



DEPARTMENT OF  
**PLANNING AND  
DEVELOPMENT  
REVIEW**

**Commission of Architectural Review**  
**Certificate of Appropriateness Application**  
900 E. Broad Street, Room 510  
Richmond, VA 23219  
804-646-6569

**Property** (location of work)

Property Address: 2018 East Broad Street, 304 North 21st Street Current **Zoning:** M-1  
Historic District: Shockoe Valley Old and Historic District

Application is submitted for: (check one)

- Alteration**
- Demolition**
- New Construction**

**Project Description** (attach additional sheets if needed):

This request for a Certificate of Appropriateness addresses the rehabilitation of an existing historic garage and associated site work. See enclosed narrative, project drawings, and photographs.

**Applicant/Contact Person:** Catherine Easterling

Company: Sadler & Whitehead  
Mailing Address: 212 E. Grace Street  
City: Richmond State: VA Zip Code: 23219  
Telephone: (804) 2315299  
Email: catherine@sadlerandwhitehead.com  
Billing Contact? No Applicant Type (owner, architect, etc.): consultant

**Property Owner:** 2018 East Broad LLC

If Business Entity, name and title of authorized signee: Mark Smith, Midas of Richmond  
Mailing Address: 11463 W. Broad Street  
City: Henrico State: VA Zip Code: 23233  
Telephone: (804) 360-2211  
Email: mas@midasofcentralva.com  
Billing Contact? Yes

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: Mark Smith Date: 9/28/2023



# CERTIFICATE OF APPROPRIATENESS

## ALTERATION AND ADDITION CHECKLIST

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**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** 2018 East Broad Street/304 North 21st Street

### BUILDING TYPE

- |                                                         |                                              |
|---------------------------------------------------------|----------------------------------------------|
| <input type="checkbox"/> single-family residence        | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence         | <input type="checkbox"/> accessory structure |
| <input checked="" type="checkbox"/> commercial building | <input type="checkbox"/> other               |
| <input type="checkbox"/> mixed use building             |                                              |
| <input type="checkbox"/> institutional building         |                                              |

### ALTERATION TYPE

- |                                                      |                                                     |
|------------------------------------------------------|-----------------------------------------------------|
| <input type="checkbox"/> addition                    | <input checked="" type="checkbox"/> roof            |
| <input type="checkbox"/> foundation                  | <input type="checkbox"/> awning or canopy           |
| <input type="checkbox"/> wall siding or cladding     | <input checked="" type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input checked="" type="checkbox"/> ramp or lift    |
| <input type="checkbox"/> porch or balcony            | <input type="checkbox"/> other                      |

### WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

**PHOTOGRAPHS** place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

**DRAWINGS** (refer to required drawing guidelines)

- |                                                          |                                                            |                                                                     |
|----------------------------------------------------------|------------------------------------------------------------|---------------------------------------------------------------------|
| <input type="checkbox"/> current site plan               | <input type="checkbox"/> list of current windows and doors | <input checked="" type="checkbox"/> current elevations (all sides)  |
| <input checked="" type="checkbox"/> proposed site plan   | <input type="checkbox"/> list of proposed window and door  | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> current floor plans  | <input type="checkbox"/> current roof plan                 | <input type="checkbox"/> demolition plan                            |
| <input checked="" type="checkbox"/> proposed floor plans | <input type="checkbox"/> proposed roof plan                | <input type="checkbox"/> perspective and/or line of sight           |
| <input type="checkbox"/> legal "plat of survey"          |                                                            |                                                                     |

## **Application for a Certificate of Appropriateness 2018 East Broad Street and 304 N. 21<sup>st</sup> Street**

The three parcels comprising the property under review are located at the corner of North 21<sup>st</sup> and East Broad Streets in the Shockoe Valley Old and Historic District. The property includes a historic garage constructed in 1925, paved parking, and an empty lot to the east of the garage. The Commission of Architectural Review reviewed and conditionally approved plans for the development of the site in February of 2021. That development included the demolition of the front garage addition and the construction of new townhouses along the perimeter of the site. The property is now under contract with a new developer who intends to rehabilitate the garage building and maintain its historic use.

### **Rehabilitation of Existing Garage**

The existing historic garage building operated continuously as an automotive shop until it became vacant in recent years. The building's primary elevation faces Broad Street and is defined by a stepped parapet at the gable end. A non-contributing addition projects from the front of the building. The addition covers an infilled historic opening. The side elevations have multilight steel windows. The west elevation faces an empty lot owned by the adjacent church. The east elevation includes a small, brick boiler room and a non-historic open shed. The rear elevation faces an alley, and includes a non-historic, roll-up garage door. A historic window opening at the rear elevation has been bricked up, but the window and opening remain visible at the building interior. The roof is significantly deteriorated and in need of replacement.

The historic garage will be sensitively rehabilitated for continued use as an automobile repair shop. The applicant is seeking State and Federal historic rehabilitation tax credits for work at the site and will be consulting with the Virginia Department of Historic Resources (DHR) in the upcoming months. **The applicant requests that the Commission allow for administrative approval of any minor changes to the site or building exterior required by the National Park Service or DHR for compliance with tax credit program regulations.**

Proposed work to the building includes:

- Replacing the existing asphalt shingle roof with a new asphalt shingle roof. The new roof will be dark in color and will closely resemble the existing roof. A small amount of insulation may be added that will increase the height of the roof by several inches, but this increase will not project beyond the existing stepped parapet and should have no impact on the historic character of the building.
- Replacing the front and rear roll-up garage doors with new gridded aluminum door assemblies.
- Replacing the non-historic windows at the front addition with multilight aluminum windows that complement the existing steel windows on the main garage building.
- Replacing the non-historic paired doors at the front addition with a new ADA-compliant single door and sidelight.

