



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**BOARD OF
ZONING APPEALS**

November 10, 2025

Brad Elliott Pledger
405 North Robinson Street
Richmond, VA 23220

Baker Development Resources
530 East Main Street, Suite 600
Richmond, VA 23219
Attn: Alessandro Ragazzi

To Whom It May Concern:

RE: BZA 46-2025

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, December 3, 2025 at 1:00 PM** in the 5th Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a building permit to enclose an existing rear porch, construct a second-story sunroom, and second-story rooftop deck to an existing single-family (attached) dwelling at 405 NORTH ROBINSON STREET (Tax Parcel Number W000-1126/034), located in an R-6 (Single-Family Attached Residential) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **213 490 569#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2025 drop-down, click meeting details for December 3, 2025 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at Chuck.Davidson@rva.gov for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

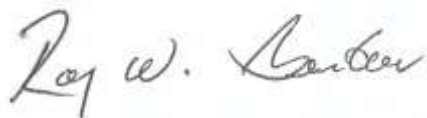
Finally, when you submitted your application to the zoning office you were given a handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 46-2025
Page 2
November 10, 2025

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in dark ink, appearing to read "Roy W. Benbow". The signature is fluid and cursive, with the first name "Roy" being the most prominent.

Roy W. Benbow, Secretary
Phone: (804) 240-2124
E-mail: Roy.Benbow@rva.gov

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

402n Robinson St Llc
Po Box 8301
Richmond, VA 23226

404n Robinson St Llc
Po Box 8301
Richmond, VA 23226

Angell Victor Kenneth And Cheryle
Woodward
2516 Stuart Avenue
Richmond, VA 23220

Beausoliel Robert W Jr And Jenifer C
2524 Stuart Ave
Richmond, VA 23220

Chiocca Realty Llc
311 Marston Lane
Richmond, VA 23221

Diradour The Llc
119 Kennondale Lane
Richmond, VA 23226

Driscoll Mark And Rita
2519 Kensington Ave
Richmond, VA 23220

Ellis William B And Kathleen C
2517 Kensington Ave
Richmond, VA 23220

Garrett Carleton T And Elizabeth Jean
2512 Stuart Ave
Richmond, VA 23220

Giavos Sophia
7606 Anoka Road
Henrico, VA 23229

Gorham Albert E Jr & Patricia D
2518 Stuart Ave
Richmond, VA 23220

Gray William A
2605 Kensington Ave
Richmond, VA 23220

Harwood Jacqueline Webster And
Richard Charles
2514 Stuart Avenue
Richmond, VA 23220

Hodgins Joseph Payton And Allyn Proffitt
8500 Hazen St
N Chesterfield, VA 23235

Jokity Investments Llc
9811 Midlothian Tpke
Richmond, VA 23235

Jones Matthew And Sheehey Diane
Revocable Trust
2601 Kensington Ave
Richmond, VA 23220

Kane Peter E
2513 Kensington Ave
Richmond, VA 23220

Kreis David Roelman Charles Trustee
Trust
2527 Kensington Ave
Richmond, VA 23220

Landon Jeffrey C And Mary J
3386 Braemar Ct
Chambersburg, PA 27202

Lee Investments Llc
7627 Rockfalls Dr
Richmond, VA 23225

Martin David F
2529 Kensington Ave
Richmond, VA 23220

Nedeff David Daniel
2607 Kensington Ave
Richmond, VA 23220

Nordt William E Iii And Dianne R
2510 Stuart Ave
Richmond, VA 23220

Odg Realty Holdings Llc C/o Ford
Richardson
901 E Byrd Street Ste 1800
Richmond, VA 23219

Papaya Properties Llc
8301 Trabue Rd
Richmond, VA 23235

Robinson Street Llc
1800 Bayberry Ct #201
Richmond, VA 23226

Shores Austin And Taylor K
2522 Stuart Ave
Richmond, VA 23220

Shue Franklyn P & Toler Kathleen
2521 Kensington Ave
Richmond, VA 23220

Smith Todd G And Garbee Kelty T
5508 Chadwyck Dr
Austin, TX 78723

Stailey Michael Claran And Samuels
William Edward
407 N Robinson St
Richmond, VA 23220

Szubiak Stanislaw L
404 N Davis Ave
Richmond, VA 23220

Tymowski Maciej And Anastasia
2523 Kensington Ave
Richmond, VA 23220

Utlely Stephen P
2917 Breezy Road
Virginia Beach, VA 23451

Voorhees John Haden And Tiffany
Livingston
2603 Kensington Ave
Richmond, VA 23220

Ward Amanda Faircloth And Quentin
Amory Pollard
2507 Kensington Ave
Richmond, VA 23220

