



Commission for Architectural Review Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804)-646-6569
www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

3017 E Marshall St Richmond, VA 23223

Address: _____

St. John's Church

Historic District: _____

Applicant Information Billing Contact

Martin Hedrick

Name: _____

mhedrick@hedrickarchitects.com

Email: _____

804-489-3182

Phone: _____

Hedrick Architects PLLC

Company: _____

1520 W Main St. Suite 203

Mailing Address: _____

Richmond, VA 23220

Applicant Type: Owner Agent Lessee

Architect Contractor

Other (specify): _____

Owner Information Billing Contact

Same as Applicant

Cynthia Dorsey (Dorsey Holdings Inc)

Name: _____

dorsey054@gmail.com

Email: _____

Phone: _____

Dorsey Holdings Inc

Company: _____

8801 Brown Summit Rd

Mailing Address: _____

N Chesterfield, VA 23235

****Owner must sign at the bottom of this page****

Project Information

Project Type: Alteration Demolition New Construction (Conceptual Review Required)

Project Description (attach additional sheets if needed):

Addition, alteration, and interior renovation to an existing detached single-family dwelling.

Proposed work includes enclosing an existing Second Floor Porch

at the rear corner of the house, as well as building a new front Porch.

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required an application materials should be prepared in compliance with zoning.

Signature of Owner

Date 11/28/22

HEDRICK ARCHITECTS

City of Richmond Department of Planning and Development Review
Commission of Architectural Review
City Hall, 900 East Broad Street
Richmond, VA 23219

RE: 3017 E Marshall Street (E0000635010)

Project Description:

3017 E Marshall Street is a single-family detached dwelling in Richmond's St. John's Church City Old and Historic District. It is a two-story row house— wood-framed with clapboard siding, on a crawlspace with concrete block foundation walls, which are parged on the exterior. Per the real estate records, the home was built in 1900, on a 1,890sf lot, and the finished living area comprises approximately 1,780sf.

The scope of the project involves the rehabilitation/repair of the house, changes to the interior layouts, as well as enclosing the Second Floor rear Porch and adding a new open front Porch.

The proposed interior renovation design changes can be seen on the attached floor plans, but will include alterations to the Kitchen, Bathrooms, Bedrooms, Laundry, other living spaces, etc. The work will also include updating the MEP systems in the house.

The interior portion of the fireplaces/chimneys will be removed as shown. However the exterior portion of the chimneys, located only above the roof, will be saved, re-supported, and restored as needed.

There is an existing open Porch on both levels at the rear right corner of the house (Southwest corner). The proposed plan is to enclose the Second Floor portion of the Porch for a new Bathroom and Closet. The new infill walls will include exterior trim pieces to demarcate the original dimensions of the porch, as well as the existing post and railing locations. There is one new proposed casement window on the rear façade (South façade), to match the other Second Floor rear casement windows in proportion, detailing, and materials.

There is currently no front Porch on the building. The previous documentation (Richmond real estate records, Google maps, and engineer's report for previous owner) indicate there was a two-level Porch which was removed at some point. The proposed front Porch will be a single-story, hipped roof design, supported on four rectilinear wrapped wood posts on brick piers. The proposed Porch footprint is approximately five feet by nineteen feet. The materials and specs are noted in the drawings. There is an existing door at the Second Floor of the front façade (North façade), which is proposed to be removed and replaced with a new double-hung window to match the two other existing Second Floor windows, including the diamond muntin patterns.

There are various planks of siding, trim pieces, and mouldings that are in disrepair/damaged/rotten and will be repaired and repainted, or replaced in-kind per the guidelines and existing structure.

The left wall of the house (East wall) is outward leaning. The proposed work will include efforts to shore up the existing wall and making it plumb again. The exact means and methods are yet to be determined, but this proposal assumes all work will be accomplished without change to the exterior designs of the building. The Owner understands that if anything should need to be revised, the CAR submission will need to be revisited.



EXG FRONT (NORTH) ELEVATION



EXG RIGHT (WEST) ELEVATION



EXG REAR (SOUTH) ELEVATION



EXG REAR/SIDE PORCH (SOUTHWEST CORNER)



