



# Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646 6335 FAX: (804) 646 5789

### 12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 117 W BROAD ST RICHMOND VA DATE: 2-25-2016

OWNER'S NAME: MARK SZAFRANSKI TEL NO.: 804-6437125

AND ADDRESS: 117 W BROAD ST EMAIL: marksmetro@gmail.com

CITY, STATE AND ZIPCODE: RICHMOND VA 23220

ARCHITECT/CONTRACTOR'S NAME: MONUMENT CONSTRUCTION TEL. NO.: 804-303-7347

AND ADDRESS: 1425 E CARY ST EMAIL: cjohnson@themonumentcompanies.com

CITY, STATE AND ZIPCODE: RICHMOND VA 23220

Would you like to receive your staff report via email? Yes  No

### REQUEST FOR CONCEPTUAL REVIEW

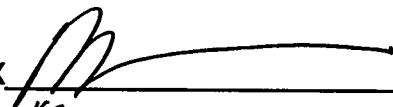
I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

### DETAILED DESCRIPTION OF PROPOSED WORK (Required):

**STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK PROPOSED.** (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Signature of Owner or Authorized Agent: X 

Name of Owner or Authorized Agent (please print legibly): KELLY MILLER - WALTER PARKS ARCHITECT

(Space below for staff use only)

