

Commission of Architectural Review Submission Application

City of Richmond, Room 510 – City Hall 900 East Broad Street, Richmond, Virginia 23219 PHONE: (804) 646-6335 FAX: (804) 646-5789

| 12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR I | PROCESSING YOUR SUBMISSION |
|---|---|
| LOCATION OF WORK: 2308 Jefferson Ave | DATE: 12/28/15 |
| OWNER'S NAME: 2308 Jefferson Ave RVA LLC (formally Richmond Housing LLC) | TEL NO.: 804-414-537 |
| AND ADDRESS: PO Box 6784 | EMAIL: sarah.krumbein@yahoo.com |
| CITY, STATE AND ZIPCODE: Richmond, VA 23230 | |
| ARCHITECT/CONTRACTOR'S NAME: Sebastian Quinn | TEL. NO.: 917-547-0634 |
| AND ADDRESS: 81 Vanderbilt Ave | EMAIL: sq@sebastianquinn.com |
| CITY, STATE AND ZIPCODE: Brooklyn, NY 11205 | |
| Would you like to receive your staff report via email? Yes No | |
| REQUEST FOR CONCEPTUAL REVIEW | |
| I hereby request Conceptual Review under the provisions of Chapter 114, Art Richmond City Code for the proposal outlined below in accordance with understand that conceptual review is advisory only. | ticle IX, Division 4, Section 114-930.6(d) of the h materials accompanying this application. I |
| APPLICATION FOR CERTIFICATE OF APPROPRIATE | NESS |
| I hereby make application for the issuance of a certificate under the provisions Historic Districts) of the Richmond City Code for the proposal outlined below accompanying this application. | s of Chapter 114, Article IX, Division 4 (Old and w in accordance with plans and specifications |
| DETAILED DESCRIPTION OF PROPOSED WO STATE HOW THE DESIGN REVIEW GUIDELINES INFORM PROPOSED. (Include additional sheets of description if necessary, and the project. The 12 copies are not required if the project is being reviewed for instruction sheet for requirements.) | THE DESIGN OF THE WORK 12 copies of artwork helpful in describing |
| Please see attached second page for further description We are requesting a 2 year ruling. | |
| Signature of Owner or Authorized Agent: X Name of Owner or Authorized Agent (please print legibly): Sarah Kı | rumbein |
| (Space below for staff use only) RECELVED | |
| Received by Commission Secretary DEC 2 8 2015 2pm APPLICAT | TON NO |
| DATE SCHEDUL | ED FOR |

Note: CAR reviews all applications on a case-by-case basis.

Revised 10-02-2014

Committee of Architectural Review January 26, 2015 Regarding: 2308 Jefferson Avenue

2308 Jefferson Ave is a proposed new construction mixed-use project in the Union Hill UB district.

Site Orientation

The building's front façade is on Jefferson Avenue's obtuse street angle, the front left side of the façade will set the building back off the left front property line by approximately 18-19'. The right corner of the front façade will be at the property line. The project will be built to the property line on the left and right sides of the lot and will have a 20' set back at the rear property line.

Materials & Colors

The flat lap siding on the front and the back of the building as well as the panels on the sides of the building will be a light mist color. All exterior trim will be white. The storefront will be aluminum. The railings on the side of the building will be grey and white. The visible shingle roof will be an Estate Gray shingle.

Façade

As per the new construction storefront facades guidelines we will use large storefront windows and the storefront façade which does not have any large blank walls. We proposed paired operable double hung windows on the second and third floors in order to optimize the interior floor plan and maximize light.

After the preliminary review we have submitted further detail of the cornice and corner detail. We have two cornice options.

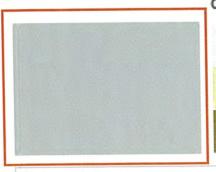
Option A will have a simple cornice with a 5" top detail. The entire cornice detail will terminate in line with the corner of the building. Option B has a 5" top detail as well but the lower details which will terminate short of the corner of the building, revealing a small amount of siding. Both Option A & B have a signboard above the storefront.

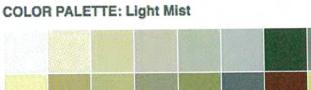
Context

As per the request of the committee we have provided a side contest image to show the view from the corner of 24^{th} Street and Jefferson Avenue.

The proposed materials, window, floor plan, façade, cornice detail and context images along with additional information is attached for your review.

Smooth Lap Siding





Thickness: 5/16"

Weight: 2.50lbs./sq. ft.

Length: 12 00' plank

| WIDTHS | 5.250" | 6.250" | 7.250" | 8.250" |
|------------|--------|--------------------|--------|--------|
| EXPOSURE | 4.00" | 5.00 st | 6.00" | 7.00" |
| COLORPLUS® | | • | | |
| PRIMED | • | | | |

Beaded Cedarmill®







Thickness: 5/16"

Weight: 2.40lbs./sq. ft.

Length: 12.00' plank 8.250" WIDTHS 7.00" **EXPOSURE COLORPLUS®** PRIMED

HardieTrim®

HardieTrim® Boards Products Description

HARDIETRIM® 5/4 BOARDS

HardieTrim 5/4 boards is a decorative non-load bearing trim product. HardieTrim 5/4 boards is 1-in. thick and comes in 10-ft. and 12-ft. lengths, based on product availability. In addition to frieze, fascia, rake, window, door, and corner details, HardieTrim 5/4 boards may be used to construct light blocks, column wraps and decorative scroll work. Available in commonly-used nominal widths from 4 in. to 12 in., HardieTrim 5/4 boards comes finished with either with the PrimePlus® factory primer and sealer or with ColorPlus® Technology. The ColorPlus coating is a factory-applied, oven-baked finish available on a variety of James Hardie® siding and trim products. See your local dealer for details and availability of products, colors and accessories.

