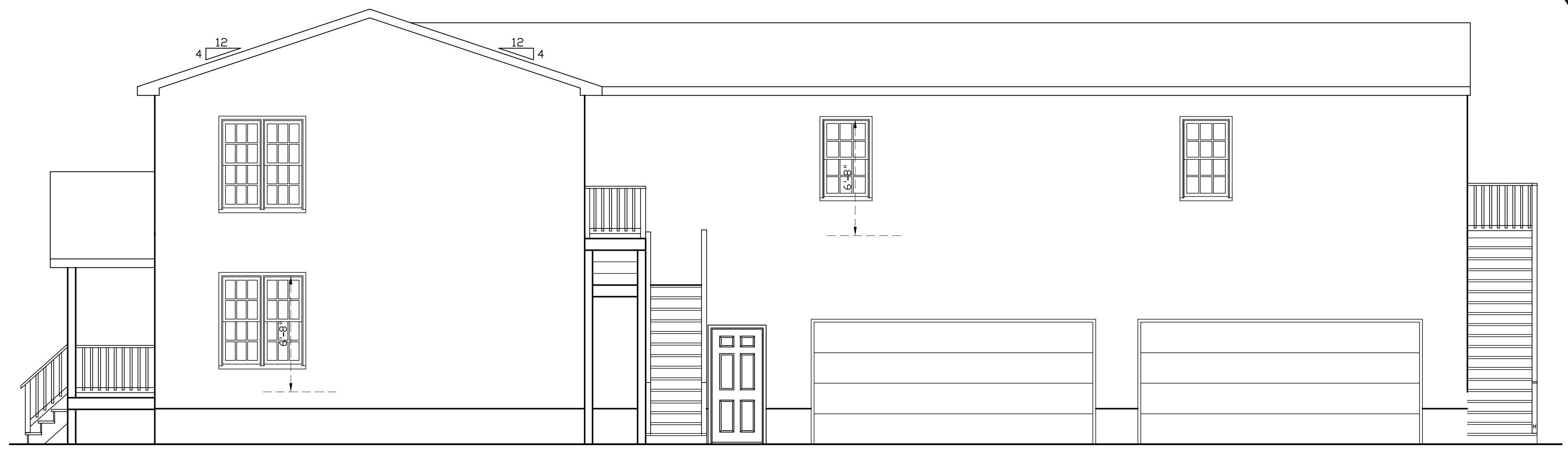
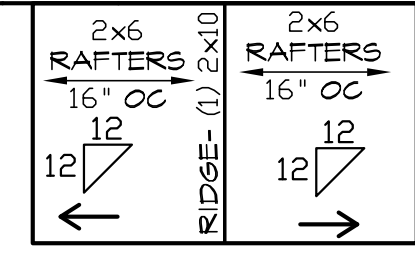
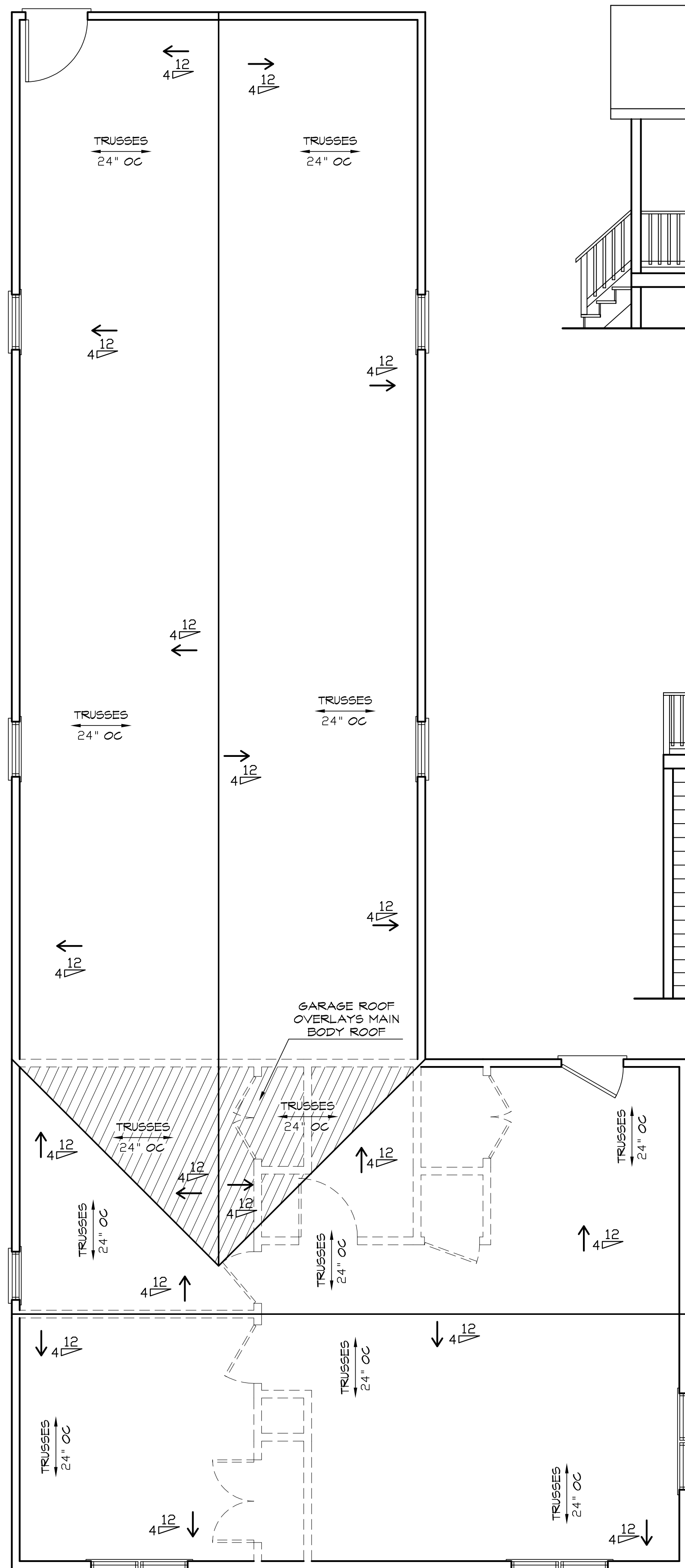