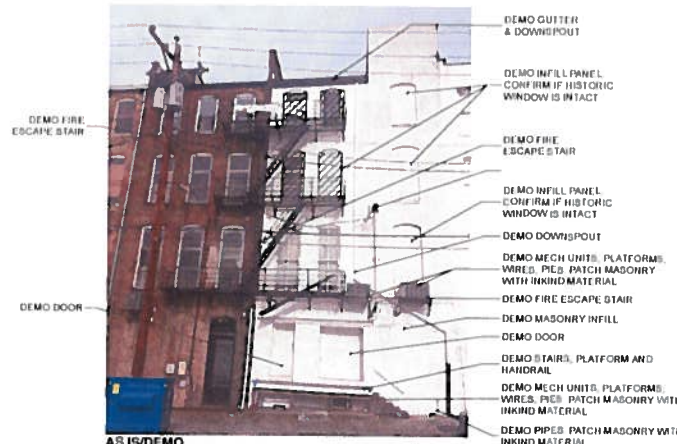
Received by Commission Secretary

APPLICATION NO. \_\_\_\_\_

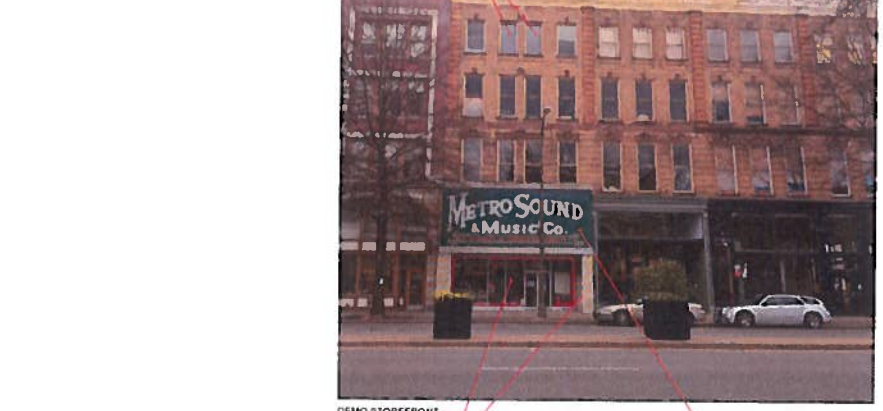
DATE 2/25/16 2:30 pm

SCHEDULED FOR \_\_\_\_\_

