLOWED AT AREAS WHERE CUT WOULD BE VISIBLE.
- CONTRACTOR SHALL REMOVE ALL EXTRANEOUS MATERIALS FROM FACE OF BUILDING, INCLUDING BUT NOT LIMITED TO VINES, ABANDONED WIRING AND CONDUITS, ABANDONED PLUMBING AND MECHANICAL PIPES, METAL ANCHORS, NAILS, WOOD BLOCKING, ETC. REPAIR SURFACES BEHIND AS REQUIRED FOR CONTINUOUS APPEARANCE.
- CONTRACTOR SHALL SEAL/CAULK ALL CONNECTIONS OF MATERIALS AND OTHER LOCATIONS AS REQUIRED FOR WATER-TIGHTNESS.
- CONTRACTOR SHALL INSPECT ALL EXISTING WINDOWS, DOORS, AND FRAMES TO REMAIN AND INCLUDED ANY NEEDED REPAIRS/REPLACEMENTS REQUIRED OR LIKE NEW APPEARANCE AND SOUND OPERATION. REPAIRS/REPLACEMENT INCLUDE FLASHING, GLAZING COMPOUND, GLASS, SASH, AND MUNTIN MEMBERS, FRAMES AND OTHER HARDWARE DEVICES, SILLS, LINTELS, ETC.
- CONTRACTOR SHALL PAINT ALL EXTERIOR METAL SURFACES UNLESS THEY SPECIFICALLY NOTED OTHERWISE OR PREFINISHED.
- CONTRACTOR SHALL CAREFULLY INSPECT ALL STRUCTURAL MEMBERS, INCLUDING BUT NOT LIMITED TO BEAMS, LINTELS, MASONRY, ARCHES, ETC. AND NOTIFY THE ARCHITECT IN WRITING OF ANY STRUCTURALLY UNSOUND CONDITIONS REQUIRING REPAIR, REPLACEMENT, OR INVESTIGATION.
- 'PAINT' DENOTES PAINTING ACCORDING TO THE SPECIFICATIONS AND PREPARATION OF SURFACE BY HAND SCRAPING AND SANDING ALL LOOSE AND DAMAGED PAINT AND SANDING TO FEATHER EDGES AT REMAINING LAYER AS REQUIRED FOR CONTINUOUS FINISH.

CONSTRUCTION KEY NOTES - X

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- REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
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- NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
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| | CONSTRUCTION NOTE SYMBOL | | EXISTING WALL TO REMAIN |
| | WALL TYPE SYMBOL SEE SHEET A8.00 | | NEW CONSTRUCTION |
| | WINDOW TYPE SYMBOL SEE SHEET A8.05 | | MASONRY INFILL |
| | 1 HOUR FIRE RATED WALL | | NEW DOORS |
| | 2 HOUR FIRE RATED WALL | | EXISTING DOORS |



1 EAST
SCALE: 3/16" = 1'-0"

Commonwealth
ARCHITECTS
101 SHOCKOE SLIP, THIRD FLOOR
RICHMOND, VIRGINIA 23219
TELEPHONE: 804.648.5040
FACSIMILE: 804.225.0329

ST LUKE BUILDING

RICHMOND, VA 23220

| Issue Record | Date |
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| PERMIT SET | 01.18.17 |
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| PERMIT SET RESPONSE | 09.08.17 |
| PERMIT SET RESPONSE 2 | 09.29.17 |



Drawing Title
EAST ELVATION

Sheet
A3.00
Comm No 1622.00

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CONSTRUCTION LEGEND

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| | WINDOW TYPE SYMBOL SEE SHEET A8.05 | | MASONRY INFILL |
| | 1 HOUR FIRE RATED WALL | | NEW DOORS |
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2 WEST ELEVATION - WALL INFILL DETAIL
SCALE: 1/2" = 1'-0"

1 WEST
SCALE: 3/16" = 1'-0"

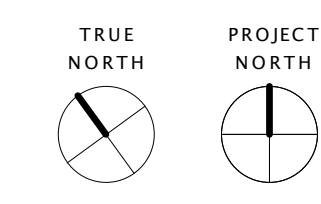
Commonwealth
ARCHITECTS
101 SHOCKOE SLIP, THIRD FLOOR
RICHMOND, VIRGINIA 23219
TELEPHONE: 804.648.5040
FACSIMILE: 804.225.0329

ST LUKE BUILDING
RICHMOND, VA 23220

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Drawing Title
WEST ELEVATION



