



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 - City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2912 E Leigh Street DATE: 10/31/14

OWNER'S NAME: Erik Beecot & Nancy Wolbush TEL NO.: _____

AND ADDRESS: _____ EMAIL: _____

CITY, STATE AND ZIPCODE _____

ARCHITECT/CONTRACTOR'S NAME: Upward Builders TEL. NO. 804-980-7377

AND ADDRESS: 2250 Out Back Rd #2434 EMAIL: zach@upwardbuilders.com

CITY, STATE AND ZIPCODE Glen Allen, VA 23060

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

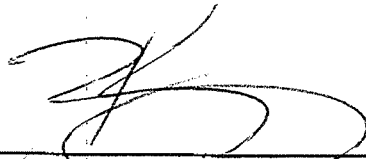
I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Signature of Owner or Authorized Agent: X 

Name of Owner or Authorized Agent (please print legibly): Zach Kennedy

(Space below for staff use only)

Received by Commission Secretary _____ APPLICATION NO. _____

DATE _____ SCHEDULED FOR _____

RECEIVED

Note: CAR reviews all applications on a case-by-case basis.

NOV 03 2014

Revised 04-16-2013

Proposal for 2912 E Leigh Street

It is proposed that the rear left window on the home, facing the alley to be changed to a transom style window rather than what was previously approved. Since the window is on the rear of the home facing a alley that dead ends at a private residence, the owner is requesting the option to remove the original window approved and replace it with this transom style window.

New Construction Proposal

2912 E Leigh Street

It is proposed that a new single family dwelling will be constructed on 2912 & 2912 1/2 E Leigh St. The proposed new single family dwelling will mimic the historic charm of homes in the immediate area. The siding near the roof will have a decorative Corbel made of PVC or Composite above the second story windows and the roof will have a gentle slope towards the rear of the home. There will be no pitch on roof. The siding of the home will be cement siding and painted to satisfy the Historical Boards requirements. Windows proposed will be a low profile energy efficient window of PVC clad.. The entire home will have a block & brick foundation and all porches, rails and columns will be constructed out of either composite or wood. The home will be positioned on the front of the property as to be "flush" with the neighboring properties. There will be off-street parking by way of the alley with a back deck (wood). The porch roof on front and the rear roof will have a low pitch and be constructed out of EPDM. The front door will have side lights and a transom and the door will be painted in accordance with the Historical Boards requirements. There will be no vinyl siding or composite decking boards on the property. Landscapping will be a clean but modest approach featuring some combination of boxwoods and azaleas and some flowers. The front will be neatly mulched after construction. It is our goal to provide a home that allows for all the comforts and modern amenities that a homeowner desires while maintaining the historical aesthetics of the neighborhood.

2913 E. Leigh St.
Richmond, Virginia

DRAWING INDEX
ARCHITECTURAL & STRUCTURAL DRAWINGS
NO. | TITLE

COVER COVER SHEET, PLAT PLAN, & DRAWING INDEX

A1.00	FOUNDATION PLAN, FLOOR AND ROOF FRAMING PLANS
A1.01	FRAMING DETAILS, BUILDING AND WALL SECTION
A2.00	FIRST AND SECOND FLOOR BRACED WALL PLAN
A2.01	FIRST AND SECOND FLOOR PLANS
A3.00	BUILDING ELEVATIONS

REGULATORY AGENCY
BUREAU OF PERMITS AND INSPECTIONS CITY HALL
ROOM 1110
600 E. BRIDGE ST.
RICHMOND, VA 23218
P.O. BOX 148
P.O. (804)46-1418

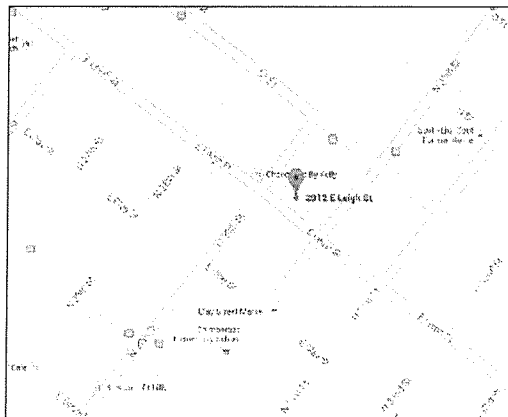
TYPE OF PROJECT
SINGLE FAMILY RESIDENCE

APPLICABLE CODES
INTERNATIONAL RESIDENTIAL CODE 2009

ZONING R-63

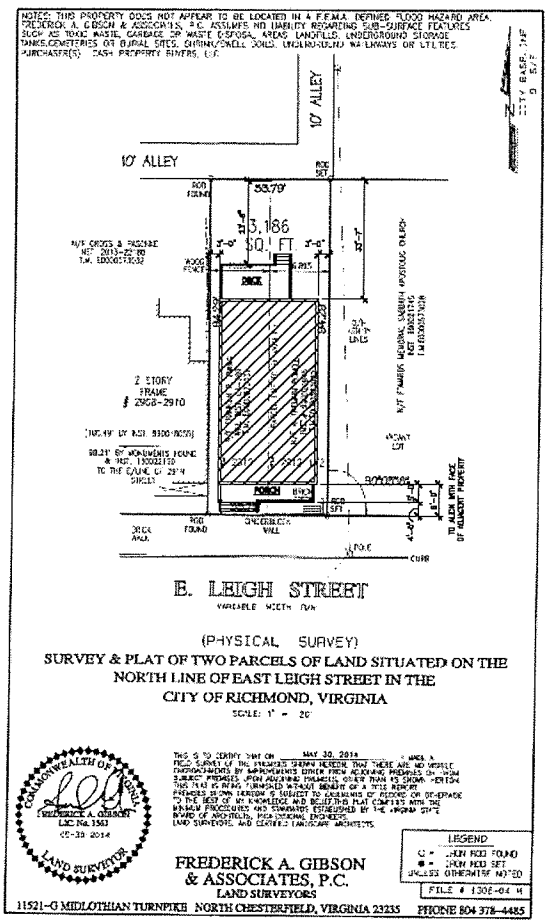
ZONING REQUIREMENTS	PROPOSED
MINIMUM LOT AREA 3000 SF MINIMUM LOT WIDTH 25 FT	LOT AREA 3186 SF LOT WIDTH 33'-4 1/2"
REAR LOT OCCUPANCY MAXIMUM FLOOR AREA 100% OF 486 LOT COVERAGE	PROPOSED LOT OCCUPANCY 100% OF 486 LOT COVERAGE
BUILDING HEIGHT MAX. 42'-0"	PROPOSED BUILDING HEIGHT 28'-0"
SETBACKS	REQUIRED
FRONT YARD: NO SETBACK SIDE YARD: 3 FT REAR YARD: 5 FT	PROPOSED
	FRONT YARD: 4 FT SIDE YARD: 3 FT REAR YARD: 24'-0"
PARKING REQUIREMENTS NO PARKING REQUIRED, ON STREET PARKING.	PROPOSED PARKING NONE PROVIDED, ON STREET PARKING.