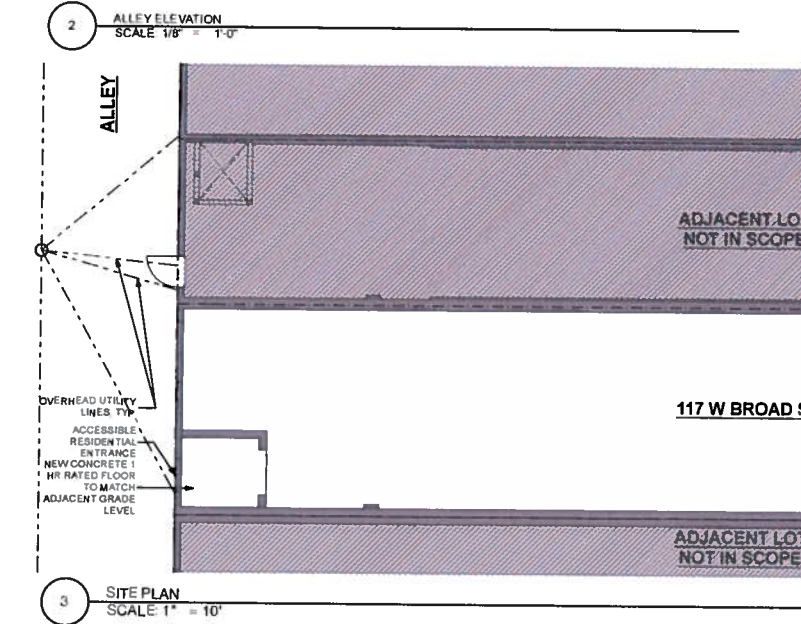
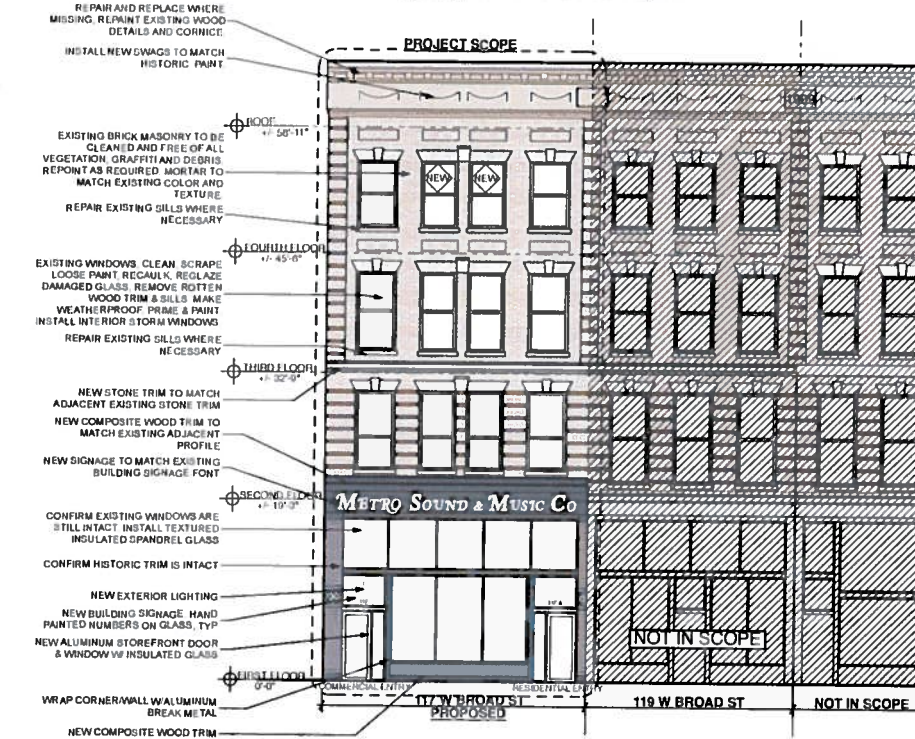
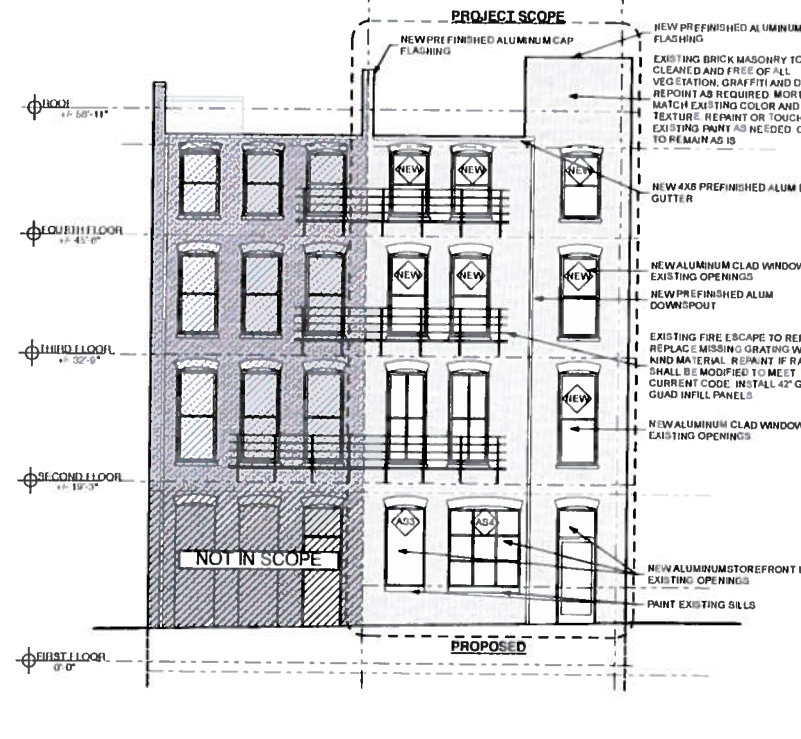
Note: CAR reviews all applications on a case-by-case basis.