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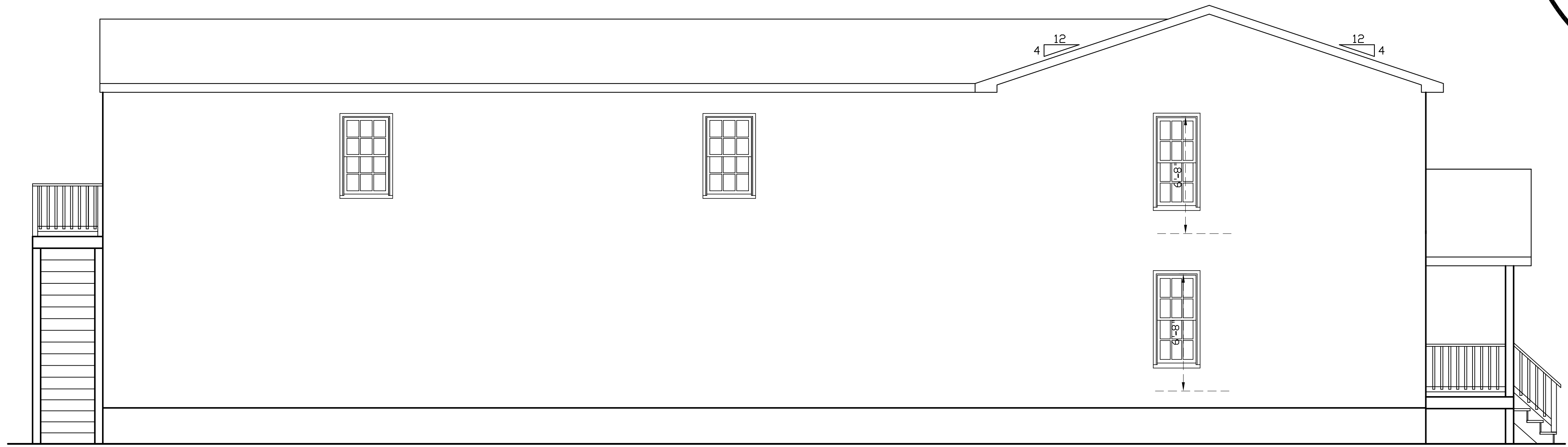
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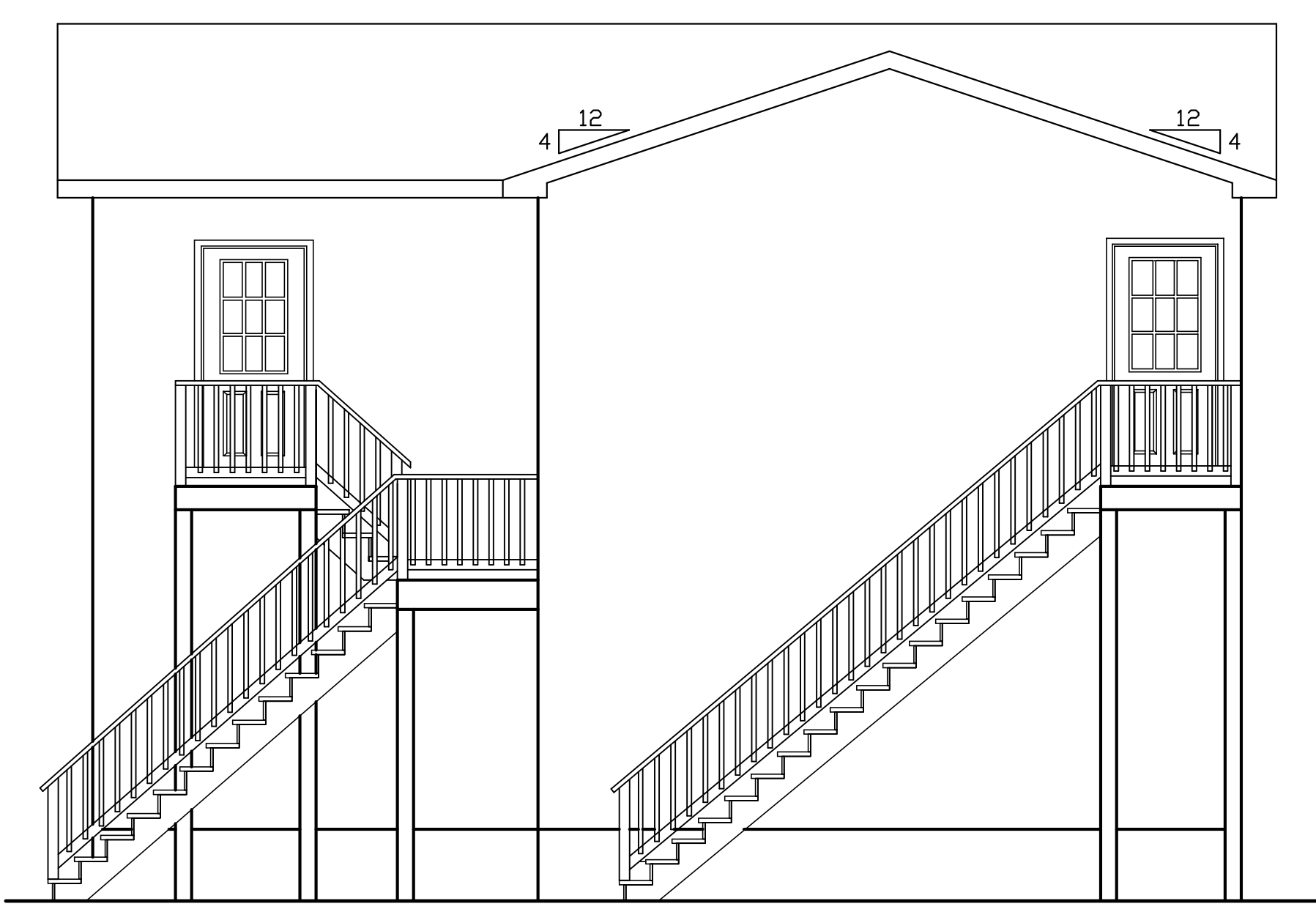
ROOF PLAN SCALE: 1/4"=1'