ZONING NARRATIVE
THE PROPERTY CONSISTS OF TWO LOTS THAT HAVE BEEN COMBINED TO FORM ONE PROPERTY OF 3186 SF—SEE PLAT ON THIS SHEET. THE REAR YARD SETBACKS ARE 3 FT PER 10-63 CODE. NO FRONT YARD IS REQUIRED, BUT A SETBACK TO THE BUILDING IS PROVIDED. THE BUILDING HAS A 4 FT FRONT PORCH. THE REAR YARD MINIMUM IS 15 FT, BUT 24'-0" IS PROVIDED. NO DECKED PORCH IS REQUIRED. ALL PARKING IS ON-STREET PARKING.

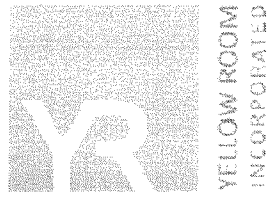


VICINITY MAP

FOR PERMIT
August 15, 2014



PROPOSED PLAT PLAN



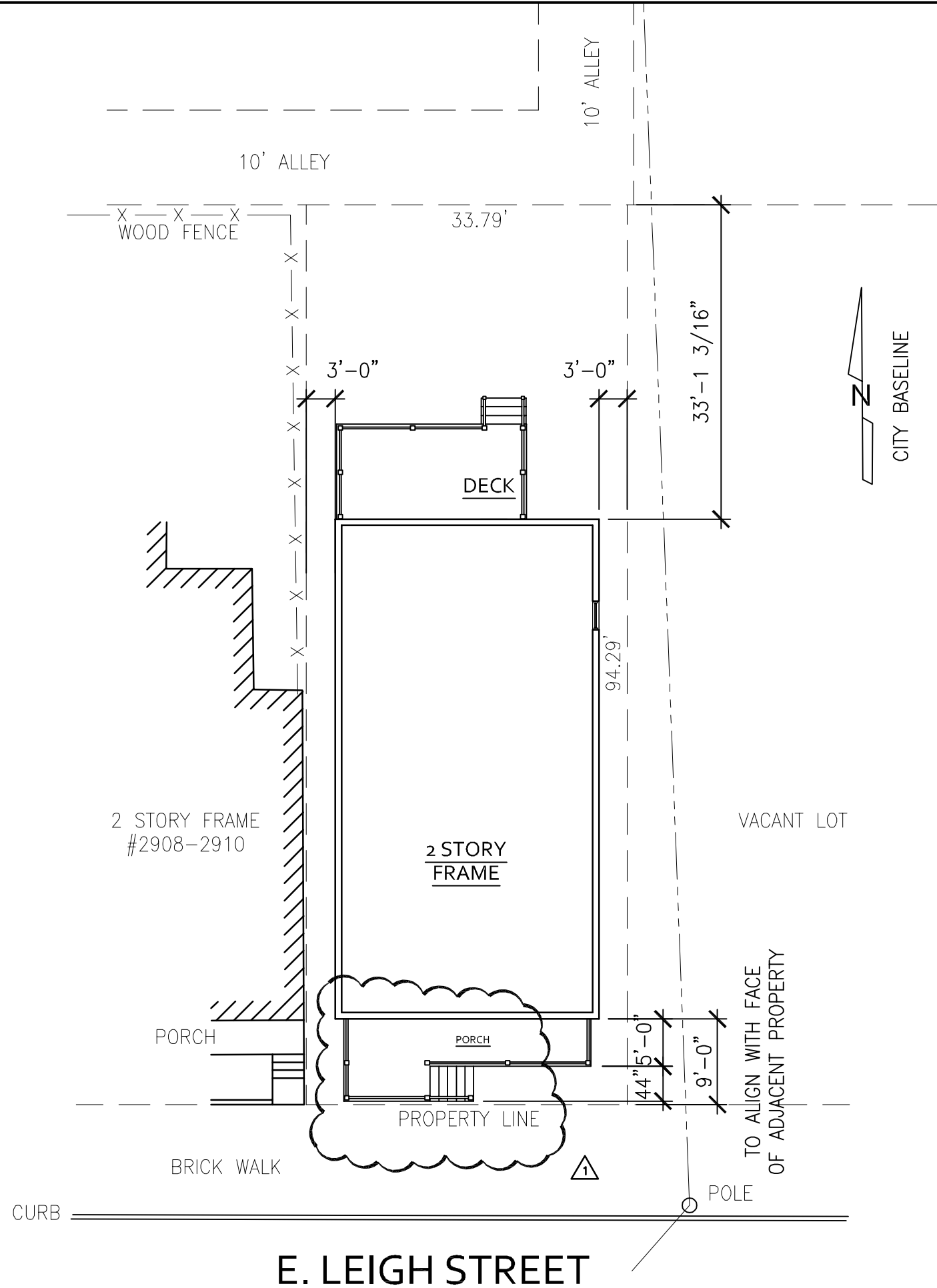
2731 WEST GRACE STREET
RICHMOND, VIRGINIA
804-353-1415



2731 WEST GRACE STREET
RICHMOND, VA 23220
804.353.1415

2912 E. Leigh st.
Richmond, Virginia

REVISION	DATE
REVIEW	06-24-14
REVISED	07-14-14
REVISED	07-23-14
REVISED	07-29-14
REVISED	08-01-14
REVISED	10-27-14
REVISED	11-07-14