GENERAL CONSTRUCTION NOTES

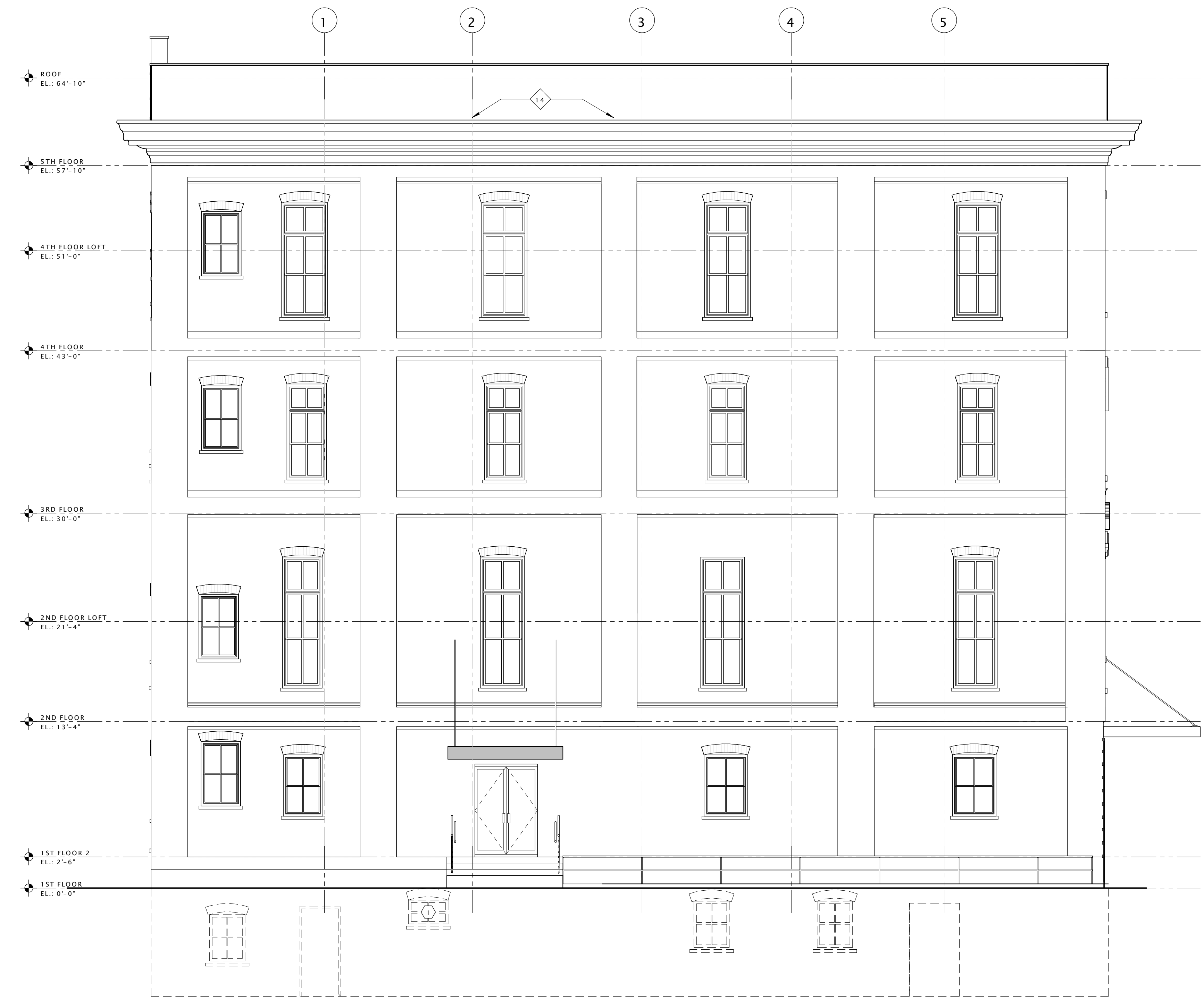
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5. ALL TRANSITIONS OF FLOORING SHALL OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS NOTED OTHERWISE.
6. USE 1/2" WATER RESISTANT GWB IN ALL BATHROOMS UNLESS NOTED OTHERWISE. USE CEMENT BACKER BOARD @ ALL TILE LOCATIONS
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9. PATCH AND REPAIR EXISTING HISTORIC PLASTER WHERE IT HAS BEEN PREVIOUSLY REMOVED OR WHERE DAMAGED. SEE NPS BRIEF FOR METHODOLOGY
10. INTERIOR DEPTH DIMENSION OF CLOSETS TO BE 2'-0" MINIMUM
11. REPAIR AND RESTORE PLASTER AT ALL EXTERIOR WALLS, HISTORIC INTERIOR WALLS, AND AT THE FIRST AND THIRD FLOOR CEILING.
12. AVOID REFINISHING FLOORS IN HISTORIC AREAS, CLEAN LIGHTLY. SAND ONLY AS NECESSARY AND OIL FLOOR BOARDS INSTEAD

CONSTRUCTION KEY NOTES - X

- 1 EXISTING VAULT TO REMAIN
- 2 REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
- 3 REPAIR EXISTING WOOD JOISTS TO MAKE FLOOR STRUCTUALLY SOUND - SEE STRUCTURAL
- 4 NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
- 5 REPAIR EXISTING CANOPY
- 6 NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
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- 9 NEW LOFT FLOOR AT CONSTRUCTED OUT OF LIGHT GAGE FRAMING - SEE STRUCTURAL FOR DETAILS
- 10 NEW STAIR IN THIS LOCATION.
- 11 NEW INTERIOR WOOD WINDOW AT BEDROOM WALL
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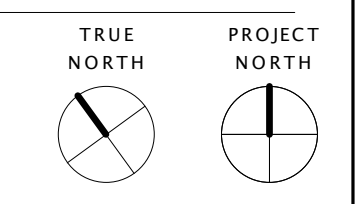
CONSTRUCTION LEGEND

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| | CONSTRUCTION NOTE SYMBOL | | EXISTING WALL TO REMAIN |
| | WALL TYPE SYMBOL SEE SHEET A8.00 | | NEW CONSTRUCTION |
| | WINDOW TYPE SYMBOL SEE SHEET A8.05 | | MASONRY INFILL |
| | 1 HOUR FIRE RATED WALL | | NEW DOORS |
| | 2 HOUR FIRE RATED WALL | | EXISTING DOORS |



1 NORTH
SCALE: 3/16" = 1'-0"

2 SOUTH
SCALE: 3/16" = 1'-0"



ST LUKE BUILDING

NORTH AND SOUTH ELEVATIONS

A3.02

Comm No 1622.00

| Issue Record | Date |
|-------------------------|----------|
| DHR PART II SUBMISSION | 10.26.16 |
| PERMIT SET | 01.18.17 |
| DHR PART II AMENDMENT 1 | 06.30.17 |
| PERMIT SET RESPONSE | 09.08.17 |
| PERMIT SET RESPONSE 2 | 09.29.17 |



Drawing Title

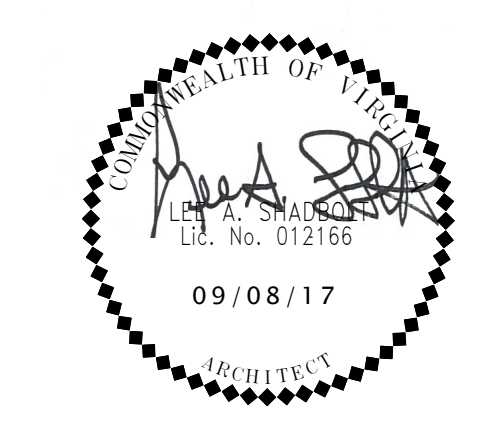
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A3.02

Comm No 1622.00

Commonwealth ARCHITECTS
 101 SHOCKOE SLIP, THIRD FLOOR
 RICHMOND, VIRGINIA 23219
 TELEPHONE: 804.648.5040
 FACSIMILE: 804.225.0329