RIGHT ELEVATION SCALE: 1/4"=1'



LEFT ELEVATION SCALE: 1/4"=1'

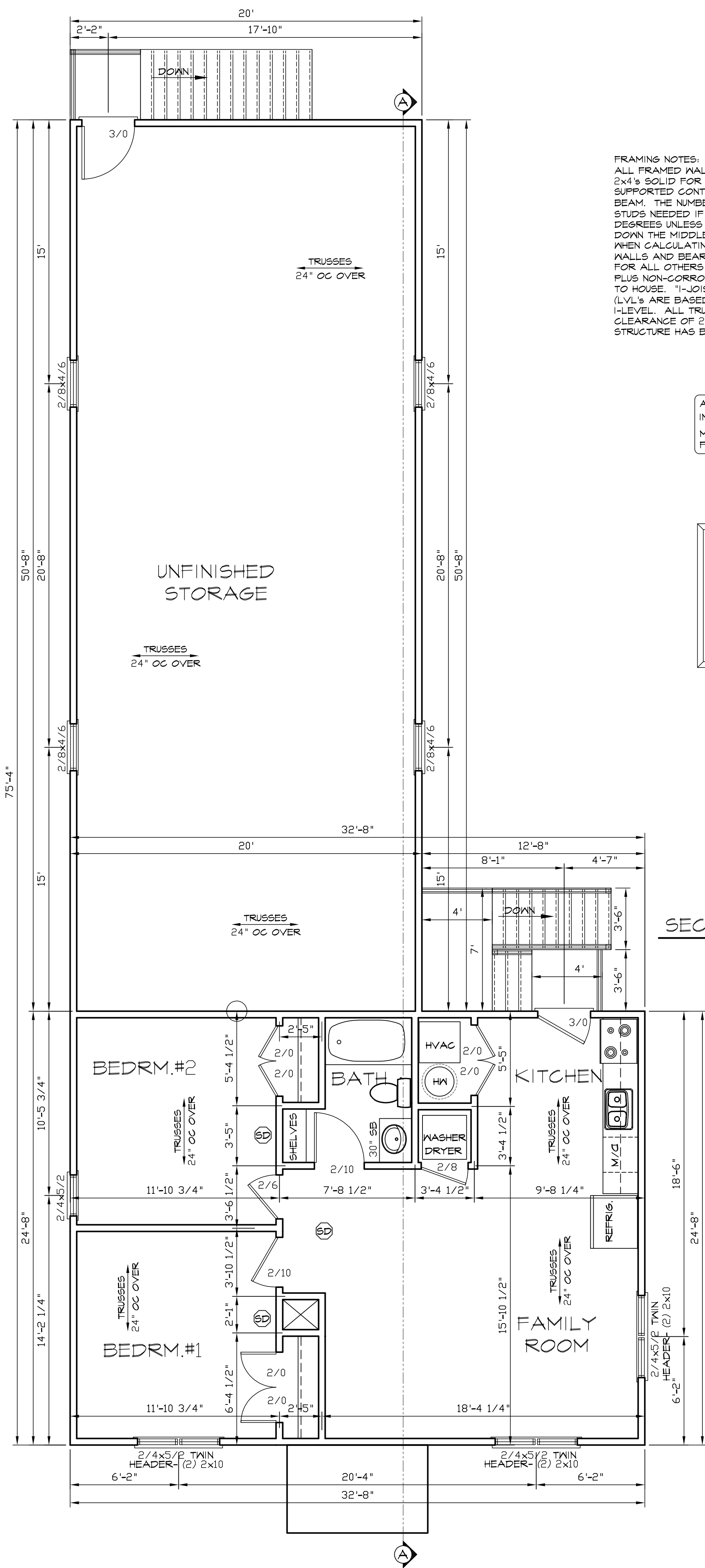


REAR ELEVATION SCALE: 1/4"=1'



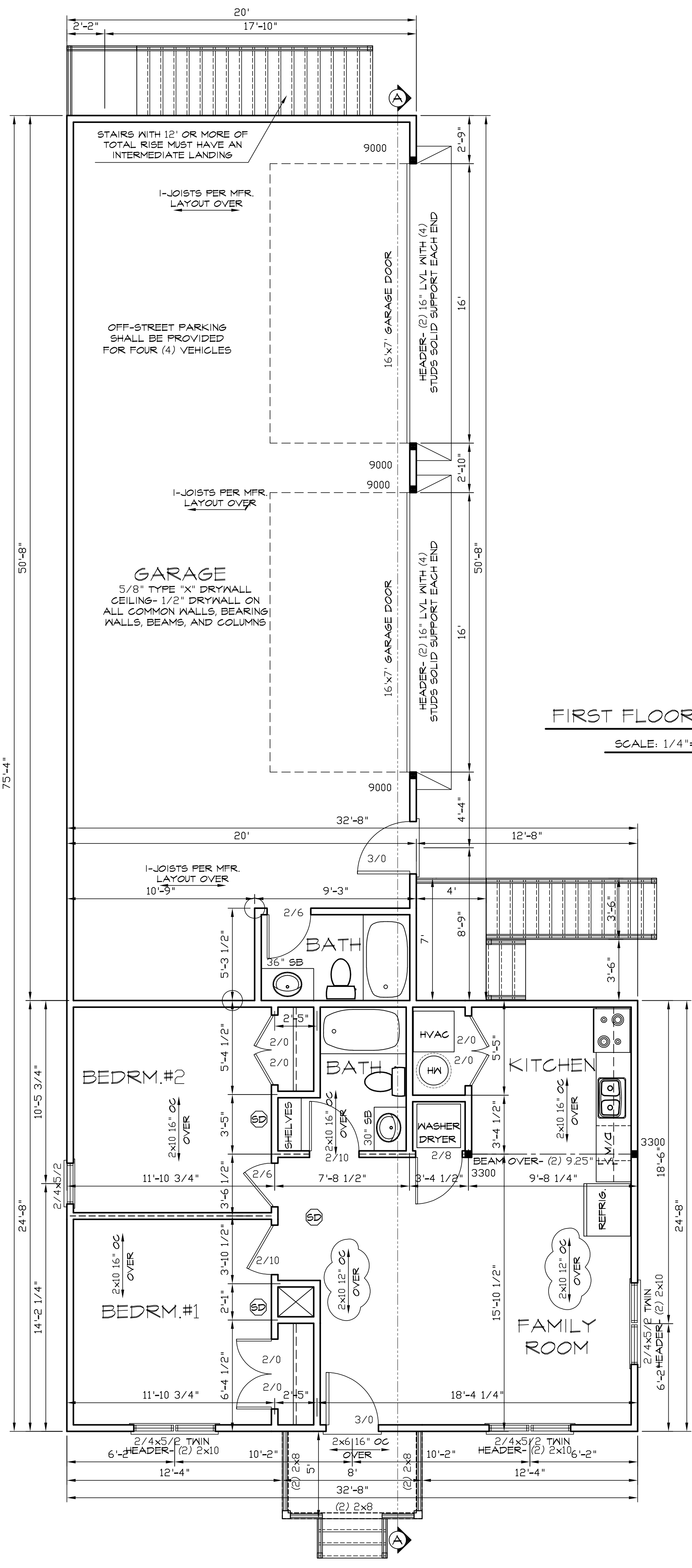
FRONT ELEVATION SCALE: 1/4"=1'