EXG LEFT (EAST) ELEVATION



EXG LEFT (EAST) ELEVATION

PROGRESS PRINT- NOT FOR CONSTRUCTION

E Marshall St

3017 E Marshall St
Richmond, Virginia 23223

28 November 2022

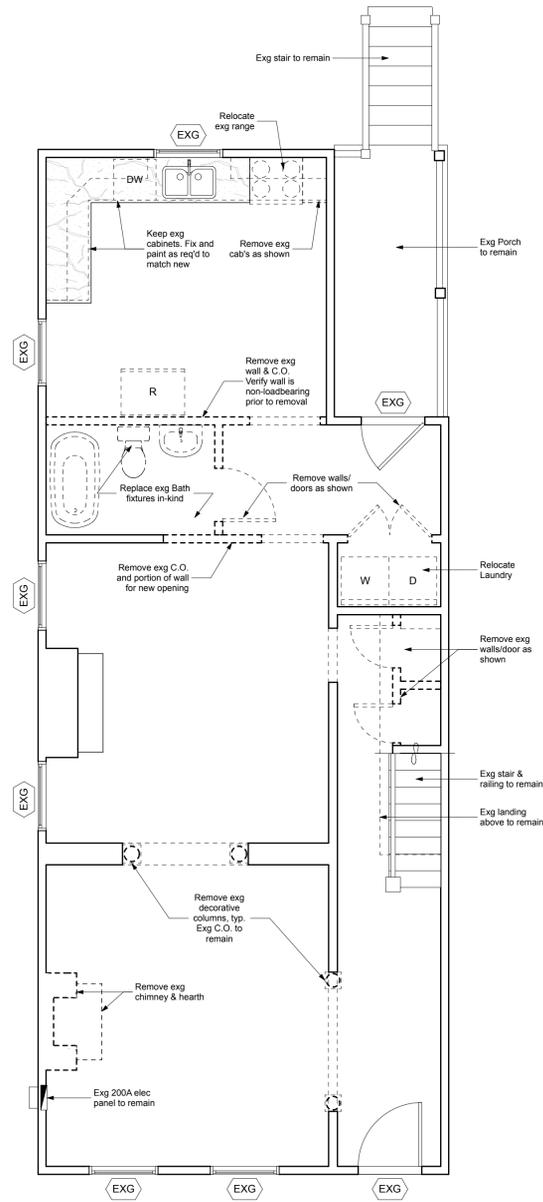
CAR Set

DATE	DESCRIPTION

Existing Photos

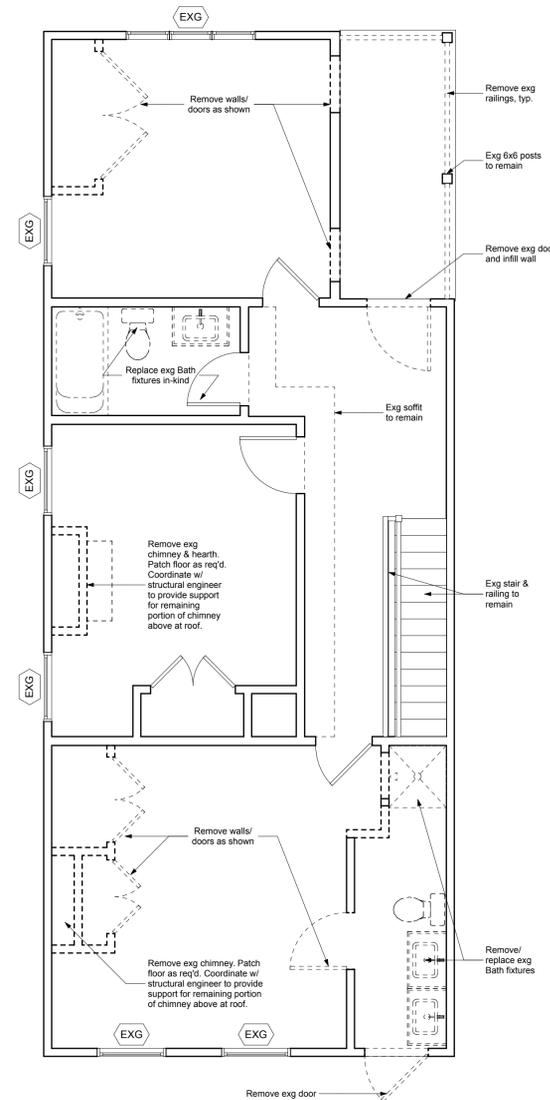
D0

GENERAL NOTES: 1. Provide temporary shoring to existing structure as needed for new construction.	DEMOLITION NOTES: 1. Exploratory work necessary to assess structural integrity of existing conditions. GC should bring these items to the attention of the Architect for direction before proceeding with any work in question. 2. Remove dashed portion of existing walls, typ. Coordinate with new work, as required. 3. GC to coordinate with Structural Engineer and/or Architect prior to the removal of walls, doors, and/or windows that may require temporary support systems to be located for the duration of the work.	4. Special care shall be taken to prevent damage to existing construction scheduled to remain. 5. Any area where existing wall or other building elements have been removed shall be patched to match existing or new surface, as required. 6. GC to verify all dimensions before proceeding and obtain measurements at the site for all work required in order to be accurately fitted. 7. GC to consult Owner prior to removal of any salvageable or reusable items. Coordinate with Owner if salvageable items can be donated to used building supply stores, ex. Second Chance.	8. Should the GC find, after a visit to the site or during construction, any discrepancies, omissions, ambiguities, or conflicts in and among the construction drawings, or be in doubt as to their meaning, the GC should bring these items to the attention of the Architect for direction before proceeding with any work in question.
SPRINKLER NOTES: 1. SPRINKLERS ARE NOT REQUIRED FOR THIS PROJECT. See Project Information (Sheet T1) for more information.			
DEMOLITION KEY: 			

