



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2308 Jefferson Ave DATE: 12/28/15

OWNER'S NAME: 2308 Jefferson Ave RVA LLC (formally Richmond Housing LLC) TEL NO.: 804-414-537

AND ADDRESS: PO Box 6784 EMAIL: sarah.krumbein@yahoo.com

CITY, STATE AND ZIPCODE: Richmond, VA 23230

ARCHITECT/CONTRACTOR'S NAME: Sebastian Quinn TEL. NO.: 917-547-0634

AND ADDRESS: 81 Vanderbilt Ave EMAIL: sq@sebastianquinn.com

CITY, STATE AND ZIPCODE: Brooklyn, NY 11205

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and **12 copies** of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See *instruction sheet for requirements.*)

Please see attached second page for further description
We are requesting a 2 year ruling.

Signature of Owner or Authorized Agent: X 

Name of Owner or Authorized Agent (please print legibly): Sarah Krumbein

(Space below for staff use only) RECEIVED

Received by Commission Secretary DEC 28 2015 2pm APPLICATION NO. _____

DATE _____ SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.

Committee of Architectural Review
January 26, 2015
Regarding: 2308 Jefferson Avenue

2308 Jefferson Ave is a proposed new construction mixed-use project in the Union Hill UB district.

Site Orientation

The building's front façade is on Jefferson Avenue's obtuse street angle, the front left side of the façade will set the building back off the left front property line by approximately 18-19'. The right corner of the front façade will be at the property line. The project will be built to the property line on the left and right sides of the lot and will have a 20' set back at the rear property line.

Materials & Colors

The flat lap siding on the front and the back of the building as well as the panels on the sides of the building will be a light mist color. All exterior trim will be white. The storefront will be aluminum. The railings on the side of the building will be grey and white. The visible shingle roof will be an Estate Gray shingle.

Façade

As per the new construction storefront facades guidelines we will use large storefront windows and the storefront façade which does not have any large blank walls. We proposed paired operable double hung windows on the second and third floors in order to optimize the interior floor plan and maximize light.

After the preliminary review we have submitted further detail of the cornice and corner detail. We have two cornice options.

Option A will have a simple cornice with a 5" top detail. The entire cornice detail will terminate in line with the corner of the building. Option B has a 5" top detail as well but the lower details which will terminate short of the corner of the building, revealing a small amount of siding. Both Option A & B have a signboard above the storefront.

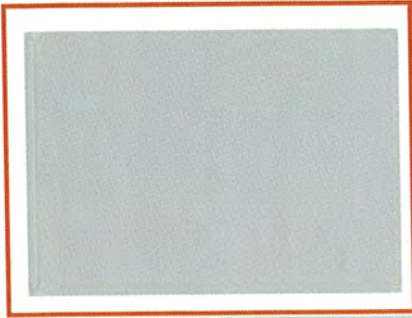
Context

As per the request of the committee we have provided a side context image to show the view from the corner of 24th Street and Jefferson Avenue.

The proposed materials, window, floor plan, façade, cornice detail and context images along with additional information is attached for your review.

Smooth Lap Siding

COLOR PALETTE: Light Mist



Thickness: 5/16"				
Weight: 2.50lbs./sq. ft.				
Length: 12.00' plank				
WIDTHS	5.250"	6.250"	7.250"	8.250"
EXPOSURE	4.00"	5.00"	6.00"	7.00"
COLORPLUS®		•	•	•
PRIMED	•	•	•	•

Beaded Cedarmill®

COLOR PALETTE:



Thickness: 5/16"	
Weight: 2.40lbs./sq. ft.	
Length: 12.00' plank	
WIDTHS	8.250"
EXPOSURE	7.00"
COLORPLUS®	•
PRIMED	•

HardieTrim®

HardieTrim® Boards Products Description

HARDIETRIM® 5/4 BOARDS

HardieTrim 5/4 boards is a decorative non-load bearing trim product. HardieTrim 5/4 boards is 1-in. thick and comes in 10-ft. and 12-ft. lengths, based on product availability. In addition to frieze, fascia, rake, window, door, and corner details, HardieTrim 5/4 boards may be used to construct light blocks, column wraps and decorative scroll work. Available in commonly-used nominal widths from 4 in. to 12 in., HardieTrim 5/4 boards comes finished with either with the PrimePlus® factory primer and sealer or with ColorPlus® Technology. The ColorPlus coating is a factory-applied, oven-baked finish available on a variety of James Hardie® siding and trim products. See your local dealer for details and availability of products, colors and accessories.