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Drawing Title

BUILDING SECTIONS

Sheet

A4.00

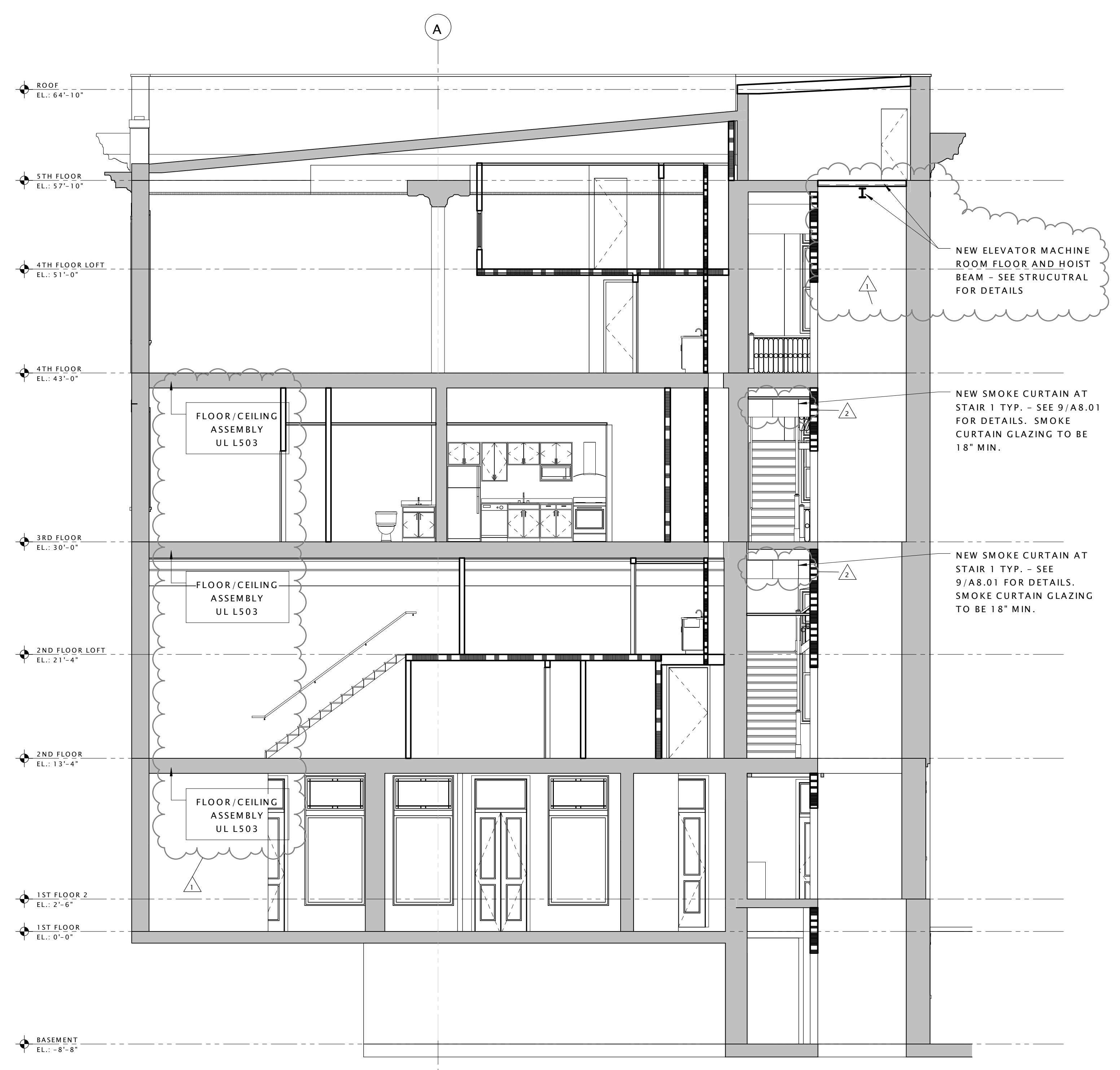
Comm No 1622.00

GENERAL CONSTRUCTION NOTES

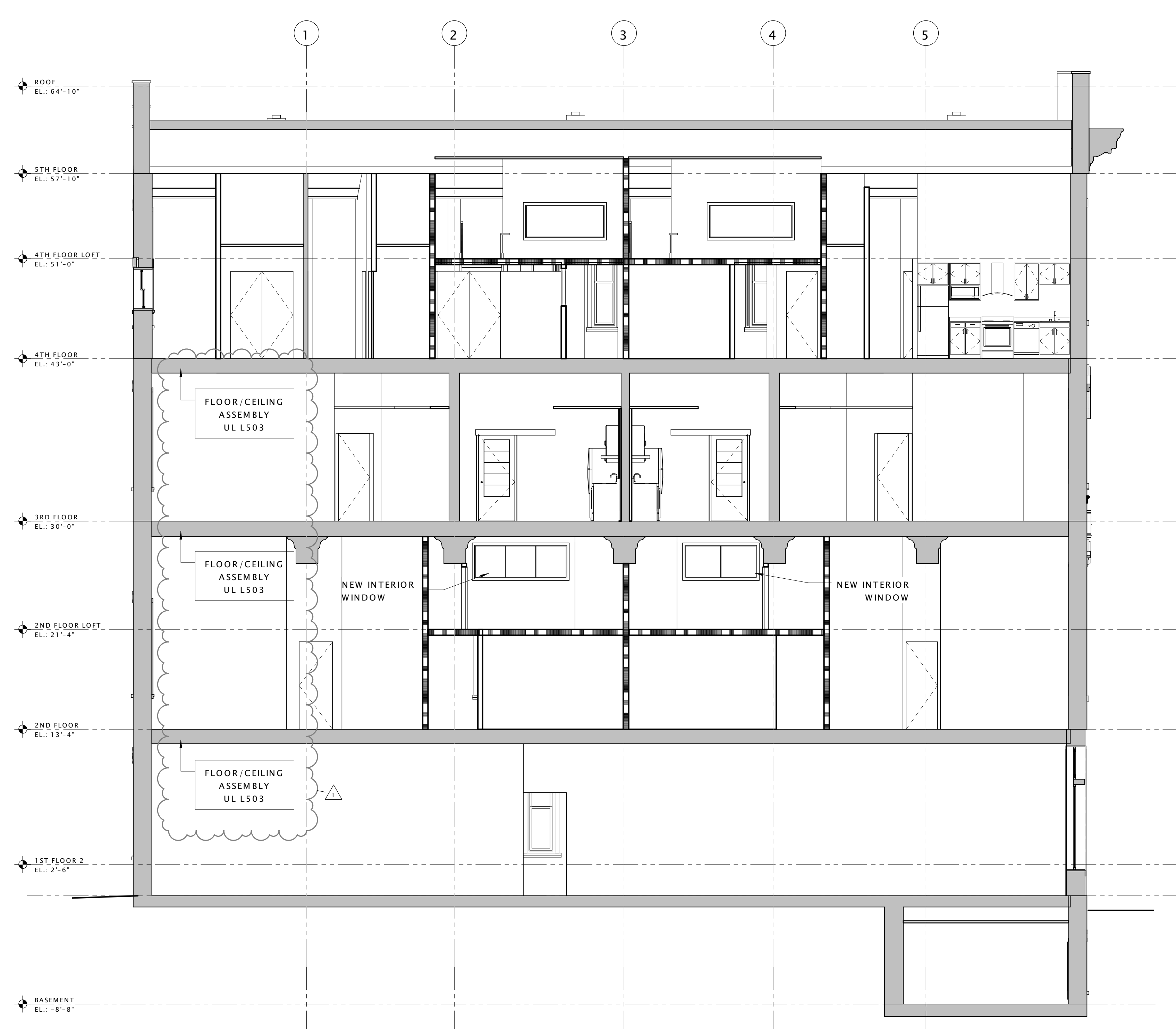
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- DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITIONS (HINGE SIDE) UNLESS NOTED OTHERWISE.
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- ALL TRANSITIONS OF FLOORING SHALL OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS NOTED OTHERWISE.
- USE 1/2" WATER RESISTANT GWB IN ALL BATHROOMS UNLESS NOTE OTHERWISE. USE CEMENT BACKER BOARD @ ALL TILE LOCATIONS.
- ALL AREAS THAT INDICATE NEW INSULATION MUST MEET CURRENT IECC STANDARDS.
- REFER TO ELEVATIONS FOR EXISTING AND NEW WINDOW INFORMATION.
- PATCH AND REPAIR EXISTING HISTORIC PLASTER WHERE IT HAS BEEN PREVIOUSLY REMOVED OR WHERE DAMAGED. SEE NPS BRIEF FOR METHODOLOGY.
- INTERIOR DEPTH DIMENSION OF CLOSETS TO BE 2'-0" MINIMUM.
- REPAIR AND RESTORE PLASTER AT ALL EXTERIOR WALLS, HISTORIC INTERIOR WALLS, AND AT THE FIRST AND THIRD FLOOR CEILING.
- AVOID REFINISHING FLOORS IN HISTORIC AREAS, CLEAN LIGHTLY. SAND ONLY AS NECESSARY AND OIL FLOOR BOARDS INSTEAD.