Winebrenner Daniel K Jr & Maruta R
406 N Davis Ave
Richmond, VA 23220

PIN: W0001126034

PID: 58462

As of: 11/7/2025 9:30:09 PM

City of Richmond, VA Report

Property Owner

Name: PLEDGER BRAD ELLIOTT

Mailing Address: 405 N ROBINSON ST
RICHMOND, VA 23220

Parcel Use: R Two Family Converted

Neighborhood: 216

Property Information

Property Address: 405 N Robinson St

PIN W0001126034

Size: 0.061 Acres, 2639.660 Square Feet

Property Description: 0022.37X0118.00 0000.000

Current Assessment

Year	Land	Improvements	Total
2026	\$235,000	\$404,000	\$639,000

Deed Transfers

Recordation Date	Book	Page	Deed Type	Consideration	 Grantee
6/2/2021	IW2021	411	WI	\$0	PLEDGER BRAD ELLIOTT
8/17/1987	00137	1520	N/A	\$0	PLEDGER VERNON R
4/3/1984	000001	00402	N/A	\$63,000	Not Available
6/26/1958	000000	00000	N/A	\$7,500	Not Available
1/1/1900	000000	00000	N/A	\$7,500	Not Available

Residential Card 1 Details

Story	Style	Total Liv	Year Built
2.0	DuplexTriplexQuad	2,546	1909

Model:	RESIDENTIAL	Rooms:	Beds: 4
Interior Wall:	Plaster	Bathrooms:	Full: 3 Half: 0
Interior Wall 2:		Central AC:	Central air
Exterior Wall:	Common Brick	Heat/Cool:	Hot Water Or Steam
Exterior Wall 2:	Masonry	Floor Cover:	Softwood
Roof Type:	Flat or Shed	Floor Cover 2:	Hardener and sealer, concrete
Roof Cover:	Metal, preformed corrugate	Floor Cover 3:	N/A

Residential Card 1 Photo



Residential Card 1 Sketch



Building Sub-Areas (sq ft)

Code	Description	Gross Area	Living Area
1SMS	1 Story Masonry - Fin	1,273	1,273
1SMSUP	1 Story Masonry - Upper - Fin	1,273	1,273
OMP	Porch - Open - Masonry	137	0
TCQB	3/4 Crawl 1/4 Bsmt	1,273	0
WDK	Deck - Wood	718	0
Totals		4,674	2,546

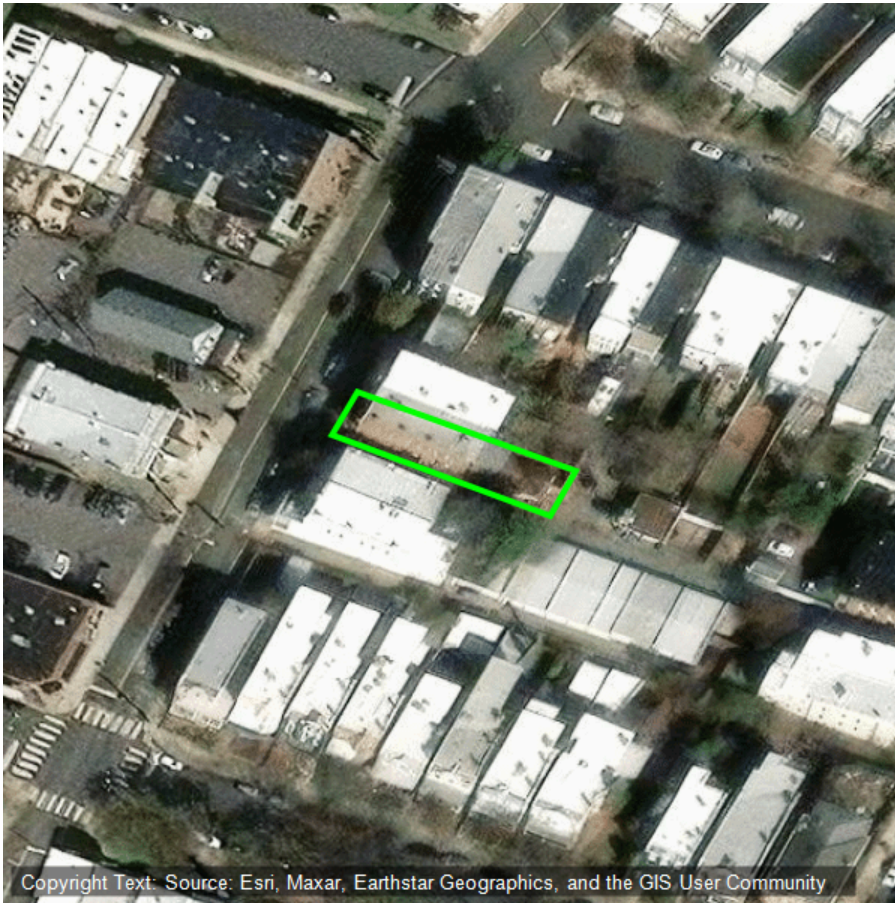
Outbuildings

Code	Description	Sub Code-Description	Size
DETGAR	Residential Detached Garage	Wood Frame	426.00 SF