HARDIETRIM® 4/4 BOARDS

HardieTrim 4/4 boards is a decorative non-load bearing trim product. HardieTrim 4/4 boards is 3/4-in. thick and comes in 10-ft and 12-ft. lengths. HardieTrim 4/4 boards may be used for frieze, fascia, rake, window, door, and corner details where the look of a 3/4-in. product is desired. HardieTrim 4/4 boards is available in commonly-used nominal widths from 4 in. to 12 in. See your local dealer for details and availability of products and accessories.

HARDIETRIM® BATTENS

HardieTrim Battens are a decorative, non-load bearing trim product. HardieTrim Battens are 3/4 in. thick, 2-1/2 in. wide, and come in 12' lengths. See your local dealer for details and availability of product colors and accessories.



Smooth
HardieTrim 5/4, 4/4 Boards



Rustic
HardieTrim 5/4, 4/4 Boards



Left: HardieTrim Batten board – Smooth with HardiePanel® Vertical Siding for Board & Batten look.
Below: A Complete James Hardie Exterior – Close-up on trim products.



HardieTrim Batten board - Rustic and smooth



ColorPlus TIP: HardieTrim 4/4, 5/4 boards with ColorPlus Technology is shipped with a protective laminate slip sheet. James Hardie recommends keeping the protective sheet in place during cutting and fastening to reduce damage to the boards. Remove the protective sheet only after installing the boards and filling the nail holes with a colored touch-up pen.



WARNING

DO NOT caulk nail heads when using ColorPlus products. Refer to the ColorPlus touch-up section



SMOOTH

Evening Blue

Thickness	5/16 in.
Size	4 ft. x 8 ft. 4 ft. x 9 ft.* 4 ft. x 10 ft.
Pcs./Pallet	50
Pcs./Sq.	3.2 2.8 2.5

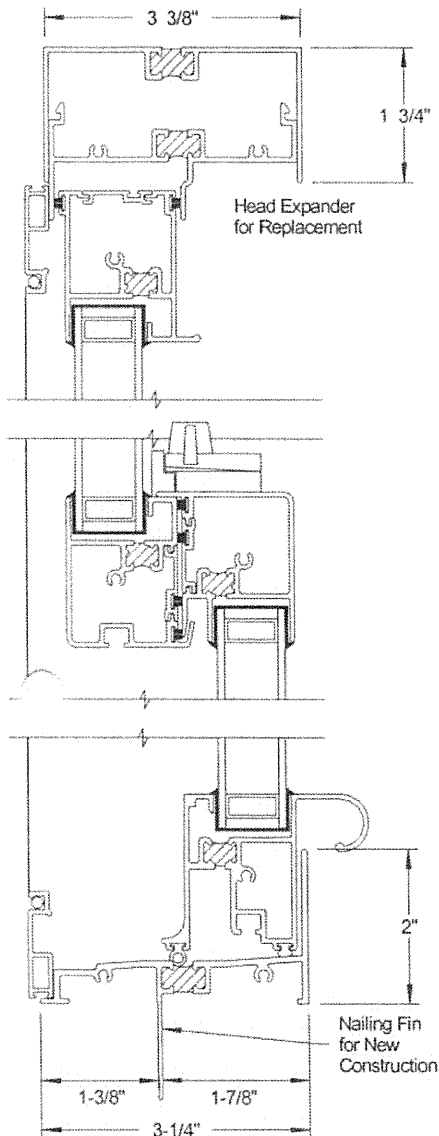
Available Colors



[View all HardiePanel Vertical Siding Products](#)

*4 ft. x 9 ft. HardiePanel vertical siding only available online and in select stores. © 2019 James Hardie Corp. All rights reserved.