CONSTRUCTION LEGEND

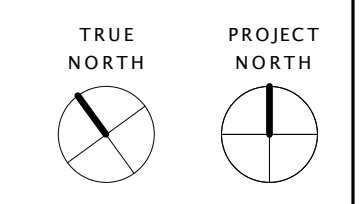
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2 BUILDING SECTION - NORTH AND SOUTH
SCALE: 3/16" = 1'-0"



1 BUILDING SECTION - EAST AND WEST
SCALE: 3/16" = 1'-0"



GENERAL CONSTRUCTION NOTES

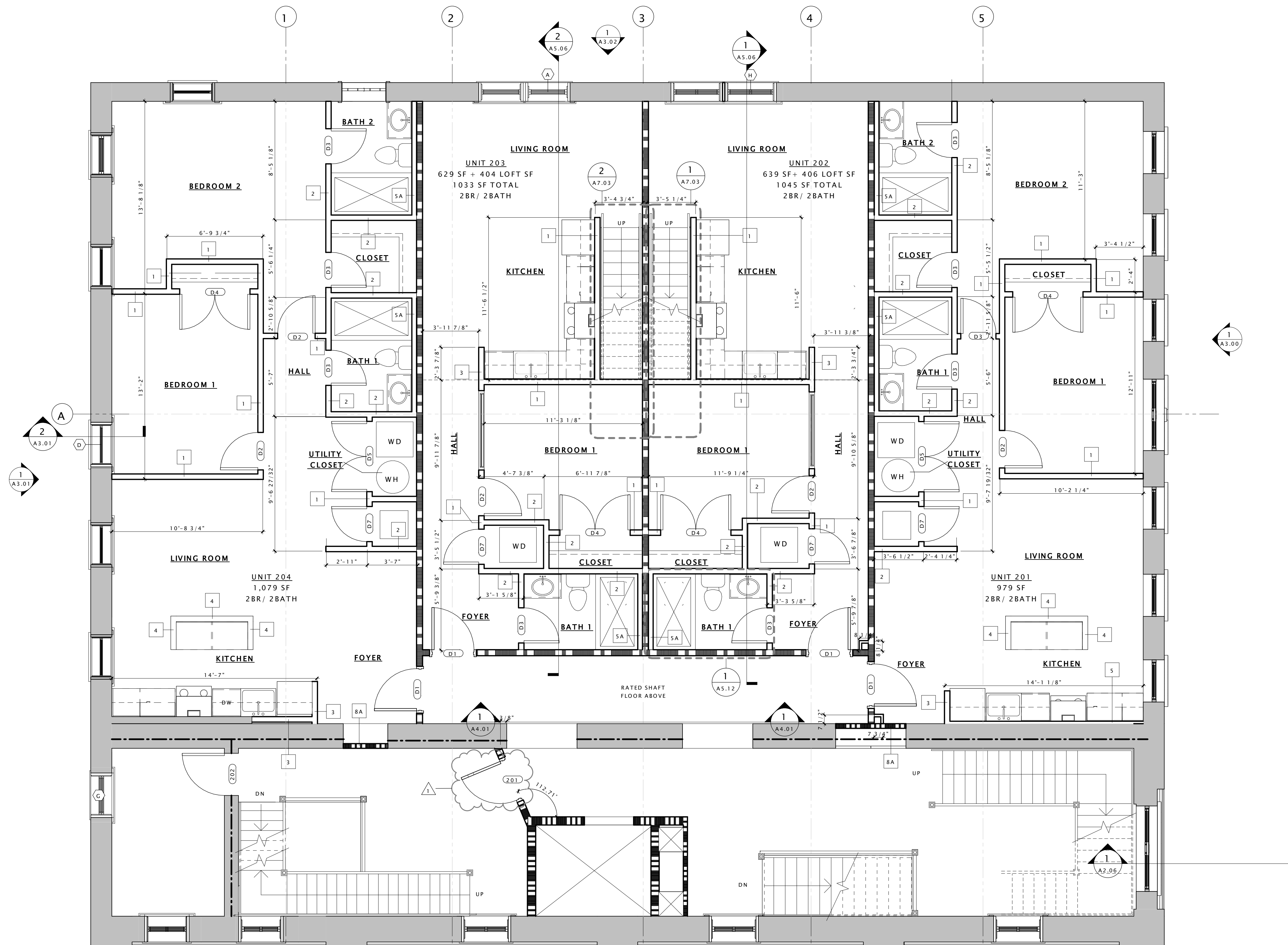
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CONSTRUCTION LEGEND

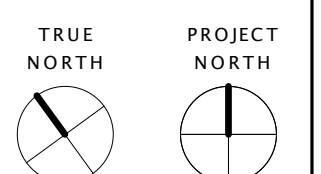
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| | 1 HOUR FIRE RATED WALL | | NEW DOORS |
| | 2 HOUR FIRE RATED WALL | | EXISTING DOORS |