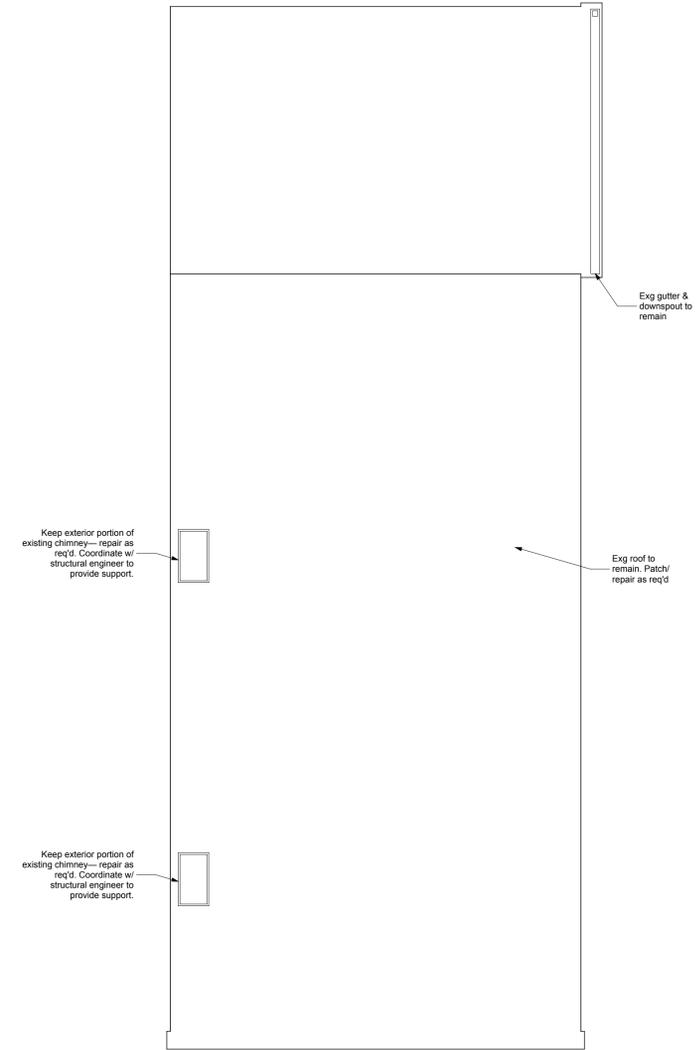


1 First Floor Demo Plan
1/4" = 1'-0"

NOTE: ALL EXG WINDOWS & DOORS TO REMAIN, U.N.O.