HARDIETRIM® 4/4 BOARDS

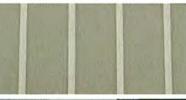
HardieTrim 4/4 boards is a decorative non-load bearing trim product. HardieTrim 4/4 boards is ³/₄-in. thick and comes in 10-ft and 12-ft. lengths. HardieTrim 4/4 boards may be used for frieze, fascia, rake, window, door, and corner details where the look of a ³/₄-in. product is desired. HardieTrim 4/4 boards is available in commonly-used nominal widths from 4 in. to 12 in. See your local dealer for details and availability of products and accessories.

HARDIETRIM® BATTENS

HardieTrim Battens are a decorative, non-load bearing trim product. HardieTrim Battens are 3/4 in. thick, 2-1/2 in. wide, and come in 12' lengths. See your local dealer for details and availability of product colors and accessories.



Smooth HardieTrim 5/4, 4/4 Boards



Left: HardieTrim Batten board – Smooth with HardiePanel* Vertical Siding for Board & Batten look. Below: A Complete James Hardie Exterior – Close-up on trim products.





Rustic HardieTrim 5/4, 4/4 Boards



HardieTrim Batten board - Rustic and smooth

ColorPlus TIP: HardieTrim 4/4, 5/4 boards with ColorPlus Technology is shipped with a protective laminate slip sheet.

James Hardie recommends keeping the protective sheet in place during cutting and fastening to reduce damage to the boards. Remove the protective sheet only after installing the boards and filling the nail holes with a colored touch-up pen.



MARNING

DO NOT caulk nail heads when using ColorPlus products.

Refer to the ColorPlus touch-up section





| | | | 4 ft. x 10 ft. | 20 | 2.5 |
|--------|--------------|-----------|------------------|-------------|----------|
| | | | 4 ft. x 9 ft.* 4 | 50 5 | 2.8 |
| | | 5/16 in. | 4 ft. x 8 ft. | 20 | 3.2 |
| SMOOTH | Evening Blue | Thickness | Size | Pes./Pallet | Pos./8g. |

NEW

Available Colors

View all HardiePanel Vertical Siding Products

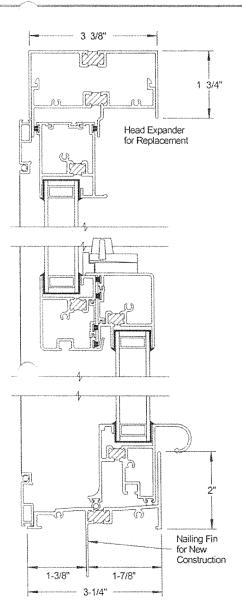
of fl. y 9.41. Handle Pand vertical scient cale positifier connect and exclavação et 121. Patienter and Propins distints



PRODUCTS

Double Hung

West-Prime Commercial Aluminum Series



Commercial Aluminum Double Hung H-C45

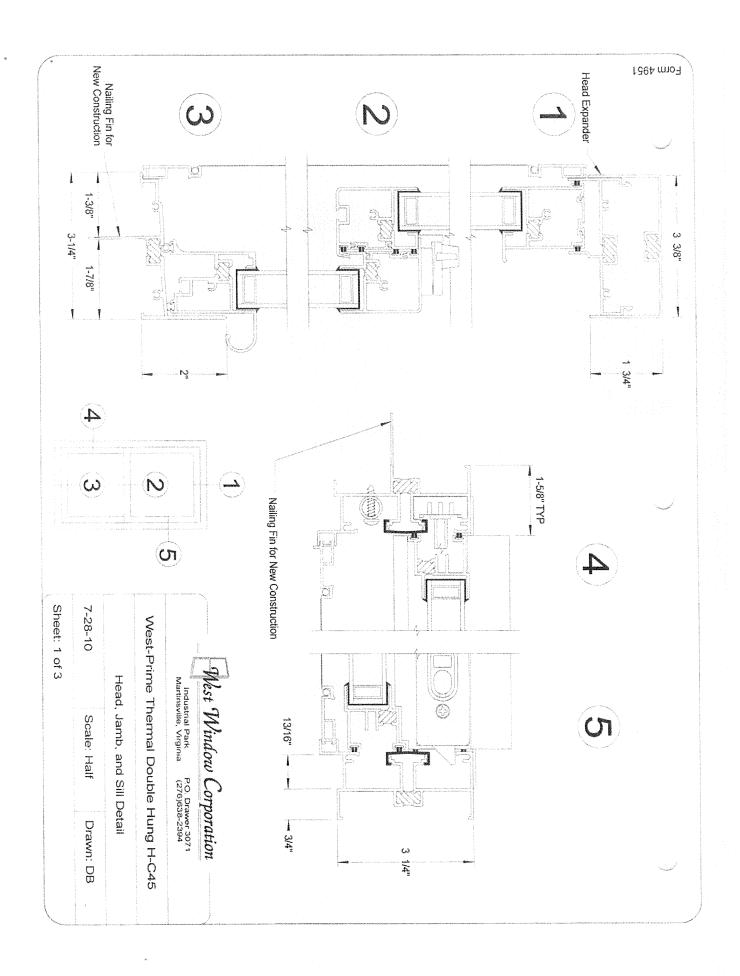
Standard Features

- 3-1/4" Frame Depth
- T-6063 Aluminum Extrusions with .062" walls
- Thermally Broken Frame and Sash
- Factory Glazed with 7/8" Insulated Glass with Super Spacer
 warm edge spacer technology for superior thermal
 performance.
- Zinc die-cast Cam Locks, 2 locks standard over 24" in width
- Replacement or New Construction Frames
- Finseal Weatherseals on both sashes with two rubber bulbs at the frame sill, and four weatherstrips at the interlock.
- Both sashes tilt in for easy cleaning if desired.
- Architectural paint finish meets AAMA 2603. Colors available for normal lead times: White, Bronze, and Tan. For large projects, custom colors are available on a special order basis – please contact our office for details.
- Concealed Spiral Balances for quiet, low-friction operation. Commercial Heavy Duty Balances are available for most large size windows.
- Strong Extruded Aluminum bottom lift rail
- Available with nail fin for new construction or without nail fin for replacement applications.
- Sill Angle for sloped sill replacement applications and Head Expanders are available.