CONSTRUCTION KEY NOTES - 1

- 1 EXISTING VAULT TO REMAIN
- 2 REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
- 3 REPAIR EXISTING WOOD JOISTS TO MAKE FLOOR STRUCTUALLY SOUND - SEE STRUCTURAL
- 4 NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
- 5 REPAIR EXISTING CANOPY
- 6 NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
- 7 RAISE EXISTING HISTORIC HANDRAIL TO CODE COMPLIANT HEIGHT
- 8 REPAIR AND PAINT EXISTING HISTORIC RAIL/GUARDRAIL
- 9 NEW LOFT FLOOR AT CONSTRUCTED OUT OF LIGHT GAGE FRAMING - SEE STRUCTURAL FOR DETAILS
- 10 NEW STAIR IN THIS LOCATION.
- 11 NEW INTERIOR WOOD WINDOW AT BEDROOM WALL
- 12 EXISTING HISTORIC WALL AND TRANSOM WINDOWS TO BE RESTORED AND PAINTED
- 13 EXISTING HISTORIC EXTERIOR STOREFRONT TO BE RESTORED - SEE SPECIFICATIONS FOR ALLOWABLE RESTORATION METHODS
- 14 RESTORE AND REPAIR EXISTING DECORATIVE CORNICE
- 15 RESTORE EXISTING BUILT-IN CUTTER
- 16 INSTALL NEW ALUMINUM 4" DOWNSPUT
- 17 NEW MEMBRANE ROOF ON 1/2" COVER BOARD AND (2) LAYERS OF 2" POLYISO INSULATION
- 18 REPAIR AND PAINT EXISTING WOOD DENTAL MOLDING
- 19 EXISTING FIRE ESCAPE DOORS TO REMAIN AND BE FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE. DOORS TO BE REPAIRED AND REPAINTED. EXISTING WIRE GLASS TO BE REPAIRED AS NECESSARY.
- 20 INSTALL NEW WOOD WINDOW IN EXISTING LOCATION
- 21 INSPECT EXISTING MASONRY AFTER REMOVAL OF INVASIVE VEGETATION. REPAINT AND REPAIR BRICK AND MORTAR. MATCH SURROUNDING MORTAR IN MATERIAL, COMPOSITION, COLOR, AGGREGATE, & HARDNESS.
- 22 INSTALL SALVAGED TIN CEILING. SEE REFLECTED CEILING PLANS FOR MORE DETAILS.
- 23 EXISTING VAULT DOOR TO BE OPENED AND FIXED IN PLACE
- 24 NEW WOOD WINDOW IN INDICATED LOCATION. WINDOW TO MATCH EXISTING ADJACENT WINDOWS IN TYPE AND PROFILE
- 25 NEW ROOF ACCESS HATCH & LADDER - SEE SHEET A2.05 FOR DETAILS
- 26 EXISTING INTERIOR STOREFRONT TO REMAIN
- 27 EXISTING HISTORIC TELLER PARTITIONS AND STOREFRONT TO REMAIN
- 28 CLEAN AND POLISH EXISTING HISTORIC TILE FLOORS.
- 29 EXISTING DOOR TO REMAIN AND FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE
- 30 EXISTING WOOD DOORS TO BE REPAIRED, RECEIVE NEW HARDWARE, PAINTED, AND RESTORED TO WORKING ORDER - SEE DOOR SCHEDULE FOR MORE INFORMATION
- 31 INSPECT EXISTING FLUE SHAFTS AND REPAIR BRICK AS NECESSARY TO MAINTAIN A WATER TIGHT ASSEMBLY
- 32 INSTALL NEW FLUE CAP
- 33 NEW DRYER VENT EXHAUST OPENING
- 34 REPAIR AND RESTORE EXISTING HARDWOOD FLOOR AS NECESSARY AND CREATE ONE HOUR FLOOR/CEILING ASSEMBLY - SEE SPECIFICATIONS AND SHEET A0.01 FOR MORE INFORMATION



1 ENLARGED 2ND FLOOR
SCALE: 1/4" = 1'-0"



| Issue Record | Date |
|-----------------------|----------|
| PERMIT SET | 01.18.17 |
| PERMIT SET RESPONSE 1 | 06.30.17 |
| PERMIT SET RESPONSE 2 | 09.08.17 |
| PERMIT SET RESPONSE 3 | 09.29.17 |



Drawing Title
ENLARGED 2ND FLOOR PLAN

GENERAL CONSTRUCTION NOTES

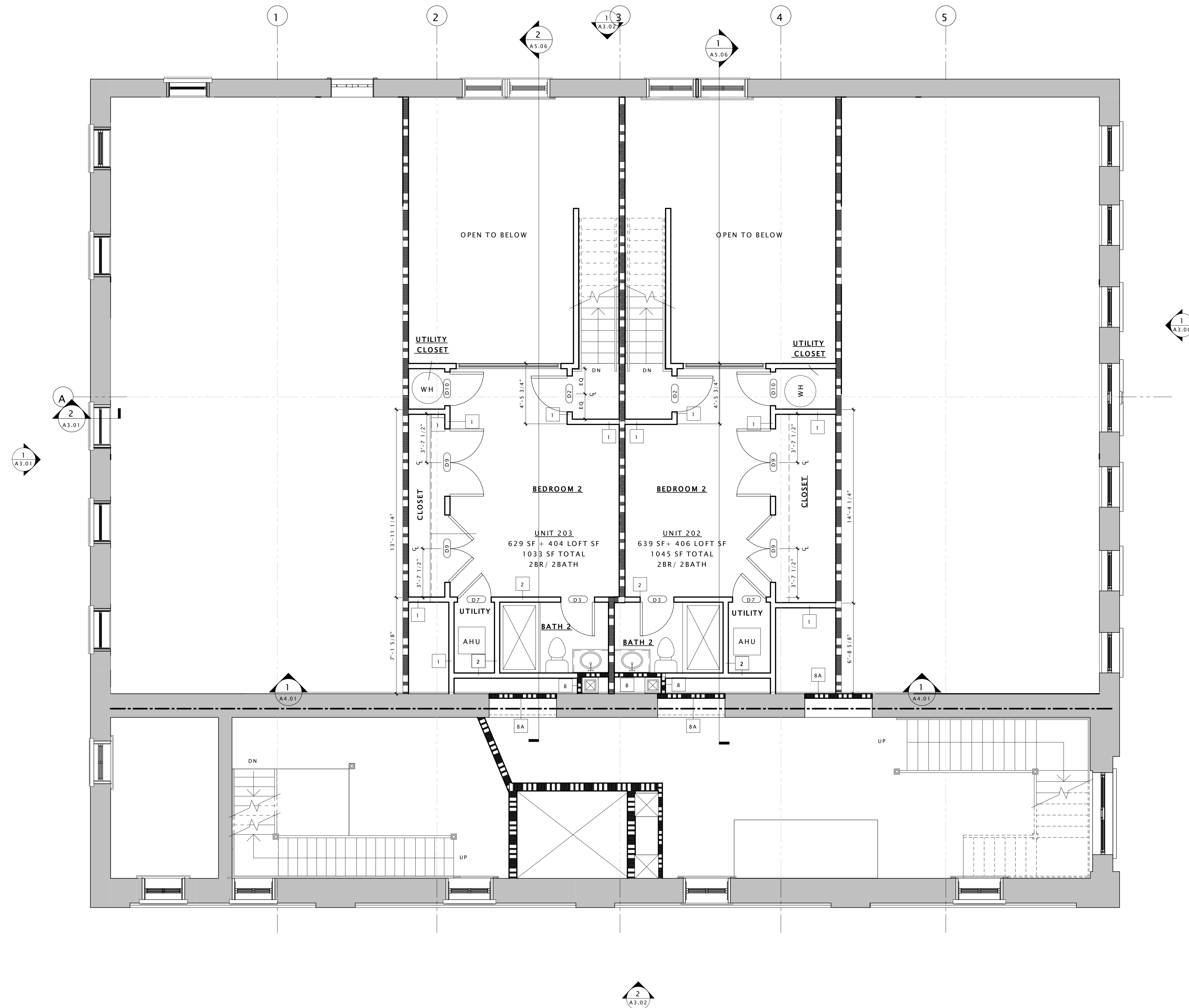
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CONSTRUCTION LEGEND