DRAWING TITLE:
PROPOSED STE PLAN

PROJECT NUMBER:
1407

PROJECT NUMBER:
SK-6



2731 WEST GRACE STREET
RICHMOND, VA 23220
804 353-1415

2912 E. Leigh St.
Richmond, Virginia

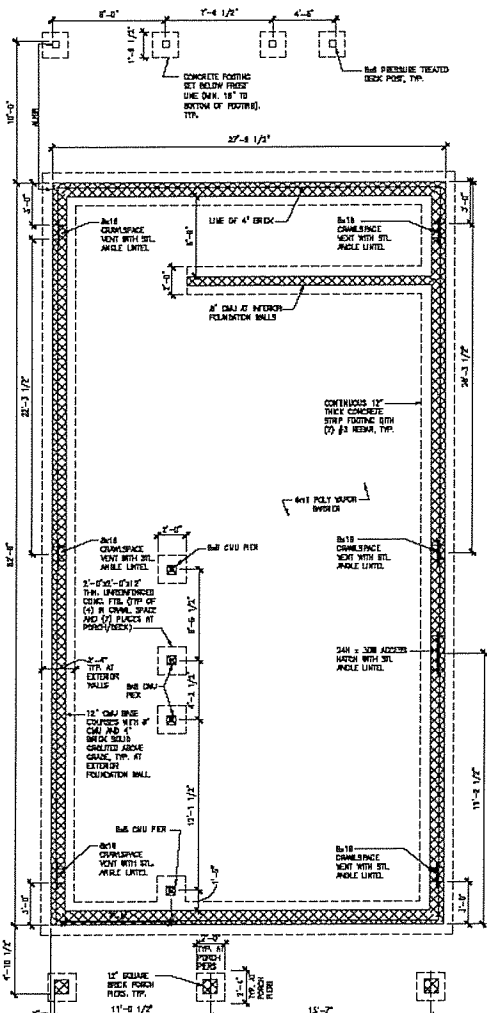
REVISIONS: DATE: 08-10-2014

FOUNDATION PLAN,
FLOOR FRAMING PLANS

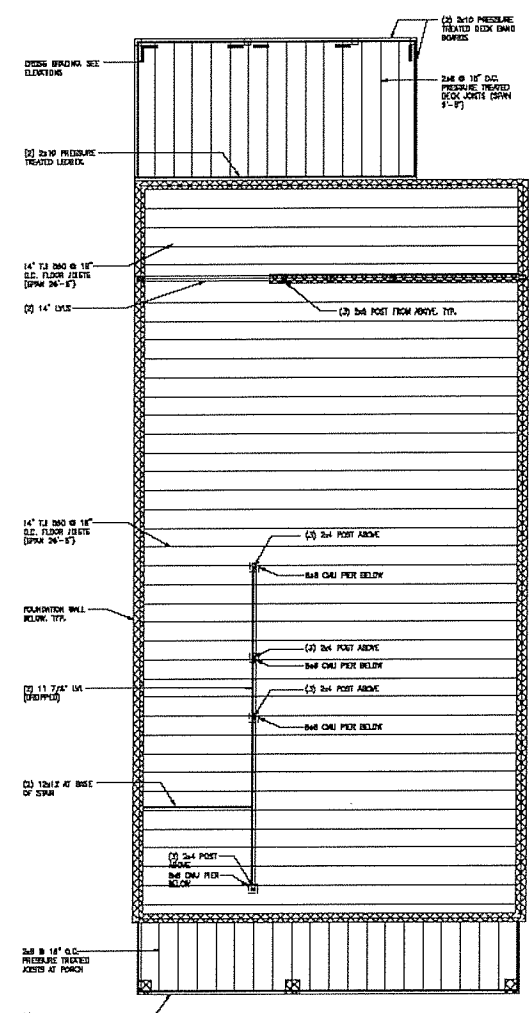
SCALE: A1.00

PROJECT NUMBER: 1414

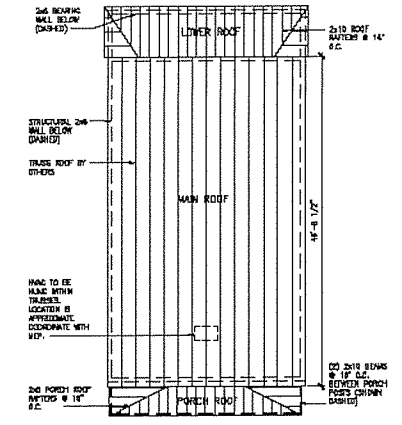
1414



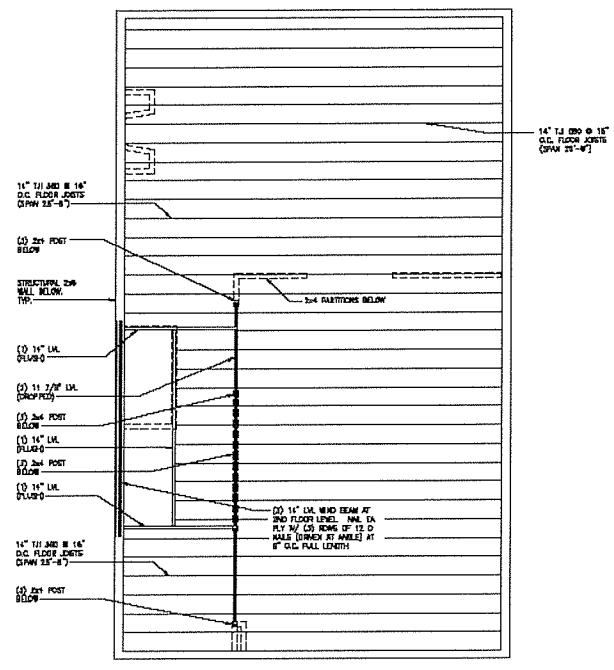
1 FOUNDATION PLAN
SCALE: 3/8"=1'-0"



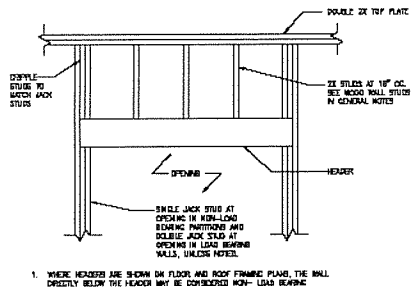
2 1ST FLOOR FRAMING PLAN
SCALE: 3/8"=1'-0"



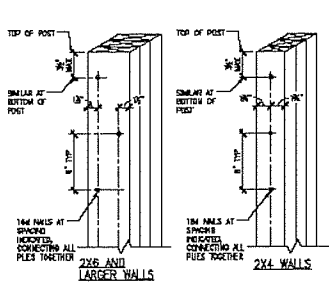
4 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



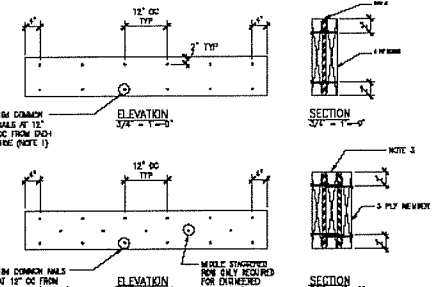
3 2ND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



1. TYPICAL WALL OPENING HEADER DETAIL
SCALE: 3/4" = 1'-0"



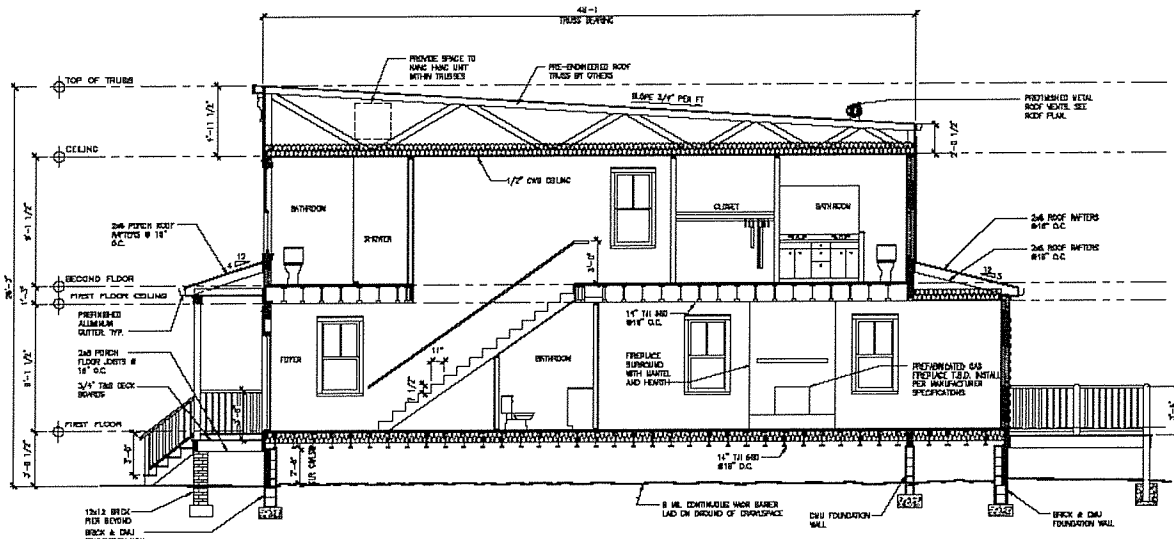
2. TYPICAL DETAIL AT POST COMPOSED OF MULTIPLE STUDS
SCALE: 3/4" = 1'-0"