Commercial Aluminum Double Hung H-C45

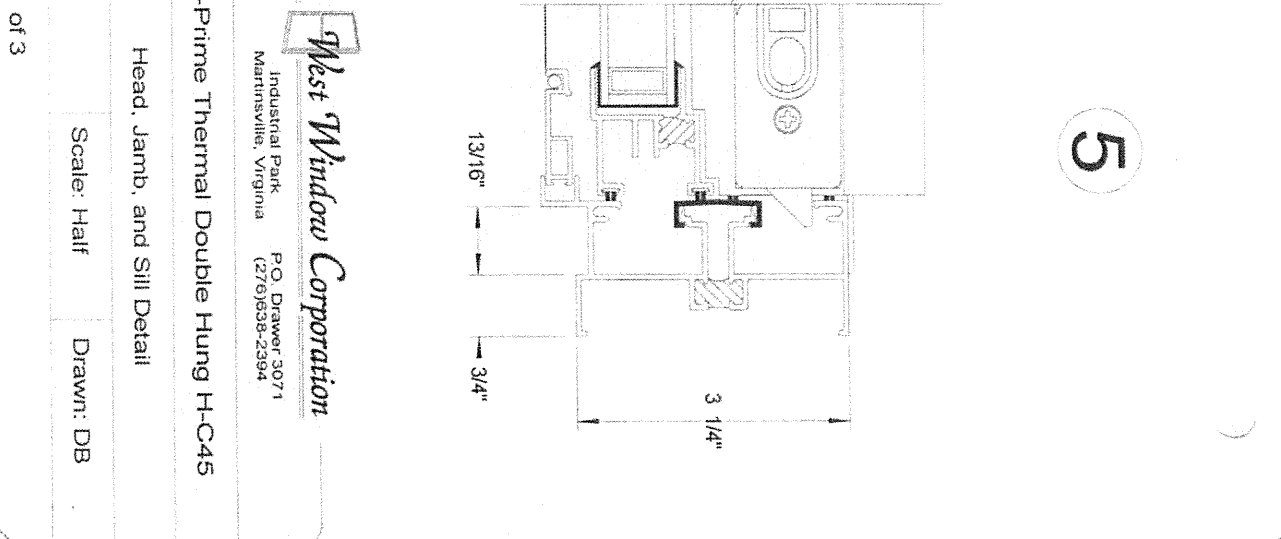
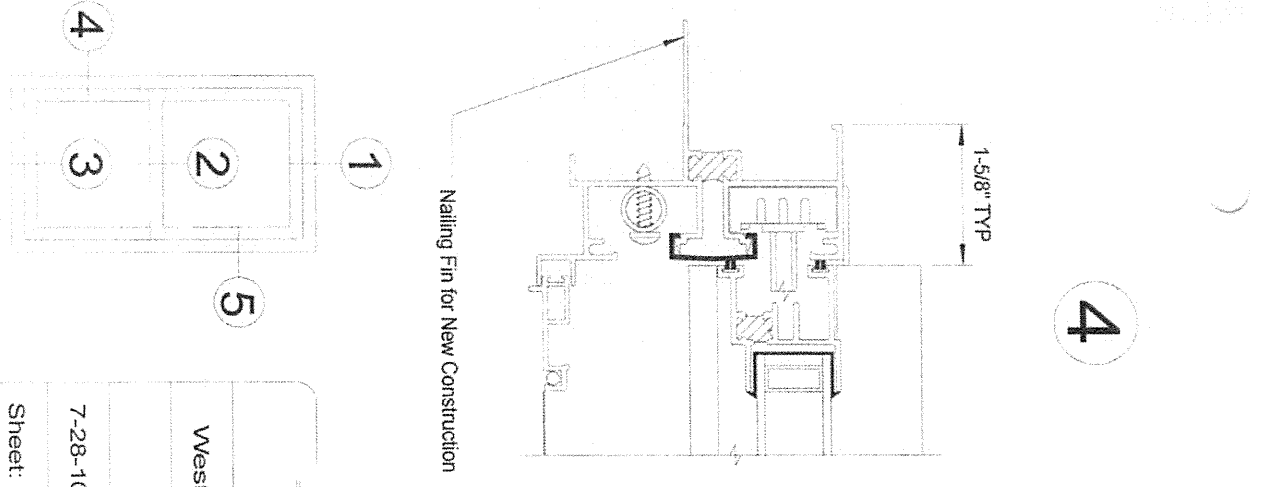
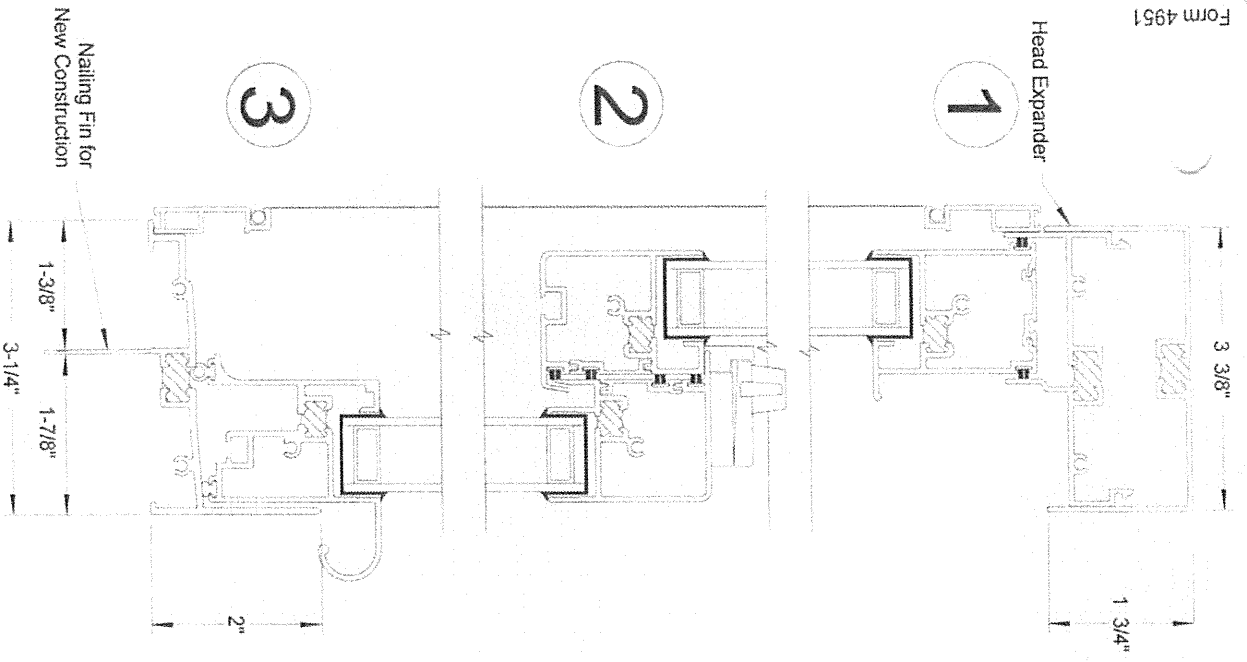
Standard Features