Optional Features

- Extruded Aluminum Full or Half Screen for long service life
- Numerous high performance glazing options
- Mullion for multiple units
- Many Grid Between Glass (GBG) configurations are available for greater design flexibility and low maintenance.
- Extruded Aluminum Muntin to divide top sash is especially useful for concealing drop type ceilings.

The West-Prime Thermal Double Hung window is ideally suited for commercial use. Designed to handle the demanding requirements of commercial quality windows, the West-Prime Thermal maintains a pleasing, easy-to-operate residential look and feel. The West-Prime Commercial Aluminum Series, consisting of Double Hung and Fixed windows, are a perfect complement to the Westco Commercial Aluminum Series, both of which can be custom manufactured to your specifications, delivered in a timely manner, and can help make your proct a complete success.



EC 97911-055

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

FEATURES

FEATURES

- Economical
- 1-3/4" sight line with a 3-9/16", 4-1/2" or 6" depth
- Front or Center (4-1/2") glass applications
- Outside glazed
- Screw Spline, Shear Block or Type-B fabrication
- SSG option
- Infill options up to 1-1/8"
- Thermal break via. Polymer glazing clip
- Permanodic[™] anodized finishes in seven standard choices
- Painted finishes in standard and custom choices

OPTIONAL FEATURES

- Two color capability
- 1-1/4" perimeter sight line
- Project specific U-factors (See Thermal Charts)

PRODUCT APPLICATIONS

- Storefront, Ribbon Window or Punched Openings
- Low to mid-rise
- Single-span
- Curved frames
- Integrated entrance framing allowing Kawneer entrances or other specialty entrances to be included
- Kawneer windows or GLASSvent[™] for storefront are easily incorporated

For specific product applications, consult your Kawneer Representative



EC 97911-055

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|---------------------------|-------|
| BASIC FRAMING DETAILS | 9-20 |
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| GLASSvent™ FOR STOREFRONT | 23,24 |
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LAWS AND BUILDING AND SAFETY CODES GOVERNING THE DESIGN AND USE OF GLAZED ENTRANCE, WINDOW, AND CURTAIN WALL PRODUCTS VARY WIDELY, KAWNEER DOES NOT CONTROL THE SELECTION OF PRODUCT CONFIGURATIONS, OPERATING HARDWARE, OR GLAZING MATERIALS, AND ASSUMES NO RESPONSIBILITY THEREFOR.

Metric (SI) conversion figures are included throughout these details for reference. Numbers in parentheses () are millimeters unless otherwise noted.

The following metric (SI) units are found in these details:

m - meter

cm - centimeter

mm - millimeter

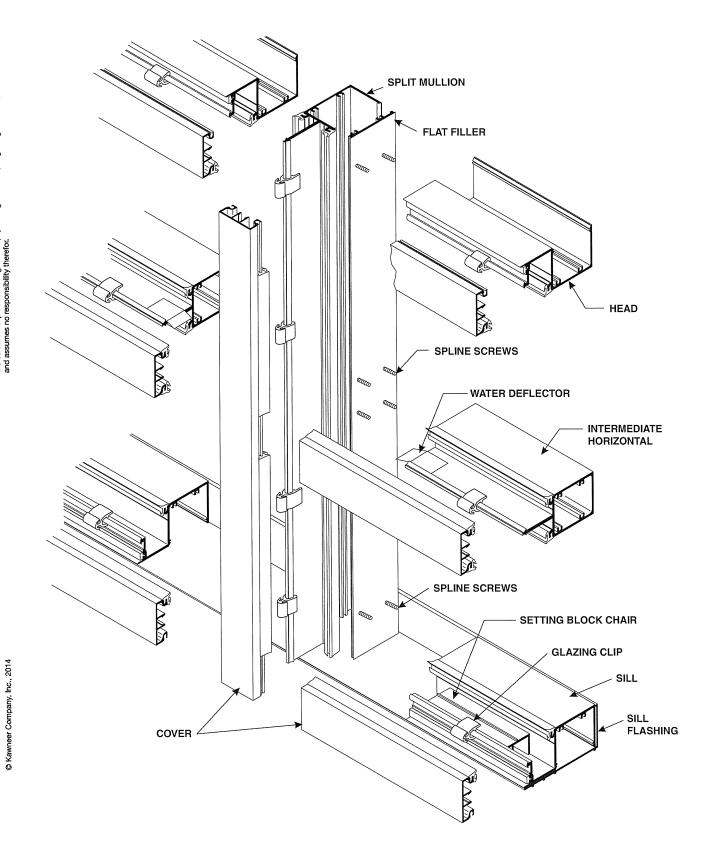
s - second

Pa - pascal

MPa - megapascal

Kawneer reserves the right to change configurations without prior notice when deemed necessary for product improvement.









Supreme® Shingles

Supreme® three-tab shingles—a smart choice when you need to balance curb appeal, weather resistance and value. Supreme shingles come with a 25-Year Limited Warranty*, 60-MPH Wind Resistance Limited Warranty*, and Class A UL Fire Rating-the industry's highest. Algae Resistance is also available on a regional basis. Visit roofing.owenscorning.com to learn more.

ENERGY STAR® is for roofs too



Similar to the energy-efficient appliances in your home, roofing products can provide energy-saving qualities. Owens Corning™ Supreme roofing shingles in Shasta White can help reduce

your energy bills when installed properly. These shingles reflect solar energy, decreasing the amount of heat transferred to a home's interior-and the amount of air conditioning needed to keep it comfortable. Actual savings will vary based on geographic location and individual building characteristics. Call 1-800-GET-PINK® or 1-888-STAR-YES for more information.