Assessment History

Year	Land	Improvements	Total
2025	\$235,000	\$367,000	\$602,000
2024	\$215,000	\$345,000	\$560,000
2023	\$215,000	\$337,000	\$552,000
2022	\$175,000	\$308,000	\$483,000
2021	\$155,000	\$305,000	\$460,000
2020	\$140,000	\$306,000	\$446,000
2019	\$140,000	\$287,000	\$427,000
2018	\$125,000	\$259,000	\$384,000
2017	\$95,000	\$264,000	\$359,000
2016	\$95,000	\$255,000	\$350,000
2015	\$95,000	\$223,000	\$318,000
2014	\$95,000	\$232,000	\$327,000
2013	\$83,000	\$232,000	\$315,000
2012	\$83,000	\$232,000	\$315,000
2011	\$83,000	\$232,000	\$315,000
2010	\$83,000	\$232,000	\$315,000
2009	\$83,200	\$242,100	\$325,300
2008	\$80,000	\$245,300	\$325,300
2007	\$72,200	\$272,600	\$344,800
2006	\$72,200	\$272,600	\$344,800
2005	\$64,700	\$225,300	\$290,000

Map



Copyright Text: Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

Not a Legal Document

Subject to terms and conditions
www.actDataScout.com

RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

TO BE COMPLETED BY THE APPLICANT

PROPERTY Pledger Brad Elliott PHONE: (Home) () (Mobile) ()
OWNER: 405 N Robinson St FAX: () (Work) ()
(Name/Address) Richmond, VA 23220 E-mail Address: _____

OWNER'S REPRESENTATIVE:
(Name/Address) Baker Development Resources PHONE: (Home) () (Mobile) (804) 874-6275
Alessandro Ragazzi FAX: () (Work) ()
530 E Main Street, Ste 600 E-mail Address: alessandro@bakerdevelopmentresources.com
Richmond, VA 23219

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS(ES): 405 N Robinson Street
TYPE OF APPLICATION: ☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHER _____
ZONING ORDINANCE SECTION NUMBERS(S): 30-300, 30-412.5(2)b, 30-412.5(c), 30-412.6
APPLICATION REQUIRED FOR: A building permit to enclose an existing rear porch and construct a second-story sunroom and a second-story rooftop deck to an existing single-family (attached) dwelling.
TAX PARCEL NUMBER(S): W000-1126/034 ZONING DISTRICT: R-6 (Single-Family Attached Residential)
REQUEST DISAPPROVED FOR THE REASON THAT: The side yard (setbacks), rear yard (setback), and lot coverage requirements are not met. A side yard of 3 feet is required; .1' is proposed for the rooftop deck and .2' is proposed for the sunroom. A rear yard of 5' is required; 4.9' is proposed. Lot coverage may not exceed 55%; 77.55% is proposed.
DATE REQUEST DISAPPROVED: October 1, 2025 FEE WAIVER: YES ☐ NO: ☒
DATE FILED: October 1, 2025 TIME FILED: 9:26 a.m. PREPARED BY: Madison Sobczak RECEIPT NO. BZAR-175230-2025
AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:
SECTION 17.20 PARAGRAPH(S) _____ OF THE CHARTER OF THE CITY OF RICHMOND
SECTION 15.2 -2309.2 ☐ OF THE CODE OF VIRGINIA [OR]
SECTION 1040.3 PARAGRAPH(S) 1 OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter* ☒
I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.
SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] DATE: _____

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 46-2025 HEARING DATE: December 3, 2025 AT 1:00 P.M.

BOARD OF ZONING APPEALS CASE BZA 46-2025
150' Buffer

APPLICANT(S): Brad Elliott Pledger

PREMISES: 405 North Robinson Street
(Tax Parcel Number W000-1126/034)

SUBJECT: A building permit to enclose an existing rear porch, construct a second-story sunroom, and second-story rooftop deck to an existing single-family (attached) dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300, 30-412.5(2)b, 30-412.5(2)c & 30-412.6 of the Zoning Ordinance for the reason that:
The side yard (setbacks), rear yard (setback), and lot coverage requirements are not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