2 Second Floor Demo Plan
1/4" = 1'-0"



3 Roof Demo Plan
1/4" = 1'-0"

PROGRESS PRINT - NOT FOR CONSTRUCTION

E Marshall St

3017 E Marshall St
Richmond, Virginia 23223

28 November 2022

CAR Set

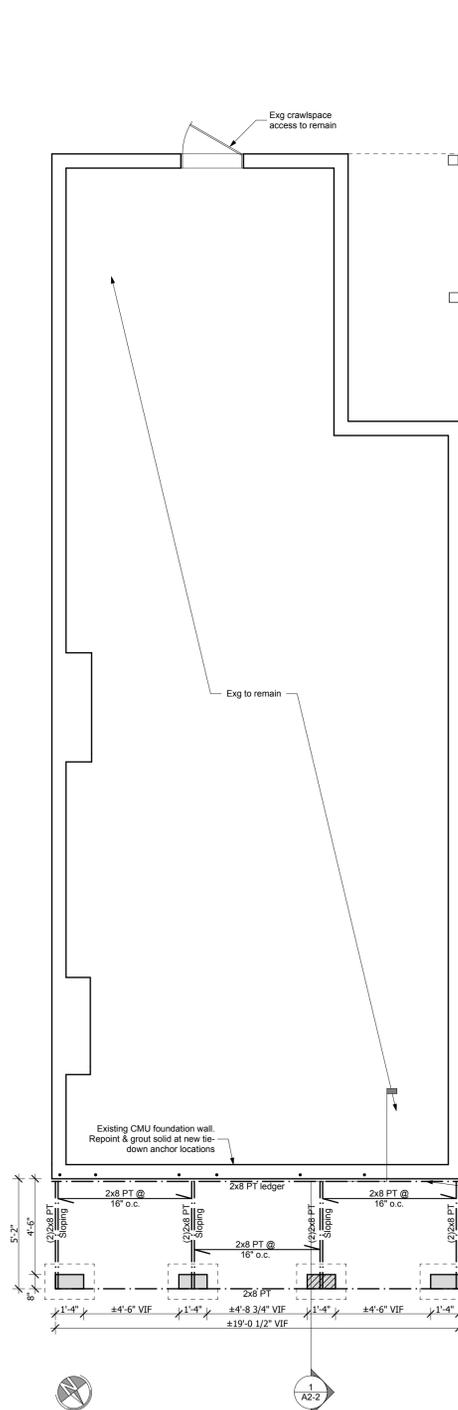
DATE	DESCRIPTION

Demolition Plans

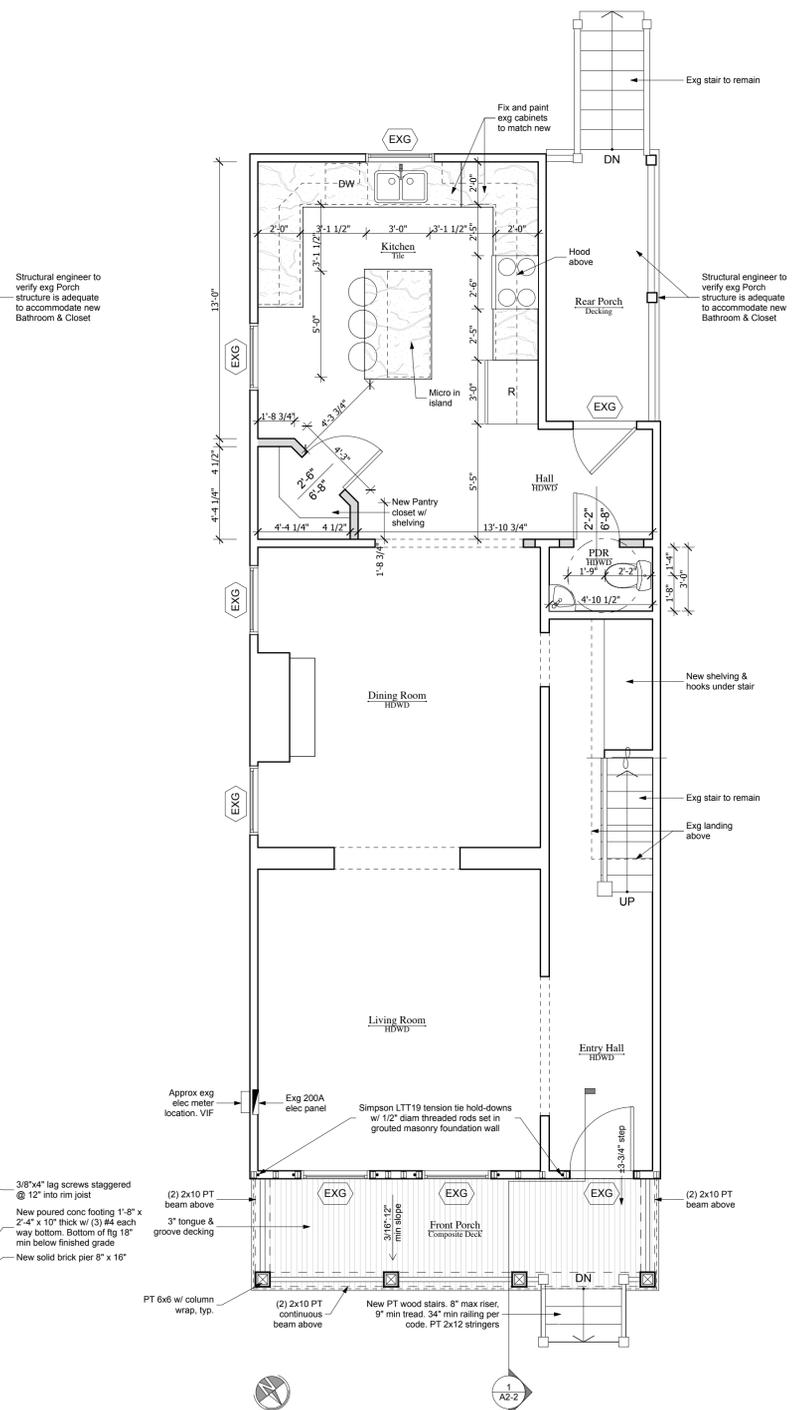
D1

GENERAL NOTES:	GENERAL FLOOR PLAN FRAMING NOTES:	5. Steel columns are dimensioned to centerline.	9. Additional dimensions are available on plan details on interior elevation sheets.
1. Patch, repair exg HDWD floors as req'd by new work.	1. GC to field verify all dimensions. 2. DO NOT SCALE DRAWINGS to obtain dimensions. 3. Existing walls are dimensioned to face of interior plaster and exterior brick, unless noted otherwise. New exterior walls are dimensioned to face of plywood sheathing (exterior side) and face of stud (interior side). Foundation walls are dimensioned to face of concrete or CMU. 4. Window and Door openings are dimensioned to the centerline, unless noted otherwise.	