Product Attributes

Warranty Length*

25-Year Limited

Wind Resistance Limited Warranty*

Algae Resistance Limited Warranty*/**

Tru PROtection* Non-Prorated Limited Warranty* Period

5 Years

Product Specifications

| Nominal Size | 12" x 36" | |
|---------------------|-------------|--|
| Exposure | 5" | |
| Shingles per Square | 80 | |
| Bundles per Square | 3 | |
| Coverage per Square | 100 sq. ft. | |

Applicable Standards and Codes

ASTM D228

ASTM D3018 (Type 1)

ASTM D3462

ASTM D3161 (Class F Wind Resistance)

ASTM D7158 (Class H Wind Resistance)

ASTM E108/UL 790 (Class A Fire Resistance)

Florida Product Approval‡

ICC-ES AC438#

Miami-Dade County Product Approval^{††}

UL ER2453-01##

Shasta White color meets ENERGY STAR* requirements for initial solar reflectance of 0.25 and 3-year aged solar reflectance of 0.15; 2013 California Building Energy Efficiency Standards; Title 24, Part 6 requirements; Rated by the Cool Roof Rating Council (CRRC).

COLORS AVAILABLE IN ALL AREAS





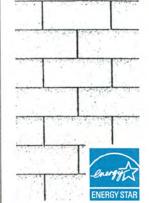
Driftwood[†]



Desert Tan¹



Brownwood[†]



Shasta White



Aspen Gray



Onyx Black[†]



Estate Gray[†]



2308 JEFFERSON AVE.

CAR SET DECEMBER 22, 2015 **ABBREVIATIONS**

PARTITION TYPE GAUGE GALLON GALVANIZED GRAB BAR POLYVINYL CHLORIDE PAVEMENT POWER ANCHOR BOLT ADJUSTABLE or ADJACENT GENERAL CONTRACTOR ADMIN AFF AGG ALT **ADMINISTRATION** GENERAL GROUND FAULT INTERCEPTOR ABOVE FINISHED FLOOR GLASS FIBER REINFORCED PLASTIC GROUND GOVERNMENT GALLONS PER MINUTE ALT ALUM OF AMP ANCH ANOD APPROX ASSOC AUTO AV AVG RESILIENT WALL BASE RETURN AIR RAD-RCP ANCHOR GYPSUM RADIUS ANODIZED REFLECTED CEILING PLAN APPROXIMATE ROOF DRAIN H OF HORIZ HORIZONTAL
HB HOSE BIB
HC HOLLOW COR
HDCP HANDICAP ASSOCIATE or ASSOCIATION RECEP RECT REF REFR REG REINF RELOC REPRO REQ REV RH RM HOSE BIB HOLLOW CORE HANDICAP REFRIGERATOR HDWE HGT or HT HARDWARE REGISTER REINFORCED or REINFORCING HEIGHT RELOCATE(D) REPRODUCE(D) BOTTOM OF HOLLOW METAL HORSE POWER REPRODUCE(D)
REQUIRED
REVISION of REVISED
RIGHT HAND
ROOM
ROUGH OPENING BORROW LITE BLDG BLKG BRG BSMT BTU BTWN BUR HEATER HEATING, VENTILATION, and AIR BASEMENT BRITISH THERMAL UNI RESILIANT SHEET FLOORING BETWEEN RESILIANT TILE FLOORING BUILT-UP ROOF INSIDE DIAMETER INCH or INCHES SOUTH SUPPLY AIR INCORPORATED INCANDESCENT INFORMATION INSULATION INTERIOR SOILD CORE SEAT COVER DISPENSER CUBIC FEET per MINUTE SCHEDULE(D)
SMOKE DETECTOR or SOAP
DISPENSER CORNER GUARD ISOL ISOLATION CAST IRON
CIRCLE
CONTROL JOINT
CENTER LINE SPANDREL GLASS SHELF(VING) or SINGLE HUNG JANITOR JOIST JOINT SHOWER SHEET SIMILAR SHR SHT SIM SND SPEC SQ SQ FT SS STA STD STL STD STL STD STR SUPP SUPP SUSP SUSP SYM SYS SANITARY NAPKIN DISPENSER CONCRETE MASONRY UNIT CLEAN OUT OF COMPANY COLUMN KNOCK DOWN SPECIFICATION(S) KILOWATT SQUARE SQUARE FEET STAINLESS STEEL OF SOLID SURFACE STREET STATION COMPUTER LAB LAM LAV LB or# LABORATORY LAMINATE(D) LAVATORY POUND CONNECTION STANDARD CONSTRUCTION LH LIN FT LLH LLV LOC LT LEFT HAND(ED) LEFT HAND(ED)
LINEAL FEET
LONG LEG HORIZONTAL
LONG LEG VERTICAL
LOCATION
LIGHT STRUCTURE or STRUCTURAL SUPPLEMENT SURFACE SUSPENDED or SUSPENSION CENTER CUBIC FOOT SWITCH or SMOKE WALL CUBIC INCH SYMMETRICAL M MAS MATL MAX MC MCH MEMB MEZZ MFR MH MIN MISC MO MTD MTG MTL MULT SYSTEM MASONRY MATERIAL MAXIMUM MEDICINE CABINET T&B T&G T/O TEL TOP AND BOTTOM TONGUE AND GROOVE TOP OF MEDIUM DENSITY FIBERBOARD DEPARTMENT MECHANICAL DETAIL DIAMETER DIAGONAL DIMENSION MEMBRANE TEMP
THER
THK
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TRANS TEMPERATURE or TEMPERED MEZZANINE THERMOSTAT MANUFACTURER MANUFACTURER
MAN HOLE
MINIMUM
MISCELLANEOUS
MASONRY OPENING
MOUNTED
MOUNTING THRESHOLD THROUGH DISPENSER or DISPOSA DISTANCE TOP OF CONCRETE TOP OF MASONRY DIVISION DOWN DOOR OPENING DOOR TOP OF PLATE METAL MULTIPLE DS DWG DRAWING TREATED NOT IN CONTRACT TUBE STEEL NO or # NUMBER ELEC ELEV EMER ENCL ENG EQ EQUIP EW EWC ELEVATOR or ELEVATION OVERALL UNDER COUNTER EMERGENCY ENCLOSURE ON CENTER UNIT HEATER ON CENTER
OUTSIDE DIAMETER
OFFICE
OPPOSITE HAND
OPENING
OPPOSITE
ORIGINAL UNDERWRITER'S LABORATORY UNLESS NOTED OTHERWISE EQUIPMENT EACH WAY ELECTRIC WATER COOLER VALVE or VOICE or VOLT EX or EXIST EXC VAC VAR VCT VERT VEST VIF VWC EXCAVATE OUNCE VACUUM VARIABLE VINYL COMPOSITION TILE PARTICAL BOARD PERFORATED PERPENDICULAR PROPERTY LINE OF PLATE VERTICAL
VESTIBULE
VERIFY IN FIELD
VINYL WALL COVERING FIRE ALARM FABRICATED PLMBG FLOOR DRAIN PLUMBING PLYWD PNL POL PR PLYWOOD PANEL POLISHED PAIR PREFABRICATE(D) PRELIMINARY PREPARE(ATION) FINISH(ED) FIXTURE WOOD WIDE FLANGE FLUORESCENT FOUNDATION
FOUNDATION
FEET per MINUTE
FIRE RETARDANT TREATED
FEET or FOOT
FOOTING PRODUCT WATER HEATER