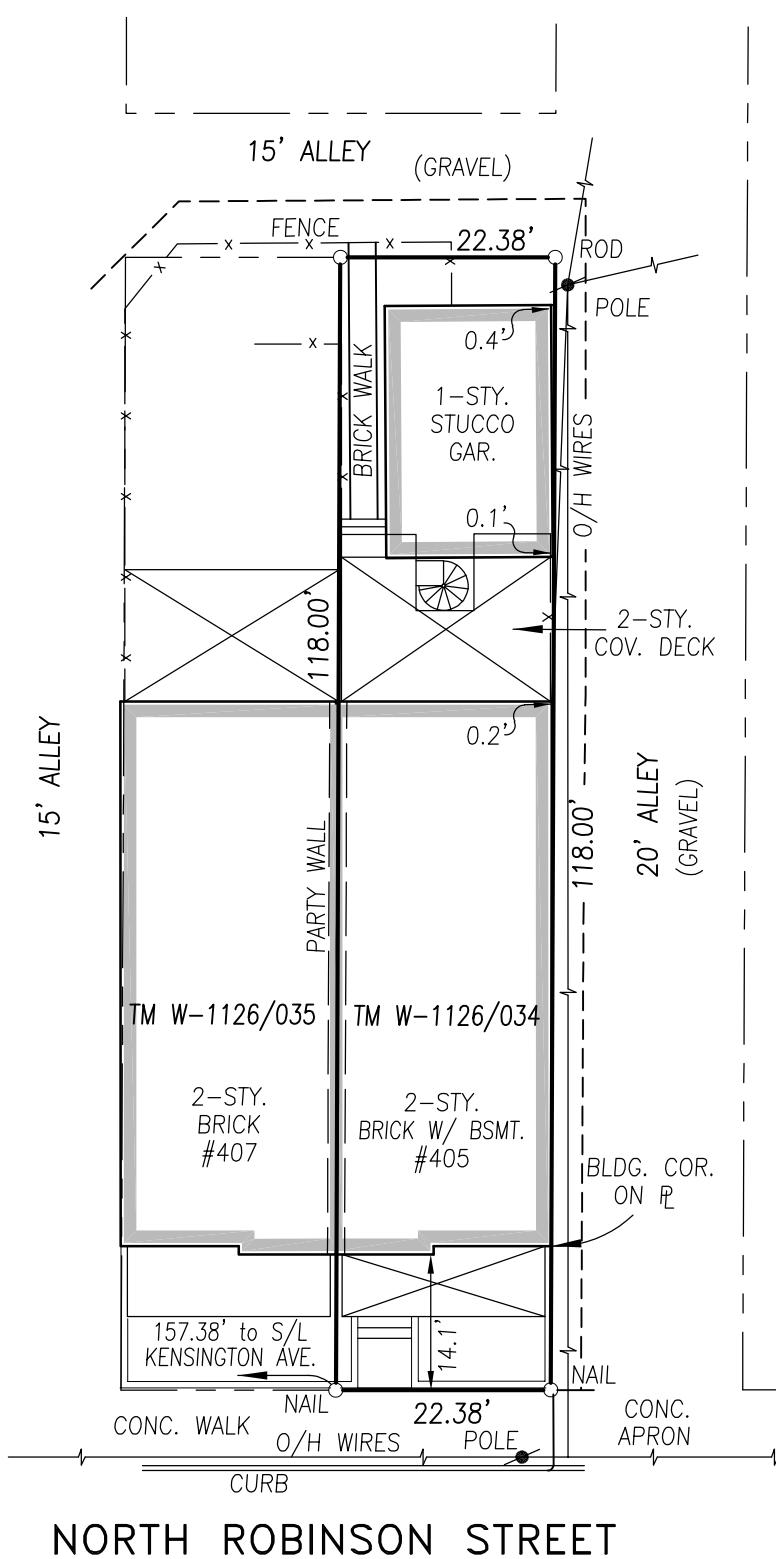
When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing. The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

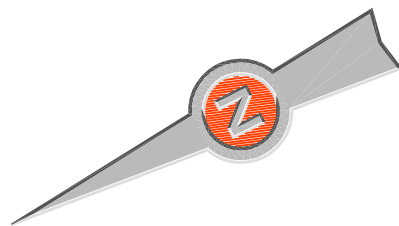
Acknowledgement of Receipt by Applicant or Authorized Agent: _____



LOCATION OF U/G UTILITIES SHOWN ON THIS MAP IS BASED ON FIELD OBSERVATION AND RECORD INFORMATION. ADDITIONAL U/G UTILITIES MAY EXIST OTHER THAN THOSE SHOWN.

WETLANDS (IF ANY) AND RESOURCE PROTECTION AREA LIMITS ARE NOT SHOWN ON THIS SURVEY.

BUILDING SETBACKS OR OTHER ZONING CONDITIONS NOT DETERMINED FOR THIS MAP. COMPLIANCE WITH APPLICABLE ZONING ORDINANCES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.



This plat was prepared without the benefit of a title report and may not, therefor, indicate all easements or conditions affecting subject property.



This is to certify that on 4/14/25
I made an accurate field survey of the premises shown hereon, that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than as shown hereon.

SURVEY SHOWING IMPROVEMENTS ON PROPERTY LOCATED AT 405 NORTH ROBINSON STREET CITY OF RICHMOND, VIRGINIA

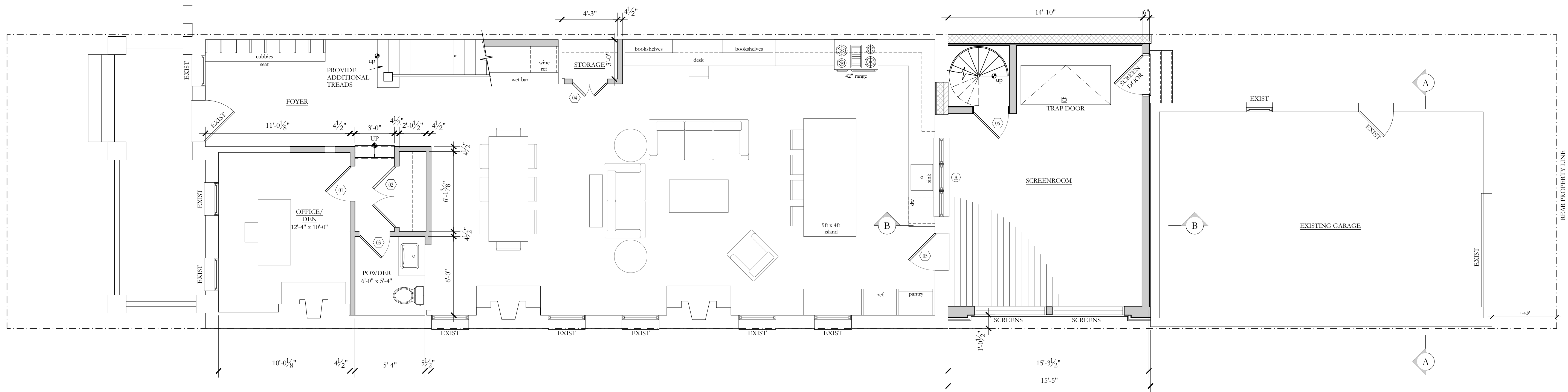


Bruce Robertson Land Surveying, P.C.