3. TYPICAL MULTI-PLY HEADER/BEAM DETAIL
SCALE: 3/4" = 1'-0"

GENERAL FRAMING NOTES

1. ALL JOISTS REFERRED TO AS "TYP" SHALL MEAN NEITHER TRUSS JOIST OR EQUAL AND SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
2. ALL ROUGH CARPENTRY SHALL CONFORM TO THE REQUIREMENTS OF THE 1995-1996 NATIONAL DESIGN SPECIFICATIONS (NDS) FOR WOOD CONSTRUCTION WITH 2008 SUPPLEMENT.
3. PROVIDE NO. 3 SOFTENED PINE WITH THE MINIMUM MOISTURE CONTENT FOR ALL FRAMING LAMBERS INCLUDING PLATES, LATHES, TRUSS PLYFORMS AND BONES UNLESS NOTED OTHERWISE.
4. PROVIDE 1/2" DIA. SPACER PLYFORM FOR ALL STUDS, UNLESS NOTED OTHERWISE.
5. PROVIDE 1/2" DIA. SPACER LAMBER (S.L. - 1) AND 1/2" DIA. SPACER LAMBER (S.L. - 2) AND 1/2" DIA. SPACER LAMBER (S.L. - 3) MANUFACTURED BY TRUS JOIST (OR APPROVED EQUAL).
6. ALL FRAMING CONNECTIONS NOT SPECIFICALLY INDICATED ON THESE CONSTRUCTION DOCUMENTS SHALL COMPLY WITH THE MINIMUM ESTABLISHED BY TABLE 23A.4.1 OF THE UBC.
7. ALL WELDED CONNECTIONS OF TWO (2) OR MORE MEMBERS SPECIFICALLY INDICATED ON THESE CONSTRUCTION DOCUMENTS ARE ASSIGNED TO BE DONE USING A MINIMUM NAIL SIZE OF 1/2" DIA. WITH A 3" LONG UNLESS NOTED OTHERWISE.
8. ALL LIGHT GAGE STEEL PRE-FINISHED CONNECTORS SHALL BE INSTALLED USING THE NUMBER OF NAILS AND NAIL TYPE LISTED FOR THAT CONNECTOR BY THE MANUFACTURER IN THEIR PUBLISHED LITERATURE. ALL NAILS LISTED AS "TYP" SHALL BE MADE BY THE MANUFACTURER OF THAT CONNECTOR. FINISHED OR CONNECTORS USED WITH PRE-FINISHED CONNECTORS SHALL HAVE OTHER MANUFACTURER'S SPECIFICATIONS (E.G. SIMPSON ZMAX 818).
9. PROVIDE A MINIMUM OF THREE (3) INCHES OF BEARING FOR ENGINEERED LUMBER BEAMS, UNLESS OTHERWISE NOTED.
10. ALL BEAMS SHALL BE LATERALLY SUPPORTED BY BRACING OR OTHER MEANS AT ALL POINTS OF BEARING.
11. NAILS INSTALLED PARALLEL TO THE CLOSE LINES OF THE MEMBER FACE OF ENGINEERED LUMBER BEAMS SHALL NOT BE SPACED CLOSER THAN FOUR INCHES FOR 10d COMMON NAILS AND THREE INCHES FOR 8d COMMON NAILS.
12. DO NOT DRILL, NOTCH, CUT (EXCEPT TO LENGTH), OR ALTER ENGINEERED LUMBER BEAMS OR JOISTS WITHOUT WRITTEN APPROVAL OF FABRICATOR AND REVIEW BY STRUCTURAL ENGINEER.

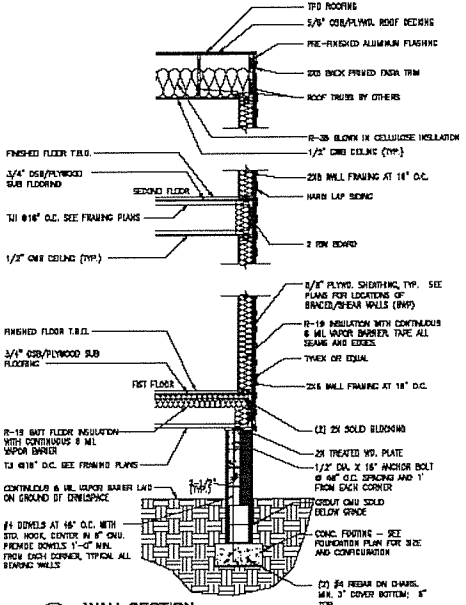


5. BUILDING SECTION
SCALE: 1/8" = 1'-0"

4. TYPICAL DETAIL AT OPENING IN FOUNDATION WALL (VENTS, ACCESS HATCHES, ETC.)
SCALE: 3/4" = 1'-0"

TYPICAL NAILING SCHEDULE		
MEMBER	NAILS	CONNECTION
JOIST TO SILL OR ANCHOR	(1) 8d COMMON (2) 3" x 0.1317" DIA.	TOE NAIL
BRACING TO JOIST	(1) 8d COMMON (2) 3" x 0.1317" DIA.	TOE NAIL, END END
SOLE PLATE TO JOIST OR BLOCKING	10d COMMON AT 16" OC 3" x 0.1317" DIA AT 8" OC	FACE NAIL
TOP PLATE TO STUD	(1) 10d COMMON (2) 3" x 0.1317" DIA.	END NAIL
STUD TO SOLE PLATE	(1) 8d COMMON (2) 3" x 0.1317" DIA.	TOE NAIL
	(1) 10d COMMON (2) 3" x 0.1317" DIA.	END NAIL
DOUBLED STUDS	10d COMMON AT 24" OC 3" x 0.1317" DIA AT 8" OC	FACE NAIL
DOUBLED TOP PLATE	10d COMMON AT 16" OC 3" x 0.1317" DIA AT 8" OC	FACE NAIL
DOUBLED TOP PLATE LAP JOINT	(1) 10d COMMON (2) 3" x 0.1317" DIA.	FACE NAIL
TOP PLATE INTERSECTIONS	(1) 10d COMMON (2) 3" x 0.1317" DIA.	FACE NAIL
CONTINUOUS HEADER - MULTI-PLY	10d COMMON AT 16" OC	FACE NAIL ALONG EACH EDGE
CONTINUOUS HEADER TO STUD	4 8d COMMON	TOE NAIL
BUILT-UP CORNER STUDS, DASH ENDS	10d COMMON AT 24" OC 3" x 0.1317" DIA AT 16" OC	FACE NAIL
R/J JOIST TO TOP PLATE	8d COMMON AT 16" OC 3" x 0.1317" DIA AT 8" OC	TOE NAIL

NOTE: USE NAILS SPECIFIED BY MANUFACTURER FOR ALL MANUFACTURED STEEL CONNECTORS (SIMPSON STRONG-TIE OR EQUIVALENT HANGERS, UPLIFT ANCHORS, ETC.).