- Installing a modest entry ramp with a picket railing for ADA-compliant access to the building.
- Preserving and repairing the historic steel windows in kind.
- Installing a new pedestrian egress door at the rear alley immediately adjacent to the existing roll-up door.
- Replacing the metal boiler room roof material with a consistent material (either corrugated metal or standing seam metal).
- Removing the non-historic shed structure adjacent to the boiler room. This space may be used for future mechanical equipment, so a concrete pad will likely be installed in this location.
- In-kind repairs to deteriorated historic masonry. Previously painted masonry will be repainted. Unpainted historic masonry will remain unpainted. The non-historic masonry at the front addition will be painted.
- Installation of a flat wall or painted wall sign at the front of the historic building in a traditional sign location. The signage will not be internally illuminated, and will either be spot lit or halo lit. The enclosed 1954 *Richmond Times-Dispatch* photograph shows multiple signs on the historic building.

The applicant would also like the option to restore the historic window opening at the rear alley elevation.

The proposed adaptive reuse of the building respects the character of the historic garage and focuses on the preservation of character-defining features. Minor changes to the building are compatible and contemporary.

### **Proposed Site Work**

- Repaving and striping existing parking lot. The paved area will be extended to the area immediately east of the building. This area was previously used for parking but has gradually become overgrown. Some minor grading and infill may be needed to reduce sharp slopes on the existing site.
- The low, failing brick wall along portions of the site facing East Broad Street will be replaced with a new, low, brick-faced wall that complements the character of the site.
- Existing curb cuts will be maintained.
- The historic masonry retaining wall will be maintained and repaired in kind. Failing sections may need to be rebuilt.
- The chain link fence and barbed wire will be replaced with a more appropriate powder-coated picket fence. The fence and matching gate will define the side lot. An 8' fence is proposed.
- New shrubs, trees, and planting strips will be added as shown in plan.
- A new dumpster enclosure is proposed for the rear of the site. The enclosure will be brick.
- A new employee break area is proposed adjacent to the alley beside the retaining wall at 21<sup>st</sup> Street. The area will be defined by brick pavers and will have masonry seating walls.
- The large billboard will be eliminated from the site.

2018 East Broad/304 North 21st  
CAR application, October 2023 meeting  
Photos taken September 2023



1. Site and context, view from Broad and 21st Streets



2. Front (south) elevation

2018 East Broad/304 North 21st  
CAR application, October 2023 meeting  
Photos taken September 2023



3. Partial front (south) elevation



4. Non-contributing front addition

2018 East Broad/304 North 21st  
CAR application, October 2023 meeting  
Photos taken September 2023



5. Front (south) and East elevations



6. Overgrown side lot

2018 East Broad/304 North 21st  
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7. Brick boiler room and non-historic shed structure



8. East and North elevations, view from alley



2018 East Broad/304 North 21st  
CAR application, October 2023 meeting  
Photos taken September 2023



9. Alley (north) elevation 2



9a. Detail, masonry damage and inexpert repairs

2018 East Broad/304 North 21st  
CAR application, October 2023 meeting  
Photos taken September 2023



10. Roof detail



11. Brick infill at alley window opening

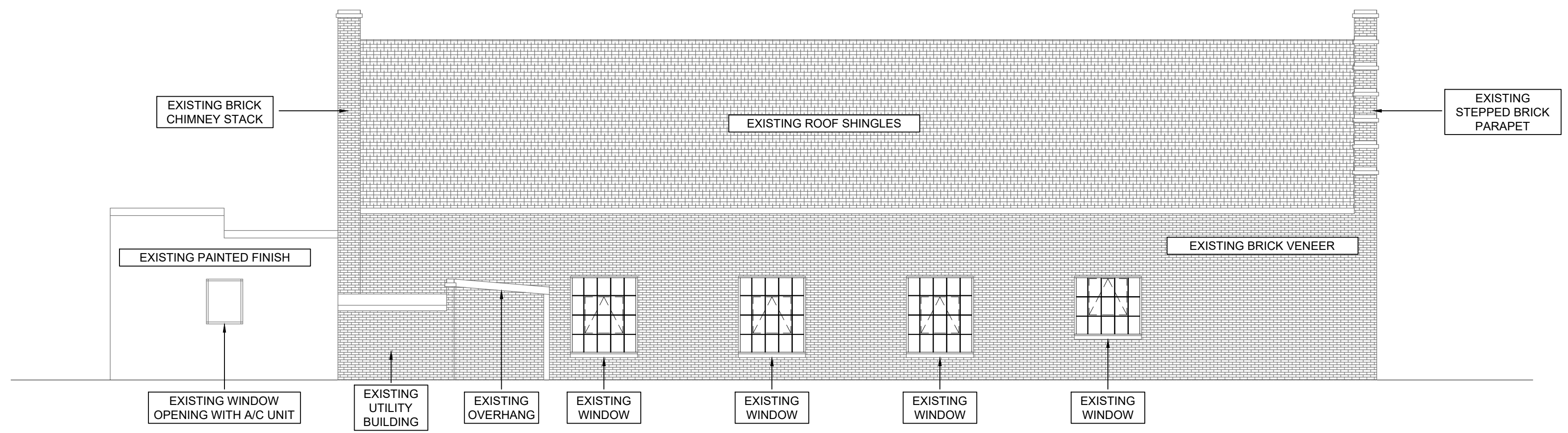
2018 East Broad/304 North 21st  
CAR application, October 2023 meeting  
Photos taken September 2023