1519 Huguenot Rd. Ste #100 Midlothian VA, 23113 (804)330-2801

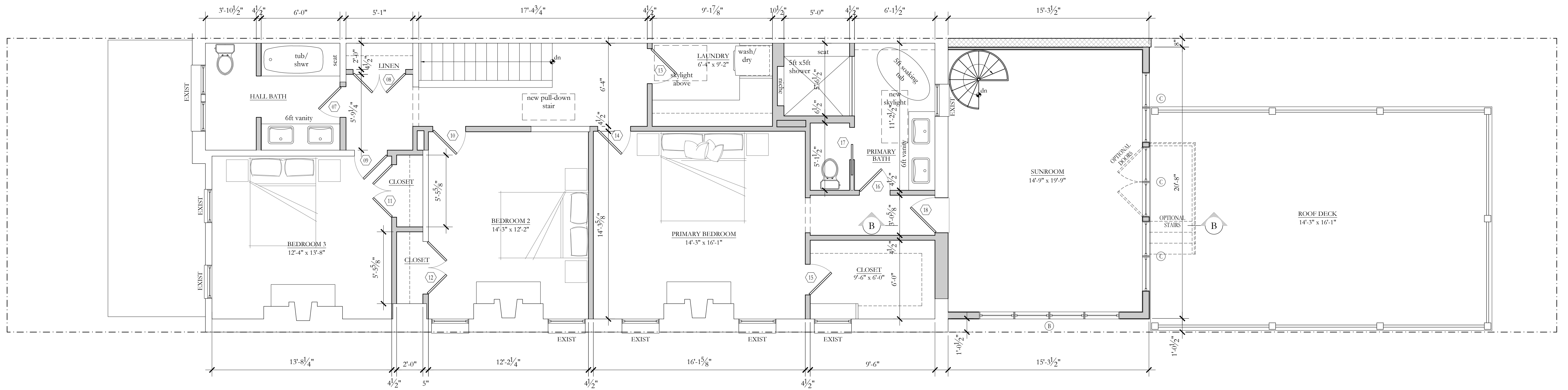
Date: 4/16/25
Scale: 1"=20'

JN 25083



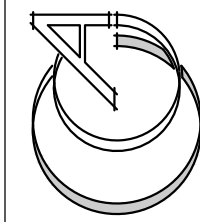
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN

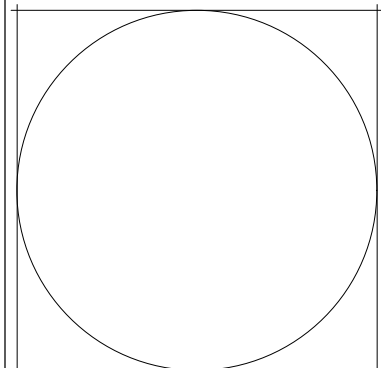
SCALE: 1/4"=1'-0"



5808 OTTERDALE ROAD
MOSELEY, VIRGINIA 23120

IT IS A VIOLATION OF NYS
LAW FOR ANYONE
EXCEPT THE LICENSED
ARCHITECT TO ALTER
THESE PLANS IN ANYWAY

CONSULTANTS



FIRST FLOOR & SECOND FLOOR PLAN

addition & renovation at the
PLEDGER RESIDENCE
405 N. ROBINSON STREET RICHMOND, VIRGINIA 23220

Date	Revision / Issue
06/08/2025	BUDGET PRICING DRAWINGS
09/30/2023	SPIRAL STAIR RELOCATED