- 3-1/4" Frame Depth
- T-6063 Aluminum Extrusions with .062" walls
- Thermally Broken Frame and Sash
- Factory Glazed with 7/8" Insulated Glass with Super Spacer® warm edge spacer technology for superior thermal performance.
- Zinc die-cast Cam Locks, 2 locks standard over 24" in width
- Replacement or New Construction Frames
- Finseal Weatherseals on both sashes with two rubber bulbs at the frame sill, and four weatherstrips at the interlock.
- Both sashes tilt in for easy cleaning if desired.
- Architectural paint finish meets AAMA 2603. Colors available for normal lead times: White, Bronze, and Tan. For large projects, custom colors are available on a special order basis – please contact our office for details.
- Concealed Spiral Balances for quiet, low-friction operation. Commercial Heavy Duty Balances are available for most large size windows.
- Strong Extruded Aluminum bottom lift rail
- Available with nail fin for new construction or without nail fin for replacement applications.
- Sill Angle for sloped sill replacement applications and Head Expanders are available.

Optional Features

- Extruded Aluminum Full or Half Screen for long service life
- Numerous high performance glazing options
- Mullion for multiple units
- Many Grid Between Glass (GBG) configurations are available for greater design flexibility and low maintenance.
- Extruded Aluminum Muntin to divide top sash is especially useful for concealing drop type ceilings.

The West-Prime Thermal Double Hung window is ideally suited for commercial use. Designed to handle the demanding requirements of commercial quality windows, the West-Prime Thermal maintains a pleasing, easy-to-operate residential look and feel. The West-Prime Commercial Aluminum Series, consisting of Double Hung and Fixed windows, are a perfect complement to the Westco Commercial Aluminum Series, both of which can be custom manufactured to your specifications, delivered in a timely manner, and can help make your project a complete success.



West Window Corporation

Industrial Park
Martinsville, Virginia
P.O. Drawer 3071
(276)538-2594

West-Prime Thermal Double Hung H-C45

Head, Jamb, and Sill Detail

7-28-10

Scale: Half

Drawn: DB

Sheet: 1 of 3

FEATURES

- Economical
- 1-3/4" sight line with a 3-9/16", 4-1/2" or 6" depth
- Front or Center (4-1/2") glass applications
- Outside glazed
- Screw Spline, Shear Block or Type-B fabrication
- SSG option
- Infill options up to 1-1/8"
- Thermal break via. Polymer glazing clip
- Permanodic™ anodized finishes in seven standard choices
- Painted finishes in standard and custom choices

OPTIONAL FEATURES

- Two color capability
- 1-1/4" perimeter sight line
- Project specific U-factors (See Thermal Charts)

PRODUCT APPLICATIONS

- Storefront, Ribbon Window or Punched Openings
- Low to mid-rise
- Single-span
- Curved frames
- Integrated entrance framing allowing Kawneer entrances or other specialty entrances to be included
- Kawneer windows or GLASSvent™ for storefront are easily incorporated

For specific product applications,
consult your Kawneer Representative

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2014

PICTORIAL VIEWS 5-8

BASIC FRAMING DETAILS..... 9-20

MISCELLANEOUS FRAMING..... 21,22

GLAZING CHART 22

GLASSvent™ FOR STOREFRONT..... 23,24

VENTS..... 25

ENTRANCE FRAMING..... 26-32

WINDLOAD/DEADLOAD CHARTS..... 33-41

DEADLOAD CHARTS 42-46

THERMAL CHARTS 47-51

GLAZING CLIP CHART..... 52

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Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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LAWS AND BUILDING AND SAFETY CODES GOVERNING THE DESIGN AND USE OF GLAZED ENTRANCE, WINDOW, AND CURTAIN WALL PRODUCTS VARY WIDELY. KAWNEER DOES NOT CONTROL THE SELECTION OF PRODUCT CONFIGURATIONS, OPERATING HARDWARE, OR GLAZING MATERIALS, AND ASSUMES NO RESPONSIBILITY THEREFOR.