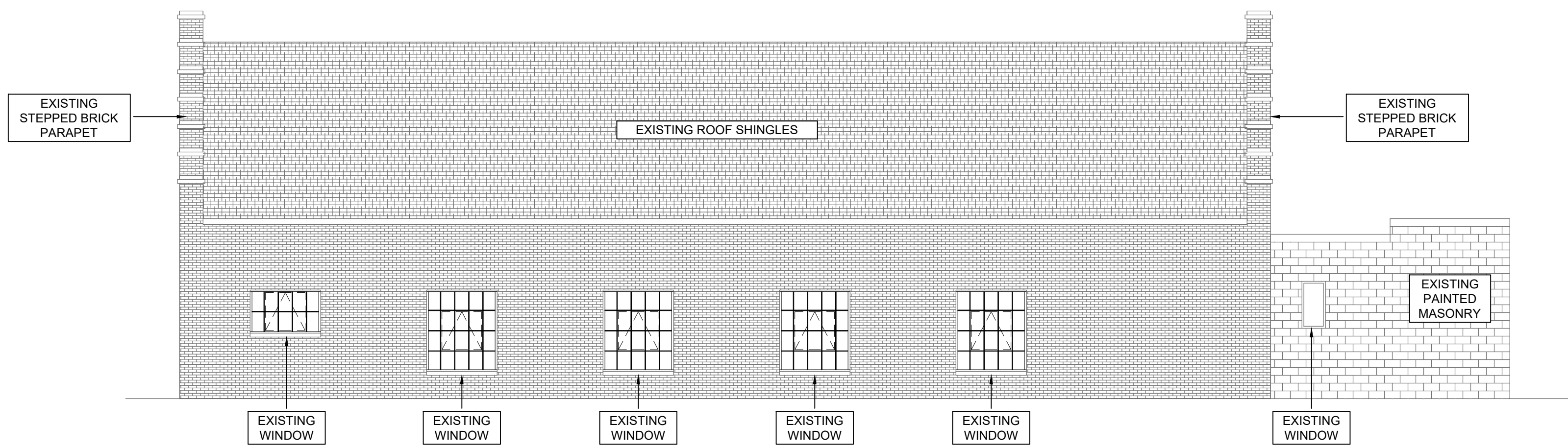
12. Garage west elevation, view from alley

1954 Richmond Times-Dispatch photo





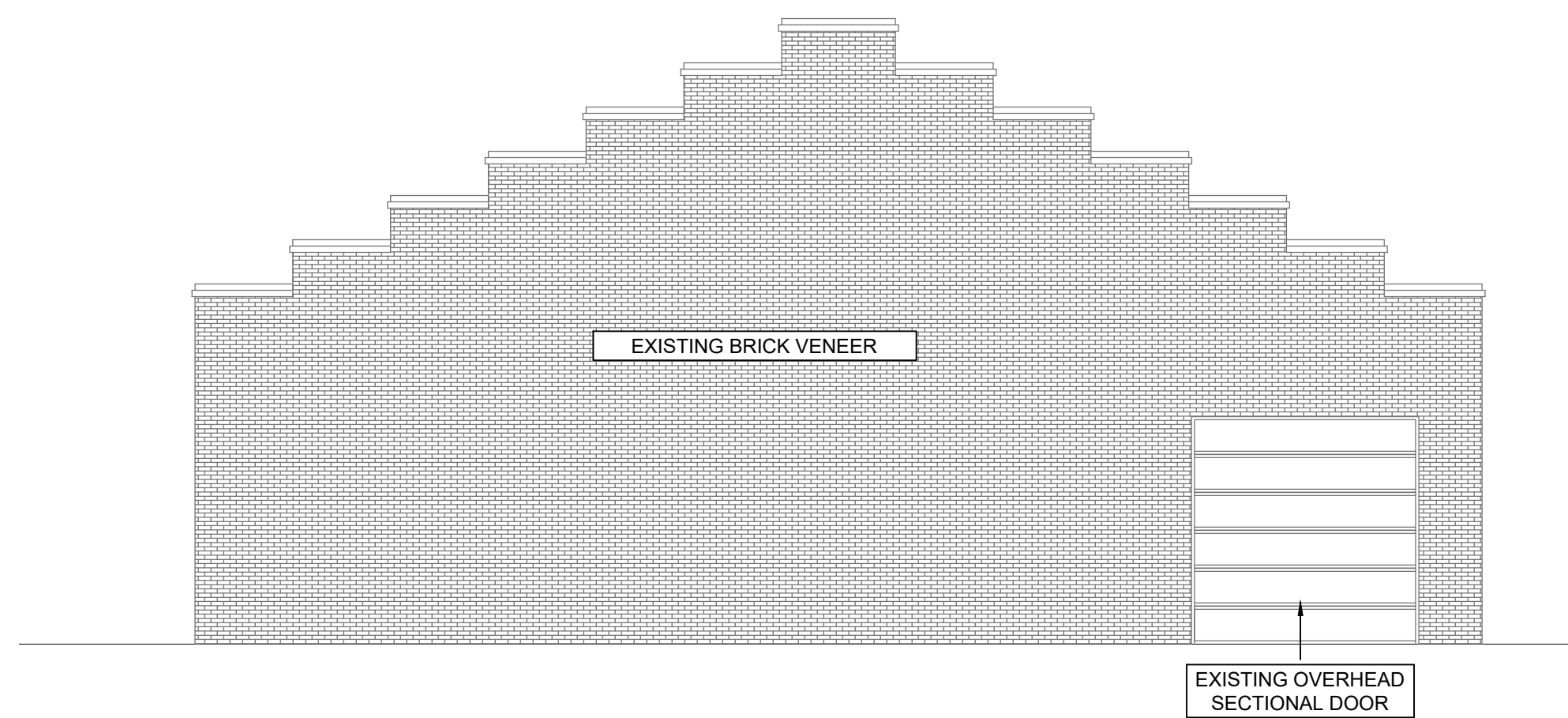
**A** EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0" DRAWING REF: --