Drawn By:
C CARBONARO

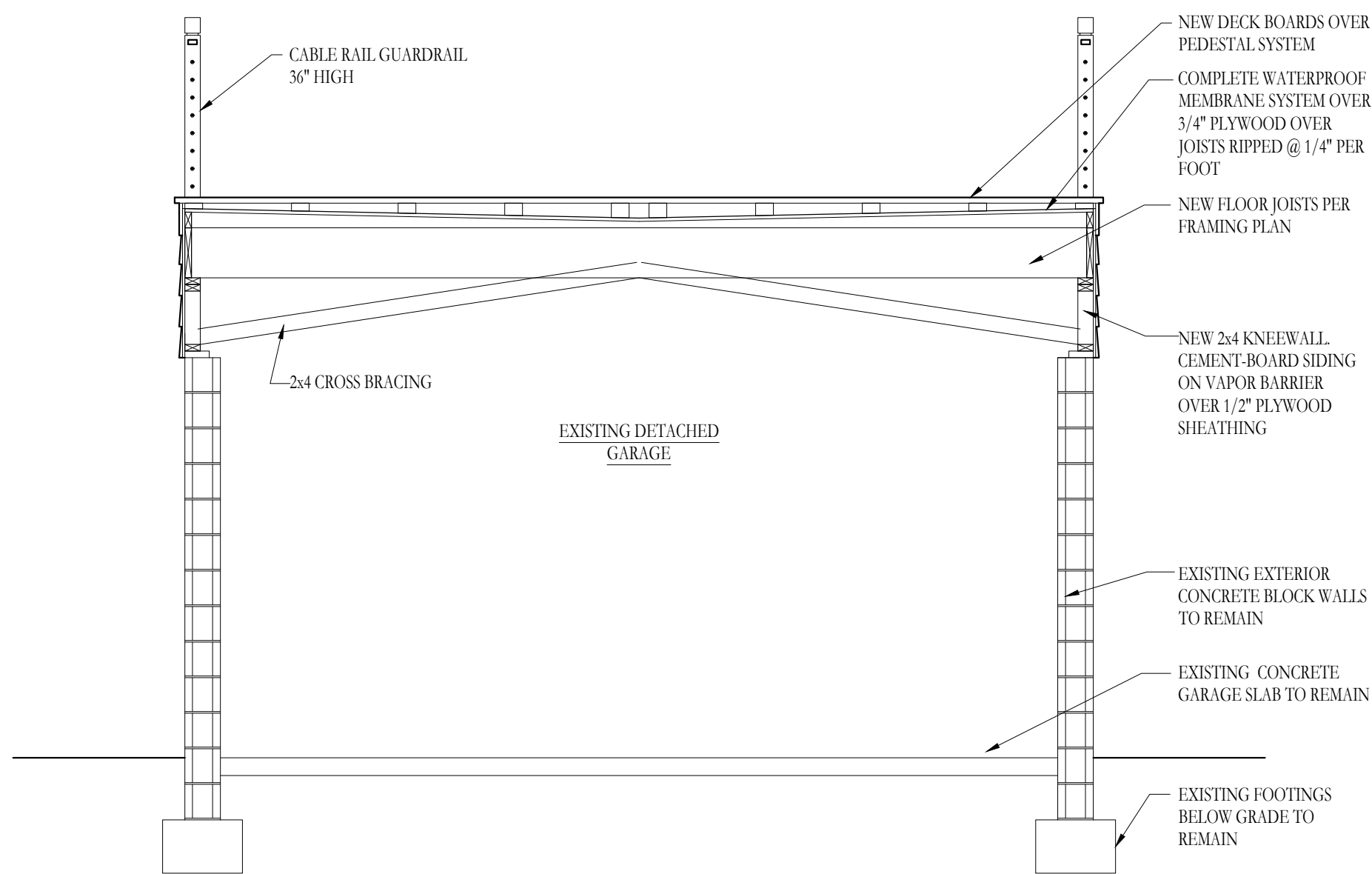
Project #
MMXXV-06

Scale
- AS NOTED

Date
MARCH 25, 2025

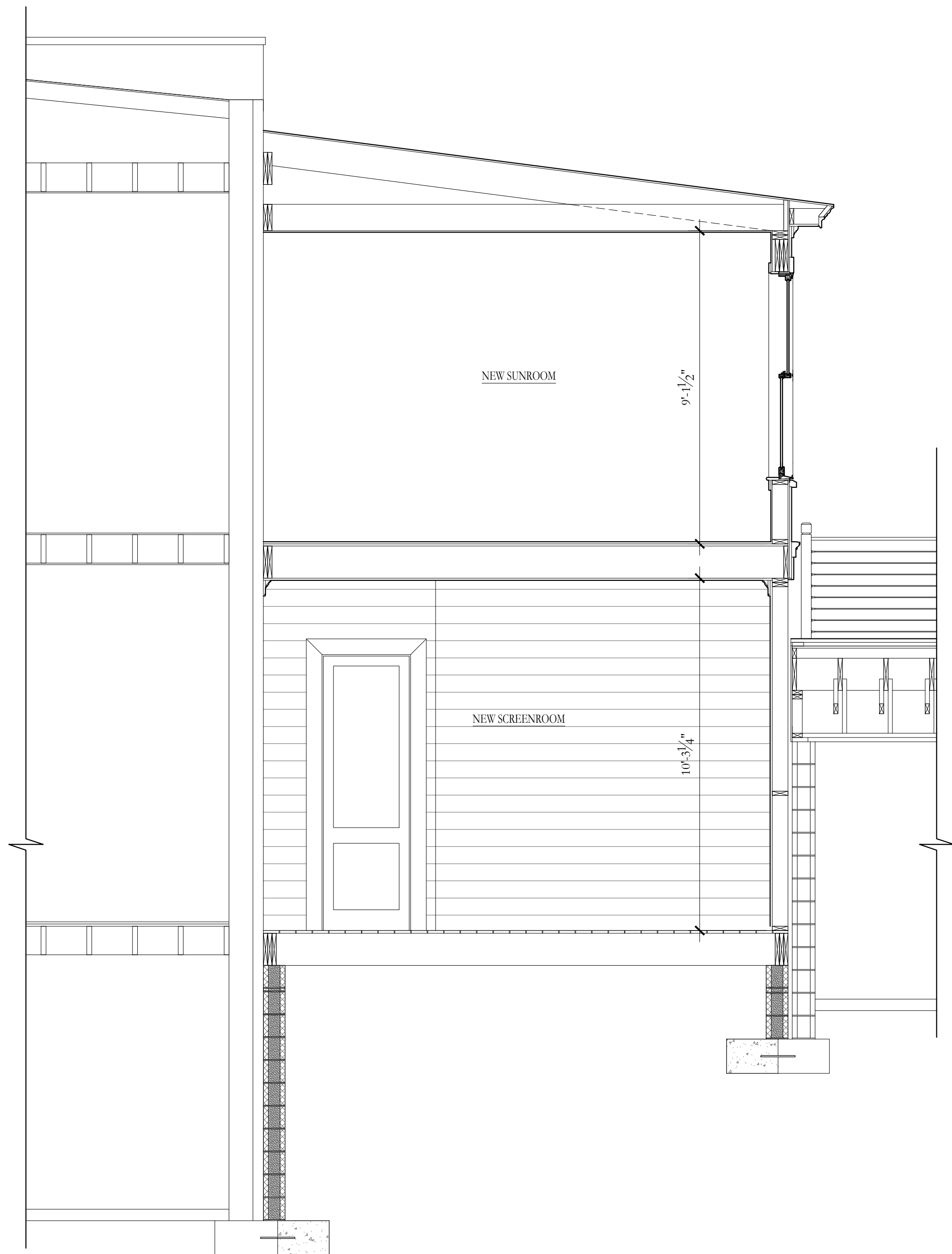
Sheet #

A1.0



CROSS SECTION A-A

SCALE: 3/8\"=1'-0"

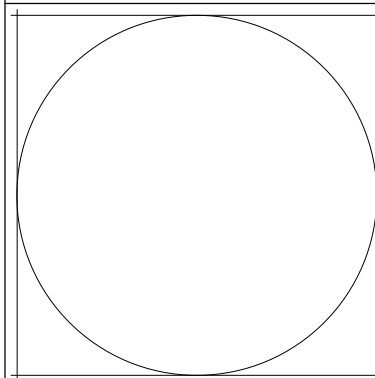


CROSS SECTION B-B

SCALE: 3/8\"=1'-0"

IT IS A VIOLATION OF NYS
LAW FOR ANYONE
EXCEPT THE LICENSED
ARCHITECT TO ALTER
THESE PLANS IN ANYWAY