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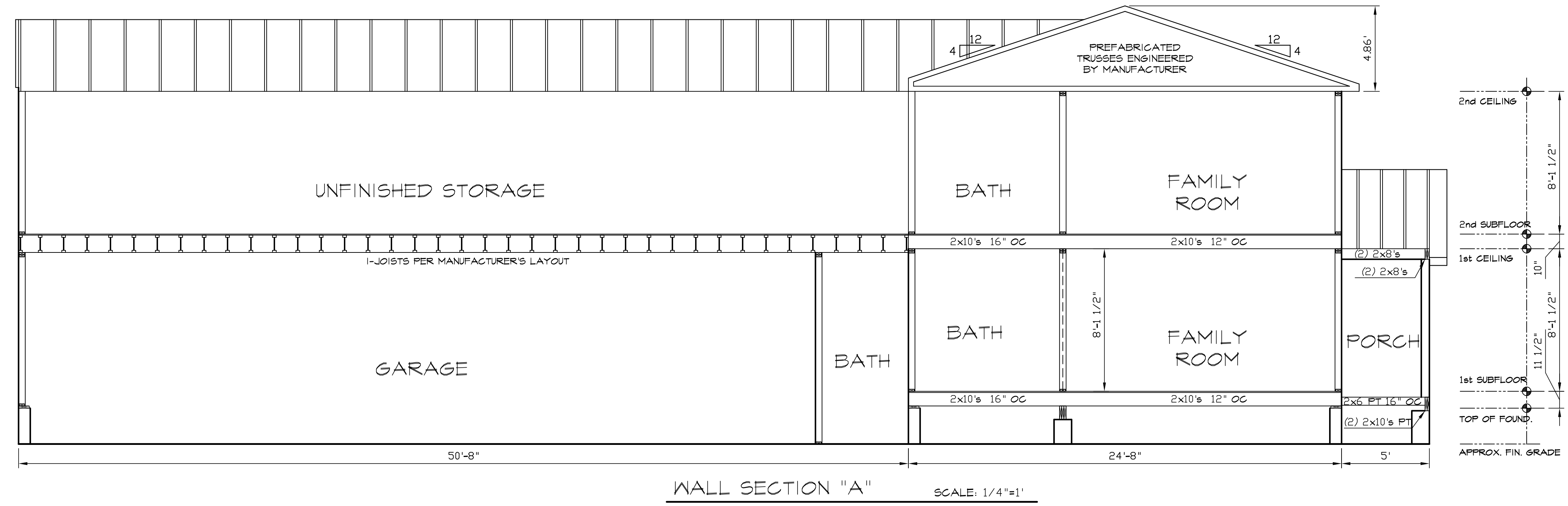
A WHOLE-HOUSE VENTILATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH VRC M1507.3.
MINIMUM AIR FLOW: _____ CFM IF CONTINUOUS.
FACTOR PER TABLE M1507.3.3(2) IF INTERMITTENT.

AREA	
1ST FLOOR LIVING	806 SQ.FT.
2ND FLOOR LIVING	806 SQ.FT.
TOTAL LIVING	1612 SQ.FT.
UNFIN. STORAGE	1013 SQ.FT.
GARAGE	1013 SQ.FT.
FRONT PORCH	40 SQ.FT.