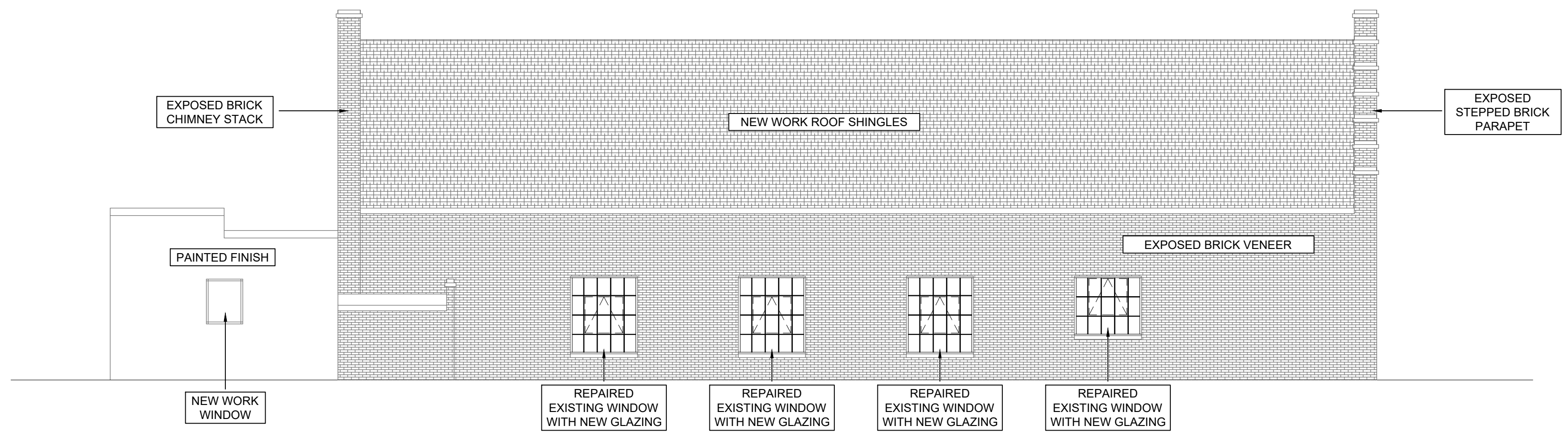
**B** EXISTING WEST ELEVATION  
SCALE: 1/8" = 1'-0" DRAWING REF: --