CONSULTANTS



CROSS SECTION

Drawing

Date	Revision / Issue
06/08/2025	BUDGET PRICING DRAWINGS
09/30/2023	SPIRAL STAIR RELOCATED

Drawn By:
C CARBONARO

Project #
MMXXV-06

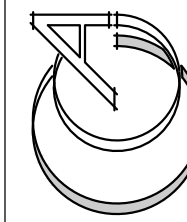
Scale
- AS NOTED

Date
MARCH 25, 2025

Sheet #

A3.0

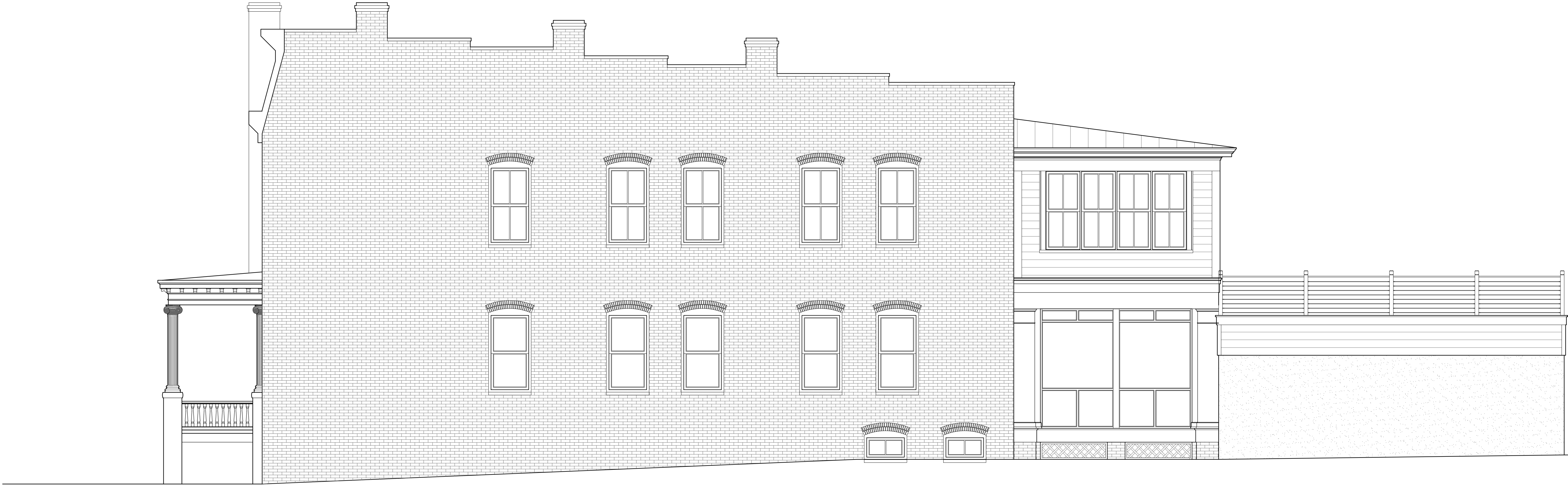
5808 OTTERDALE ROAD
MOSELEY, VIRGINIA 23120



CHARLES A. CARBONARO
ARCHITECT, P.C.