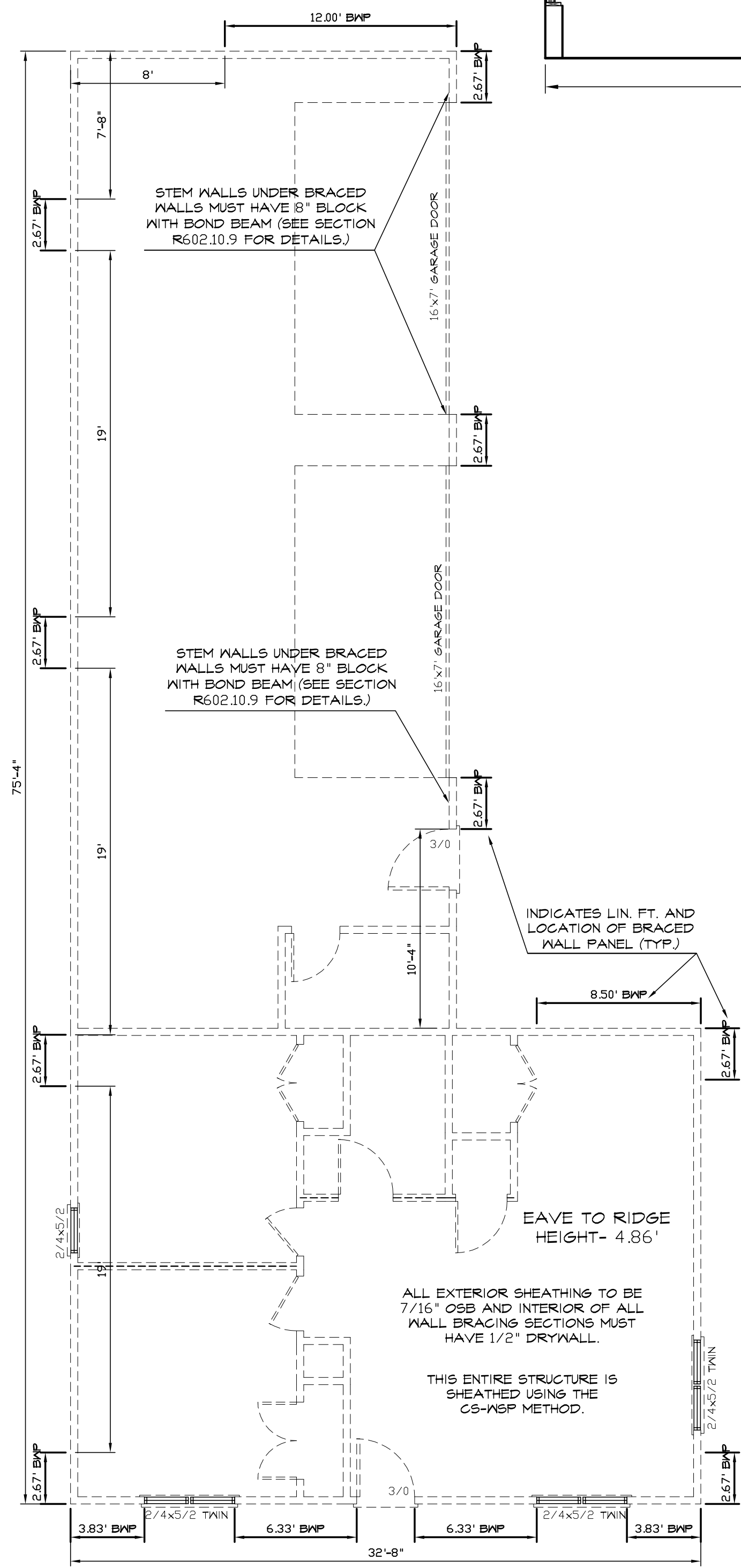


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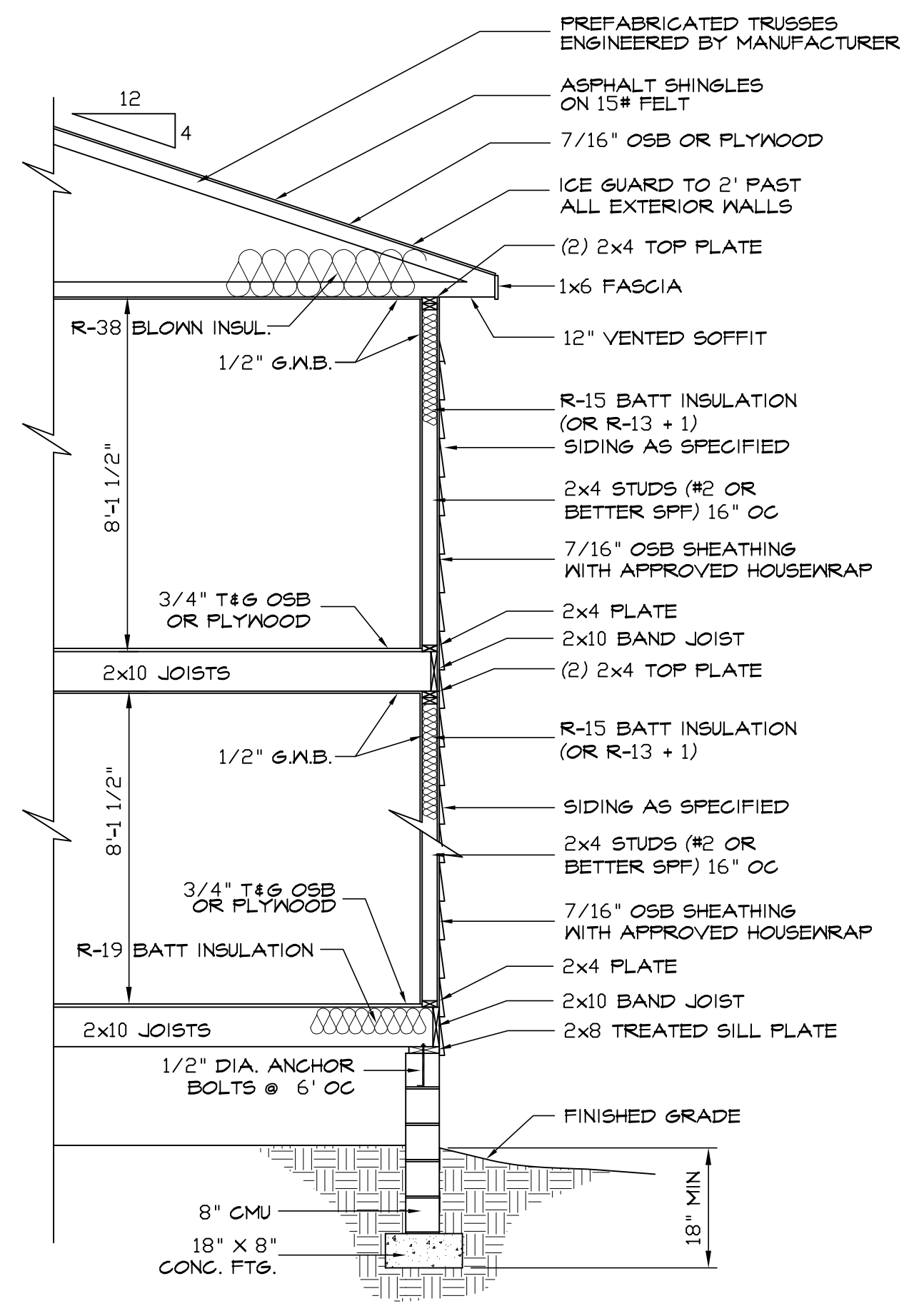
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