**C** EXISTING SOUTH ELEVATION  
SCALE: 1/8" = 1'-0" DRAWING REF: --

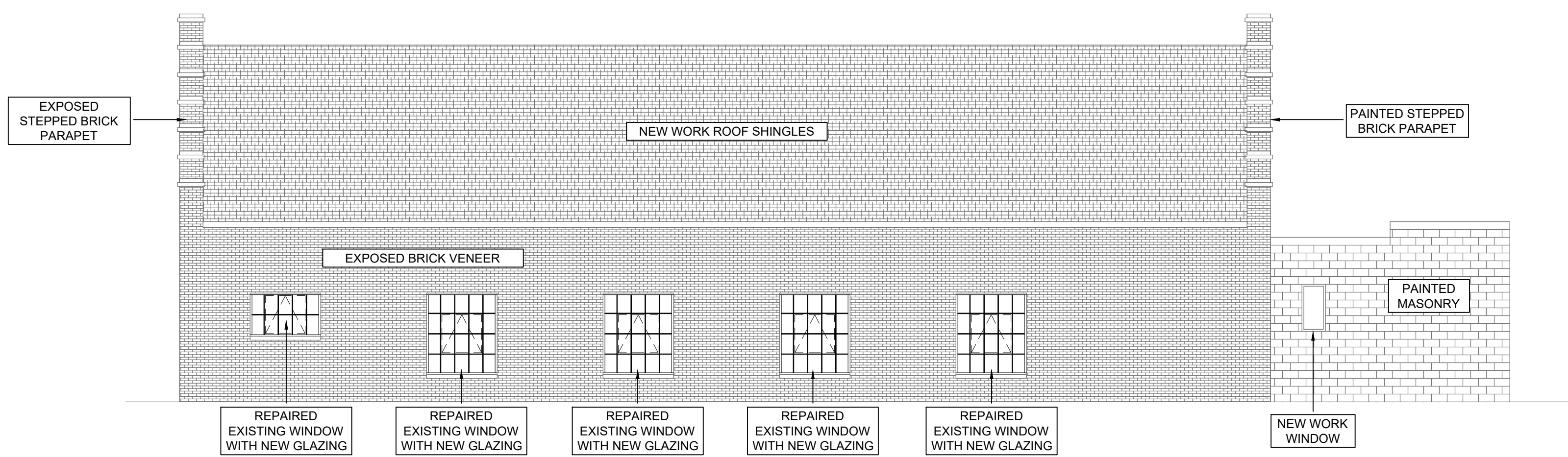


**D** EXISTING NORTH ELEVATION  
SCALE: 1/8" = 1'-0" DRAWING REF: --



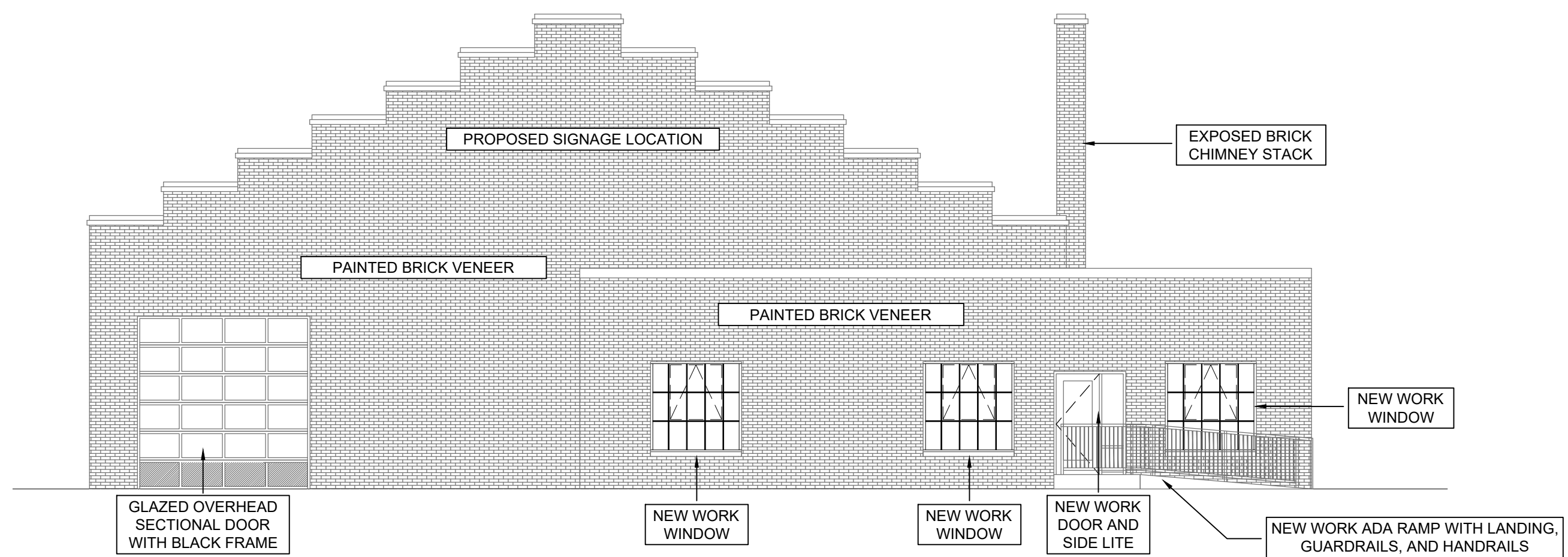
**A** PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0" DRAWING REF: --



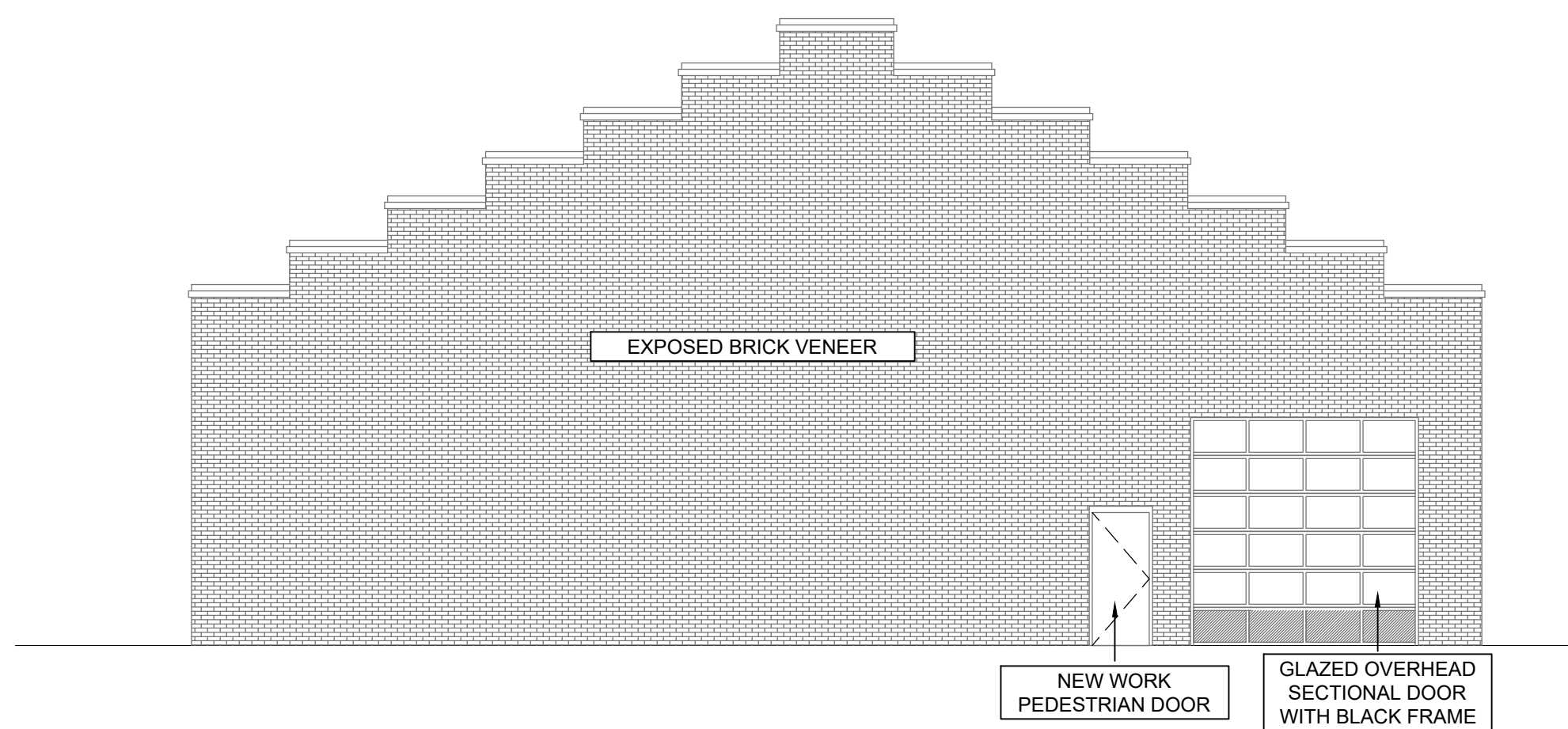
**B** PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0" DRAWING REF: --