- AS IS DEMO**
1. DEMO ALL EXISTING CONCRETE FINISH, METAL ROOF, CARLS, LIGHTS, SPEAKERS, ETC.
  2. DEMO BRICK MASONRY TO EXPOSE CLEAN AND TRUE FACE OF ALL MASONRY UNLESS OTHERWISE NOTED. REPORT AS REQUIRED MONITOR TO MATCH EXISTING COLOR AND TEXTURE.
  3. EXISTING WINDOWS TO REMAIN UNLESS NOTED OTHERWISE. HISTORIC WINDOW MASONRY, CLEAN, SCRAPE LOOSE PAINT, RECALL, REPAIR OR REPLACE. REPAIR OR REPLACE WITH NEW WINDOW TRIM & SILLS OR INTERIOR & EXTERIOR FINISHES AS SHOWN. MAKE SURE BOTTOM SASH OPERABLE & WEATHER PROOF. PRIME & PAINT INTERIOR & EXTERIOR FINISHES.



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- GENERAL NOTES**
1. PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE BUILDING CODES.
  2. VERIFY EXISTING CONDITIONS, DIMENSIONS AND VERTICAL ELEVATIONS THAT AFFECT THE WORK INDICATED IN THESE DOCUMENTS AND NOTIFY THE ARCHITECT IMMEDIATELY. THERE ARE ANY UNRECORDED ENCUMBRANCES AND CONDITIONS THAT REQUIRE ADDITIONAL DOCUMENTATION BEYOND THAT SHOWN ON THESE PROJECT DOCUMENTS IS TO BE OBTAINED BY THE CONTRACTOR AT HIS OWN RISK. ALL SUCH INFORMATION SHALL BE PROVIDED AND INCLUDED IN THE CONTRACTOR'S BASIS OF BIDS.
  3. DO NOT REMOVE EXISTING MASONRY OR STRUCTURE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS AND TAKE TO ADEQUATE STORAGE OR DISPOSAL. ALL DEMOLITION SHALL BE DONE IN ACCORDANCE WITH THE CITY OF RICHMOND'S DEMOLITION REGULATIONS.
  4. OBTAIN AND PAY FOR ALL PERMITS, PROCESS AND COMPLETE ALL INSPECTIONS AND REPORTS BEFORE FINAL BUILDING CODES OF FINAL SIGN-OFF AND OBTAIN A RELEASE OF ALL LIABILITIES WITH EACH SUBCONTRACTOR'S SIGNATURE.
  5. BEFORE STARTING WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND PROVIDE THE OWNER WITH A SIGNATURE RELEASE OF ALL LIABILITIES WITH EACH SUBCONTRACTOR'S SIGNATURE.
  6. PROVIDE ALL TEMPORARY FACILITIES AND UTILITIES REQUIRED FOR COMPLETION OF THE PROJECT.
  7. IF EACH PHASE IS TO BE COMPLETED WITHIN 30 DAYS OF THE START DATE, THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT FOR APPROVAL.
  8. PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. REMOVE OR DEMOLISH ONLY AS SHOWN ON THE DRAWINGS. REPAIR DAMAGE TO EXISTING BUILDINGS FROM CONSTRUCTION ACTIVITIES TO BE NEW OR ORIGINAL CONDITIONS WITHOUT ADDITIONAL COSTS TO THE OWNER.
  9. ISOLATE CONSTRUCTION ACTIVITIES FROM OCCUPIED AREAS. PARKED VEHICLES ADJACENT TO THE PROJECT SHALL BE MOVED, DIRT, ROAD LOSS AND GENERAL ACCESS.
  10. KEEP CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS AT ALL TIMES.
  11. PROVIDE A SUBMITTAL OF SHOP DRAWINGS FOR ALL WORK WITHIN 30 DAYS OF NOTICE TO PROCEED TO THE ARCHITECT. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION OF ALL MATERIALS AND EQUIPMENT. ALL SUBMITTALS SHALL BE PROVIDED WITH EACH DRAWING AND SHALL BE PROVIDED WITH THE CONTRACTOR'S SIGNATURE AND THE ARCHITECT'S SIGNATURE. ALL SUBMITTALS SHALL BE FOR PRODUCTS SPECIFIED OR INDICATED. SUBSTITUTES SHALL BE APPROVED AND MAY REQUIRE ADDITIONAL REVIEW TIME BY THE ARCHITECT OR ENGINEER.
  12. ALL ITEMS FOR CONSTRUCTION SHALL BE NEW UNLESS AND OF HIGHER QUALITY THAN ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  13. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY OR BRICK SHALL BE TREATED WITH PRESERVATIVE. ALL OTHER WOOD SHALL BE TREATED WITH PRESERVATIVE.
  14. ALL GLAZING SHALL COMPLY WITH HAZARDOUS LOCATION REQUIREMENTS AS INDICATED IN BUILDING CODES.
  15. PROVIDE CALLINGS BE TYPED OR PRINTED MATERIALS IN ORDER TO INSURE CORRECT INFORMATION. ALL CALLINGS SHALL BE IN INCHES AND FRACTIONS. ALL CALLINGS SHALL BE IN INCHES AND FRACTIONS. ALL CALLINGS SHALL BE IN INCHES AND FRACTIONS. ALL CALLINGS SHALL BE IN INCHES AND FRACTIONS.