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CONSTRUCTION KEY NOTES

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- NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
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ENLARGED 2ND FLOOR LOFT
SCALE: 1/4" = 1'-0"

| Issue Record | Date |
|-------------------------|----------|
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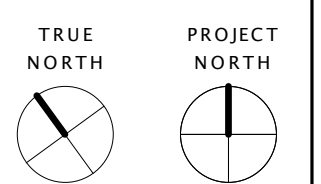


Drawing Title
ENLARGED 2ND FLOOR LOFT PLAN

Sheet

A5.02

Comm No 1622.00



GENERAL CONSTRUCTION NOTES

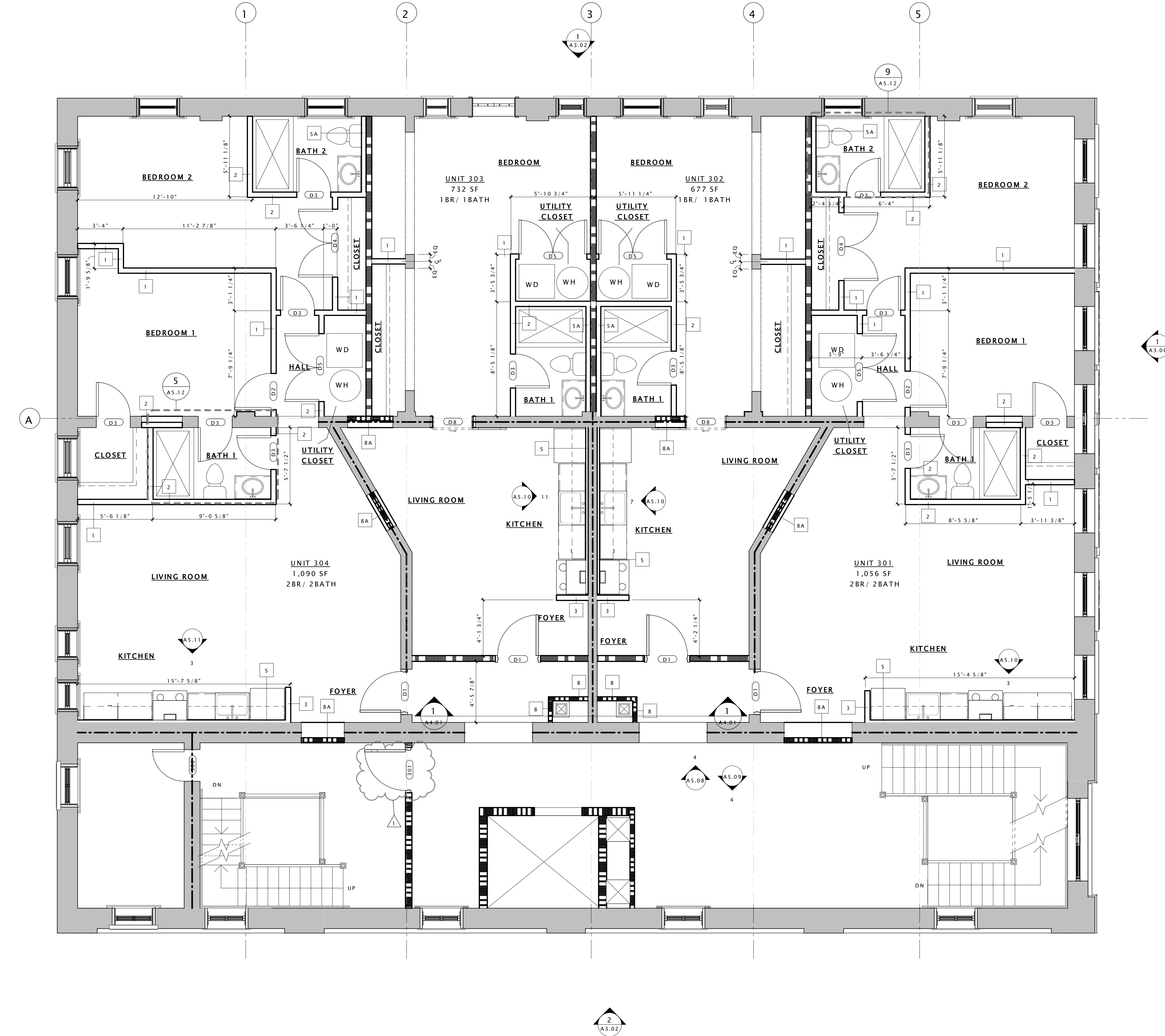
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ENLARGED 3RD FLOOR
SCALE: 1/4" = 1'-0"

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Drawing Title
ENLARGED 3RD FLOOR PLAN