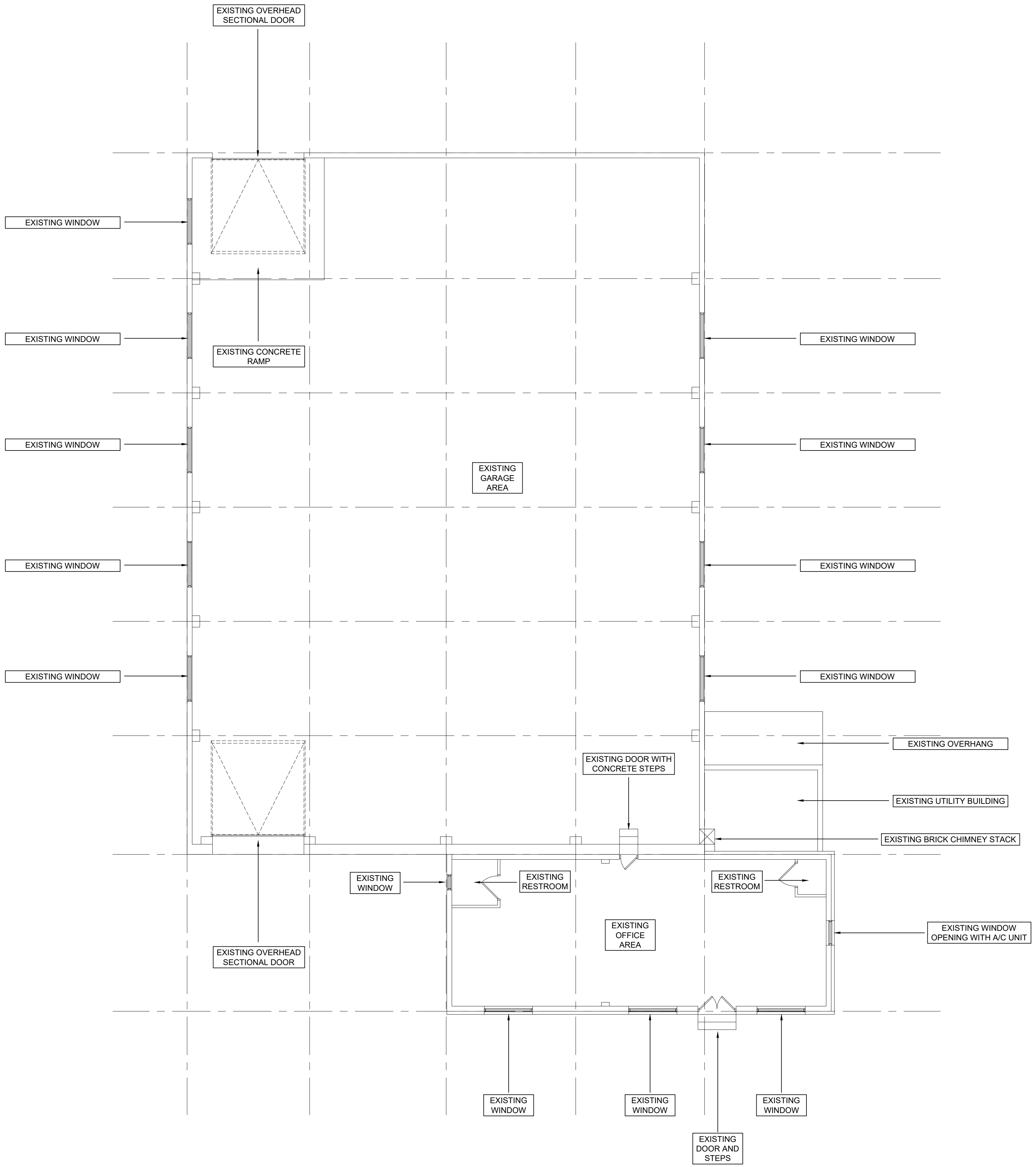
**C** PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0" DRAWING REF: --