  16. PROVIDE ADEQUATE FRAMING BRACING OR CONCEAL FRAMING BRACING AND FASTENERS TO BE PROVIDED FOR ALL FRAMING TO BE ADJUSTED TO THE CALLINGS ON FILE.
  17. EXISTING FLOOR, WALL, AND CEILING FINISHES UNDER OR BEHIND ANY ITEM OF EQUIPMENT OR FURNITURE, ETC.
  18. BEFORE NEW EQUIPMENT IS INSTALLED, THE CONTRACTOR SHALL PERMANENTLY INSTALL AND BE READY TO REMOVE ON THE EQUIPMENT. LETTERING SHALL BE IN INCHES AND FRACTIONS. ALL LETTERING SHALL BE IN INCHES AND FRACTIONS. ALL LETTERING SHALL BE IN INCHES AND FRACTIONS.
  19. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE EXISTING STRUCTURE. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS.
  20. PROVIDE 1/2" BRICK 4" TALL BRUSHED ALUMINUM HANDRAILS AT EACH APARTMENT ENTRY DOOR, UNLESS OTHERWISE NOTED.
  21. WHERE NEW ROOFING IS INDICATED, PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS.
  22. BUILDING TO BE WATER-TIGHT AGAINST ELEMENTS.
  23. CLEAN BRICK OF ALL EXTRANEOUS MATERIAL, WITH MILD SOAP AND WATER. INCLUDING BUT NOT LIMITED TO TAR, PAINT, VEGETATION AND REMOVE ADJACENT BRICKS. REPAIR, REPAIR SURFACE Voids AND REPORT AS REQUIRED FOR A CONTINUOUS APPEARANCE. SEAL ALL INTERIOR CRACKS, CLEANING AND REPAIR SHALL COMPLY WITH NATIONAL PARK SERVICE BRIEF.
  24. MAKE SURE ALL LOCATIONS ADJACENT TO FIRE RATED ASSEMBLIES, PROVIDE ADDITIONAL LAYER OF 5/8" GYPSUM TO COVER THE FLANGE UP TO CEILING.
  25. DEMOLISH OPENINGS AT NEW WINDOW AND DOOR OPENINGS LARGE ENOUGH TO ACCOMMODATE NEW WINDOW, UNLESS AND BELLS PROVIDE BELLS TO MATCH ADJACENT WINDOW TOOTH IN BRICK AT ALL NEW MASONRY OPENINGS. SAW CUTTING IS NOT PERMITTED.
  26. PROVIDE 1/2" MINIMUM BETWEEN INSIDE SIDE OF DOOR OPENINGS AND NEAREST ADJOINING WALL OR PARTITION, UNLESS OTHERWISE NOTED.
  27. UNLESS OTHERWISE NOTED, EXISTING WINDOWS TO REMAIN SHALL BE MADE OPERABLE. REPAIR EXISTING WEATHER AND AS REQUIRED FOR SMOOTH OPERATION. REGRAZE BRICKEN PANELS, SAND AND PAINT EXISTING WOOD TRIM.
  28. EXISTING WOOD FLOORING IS INDICATED TO REMAIN, REMOVE PATTERNS BY TYPING IF ANY OR DAMAGED MATERIAL, AND REPLACE WITH BALANCED WOOD FLOORING TO MATCH BY SIZE, COLOR, FUTURE, SPECIES AND AGE.
  29. PROVIDE 1/2" WOOD SHAPED TOP PLATTICES ABOVE AND IN LINE WITH DWELLING UNIT SEPARATION WALLS.
  30. EACH FRESH SUBCONTRACTOR SHALL INSPECT THE SUBSTRATE AND DETERMINE THE SUITABILITY FOR THE TYPE OF MATERIAL TO BE INSTALLED. REPORT ALL UNSUITABLE CONDITIONS TO CONTRACTOR FOR CORRECTION. CARPET AND TILE CONTRACTORS SHALL VERIFY THE SUBSTRATE IS SUITABLE FOR A TRUE AND LEVEL FINISH. CLEAN ALL SURFACES TO RECEIVE NEW FINISHES OF CONCRETE MATERIAL THAT WOULD OTHERWISE AFFECT THE APPLICATION AND PERFORMANCE OF NEW FINISHES. COMMENCEMENT OF WORK SHALL BE THE ACKNOWLEDGEMENT OF THE CONTRACTOR'S SIGNATURE ON THE SUBSTRATE.
  31. IF PROJECT IS WITHIN THE CITY OF RICHMOND, COMPLY WITH THE CITY OF RICHMOND'S CONSTRUCTION AND BACKFLOW PROGRAM REQUIREMENTS. PROVIDE DETAIL DRAWINGS OF EXISTING UTILITIES AND NEW BACKFLOW VALVES PRIOR TO INSTALLATION.
  32. PROVIDE ALL HOOKUPS AS REQUIRED FOR INDICATED EQUIPMENT.
  33. SPRINKLER SYSTEM SHALL BE PROVIDED ON A DESIGN-BUILD BASIS WITH SHOP DRAWINGS INCLUDING A PROFESSIONAL ENGINEER SEAL FOR APPROVAL BY BUILDING CODE OFFICIAL. SPRINKLER CONTRACTOR SHALL VERIFY THE EXISTING SPRINKLER SUPPLY AND THE BUILDING SHALL BE COORDINATED WITH THE FIRE ALARM SUB CONTRACTOR. COORDINATE ALL COMPONENTS WITH OTHER TRADES TO FINISH COMPLETE.
  34. PROVIDE PORTABLE FIRE EXTINGUISHER ON EACH COMPLETED FLOOR DURING CONSTRUCTION IN ACCORDANCE WITH NFPA 10 STANDARDS FOR THE INSTALLATION OF PORTABLE FIRE EXTINGUISHERS.
  35. GUARANTEE ALL WORK FOR A MINIMUM PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