GENERAL CONSTRUCTION NOTES

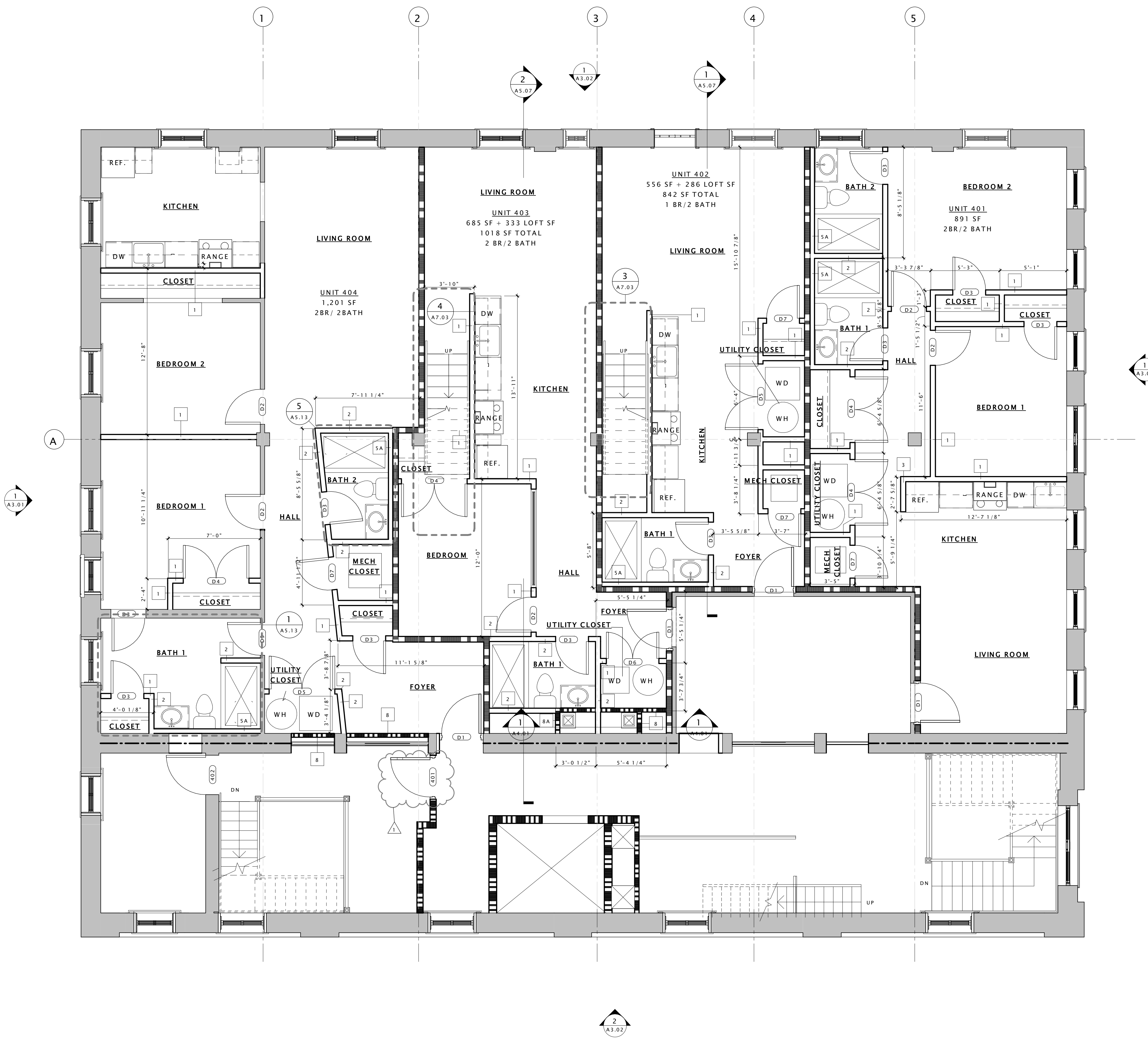
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CONSTRUCTION LEGEND

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- 5 REPAIR EXISTING CANOPY
- 6 NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
- 7 RAISE EXISTING HISTORIC HANDRAIL TO CODE COMPLIANT HEIGHT
- 8 REPAIR AND PAINT EXISTING HISTORIC RAIL/GUARDRAIL
- 9 NEW LOFT FLOOR AT CONSTRUCTED OUT OF LIGHT GAGE FRAMING - SEE STRUCTURAL FOR DETAILS
- 10 NEW STAIR IN THIS LOCATION.
- 11 NEW INTERIOR WOOD WINDOW AT BEDROOM WALL
- 12 EXISTING HISTORIC WALL AND TRANSOM WINDOWS TO BE RESTORED AND PAINTED
- 13 EXISTING HISTORIC EXTERIOR STOREFRONT TO BE RESTORED - SEE SPECIFICATIONS FOR ALLOWABLE RESTORATION METHODS
- 14 RESTORE AND REPAIR EXISTING DECORATIVE CORNICE
- 15 RESTORE EXISTING BUILT-IN GUTTER
- 16 INSTALL NEW ALUMINUM 4" DOWNSPUT
- 17 NEW MEMBRANE ROOF ON 1/2" COVER BOARD AND (2) LAYERS OF 2" POLYISO INSULATION
- 18 REPAIR AND PAINT EXISTING WOOD DENTAL MOLDING
- 19 EXISTING FIRE ESCAPE DOORS TO REMAIN AND BE FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE. DOORS TO BE REPAIRED AND REPAINTED. EXISTING WIRE GLASS TO BE REPAIRED AS NECESSARY.
- 20 INSTALL NEW WOOD WINDOW IN EXISTING LOCATION
- 21 INSPECT EXISTING MASONRY AFTER REMOVAL OF INVASIVE VEGETATION. REPAIR AND REPAIR BRICK AND MORTAR. MATCH SURROUNDING MORTAR IN MATERIAL, COMPOSITION, COLOR, AGGREGATE, & HARDNESS.
- 22 INSTALL SALVAGED TIN CEILING. SEE REFLECTED CEILING PLANS FOR MORE DETAILS.
- 23 EXISTING VAULT DOOR TO BE OPENED AND FIXED IN PLACE
- 24 NEW WOOD WINDOW IN INDICATED LOCATION. WINDOW TO MATCH EXISTING ADJACENT WINDOWS IN TYPE AND PROFILE
- 25 NEW ROOF ACCESS HATCH & LADDER - SEE SHEET A2.05 FOR DETAILS
- 26 EXISTING INTERIOR STOREFRONT TO REMAIN
- 27 EXISTING HISTORIC TELLER PARTITIONS AND STOREFRONT TO REMAIN
- 28 CLEAN AND POLISH EXISTING HISTORIC TILE FLOORS.
- 29 EXISTING DOOR TO REMAIN AND FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE
- 30 EXISTING WOOD DOORS TO BE REPAIRED. RECEIVE NEW HARDWARE, PAINTED, AND RESTORED TO WORKING ORDER - SEE DOOR SCHEDULE FOR MORE INFORMATION
- 31 INSPECT EXISTING FLUE SHAFTS AND REPAIR BRICK AS NECESSARY TO MAINTAIN A WATER TIGHT ASSEMBLY
- 32 INSTALL NEW FLUE CAP
- 33 NEW DRYER VENT EXHAUST OPENING
- 34 REPAIR AND RESTORE EXISTING HARDWOOD FLOOR AS NECESSARY AND CREATE ONE HOUR FLOOR/CEILING ASSEMBLY - SEE SPECIFICATIONS AND SHEET A0.01 FOR MORE INFORMATION



ENLARGED 4TH FLOOR
SCALE: 1/4" = 1'-0"

| Issue Record | Date |
|-------------------------|----------|
| DHR PART II SUBMISSION | 10.26.16 |
| PERMIT SET | 01.18.17 |
| DHR PART II AMENDMENT 1 | 06.30.17 |
| PERMIT SET RESPONSE | 09.08.17 |
| PERMIT SET RESPONSE 2 | 09.29.17 |