PROJ PROP PSF PSI PT

PTD

PTN

FURNISH or FURNITURE FURRING

PROJECT

PROPERTY

PROPERTY
POUNDS per SQUARE FOUT
POUNDS per SQUARE INCH
PRESSURE-TREATED
PAINTED or PAPERTOWEL
DISPENSER/DISPOSAL
PARTITION

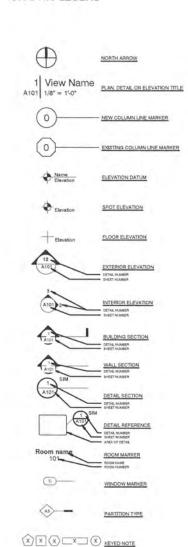
WHEEL CHAIR

WATER PROOF

YARD

WELDED WIRE FABRIC

GRAPHIC LEGEND



REVISION CLOUD AND MARKER

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

GENERAL PROJECT NOTES

- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH NEW YORK CITY BUILDING CODE.
- 2. ALL GYPSUM BOARD PARTITIONS SHALL BE PROPERLY BRACED
- WHERE GYPSUM BOARD AND METAL STUD PARTITIONS MEET STRUCTURAL DECK-CONSTRUCTION OR VERTICAL STRUCTURAL ELEMENTS, PROVIDE SUP OR CLUSHION TYPE JOINTS BETWEEN METAL FRAMING AND STRUCTURE AS RECOMMENDED BY MANUFACTURER TO PREVENT TRANSFER OF STRUCTURAL LOADS OR MOVEMENT TO
- STUD SPACING AND CONNECTION DETAILS TO COMPLY WITH MANUFACTURERS DETAILS AND WARRANTY GUIDE.
- CÓMPLY WITH APPLICABLE REQUIREMENTS OF ASTMIC 840 AND GA 216 FOR APPLICATION AND FINISHING OF GYPSUM BOARD, UNIESS OTHER, MORE STRINGENT REQUIREMENTS ARE INDICATED.
- 6. COMPLY WITH APPLICATION REQUIREMENTS OF ASTMIC 754 FOR INSTALLATION OF STEEL FRAMING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TAPING AND SPACKLING OF GYPSUM BOARD INSTALLED, AS WELL AS PATCHING AND REPAIRING ALL WALLS CEILINGS AND COLUMNS TO REMAIN AS EXISTING.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE AIA GENERAL CONDITIONS FOR CONSTRUCTION.
- UPON COMPLETION OF THE WORK, THE G.C. IS RESPONSIBLE FOR THE FINAL
 ADJUSTMENTS OF WINDOWS, DOORS, HARDWARE, DEVICES, AND THOSE ITEMS DEEMED
 BE THE ARCHITECT TO MAKE THE PROJECT HABITABLE.
- APPROVAL OF MINOR CHANGES OR CLARIFICATION TO PLANS MAY BE ACCOMPLISHED BY ISSUANCE OF REVISED PLANS, PARTIAL SKETCH, OR INITIALING AND DATING OF CHANGE BY THE ARCHITECT ON THE EXISTING PLANS.
- 11. ALL WORK MUST BE LEVEL AND/OR PARALLEL TO EXISTING ELEMENTS AS SHOWN ON
- 12. THE ARCHITECT AND/OR DESIGNER HAS NO REASPONSIBILITY FOR ANY ACTIONS OR OMISSIONS OF THE G.C. OR HIS SUBCONTRACTORS, OR THE FAILURE OF THEM TO PERFORM WORK ACCORDING TO THE CONTRACT DOCUMENTS.
- INCLUDE ANY OVERTIME COSTS IN THE BID PROPOSAL TO PERFORM WORK WHICH WOULD INTERFERE WITH OTHER TRADES. PERFORM SUCH WORK AT NO ADDITIONAL COST TO THE OWNER.
- SCHEDULE THE WORK IN THIS CONTRACT TO COORDINATE WITH THE OTHER TRADES FOR TIMELY COMPLETION AND TO AVOID UNNECESSARY CUTTING AND PATCHING.
- 15. ALL JOINT SURFACES SHALL BE FREE OF ANY SUBSTANCE OR MATERIAL THAT WOULD PREVENT THE PROPER ACHESION OF THE CAULKING UPON APPLICATION OR WOULD CAUSE FAILURE OF THE CONNECTION BETWEEN THE CAULKING AND THE WALL JOINT. ALL CAULKING LINES ARE TO BE EVEN, SMOOTH, AND STRAIGHT.
- 16. ALL NOTES ON ALL DRAWINGS OF THE ARCHITECT, ENGINEER, AND DESIGNER'S DRAWINGS AND PLAND ARE TO BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.
- NO ARCHITECTURAL WORK AT ROOF, EXISTING LEAKS NOTED, ROOF/SKYLIGHTS TO BE REPAIRED LANDLORD