6. WALL SECTION
SCALE: 3/4" = 1'-0"



2731 WEST GRACE STREET
RICHMOND, VA 23220
804.353.1415

2912 E. Leigh St.
Richmond, Virginia

REVISION: DATE: 08-16-2014
PRINT SET: 08-16-2014

SCALE:

OWNER TITLE:
ROOF FRAMING PLAN, BUILDING SECTION, FRAMING NOTES AND DETAILS

SCALE:
A1.01

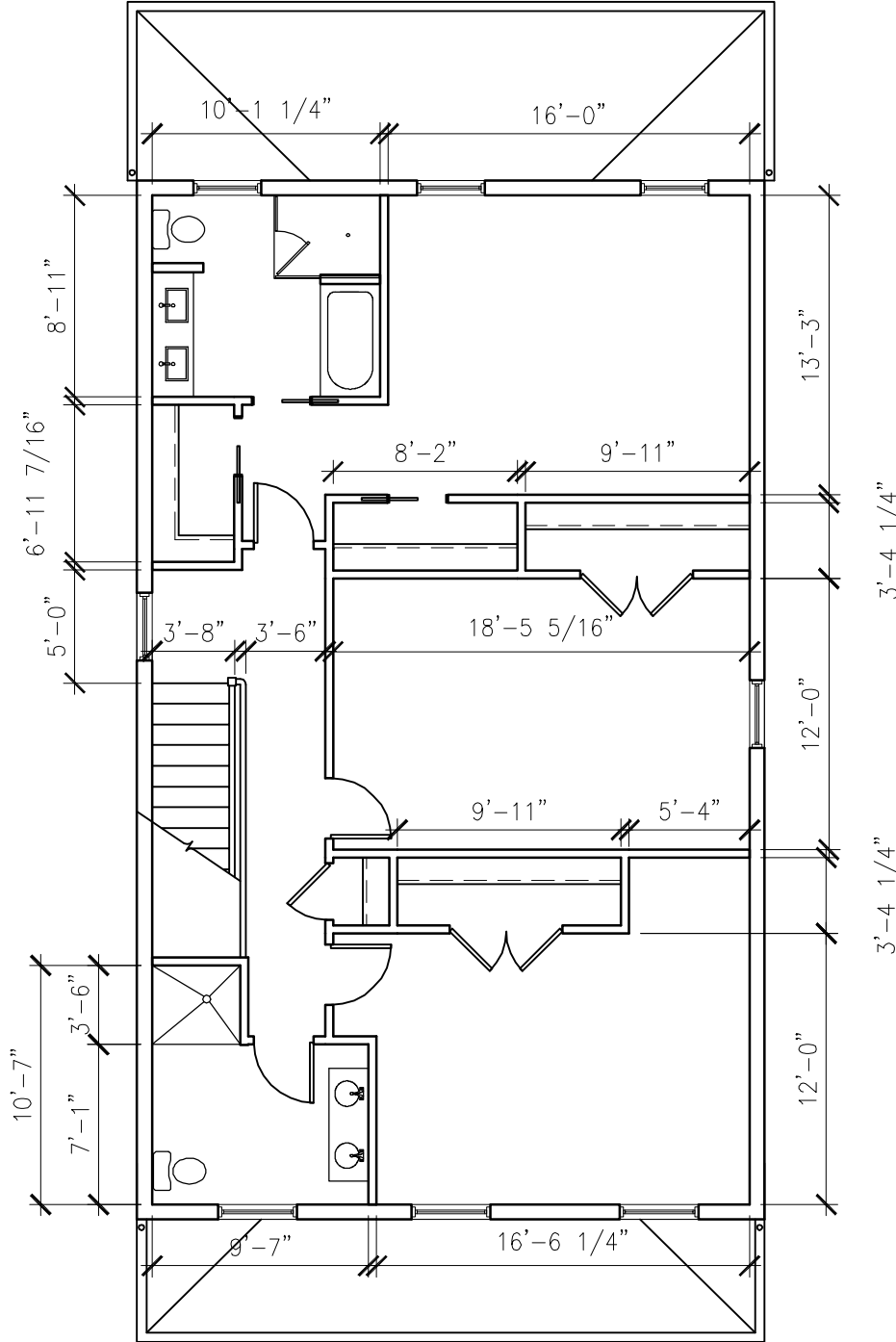
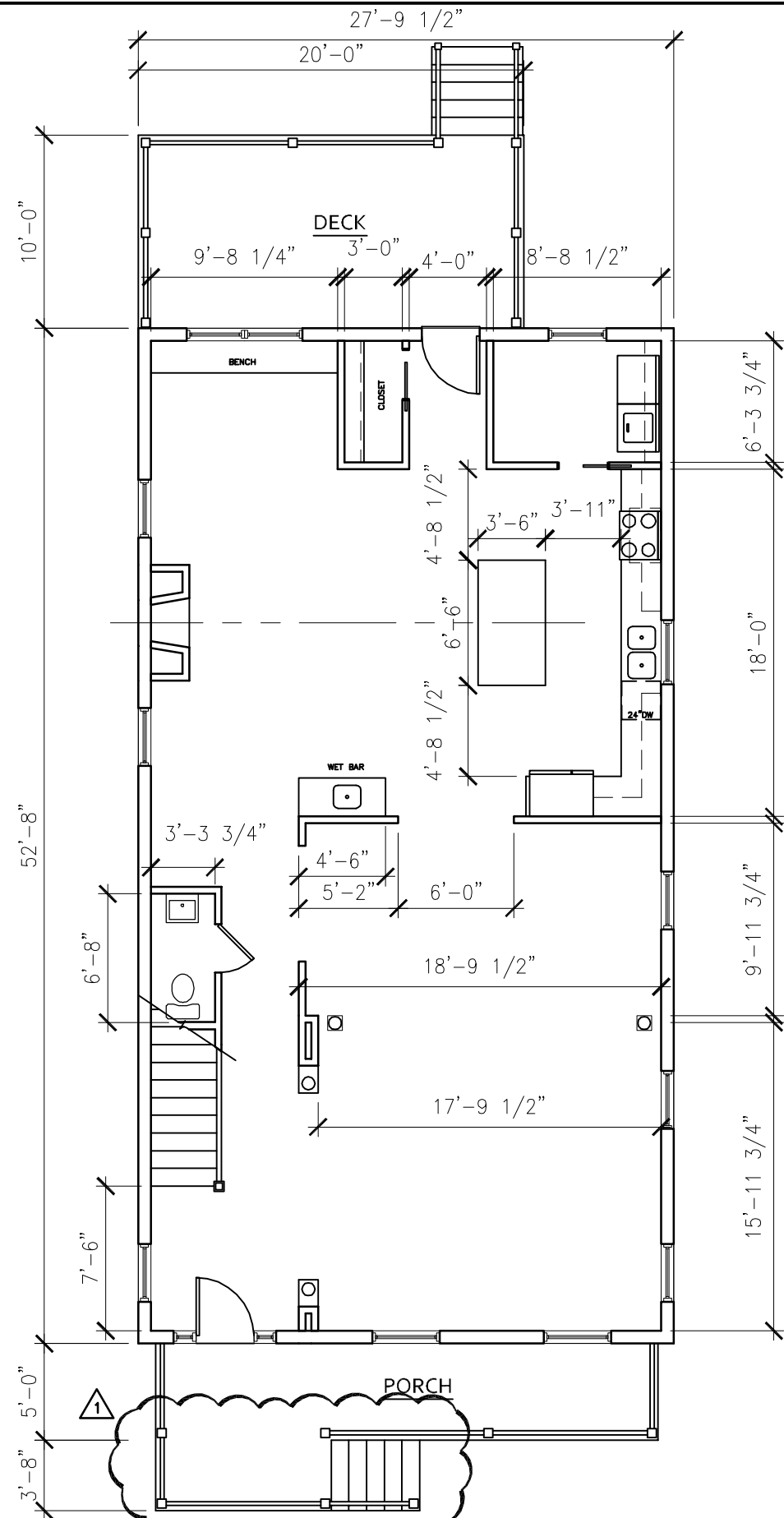
PRINT SCALE:



2731 WEST GRACE STREET
 RICHMOND, VA 23220
 804.353.1415

2912 E. Leigh st.
 Richmond, Virginia

REVISION	DATE
REVIEW	06-24-14
REVISED	07-14-14
REVISED	07-23-14
REVISED	07-29-14
REVISED	08-01-14
REVISED	10-27-14
REVISED	11-07-14



1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/8"=1'-0"

2 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"

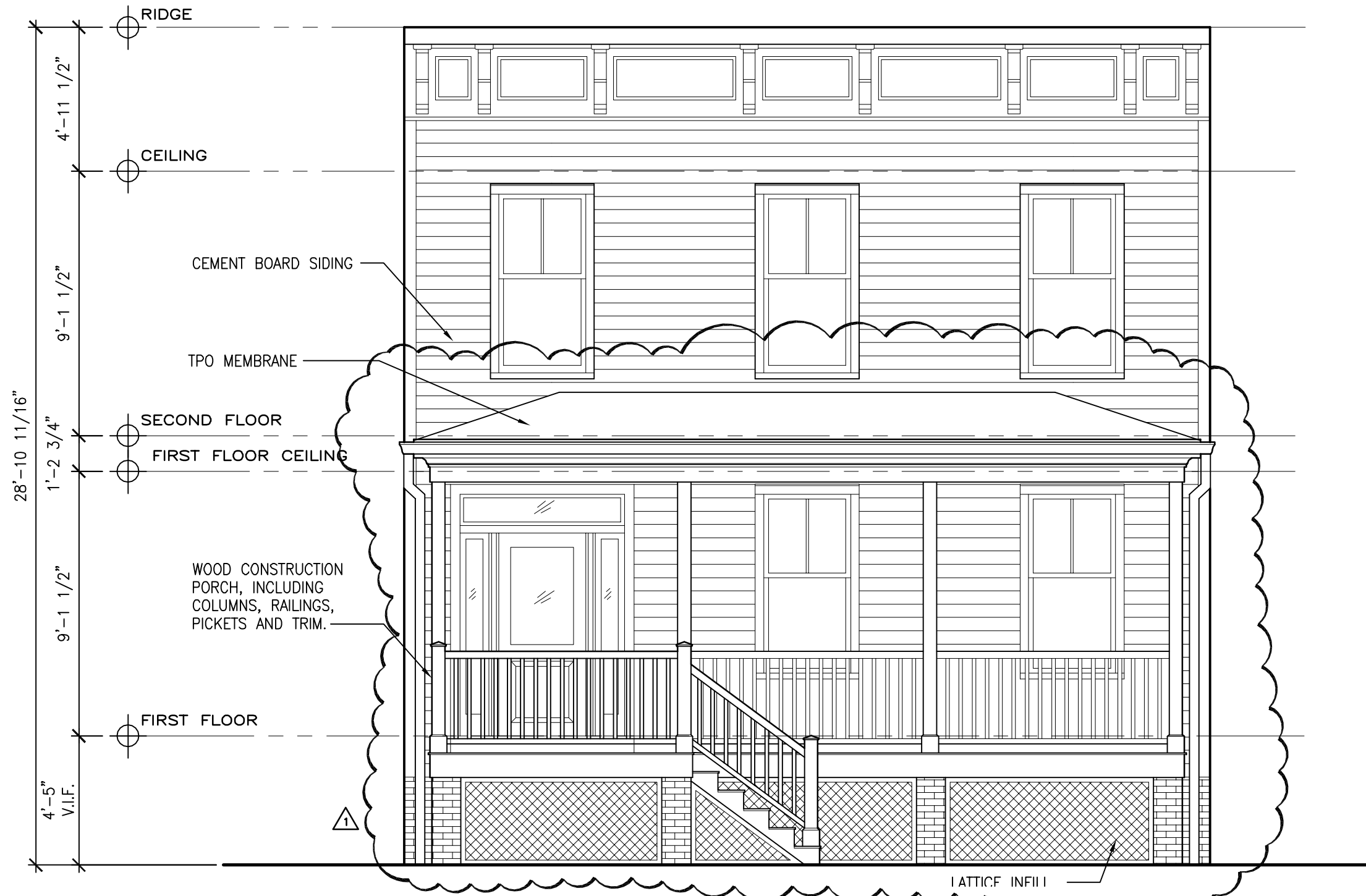
DRAWING TITLE:
PROPOSED PLANS

PROJECT NUMBER:
SK-1

1407

2912 E. Leigh St.
Richmond, Virginia

REVISION	DATE
REVIEW	06-24-14
REVISED	07-14-14
REVISED	07-23-14
REVISED	07-29-14
REVISED	08-01-14
REVISED	10-27-14
REVISED	11-07-14



1

PROPOSED LEIGH ST ELEVATION

SCALE: 1/4"=1'-0"