Metric (SI) conversion figures are included throughout these details for reference. Numbers in parentheses () are millimeters unless otherwise noted.

The following metric (SI) units are found in these details:

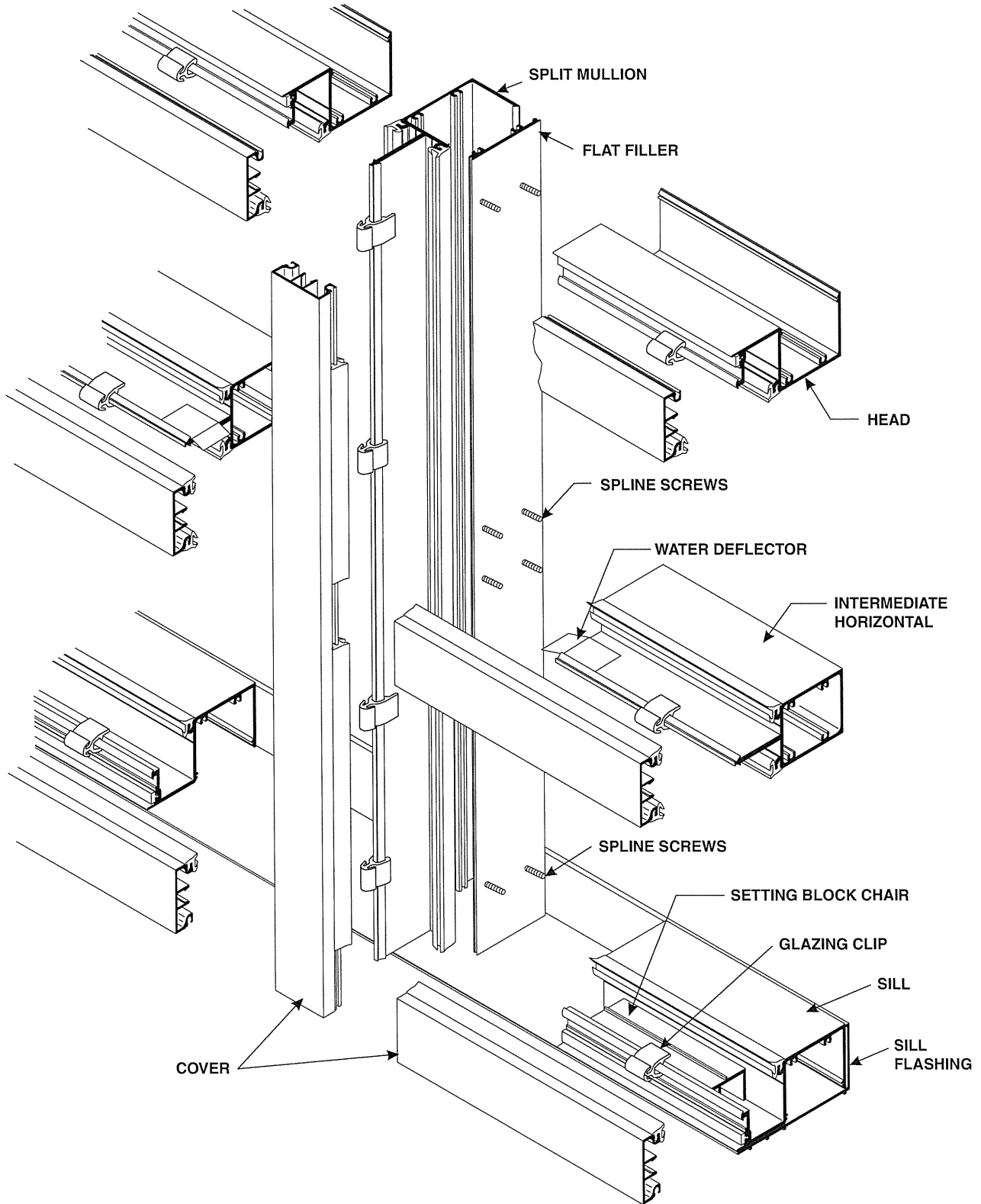
- m – meter
- cm – centimeter
- mm – millimeter
- s – second
- Pa – pascal
- MPa – megapascal