CODE SUMMARY

Block 1895 Lot 66 Map 12D Zone C2-4 +/- 2,100 lease sq ft

LOCATION PLAN



BLOCK PLAN

DRAWING INDEX

| Sheet Number | Sheet Name | Issued for CAR - 10.23.15 | | | |
|-----------------|---------------------------------------|---------------------------|-----|----|---|
| General | | | | | |
| A000.00 | Cover Sheet | | | 1. | |
| A001.00 | General Notes/Plot Plan/Code Analysis | | | | |
| | | | | | |
| | | | 200 | | |
| Architectura | | | | | |
| A100.00 | Construction Plan | | | | |
| A200.00 | Construction Elevations | | - | | 1 |
| A201.00 | Construction Side Elevations | | | | |
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sebastian quinn

building workshop 81 vanderbilt avenue, 1st fl brooklyn, new york, 11205 917 547 0634 sqbweme.com

| Project Team General Contractor: | TBD | |
|--|-----|--|
| Expeditor/ Code Consultant | TBO | |
| Structural Consultant | TBO | |
| | | |

Ш A **JEFFERSON** RICHMOND, 2308

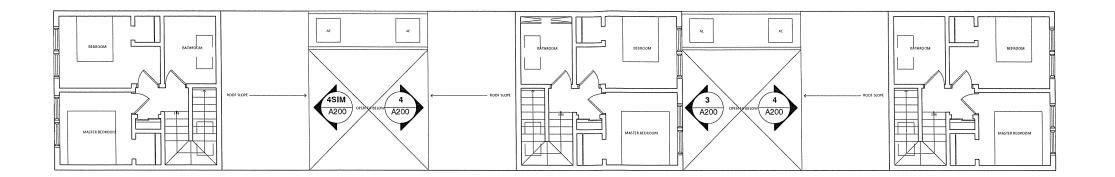
| prop for i be k or ir proje | drawing and details on it are to enty of the architect and may his specific project only. It sho baned, copied or reproduced, in a part, or for any other purpos cit without the written consent of fect. | be used all not whole se or |
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| No. | Revision Description | Date |
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GENERAL NOTES PLOT PLAN

Project Number A001.00 JK/DJ/SQ Issue Date:

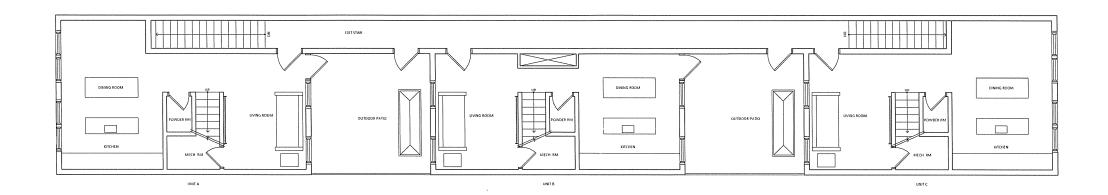
sebastian quinn building workshop 81 vanderbilt avenue, 1st fl brooklyn, new york, 11205 917 547 0634 sqbw@me.com



Project Team: General TBD Contractor:

Professional Seal:

03 THIRD FLOOR PLAN 3/16" = 1'-0"



2308 JEFFERSON AVE. RICHMOND, VA 23223

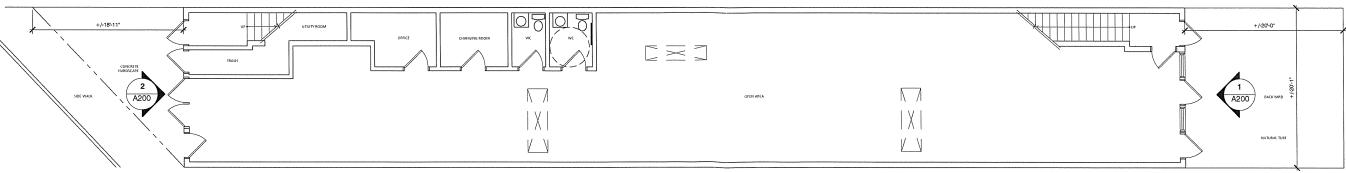
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CONSTRUCTION PLAN

A100.00

02 SECOND FLOOR PLAN 3/16" = 1'-0"





sebastian quinn

building workshop 81 vanderbilt avenue, 1st fl brooklyn, new york, 11205 917 547 0634 sqbw@me.com

Project Team:

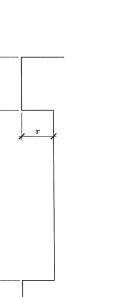
MATERIALS KEY

- 1. HARDI PLANK SEE CUTSHEETS
- 2. HARDI TRIM SEE CUTSHEETS
- 3. GLASS CLEAR GLASS PER IECC
- 4. WINDOW UNITS SEE CUTSHEETS
- 5. STOREFRONT- SEE CUTSHEETS
- 6. ROOFING SEE CUTSHEETS
- 7. HARDI PANEL CAR PRE-APPROVED COLOR TBD
- 8. RAILING SEE CUTSHEETS , SEE NOTE
- 9. BLACK CANVAS AWNING
- 10. TPO MEMBRANE ROOF NOT VISIBLE FROM PUBLIC WAY