6. Dimensions marked "EQUAL" or "EQ" shall be to finish surface, U.N.O. 7. GC to verify all dimensions before proceeding and obtain measurements at the site for all work required in order to be accurately fitted. 8. Should the GC find, after a visit to the site or during construction, any discrepancies, omissions, ambiguities, or conflicts in and among the construction drawings, or be in doubt as to their meaning, the GC should bring these items to the attention of the Architect for direction before proceeding with any work in question.	10. GC to verify duct layout and bulkhead locations with Architect prior to install. 11. All smoke/carbon monoxide detectors to be hard-wired to dedicated circuit, interconnected, & provided with battery back-up. Provide one detector inside each Bedroom plus one (1) per Floor, as shown.

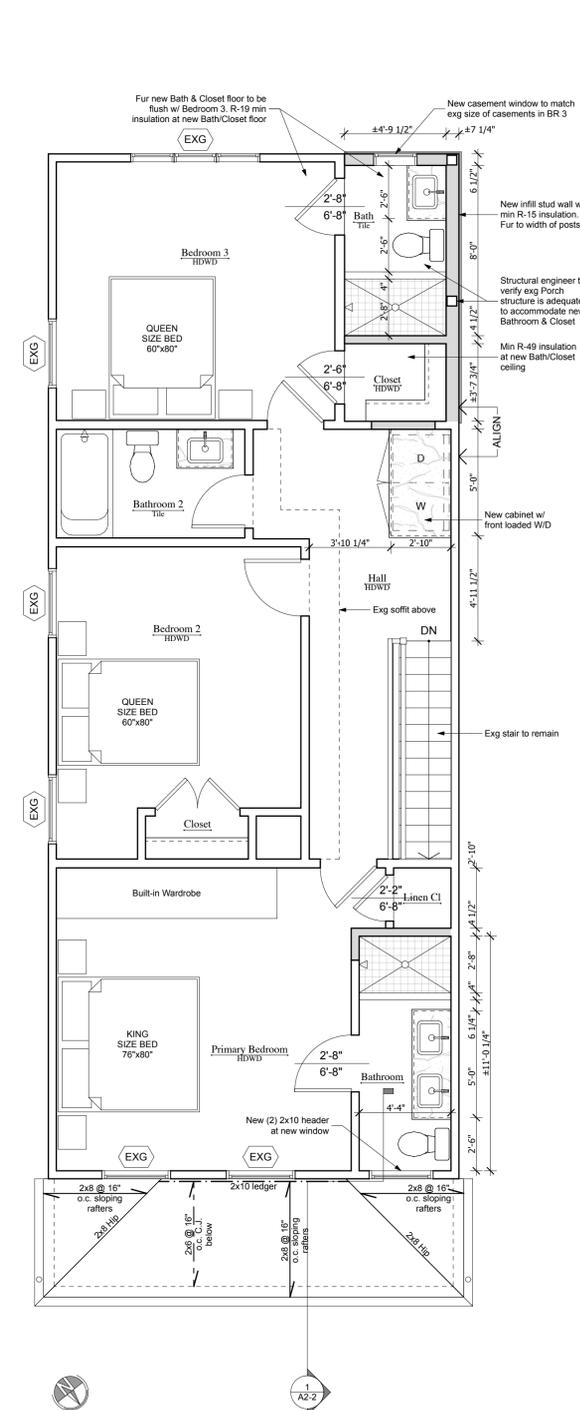
GENERAL FLOOR PLAN KEY:
Existing to Remain
New Walls
Smoke and Carbon Monoxide Detector