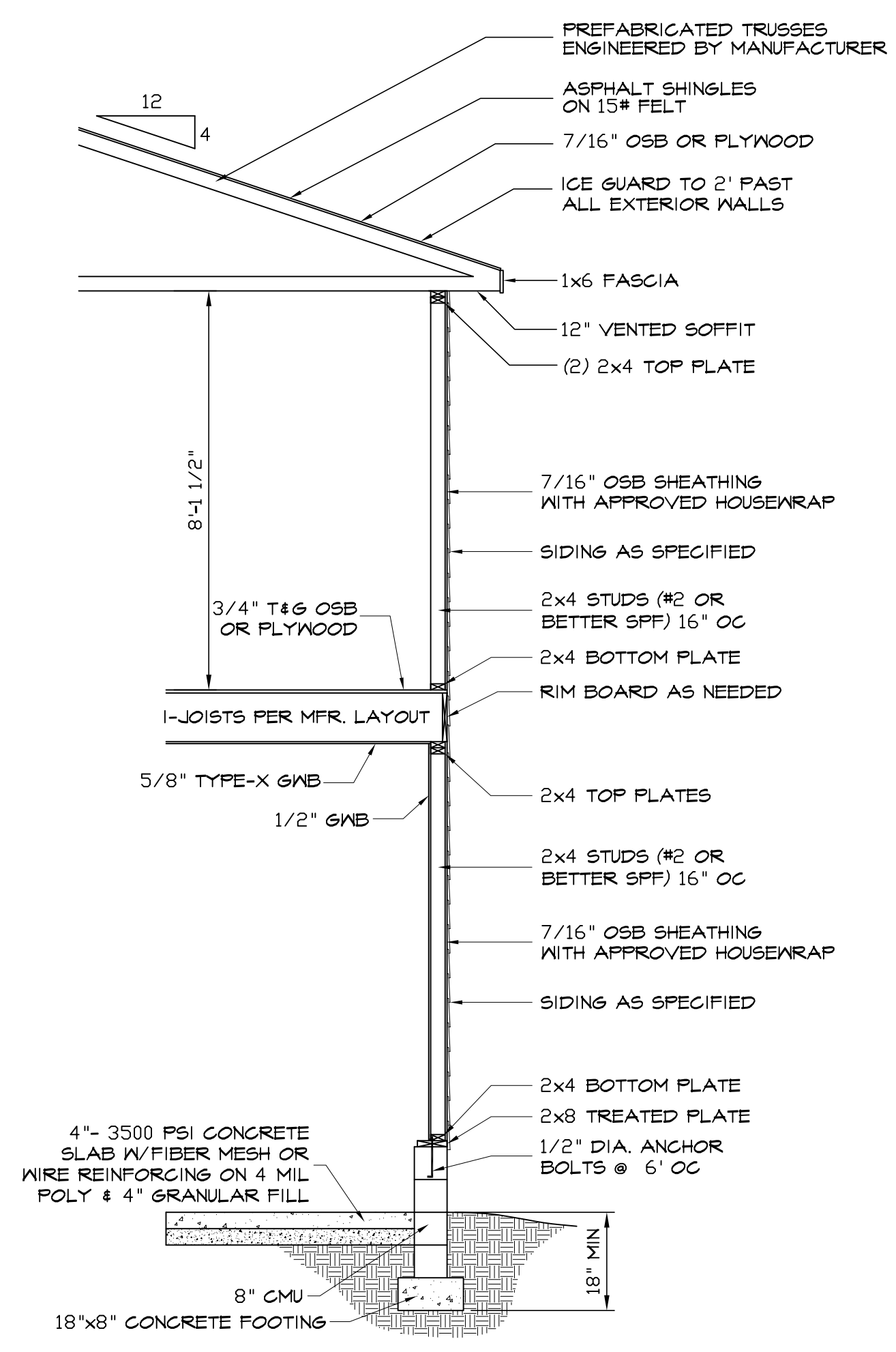
WALL SECTION "A" SCALE: 1/4"=1'



WALL BRACING PLAN SCALE: 3/16"=1'
 PRACTICAL METHOD



WALL SECTION (TYP.)



GARAGE WALL SECTION (TYP.)