PROPOSED LEIGH STREET ELEVATION

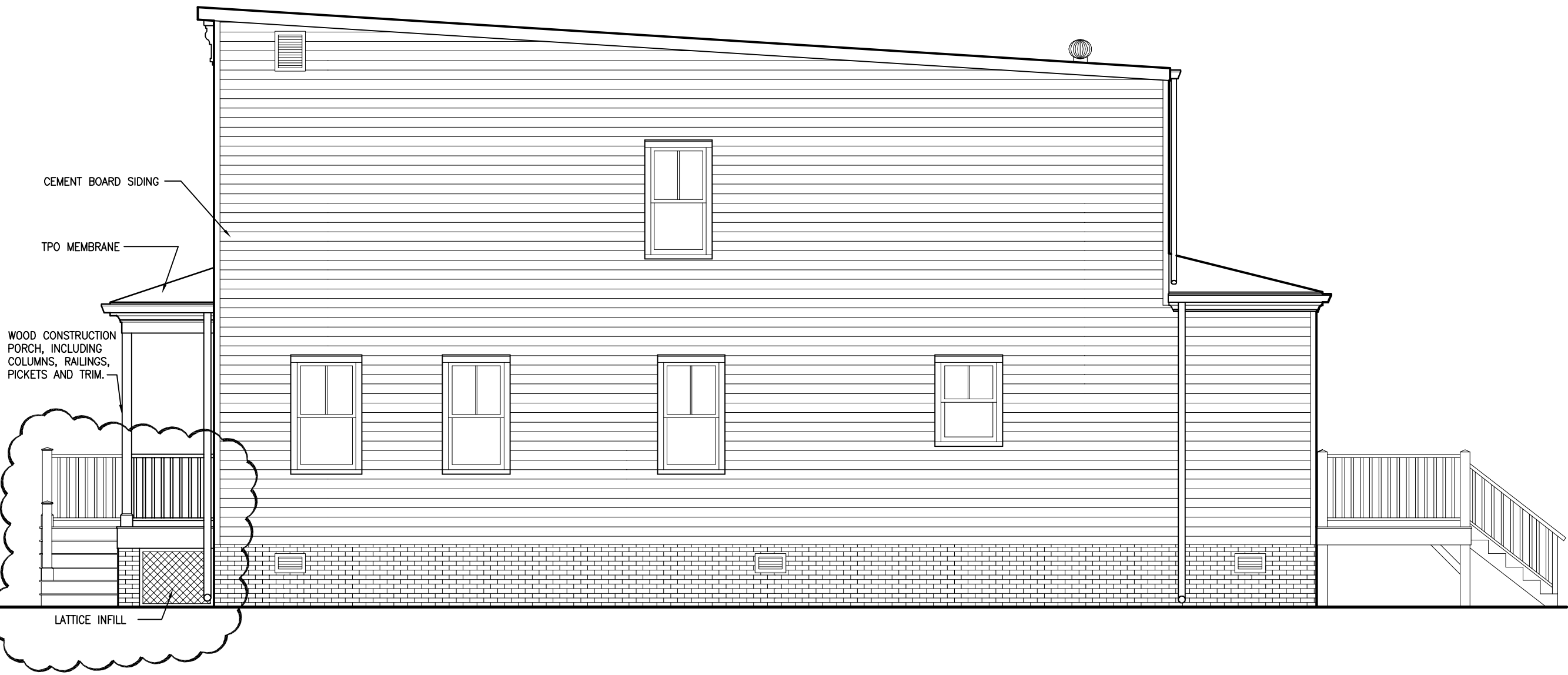
PROJECT NUMBER: **SK-2**



2731 WEST GRACE STREET
RICHMOND, VA 23220
804.353.1415

2912 E. Leigh st.
Richmond, Virginia

REVISION	DATE
REVIEW	06-24-14
REVISED	07-14-14
REVISED	07-23-14
REVISED	07-29-14
REVISED	08-01-14
REVISED	10-27-14
REVISED	11-07-14



1

PROPOSED RIGHT ELEVATION

SCALE: NOT TO SCALE

PROPOSED LEIGH STREET ELEVATION

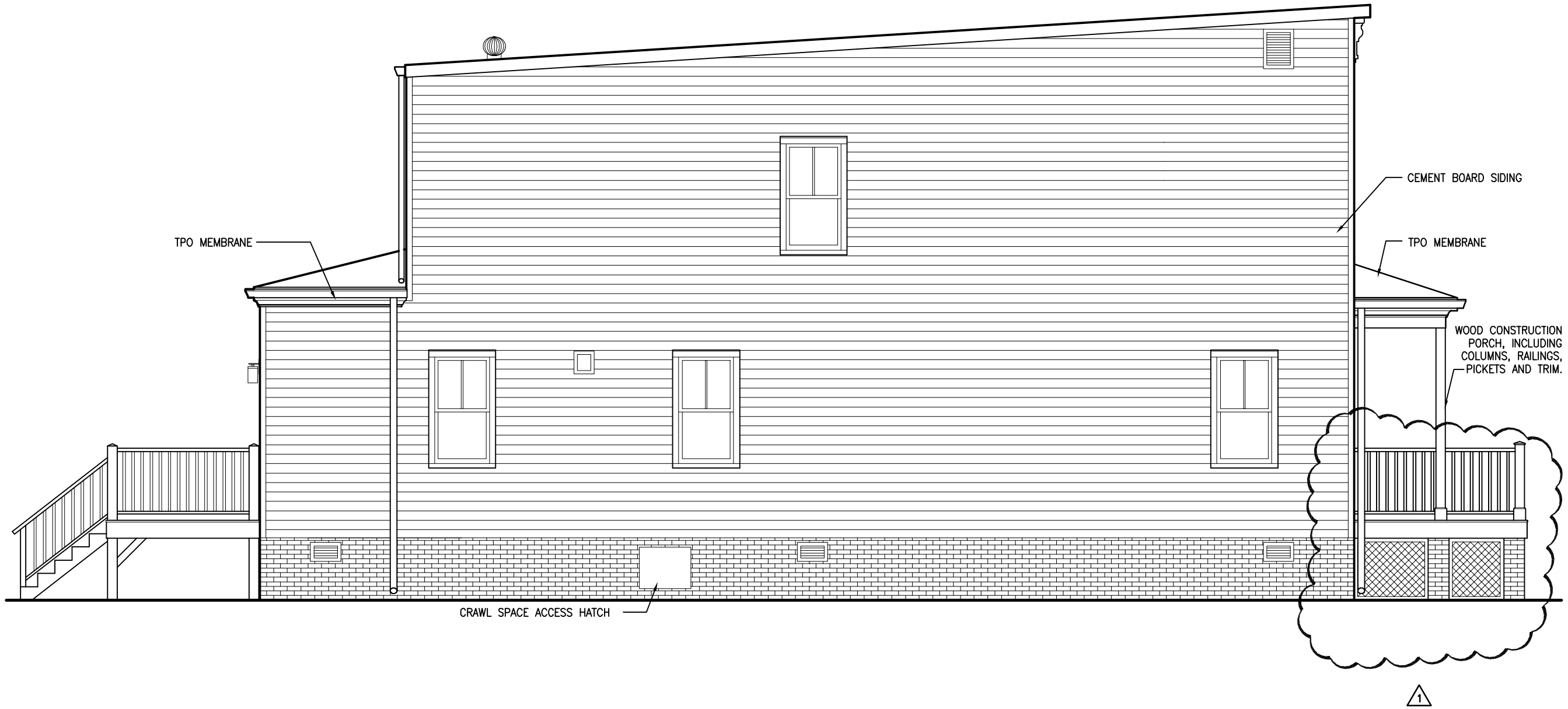
PROJECT NUMBER: **SK-3**



2731 WEST GRACE STREET
RICHMOND, VA 23220
804.353.1415

2912 E. Leigh st.
Richmond, Virginia

REVISION	DATE
REVIEW	06-24-14
REVISED	07-14-14
REVISED	07-23-14
REVISED	07-29-14
REVISED	08-01-14
REVISED	10-27-14
REVISED	11-07-14