**PROJECT DESCRIPTION**

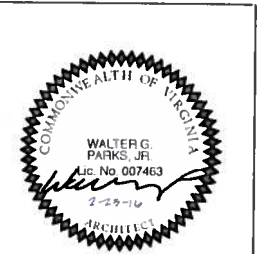
The scope of work is the rehabilitation of the exterior of the four-story historic building. This building is designated as a historic structure by the Historic District Board for the restoration of historic structures.

**VICINITY MAP**

**GENERAL NOTES EXTERIOR**

**GENERAL OBSERVATION NOTES**

1. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. CORRECT THE DRAWINGS AND NOTIFY THE ARCHITECT IMMEDIATELY.
2. SURVEY CONDITION OF THE BUILDING TO DETERMINE IF REMAINING ELEMENTS MEET THE STRUCTURAL REQUIREMENTS OF THE BUILDING.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE EXISTING STRUCTURE. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS.
4. REPAIR AND MAINTAIN EXISTING STRUCTURE. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS.
5. ALL DIMENSIONS ARE TO FACE OF WALL OR CENTERLINE OF STRUCTURAL FRAMING.
6. PLAN DIMENSIONS ARE TO FACE OF WALL OR CENTERLINE OF STRUCTURAL FRAMING.
7. HISTORIC ITEMS, INCLUDING ANTIQUES AND SIMILAR OBJECTS OF INTEREST, SHOULD BE IDENTIFIED AND DOCUMENTED PRIOR TO DEMOLITION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
8. COORDINATE WITH THE FIELD ALL EXISTING ITEMS TO BE SALVAGED PRIOR TO ACTUAL DEMOLITION. WORK WITH THE OWNER TO DETERMINE THE BEST COURSE OF ACTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SALVAGED ITEMS.
9. SALVAGE ALL EXISTING FIRE DOORS. DOORS ARE TO BE PROTECTED AND STORED ON SITE FOR LATER REINSTALLATION. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
10. SALVAGE ALL EXISTING SIGNAGE. SIGNAGE IS TO BE PROTECTED AND STORED FOR LATER REINSTALLATION.
11. ALL WOODS SHALL REMAIN UNLESS OTHERWISE NOTED.
12. REMOVE ALL EXISTING EQUIPMENT, EQUIPMENT PADS AND SUPPORTS. PROVIDE A CLEAN, SMOOTH ACCEPTABLE SURFACE TO RECEIVE NEW WORK.
13. PROVIDE AND MAINTAIN EXISTING STRUCTURE. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS.
14. PROVIDE AND MAINTAIN EXISTING STRUCTURE. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS. PROVIDE FLASHING AT ADJOINING WALLS AND ROOFS.
15. REMOVE ALL EXISTING FIRE SPRINKLER LINES AND DEVICES THAT WILL NOT BE REUSED AS PART OF NEW SYSTEM.
16. REMOVE ALL PLUMBING LINES AND CAP BEHIND WALL AND FLOOR FINISHES UNLESS OTHERWISE NOTED.
17. CONSTRUCTION AND FINISHES INDICATED TO BE DEMOLISHED SHALL BE REMOVED IN ITS ENTIRETY INCLUDING ANY OBSTRUCTIONS UNLESS OTHERWISE NOTED.
18. SEE ELEVATIONS AND OTHER DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
19. REMOVE ALL GLAZING AND GLAZING PUTTY FROM ALL EXISTING STEEL WINDOWS.
20. REMOVE ALL CHIPPED, CRACKED, WIPED, PATTERNED AND ANY NON-TRANSPARENT GLAZING FROM WOOD WINDOWS, TRANSOMS, BOSSINGS AND DOORS THAT ARE TO BE REUSED. SCRAPE LOOSE PAINT.



**METRO SOUND**  
117 W Broad Street  
Richmond, Va. 23220

REVISIONS	
TAG	DATE

**walter PARKS ARCHITECT**

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
(644-4761 / 644-4763)

PROJECT # 15 48  
DATE: 2/25/16

117 W BROAD ST  
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