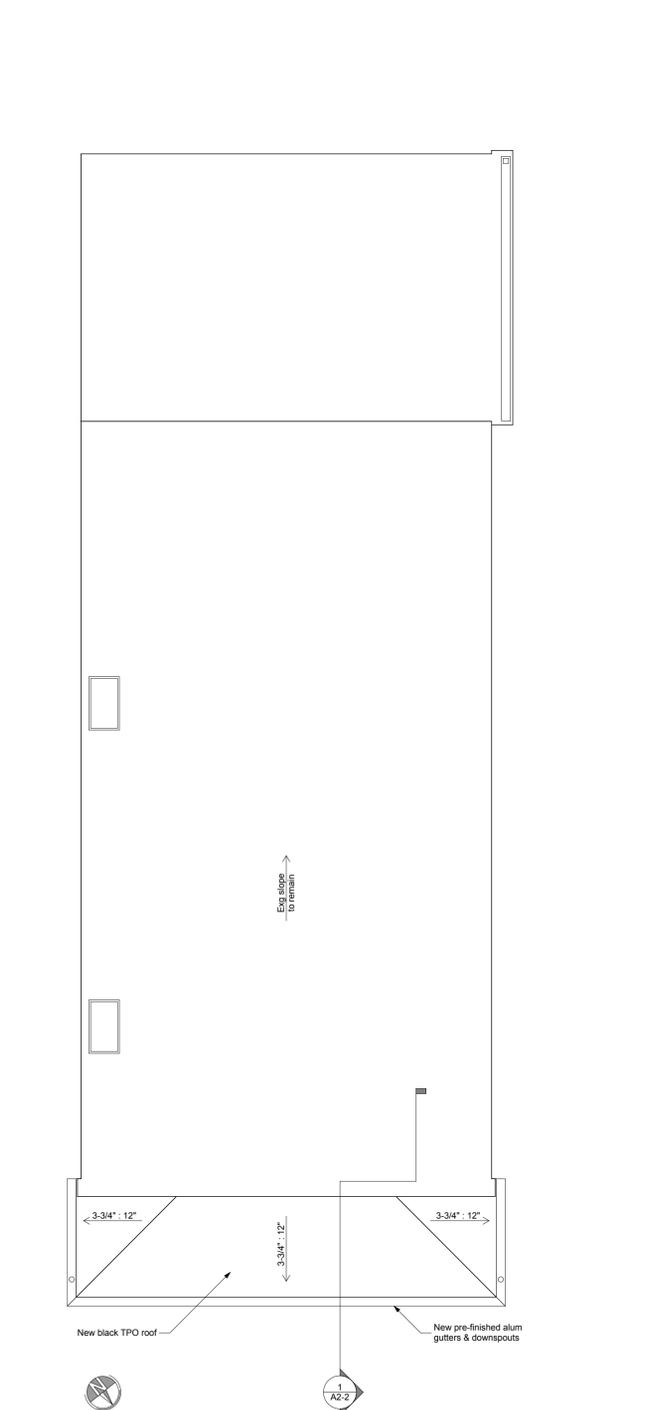
1 Proposed Foundation Plan
1/4" = 1'-0"



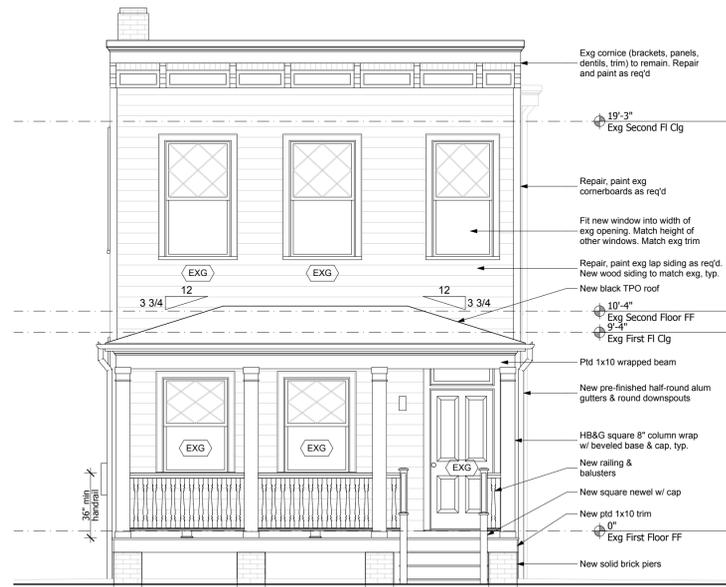
2 Proposed First Floor Plan
1/4" = 1'-0"