516-356-6389
CHUCK.CARBONARO@GMAIL.COM

addition & renovation at the
PLEDGER RESIDENCE
405 N. ROBINSON STREET RICHMOND, VIRGINIA 23220



6.6 sf x 2 = 13.2sf

SIDE ELEVATION

SCALE: 1/4"=1'-0"

WINDOW SCHEDULE

MANUFACTURER: TBD
U-VALUE: 0.32
SHGC: 0.40

LETTER	TYPE	FRAME SIZE	NOTES
A	DOUBLE HUNG	3 - 2'-0" x 4'-6"	FACTORY MULLED - 8FT FINISH HEAD
B	DOUBLE HUNG	4 - 2'-8" x 6'-0"	
C	DOUBLE HUNG	2 - 2'-8" x 6'-0"	

1. WINDOWS IN WET LOCATIONS SHALL BE TEMPERED GLASS
2. ALL WINDOWS TO BE LOW-E INSULATED GLASS
3. ALL WINDOWS SHALL HAVE 7/8" SDL
4. VERIFY INTERIOR AND EXTERIOR FINISHES WITH OWNER PRIOR TO MANUFACTURE.
5. ALL WINDOWS AT STAIRS SHALL BE TEMPERED GLASS

DOOR SCHEDULE

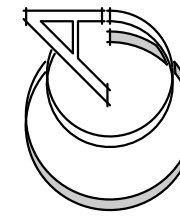
MANUFACTURER: TBD

	TYPE	SIZE	MATERIAL	NOTES
01	SINGLE SWING	2'-8" x 8'-0"	WOOD	INTERIOR
02	DOUBLE SWING	2 - 2'-4" x 8'-0"	WOOD	INTERIOR
03	SINGLE SWING	2'-4" x 8'-0"	WOOD	INTERIOR
04	DOUBLE SWING	2 - 1'-4" x 8'-0"	WOOD	INTERIOR
05	SINGLE SWING	2'-10" x 8'-0"	WOOD/GLASS	EXTERIOR, WEATHER STRIP & INSULATE
06	SINGLE SWING	2'-8" x 6'-8"	WOOD/GLASS	EXTERIOR, WEATHER STRIP & INSULATE
07	SINGLE SWING	2'-4" x 8'-0"	WOOD	INTERIOR
08	DOUBLE SWING	2 - 2'-0" x 8'-0"	WOOD	INTERIOR
09	SINGLE SWING	2'-6" x 8'-0"	WOOD	INTERIOR
10	SINGLE SWING	2'-6" x 8'-0"	WOOD	INTERIOR
11	DOUBLE SWING	2 - 2'-0" x 8'-0"	WOOD	INTERIOR
12	DOUBLE SWING	2 - 2'-0" x 8'-0"	WOOD	INTERIOR
13	SINGLE SWING	2'-8" x 8'-0"	WOOD	INTERIOR
14	SINGLE SWING	2'-6" x 8'-0"	WOOD	INTERIOR
15	SINGLE SWING	2'-4" x 8'-0"	WOOD	INTERIOR
16	SINGLE SWING	2'-4" x 8'-0"	WOOD	INTERIOR
17	POCKET	2'-4" x 8'-0"	WOOD	INTERIOR
18	SINGLE SWING	2'-8" x 8'-0"	WOOD/GLASS	EXTERIOR, WEATHER STRIP & INSULATE



REAR ELEVATION

SCALE: 1/4"=1'-0"

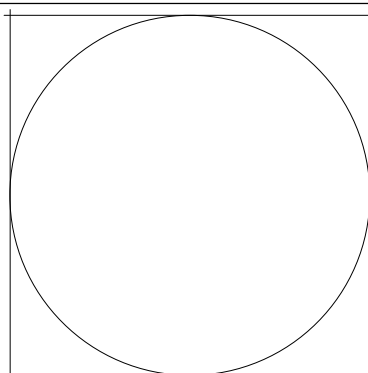


CHARLES A. CARBONARO
ARCHITECT, P.C.

516-356-6389
CHUCK.CARBONARO@GMAIL.COM

IT IS A VIOLATION OF NYS
LAW FOR ANYONE
EXCEPT THE LICENSED
ARCHITECT TO ALTER
THESE PLANS IN ANYWAY

CONSULTANTS



ELEVATIONS
AND DETAILS

addition & renovation at the
PLEDGER RESIDENCE

405 N. ROBINSON STREET RICHMOND, VIRGINIA 23220

Drawing

Date	Revision / Issue
06/08/2025	BUDGET PRICING DRAWINGS
09/30/2023	SPIRAL STAIR RELOCATED

Drawn By:
C CARBONARO

Project #
MMXXV-06

Scale
- AS NOTED

Date
MARCH 25, 2025

Sheet #

A4.0

SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"

D1.0