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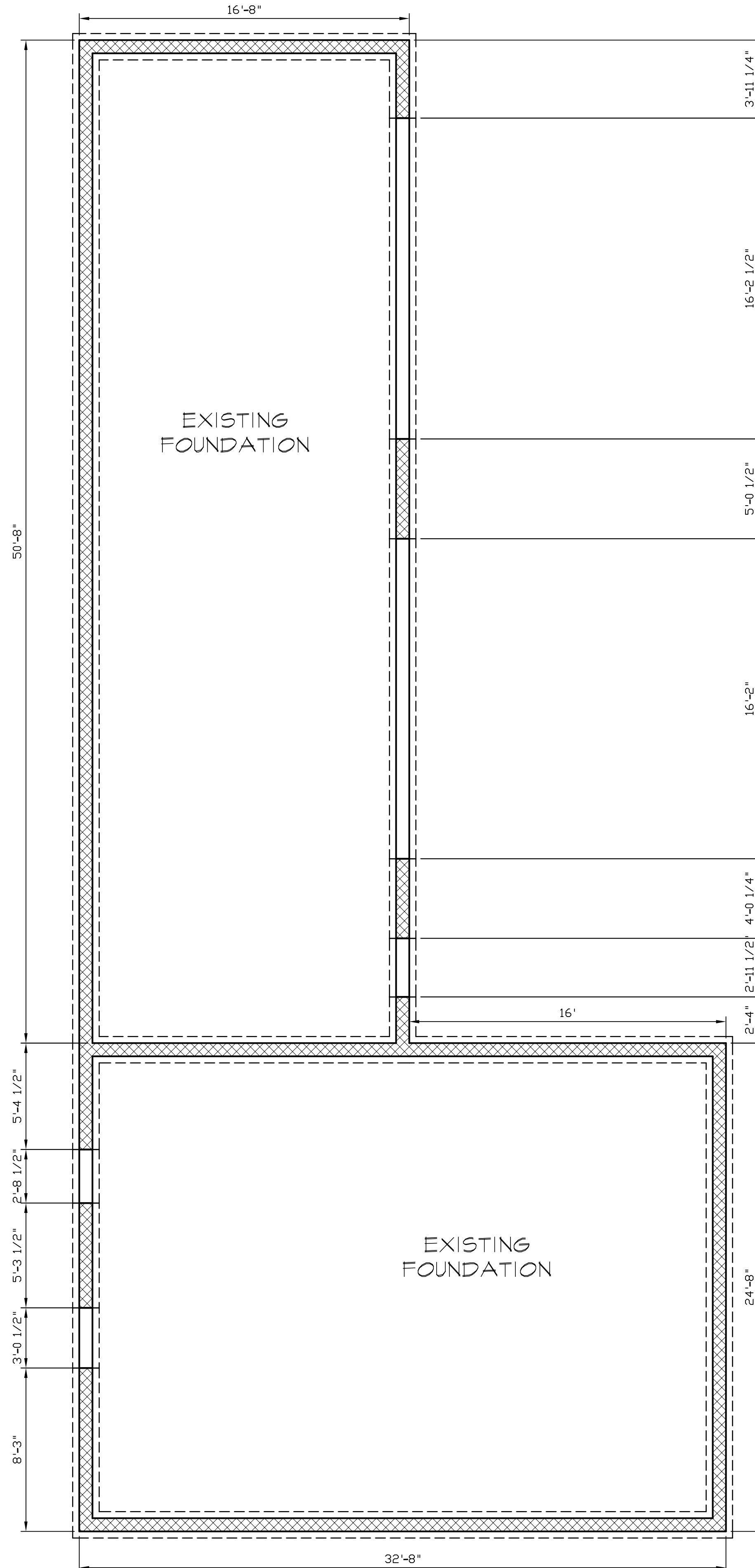
1. THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE REQUIRED TO CHECK AND BE RESPONSIBLE FOR CONFORMANCE OF THESE PLANS WITH ALL REQUIREMENTS OF THE VIRGINIA CONSTRUCTION CODE (BASED ON IRC-2012 CODE BOOK FOR ONE AND TWO STORY DWELLINGS), LOCAL ORDINANCES, BUILDING CODES AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO BEGINNING WORK AND DURING CONSTRUCTION.
2. THE DRAWINGS ARE DIAGNAMMATIC, INTENDING TO OUTLINE GENERAL DESIGN REQUIREMENTS ONLY AND NOT INTENDED TO BE COMPLETE IN ALL DETAILS. SPECIFIC IMPLEMENTATION OF THE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL PROTECT HIS AND OTHERS WORK FROM DAMAGE DUE TO HIS OPERATION AND SHALL REFACE OR REPAIR, AS REQUIRED, ALL DAMAGED WORK TO THE SATISFACTION OF THE OWNER.
4. MEASUREMENTS AND WORKING CONDITIONS FOR ALL WORK SHALL BE TAKEN AT THE SITE AND COORDINATED WITH CONNECTING WORK BY EACH SUB-CONTRACTOR.
5. EACH SUB-CONTRACTOR SHALL VERIFY THESE DRAWINGS BEFORE LAYING OUT OR PROCEEDING WITH WORK AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS RESULTING FROM HIS FAILURE TO EXERCISE SUCH VERIFICATION.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE DESIGN OF THE SITE FOR HVAC, PLUMBING AND ELECTRICAL SUB-CONTRACTORS.
7. SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF WITH FOOTINGS PLACED ON UNDISTURBED EARTH OR COMPACTED FILL WITH 95% DRY DENSITY. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY. SEALED ENGINEER'S APPROVAL REQUIRED WHEN FILL UNDER CONCRETE SLAB EXCEEDS 24".
- 8- DESIGN LOADS ARE AS FOLLOWS-- ATTIC: 20 psf LIVE AND 10 psf DEAD. ATTICS THAT ARE ACCESSIBLE BY FIXED STAIRS: 40 psf LIVE AND 10 psf DEAD. BEDROOMS: 30 psf LIVE AND 10 psf DEAD. ALL OTHER AREAS: 40 psf LIVE AND 10 psf DEAD. BATHROOMS IN AREAS DESIGNED FOR 30 psf LIVE LOAD MUST BE REINFORCED FOR 40 psf LIVE LOAD (TABLE 301.4).
9. COMPUTERIZED DRAFTING, LC PROVIDES DRAFTING SERVICES ONLY. WE RECOMMEND THAT THESE PLANS BE REVIEWED BY A STRUCTURAL ENGINEER, REGISTERED ARCHITECT, OR LOCAL BUILDING OFFICIAL. IF AN ENGINEER'S STAMP IS REQUIRED FOR ANY PART OF THESE PLANS, IT SHALL BE PROVIDED BY THE CONTRACTOR AND/OR THE CUSTOMER.

FOUNDATION NOTES:

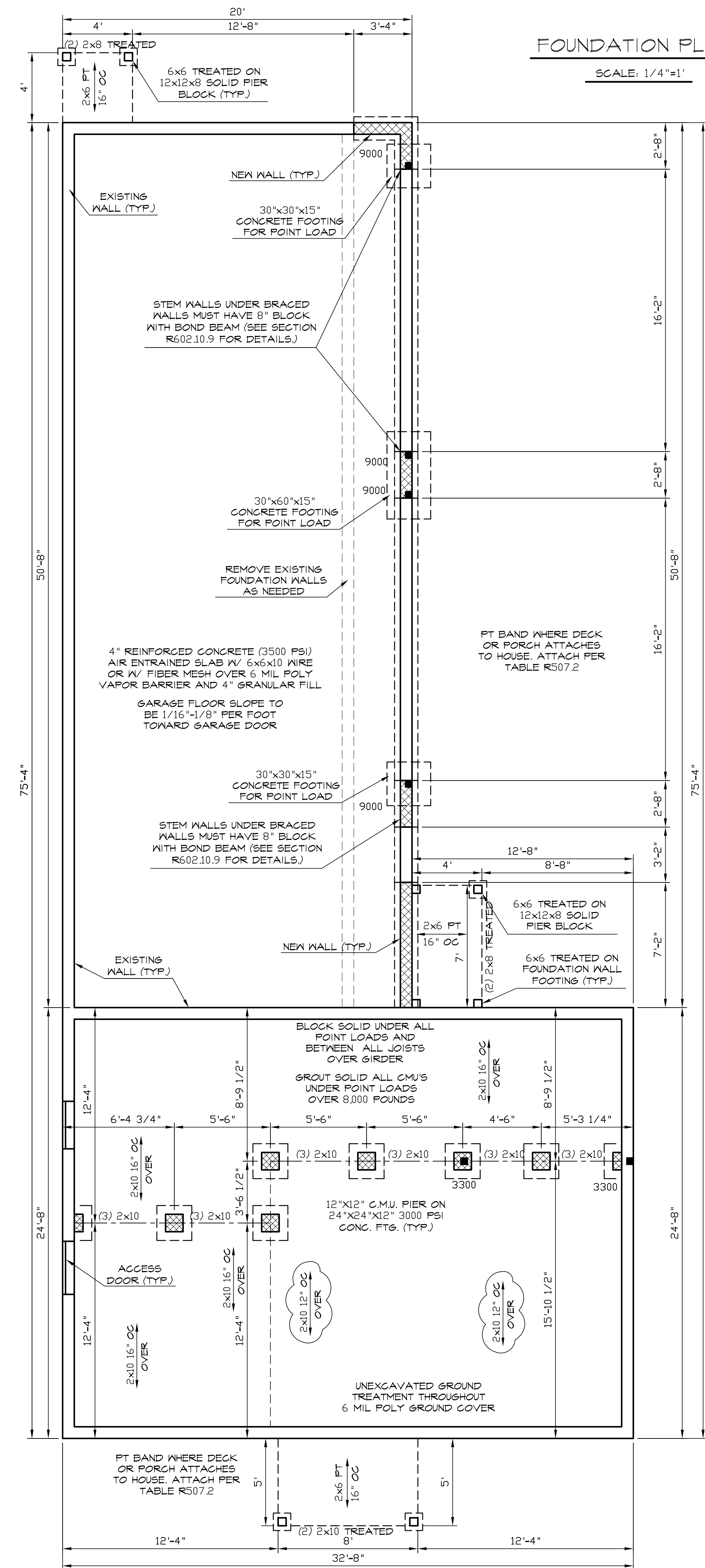
ALL FOUNDATION WALLS TO CONFORM TO IRC-2012 CODE BOOK FOR MINIM THICKNESS AND ALLOWABLE DEPTH OF UNBALANCED FILL FOR UNREINFORCED MASONRY AND CONCRETE WALLS WHERE UNSTABLE SOIL OR GROUNDWATER CONDITIONS DO NOT EXIST. STRUCTURAL WALL TIES ARE REQUIRED FOR COMPOSITE WALLS. 3500# AIR ENTRAINED CONCRETE REQUIRED FOR GARAGE SLAB. INTERIOR GRADE AT OR ABOVE PROPERLY SLOPED EXTERIOR GRADE OR MOISTURE PROOFING AND DRAIN TILE REQUIRED.

GENERAL BUILDING NOTES:

ALL STAIRS MUST HAVE A 9" MIN. TREAD AND 8 1/4" MAX. RISE (INCLUDING BOTTOM RISER). CONTINUOUS HANDRAIL REQUIRED ON STAIRS. NO MORE THAN 4" ALLOWED BETWEEN PICKETS. VENTILATION REQUIRED IN BATHROOMS. 1/2" GYPSUM WALL BOARD SEPARATION REQUIRED BETWEEN GARAGE AND DWELLING. INTERCONNECTED SMOKE DETECTORS, AC POWERED WITH BATTERY BACKUP SHALL BE INSTALLED IN EVERY SLEEPING ROOM. OUTSIDE OF EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING. CARBON MONOXIDE ALARM REQUIRED. SAFETY GLAZE REQUIRED OVER TUB OR WHIRLPOOL IN BATHROOM. SAFETY GLAZE ALSO REQUIRED WITHIN A 2' ARC OF EITHER DOOR JAMB. 5.7 SQ.FT. OPEN AREA REQUIRED OF ONE EGRESS WINDOW IN EACH 2ND FLOOR BEDROOM (5.0 SQ.FT. FOR FIRST FLOOR BEDROOMS). 3 FT. LANDINGS REQUIRED AT ALL EXTERIOR DOORS. ALL ELECTRICAL WORK MUST CONFORM TO N.E.C. REGULATIONS AND STANDARDS. THE TOTAL NET FREE ATTIC VENTILATION AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED. 22"x30" MINIMUM ATTIC ACCESS REQUIRED. REQUIRED INSULATION: R-38 IN CEILINGS, R-19 IN FLOORS OVER CRAWL SPACE, R-13 IN WALL CAVITY PLUS R-1 OUTSIDE CAVITY OR R-15 INSIDE WALL CAVITY, R-10 IN BASEMENT WALLS THAT ARE BELOW GROUND, AND R-8 FOR AIR DUCTS IN NON-CONDITIONED SPACES. CONTRACTOR TO VERIFY INSULATION REQUIREMENTS AND TO MAKE SUFFICIENT PLANS FOR ANY SLOPED CEILINGS NEEDING INSULATION. ICE/WATER SHIELD REQUIRED ON ROOF FROM EAVE TO 2' INSIDE EXTERIOR WALL LINE. ANY ROOF FITCH UNDER 4 1/2" MUST HAVE DOUBLE LAYER OF FELT OR CONTINUOUS LAYER OF ICE GUARD UNDER ASPHALT SHINGLES.



EXISTING FOUNDATION PLAN SCALE: 1/4"=1'



FOUNDATION PLAN SCALE: 1/4"=1'

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PAGE: 4 OF 4

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