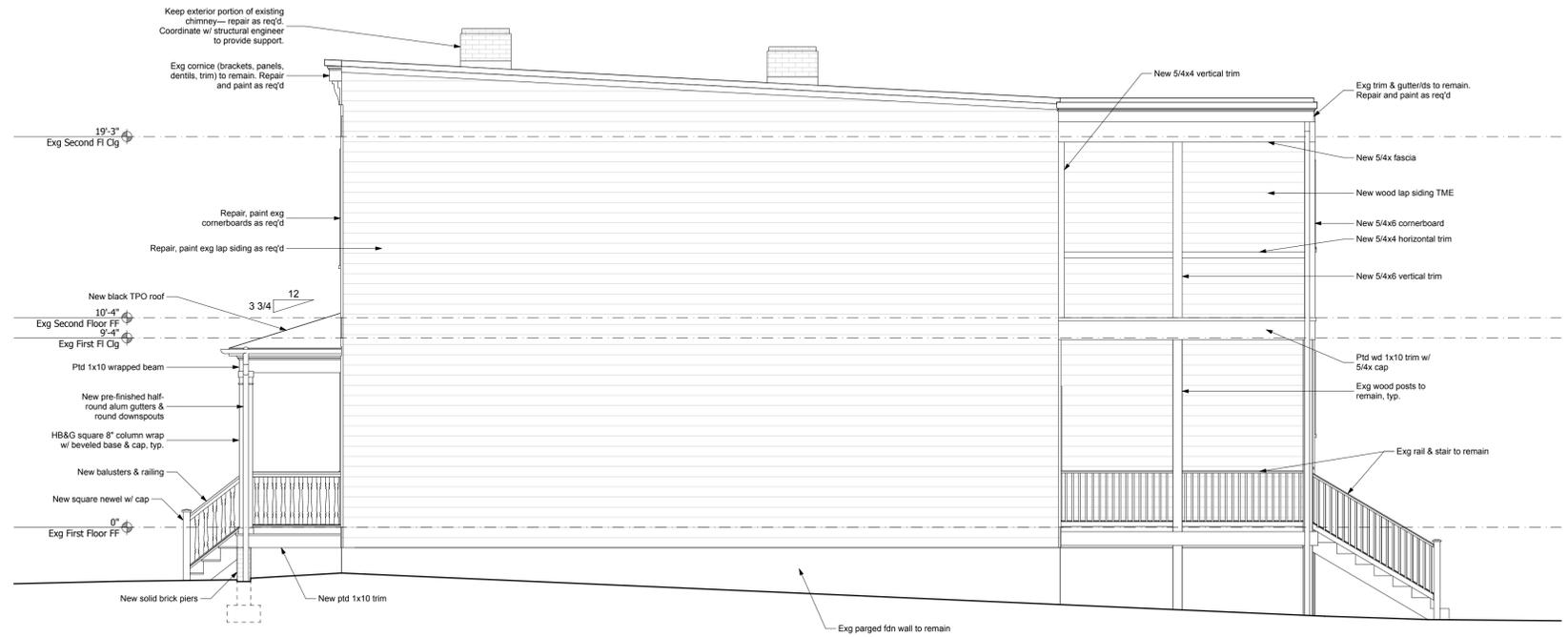
3 Proposed Second Floor Plan
1/4" = 1'-0"



4 Proposed Roof Plan
1/4" = 1'-0"



1 Front Elevation (North)
1/4" = 1'-0"



2 Right Elevation (West)
1/4" = 1'-0"



3 Rear Elevation (South)
1/4" = 1'-0"



4 Left Elevation (East)
1/4" = 1'-0"

NEWEL CAPS			
Part No.	Width	Height	
HNC 300-6	6-1/4"	1-1/2"	
HFNC 301-4	4-3/8"	2-1/4"	
HFNC 301-6	6-3/4"	2-1/2"	
HPNC 302-6	6-1/2"	2"	
HPNC 302-1-6	6-1/2"	1-1/2"	
HANC 310-6	To Fit	1-1/2"	

PLAIN NEWEL POSTS		
Part No.	Width	Height
HNP 300-4	4"	48"
HNP 300-6	5-1/2"	48"

5-Sided Newel Post

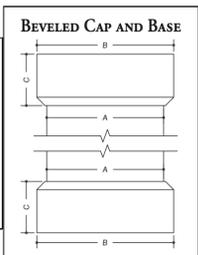
HAPNP 310-6

SQUARE PERMACAST® COLUMN DIMENSIONS (In Inches)*													
Column Size	A	C	D	E	F	G	J	K	L	N	O	R	Lengths Available (ft.)
6"	6"	9 1/2"	17 1/2"	13 1/2"	7 1/2"	1"	1 1/2"	1 1/2"	9 1/2"	N/A	N/A	3 1/2"	6,8,9,10
8"	8"	11 1/2"	19 1/2"	15 1/2"	9 1/2"	1"	1 1/2"	1 1/2"	10 1/2"	5"	3 1/2"	4 1/2"	6,8,9,10,12
10"	10"	13 1/2"	21 1/2"	17 1/2"	11 1/2"	1"	1 1/2"	1 1/2"	12 1/2"	5 1/2"	4 1/2"	5 1/2"	6,8,9,10,12,14,16,18
12"	12"	15 1/2"	23 1/2"	19 1/2"	13 1/2"	1"	1 1/2"	1 1/2"	14 1/2"	N/A	N/A	6 1/2"	8,10,12,14,16,18
14"	14"	17 1/2"	25 1/2"	21 1/2"	15 1/2"	1"	1 1/2"	1 1/2"	16 1/2"	N/A	N/A	7 1/2"	8,10,12,14,16,18
16"	16"	19 1/2"	27 1/2"	23 1/2"	17 1/2"	1"	1 1/2"	1 1/2"	18 1/2"	N/A	N/A	8 1/2"	8,10,12,14,16,18,20

*Fluted Square.
*There may be a variance of up to 1/4" in all dimensions.
*Split columns are not load bearing. * See page 16 for Decorative Capital dimensions.

BEVELED CAP & BASE SET*			
Size	A	B	C
6"	6"	8-1/4"	3-1/2"
8"	8"	10-1/4"	3-1/2"
10"	10"	12-1/4"	5-1/2"
12"	12"	14-1/4"	5-1/2"

*For Square PermaCast® Columns
See Installation Kit on page 14.