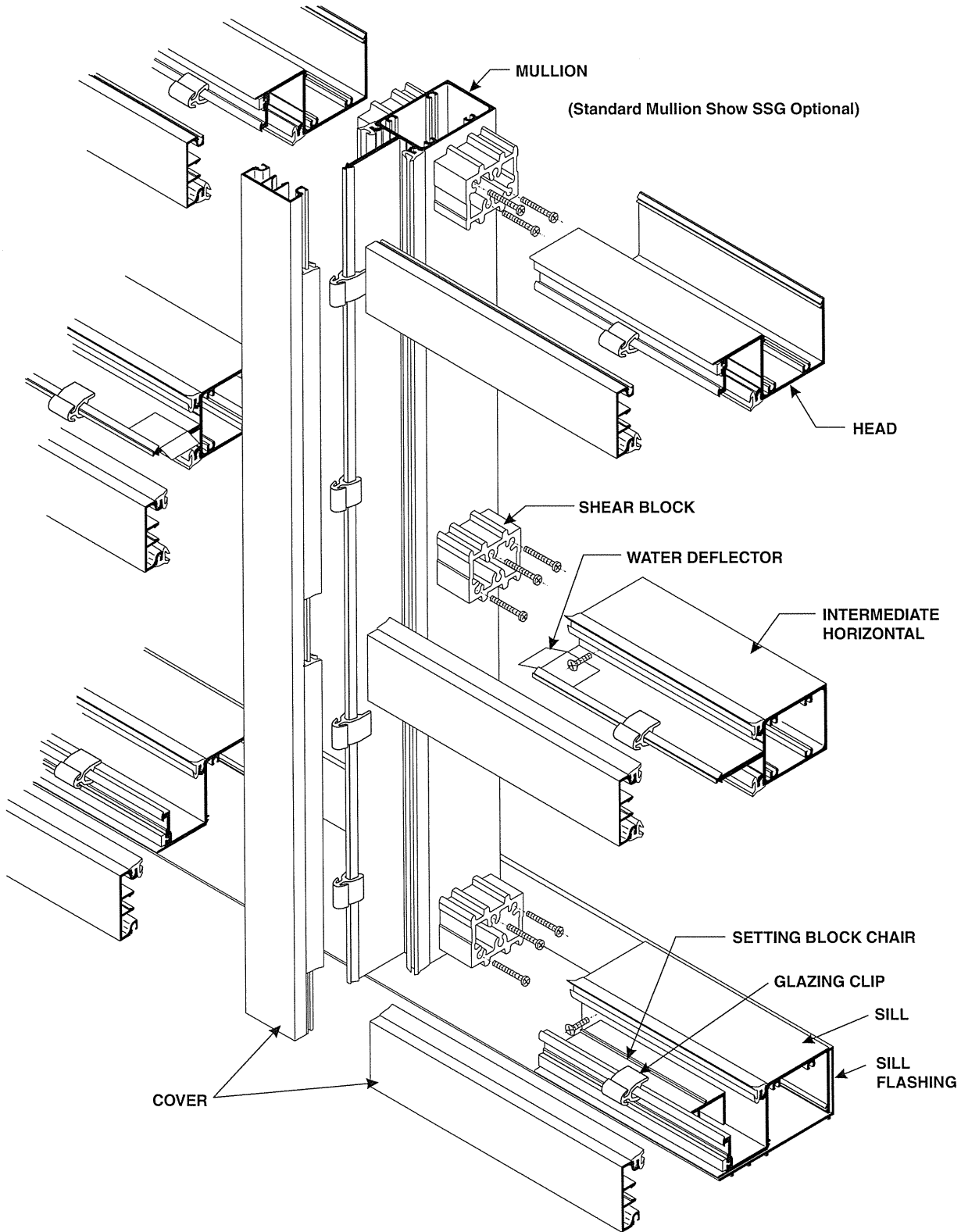
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Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

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Supreme® Shingles

Supreme® three-tab shingles—a smart choice when you need to balance curb appeal, weather resistance and value. Supreme shingles come with a 25-Year Limited Warranty*, 60-MPH Wind Resistance Limited Warranty*, and Class A UL Fire Rating—the industry's highest. Algae Resistance is also available on a regional basis. Visit roofing.owenscorning.com to learn more.

ENERGY STAR® is for roofs too



Similar to the energy-efficient appliances in your home, roofing products can provide energy-saving qualities. Owens Corning™ Supreme roofing shingles in Shasta White can help reduce your energy bills when installed properly. These shingles reflect solar energy, decreasing the amount of heat transferred to a home's interior—and the amount of air conditioning needed to keep it comfortable. Actual savings will vary based on geographic location and individual building characteristics. Call 1-800-GET-PINK® or 1-888-STAR-YES for more information.