1

PROPOSED LEFT ELEVATION

SCALE: NOT TO SCALE

DRAWING TITLE:
PROPOSED LEIGH STREET ELEVATION

SHEET:
SK-4

PROJECT NUMBER:
1407



2731 WEST GRACE STREET
 RICHMOND, VA 23220
 804.353.1415

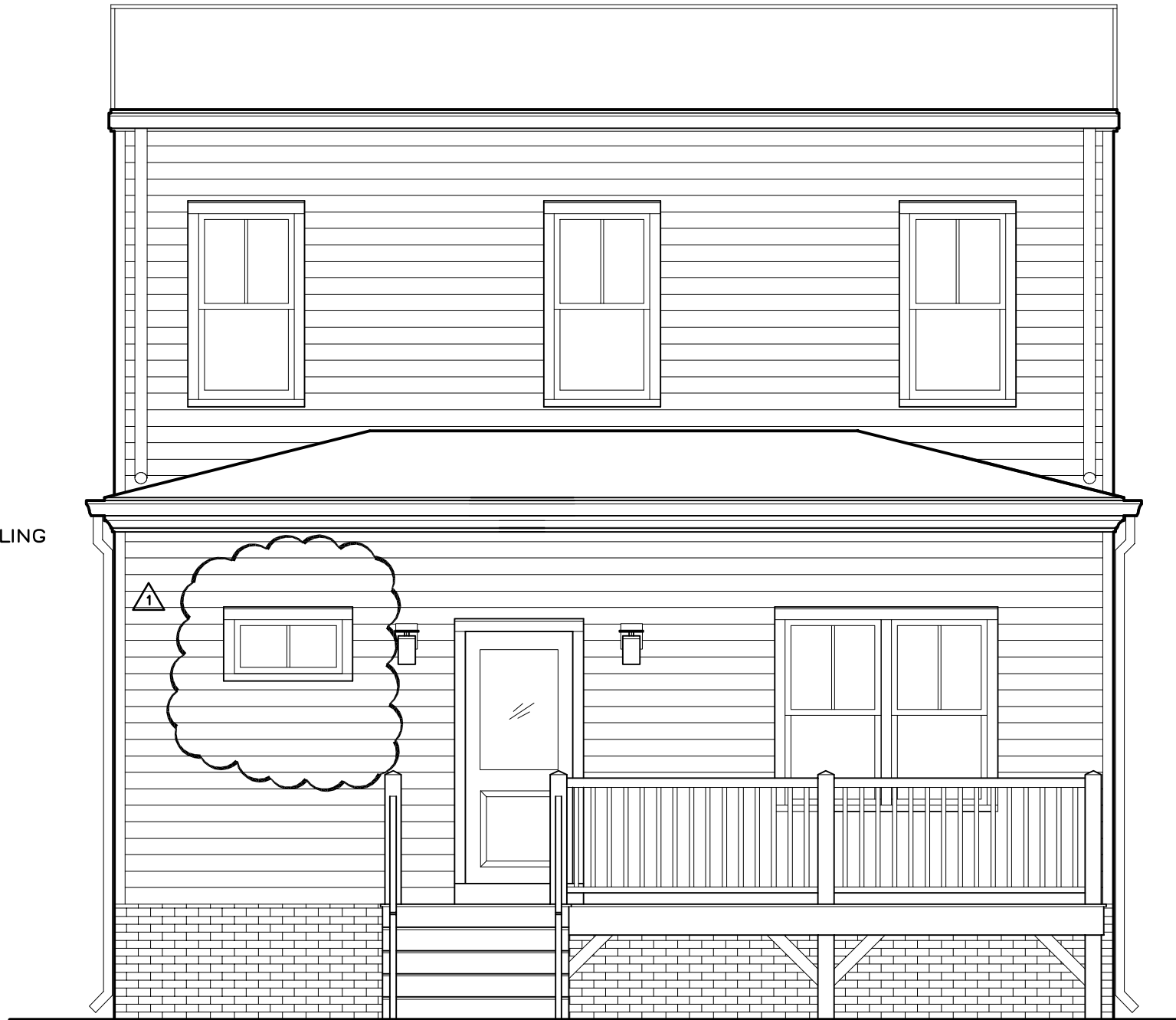
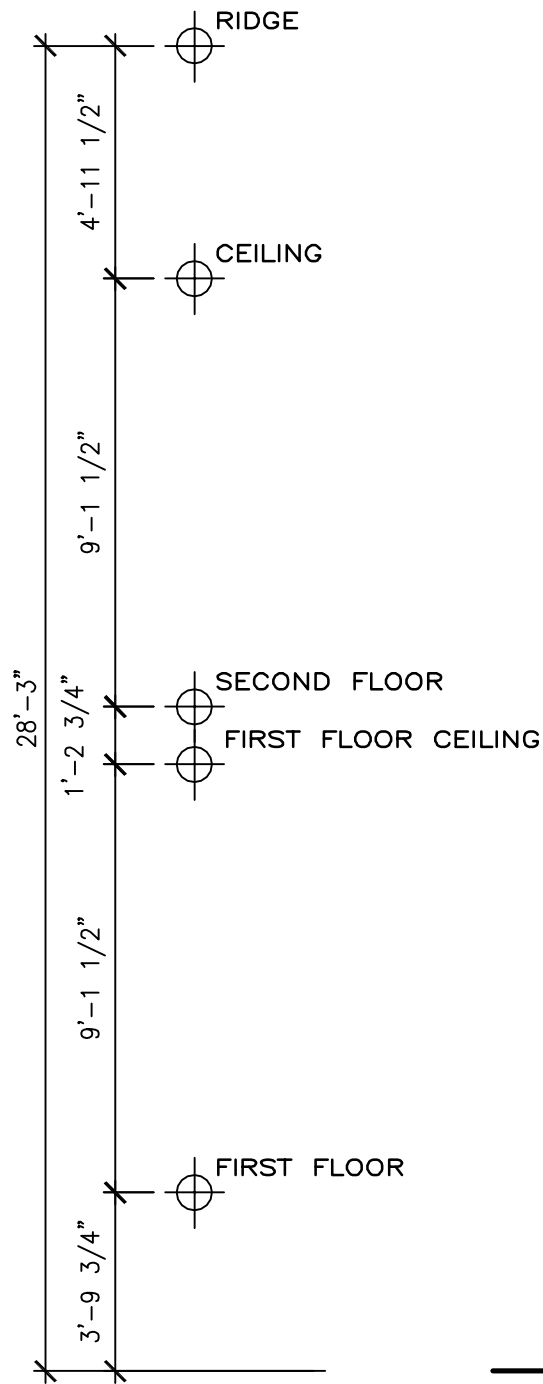
2912 E. Leigh st.
 Richmond, Virginia

REVISION	DATE
REVIEW	06-24-14
REVISED	07-14-14
REVISED	07-23-14
REVISED	07-29-14
REVISED	08-01-14
REVISED	10-27-14
REVISED	11-07-14

DRAWING TITLE:
PROPOSED LEIGH STREET ELEVATION

SHEET:
SK-5

PROJECT NUMBER:
 1407



1

PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"



EXISTING 29TH BLOCK OF E LEIGH STREET



PROPOSED 29TH BLOCK OF E LEIGH STREET



PROPOSED 29TH BLOCK OF E LEIGH STREET ENLARGED



LEIGH STREET LOOKING NORTH



LEIGH STREET LOOKING SOUTH

2912 E. Leigh st.
Richmond, Virginia

RECORD: DATE:

REVIEW 06-05-14

DRAWING TITLE:

LEIGH STREET

PROJECT NUMBER:
SK-3

PROJECT NUMBER:

1407

Exterior
Porch Light