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Project Title:

NOTE - NO TRIM, INCLUDING CORNICE TRIM TO EXTEND OVER ANY PROPERTY LINE - SOME TRIM RENDERED WITH A PROJECTION FOR 3D EFFECT



1A CORNICE PROFILE
SCALE: 3" = 1'-0"

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OPTION A ELEVATIONS

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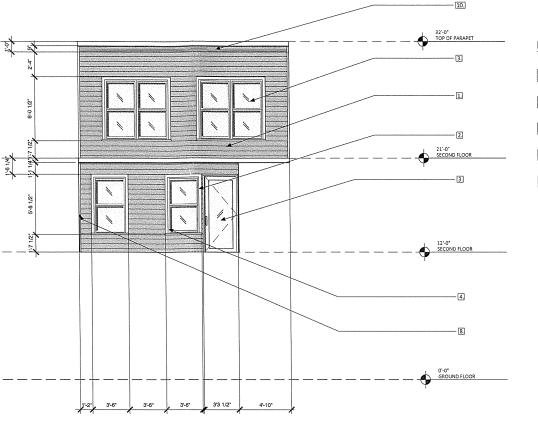
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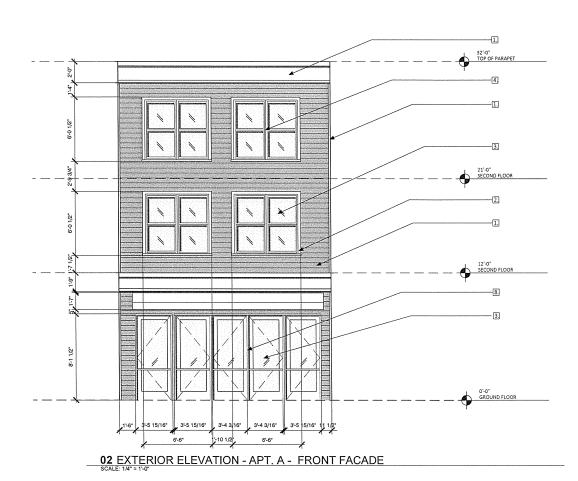
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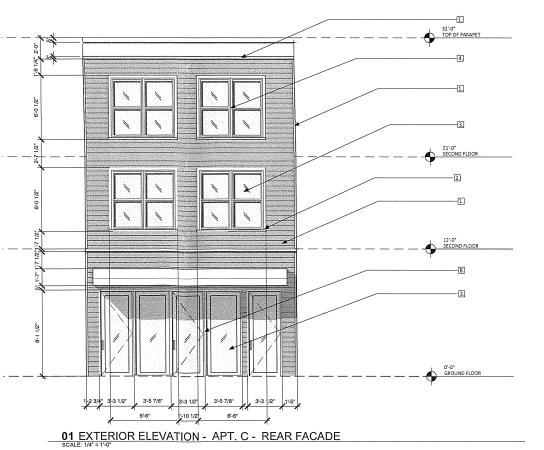
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03 EXTERIOR ELEVATION - APT. B - REAR FACADE



04 EXTERIOR ELEVATION - APT. B & C - FRONT FACADE



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MATERIALS KEY

- 1. HARDI PLANK SEE CUTSHEETS
- 2. HARDI TRIM SEE CUTSHEETS
- 3. GLASS CLEAR GLASS PER IECC
- 4. WINDOW UNITS SEE CUTSHEETS
- 5. STOREFRONT- SEE CUTSHEETS
- 6. ROOFING SEE CUTSHEETS
- 7. HARDI PANEL CAR PRE-APPROVED COLOR TBD
- 8. RAILING SEE CUTSHEETS , SEE NOTE
- 9. BLACK CANVAS AWNING
- 10. TPO MEMBRANE ROOF NOT VISIBLE FROM PUBLIC WAY

NOTE - NO TRIM, INCLUDING CORNICE TRIM TO EXTEND OVER ANY PROPERTY LINE - SOME TRIM RENDERED WITH A PROJECTION FOR 3D EFFECT



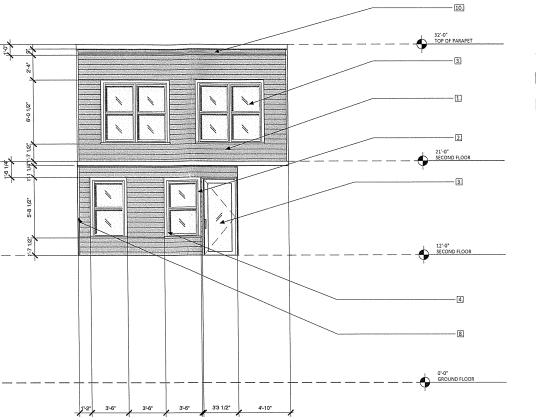
1A CORNICE PROFILE SCALE: 3" = 1"-0"

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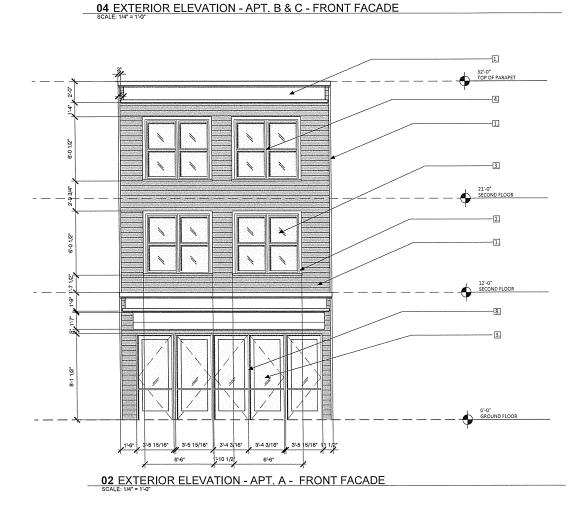
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OPTION B **ELEVATIONS**