Drawing Title
ENLARGED 4TH FLOOR PLAN

GENERAL CONSTRUCTION NOTES

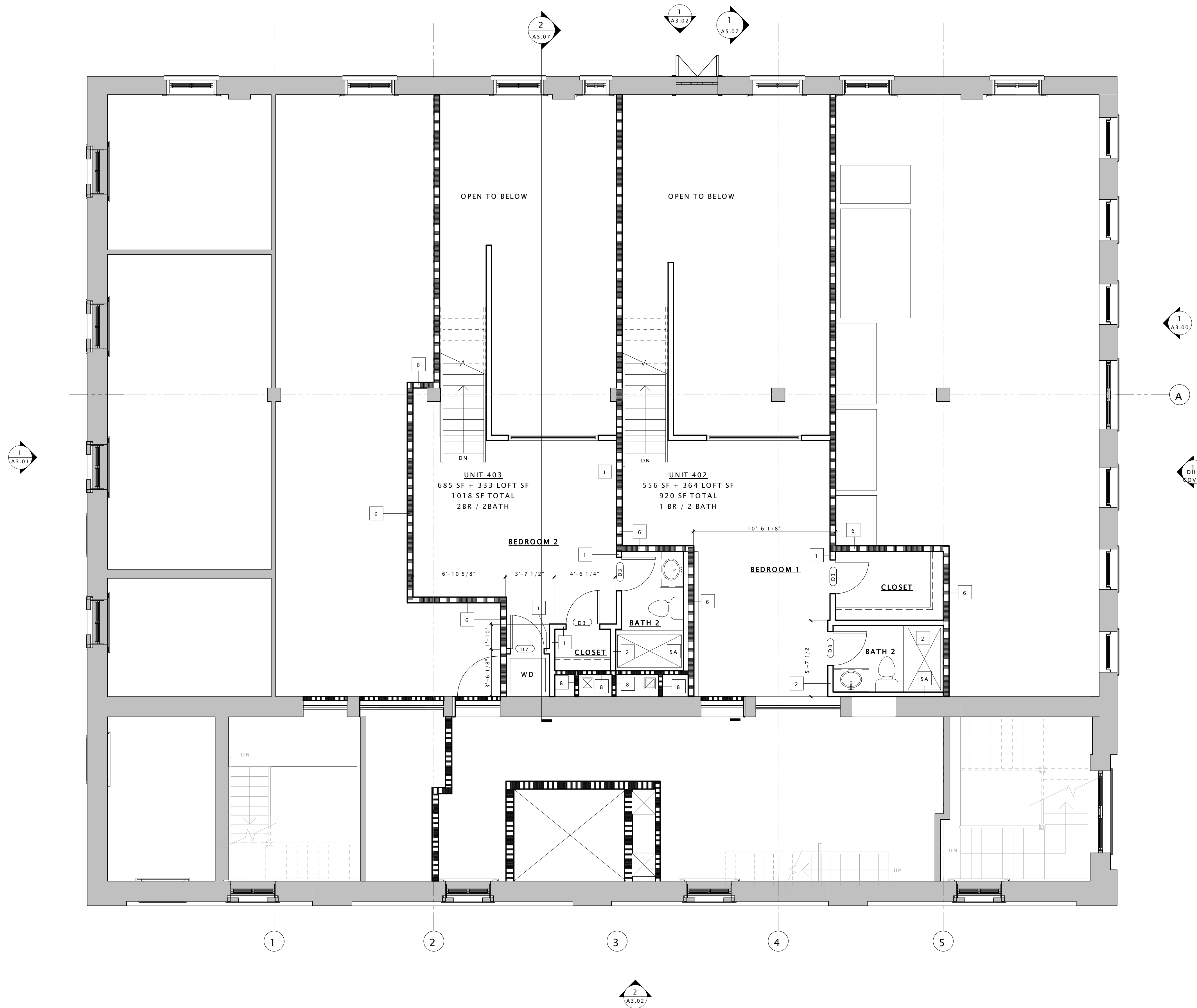
1. THIS IS A HISTORIC REHABILITATION TAX CREDIT PROJECT. ALL WORK MUST BE ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC REHABILITATION.
2. DIMENSIONS NOTED AS 'ALIGN', 'HOLD', 'CLEAR', ARE TO TAKE PRECEDENCE OVER OTHER DIMENSIONS IN CASE OF DISCREPANCIES BETWEEN DRAWINGS AND ARE ALWAYS TO FINISH FACE. ALL OTHER DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. CONTACT ARCHITECT FOR CLARIFICATION
3. DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITIONS (HINGE SIDE) UNLESS NOTED OTHERWISE.
4. ALL PARTITIONS ARE TO BE PARTITION TYPE 1 UNLESS NOTED OTHERWISE. REFER TO SHEET A0.01 FOR WALL TYPES.
5. ALL TRANSITIONS OF FLOORING SHALL OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS NOTED OTHERWISE.
6. USE 1/2" WATER RESISTANT GWB IN ALL BATHROOMS UNLESS NOTE OTHERWISE. USE CEMENT BACKER BOARD @ ALL TILE LOCATIONS
7. ALL AREAS THAT INDICATE NEW INSULATION MUST MEET CURRENT IECC STANDARDS.
8. REFER TO ELEVATIONS FOR EXISTING AND NEW WINDOW INFORMATION
9. PATCH AND REPAIR EXISTING HISTORIC PLASTER WHERE IT HAS BEEN PREVIOUSLY REMOVED OR WHERE DAMAGED. SEE NPS BRIEF FOR METHODOLOGY
10. INTERIOR DEPTH DIMENSION OF CLOSETS TO BE 2'-0" MINIMUM
11. REPAIR AND RESTORE PLASTER AT ALL EXTERIOR WALLS, HISTORIC INTERIOR WALLS, AND AT THE FIRST AND THIRD FLOOR CEILING.
12. AVOID REFINISHING FLOORS IN HISTORIC AREAS. CLEAN LIGHTLY. SAND ONLY AS NECESSARY AND OIL FLOOR BOARDS INSTEAD

CONSTRUCTION LEGEND

| | | | |
|--|---------------------------------------|--|-------------------------|
| | CONSTRUCTION NOTE SYMBOL | | EXISTING WALL TO REMAIN |
| | WALL TYPE SYMBOL SEE SHEET A8.00 | | NEW CONSTRUCTION |
| | WINDOW TYPE SYMBOL SEE SHEET A8.05 | | MASONRY INFILL |
| | 1 HOUR FIRE RATED WALL | | NEW DOORS |
| | 2 HOUR FIRE RATED WALL | | EXISTING DOORS |

CONSTRUCTION KEY NOTES

- 1 EXISTING VAULT TO REMAIN
- 2 REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
- 3 REPAIR EXISTING WOOD JOISTS TO MAKE FLOOR STRUCTUALLY SOUND - SEE STRUCTURAL
- 4 NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
- 5 REPAIR EXISTING CANOPY
- 6 NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
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ENLARGED 4TH FLOOR LOFT
SCALE: 1/4" = 1'-0"

TRUE NORTH
PROJECT NORTH

A5.05

Sheet No 1622.00

| Issue Record | Date |
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Drawing Title
ENLARGED 4TH FLOOR LOFT PLAN