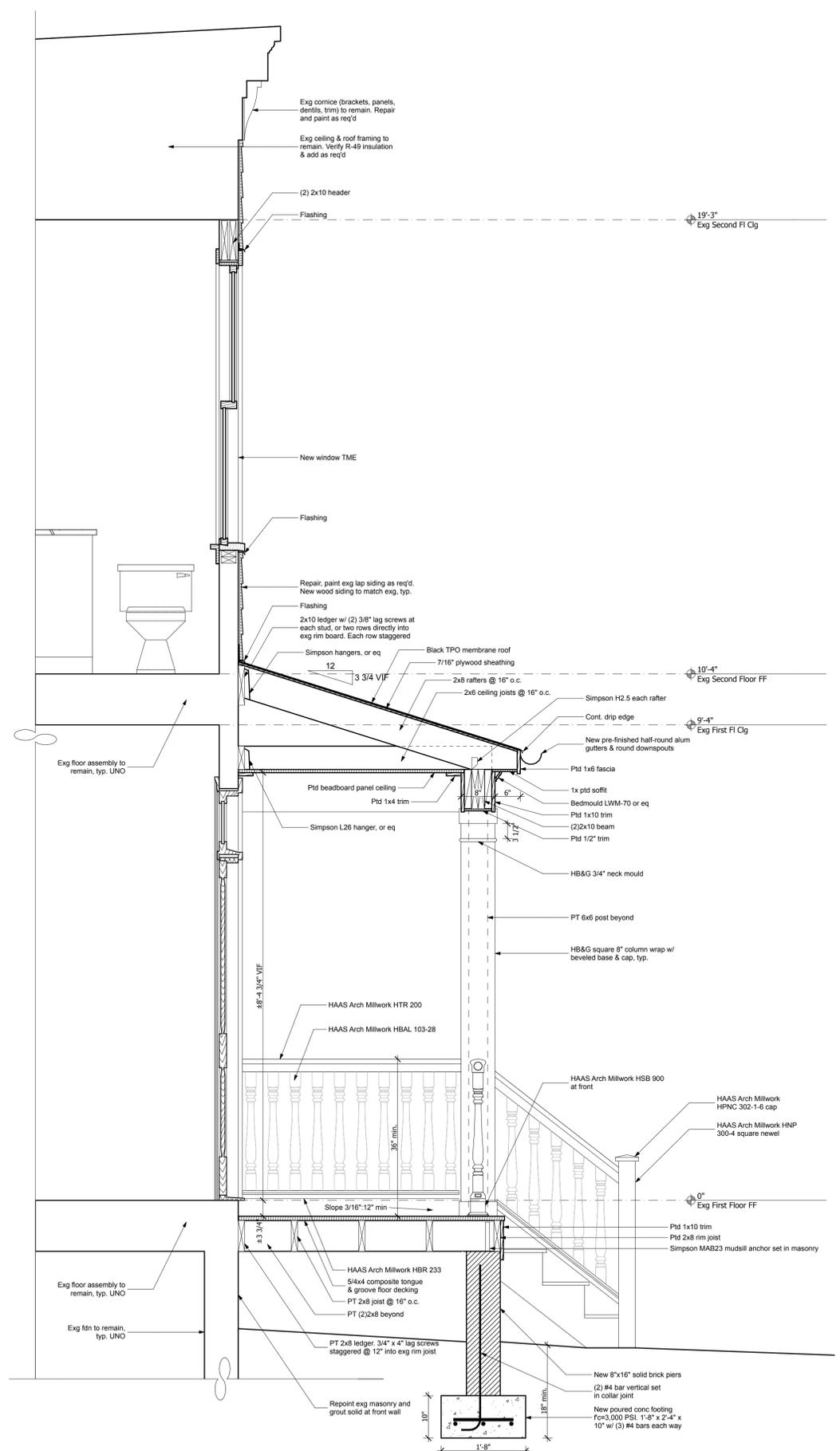
HTR 200 - 8', 10', 12'		
Top Width	Bottom Width	Height
3-5/8"	2-7/8"	3"

HBAL 103		
Part No.	Width	Height
HBAL 103-20	2-1/2"	20"
HBAL 103-24	2-1/2"	24"
HBAL 103-28	2-1/2"	28"
HBAL 103-30	2-1/2"	30"
HBAL 103-32	2-1/2"	32"
HSBAL 103-34	2-1/2"	28" Ext 34"
HBAL 103-36	2-1/2"	36"

Spacing on Center - 5-1/4"

HBR 233 - 8', 10', 12'		
Top Width	Bottom Width	Height
2-1/2"	3-1/2"	1-5/8"

RAIL SUPPORT BLOCK			
Part No.	Height	Width	Length
HSB 900	4"	3-1/2"	5-1/2"



1 Front Porch Section
3/4" = 1'-0"