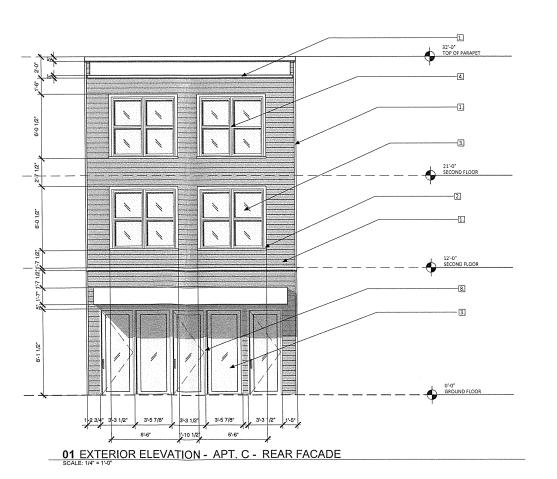
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03 EXTERIOR ELEVATION - APT. B - REAR FACADE



GROUND FLOOR



MATERIALS KEY

1. HARDI PLANK - SEE CUTSHEETS

6. ROOFING - SEE CUTSHEETS

2. HARDI TRIM - SEE CUTSHEETS

7. HARDI PANEL - CAR PRE-APPROVED COLOR TBD

3. GLASS - CLEAR GLASS PER IEC

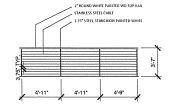
8. RAILING - SEE 3/A201

4. WINDOW UNITS - SEE CUTSHEETS

9. BLACK CANVAS AWNING

5. STOREFRONT - SEE CUTSHEETS

10. TPO MEMBRANE ROOF - NOT VISIBLE FROM PUBLIC WAY



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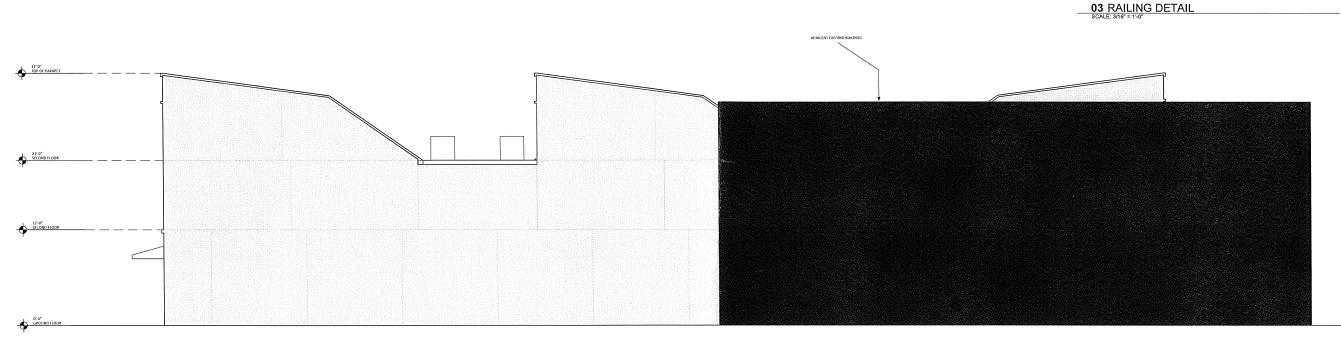
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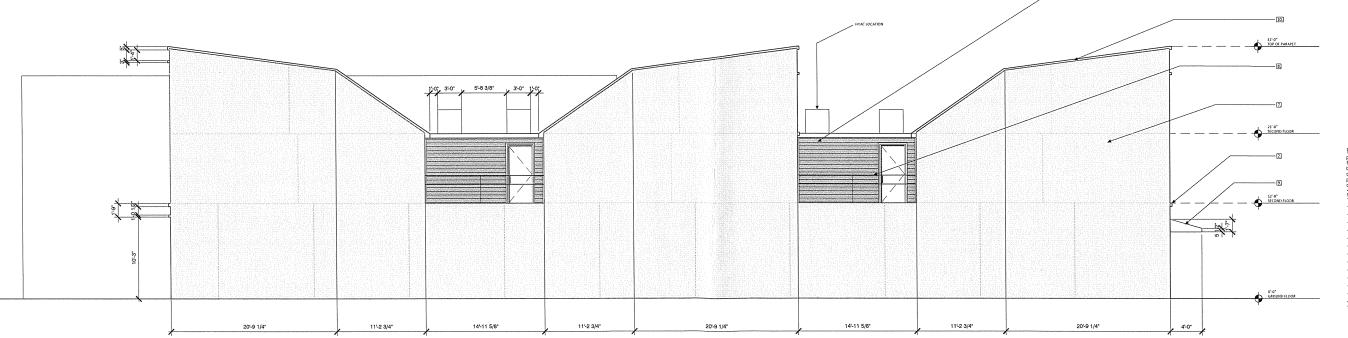
SIDE ELEVATIONS

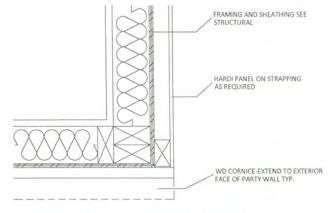
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02 EXTERIOR ELEVATION -SIDE





2 ENLARGED PLAN AT CORNICE OPTION A

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| Project Team General Contractor: | TBD |
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| Expeditor/ Code Consultant: | TBD |
| Structural Consultant: | ТВО |

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01 FRONT ELEVATION IN CONTEXT - JEFFERSON AVE.

01 SIDE ELEVATION IN CONTEXT - JEFFERSON AVE.

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| Project Team: General Contractor: | TBO |
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| Expeditor/ Code Consultant: | TBD |
| Structural Consultant: | TBD |

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SIDE ELEVATIONS

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