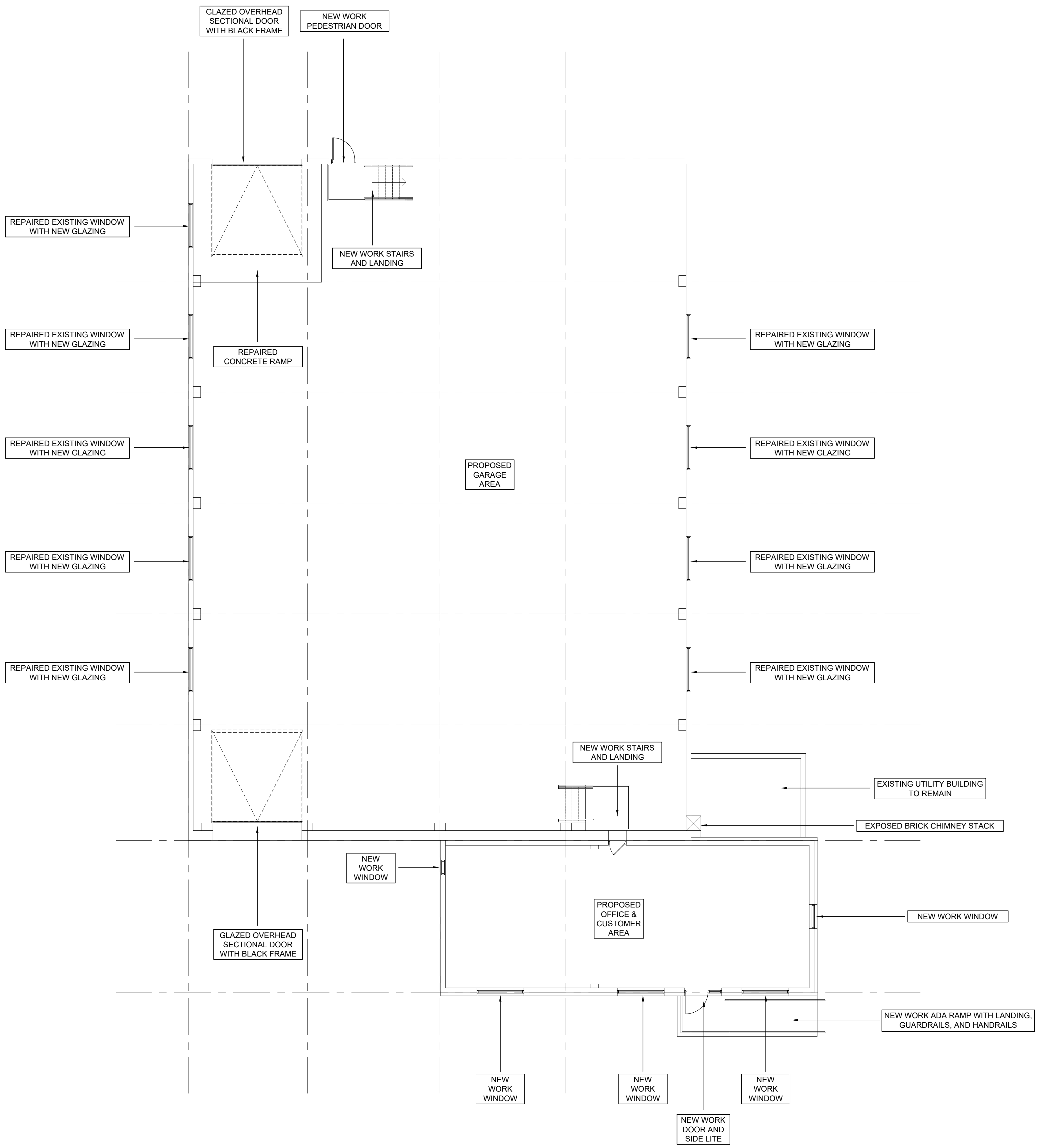
**D** PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0" DRAWING REF: --



**A** EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0" DRAWING REF: --



**A** PROPOSED FLOOR PLAN  
 SCALE: 1/8" = 1'-0" DRAWING REF: --



# THEME IMAGES

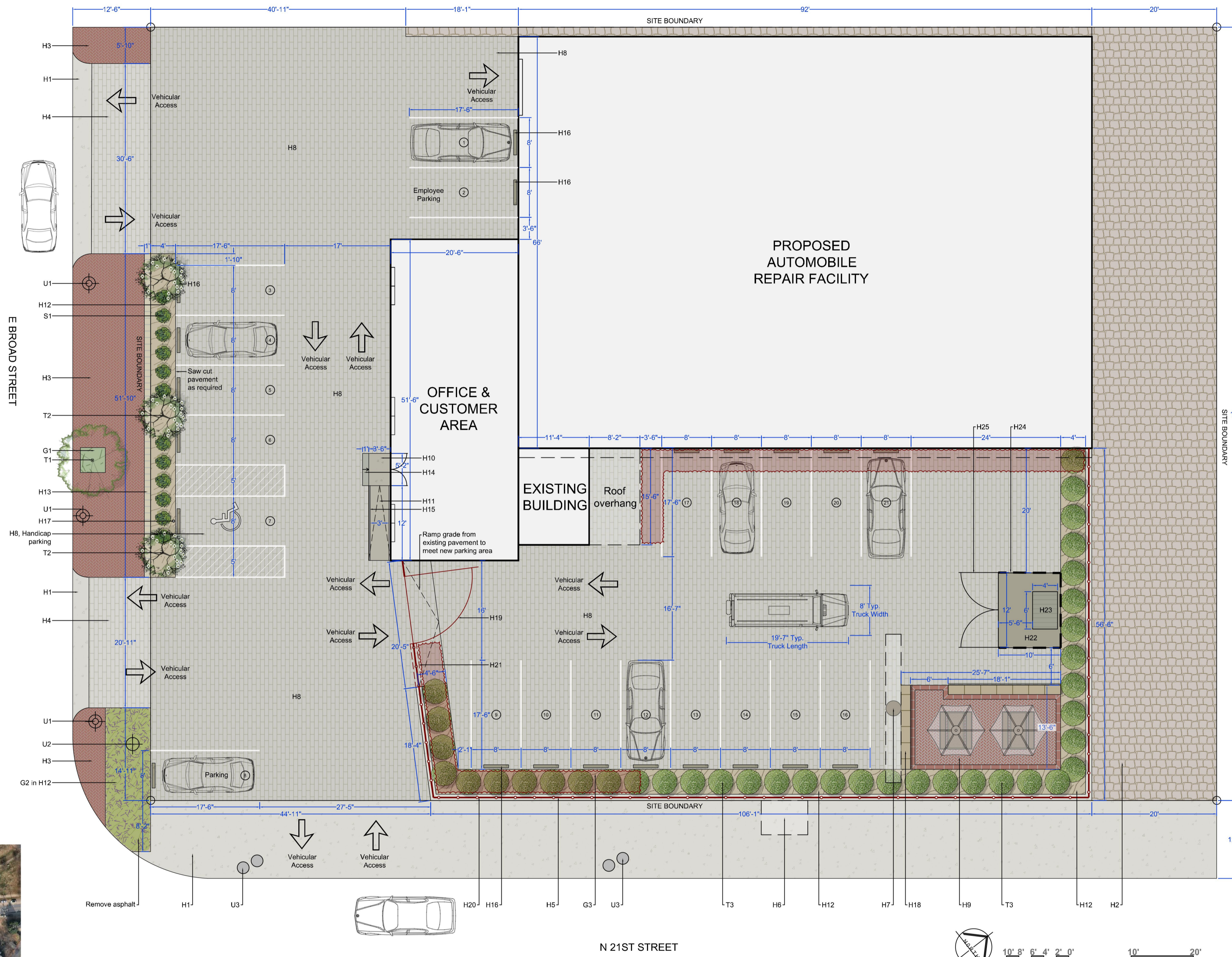


# PLANT IMAGES

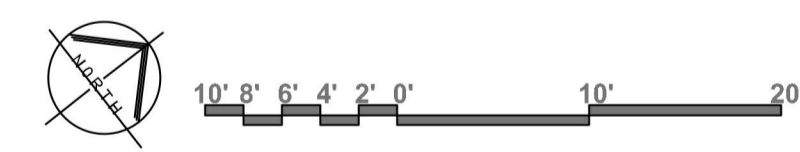


*Thuja standishii x plicata 'Green Giant'*  
Green Giant Arborvitae

# LOCATION MAP: NTS



LEGEND			
Icon	Code	Name	Size
<b>Groundcover planting</b>			
	G1	Existing landscape to remain	-
	G2	Small shrubs and perennials	-
	G3	Remove existing scrub and over growth	-
<b>Shrub planting (in mulch)</b>			
	S1	Evergreen shrubs	3 gal.
<b>Trees</b>			
	T1	Existing tree to remain	-
	T2	Flowering trees	8'-10' HT
	T3	<i>Thuja standishii x plicata 'Green Giant'</i> Green Giant Arborvitae (38)	6'HT - Cont.
<b>Hard landscape</b>			
	H1	Existing hardscape/concrete to remain	-
	H2	Existing cobble driveway to remain	-
	H3	Existing brick pavers to remain	-
	H4	Existing driveway pavers to remain	-
	H5	Existing brick retaining wall	-
	H6	Existing bus stop	-
	H7	Existing signage board	-
	H8	Paved parking lot	-
	H9	Brick pavers employee break area	-
	H10	Landing	-
	H11	Handicap ramp	-
	H12	Mulch	-
	H13	Replace existing brick wall with new brick faced wall to match architectural integrity of site	+/- 30"HT
	H14	Steps	-
	H15	Handrail for handicap ramp	-
	H16	Parking stops	-
	H17	Signage for handicap parking spot	-
	H18	Seating wall	21"HT
	H19	Existing gate to be removed	-
	H20	Existing fencing to be removed	-
	H21	Existing brick retaining wall to be removed	-
	H22	Concrete dumpster pad	-
	H23	Dumpster	-
	H24	Dumpster enclosure fence	-
	H25	12' Wide dumpster enclosure gate	-
<b>Utilities / Other</b>			
	U1	Existing street light	-
	U2	Existing traffic light	-
	U3	Existing power pole	-



# CONCEPT PLAN

**MIDAS STORE #6 RICHMOND - 304 N 21st St, Richmond, VA 23223**  
 09-15-2023 | Scale: 1" = 10'-0" (24x36in) | Drawn by: SOG | Design by: Steven Cohen | Rev: 3 | Issued for client feedback

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**GENERAL NOTES**  
 • All dimensions to be thoroughly checked on site and any or all discrepancies to be reported to the author of this drawing immediately before any work is put to hand.  
 • All work to be executed by competent persons qualified for the specific trade.  
 • Storm water management as per engineers design & specification.  
 • All structural and retaining elements to be designed & specified by engineer.  
 • Plant species may be substituted for a similar species, depending on availability at time of installation.

NO	DATE	REVISION
02	09/15	Dumpster Added
03	09/15	Amend dumpster enclosure

PRINT NOTICE  
 Ensure correct page size is selected. (Refer to file name for page size)  
 To ensure correct scale, print 'ACTUAL SIZE' in PDF selected 'FIT TO PAGE'.