Product Attributes

Warranty Length*

25-Year Limited

Wind Resistance Limited Warranty*

60 MPH

Algae Resistance Limited Warranty*/**

10 Years

Tru PROtection® Non-Prorated Limited Warranty* Period

5 Years

Product Specifications

Nominal Size	12" x 36"
Exposure	5"
Shingles per Square	80
Bundles per Square	3
Coverage per Square	100 sq. ft.

Applicable Standards and Codes

ASTM D228

ASTM D3018 (Type 1)

ASTM D3462

ASTM D3161 (Class F Wind Resistance)

ASTM D7158 (Class H Wind Resistance)

ASTM E108/UL 790 (Class A Fire Resistance)

Florida Product Approval†

ICC-ES AC438#

Miami-Dade County Product Approval††

UL ER2453-01##

Shasta White color meets ENERGY STAR® requirements for initial solar reflectance of 0.25 and 3-year aged solar reflectance of 0.15; 2013 California Building Energy Efficiency Standards; Title 24, Part 6 requirements; Rated by the Cool Roof Rating Council (CRRRC).

COLORS AVAILABLE IN ALL AREAS



Autumn Brown†



Driftwood†



Desert Tan†



Brownwood†



Shasta White†



Aspen Gray†



Onyx Black†



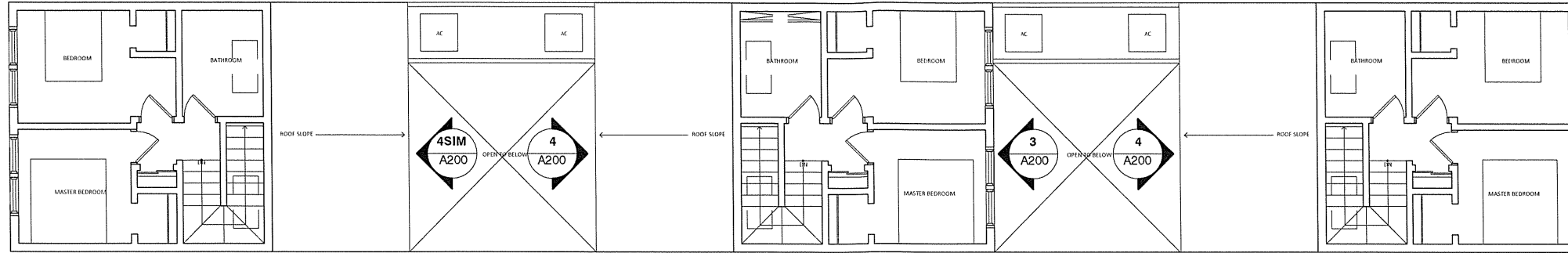
Estate Gray†



2308 JEFFERSON AVE.

CAR SET
DECEMBER 22, 2015

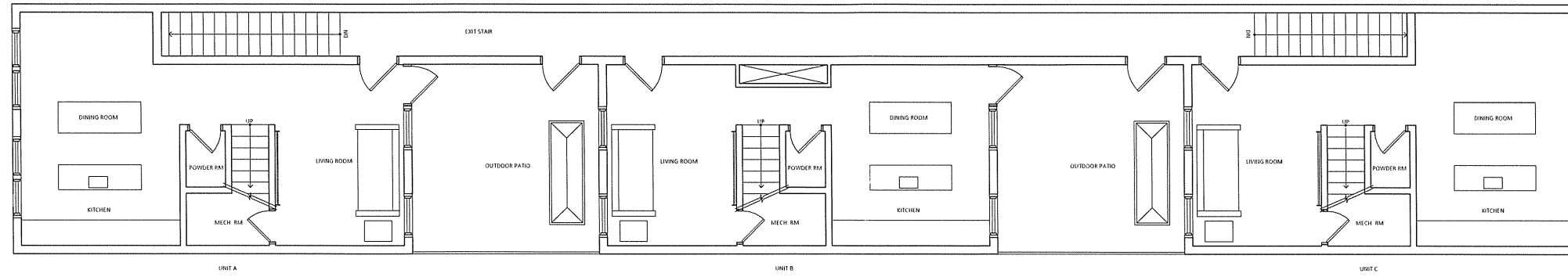
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Project Team:
 General Contractor: TBD
 Expeditor Code Consultant: TBD
 Structural Consultant: TBD

Professional Seal:

03 THIRD FLOOR PLAN
 3/16" = 1'-0"

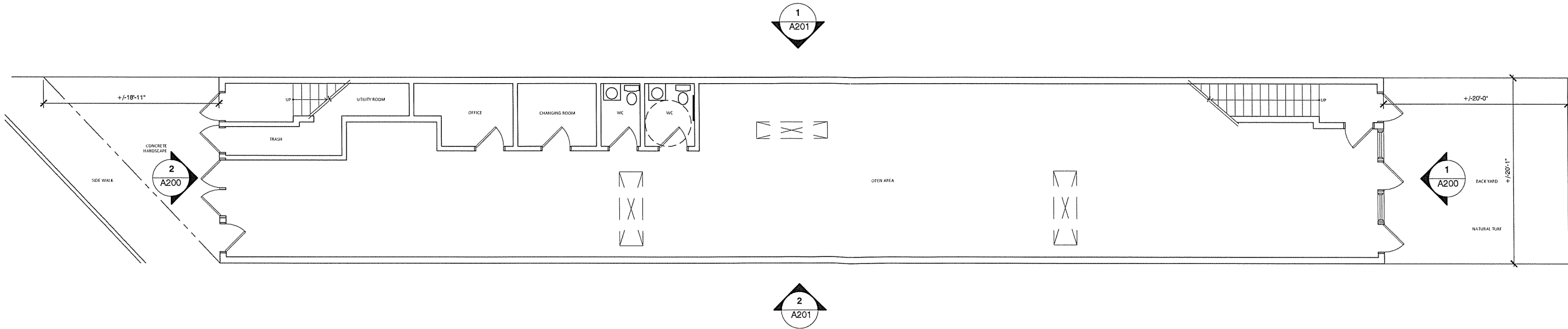


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Project Title:

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 RICHMOND, VA 23223

02 SECOND FLOOR PLAN
 3/16" = 1'-0"



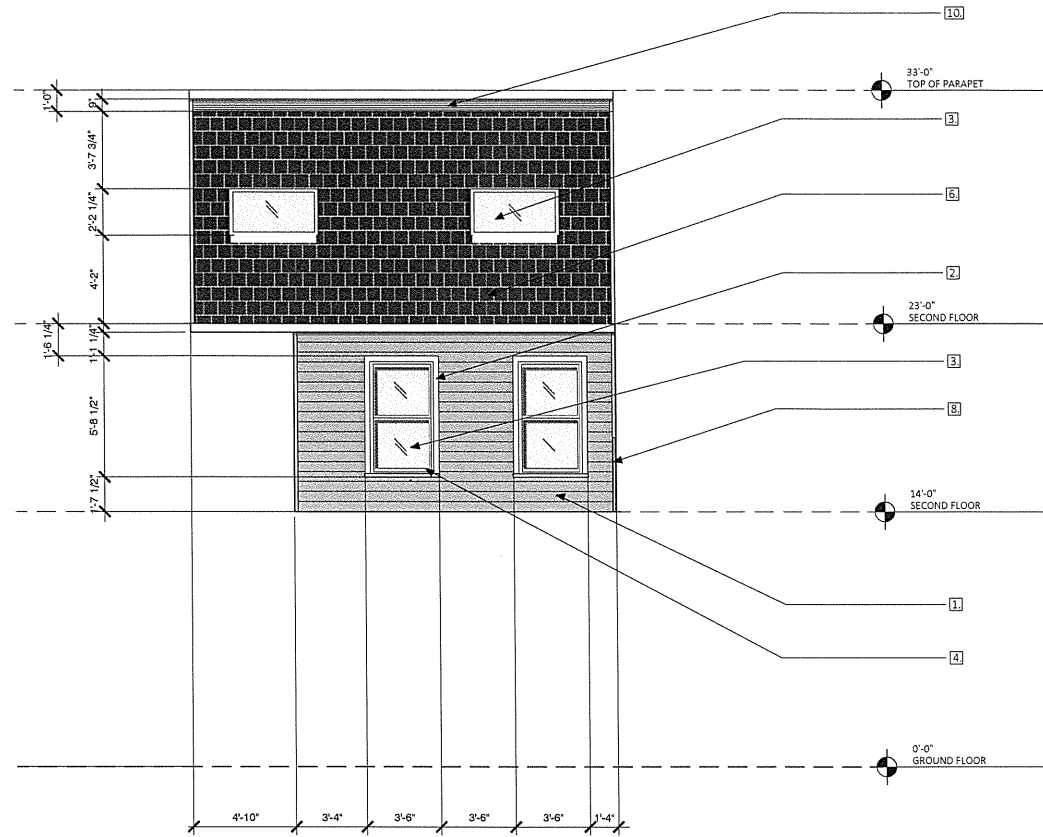
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No.	Revision Description	Date

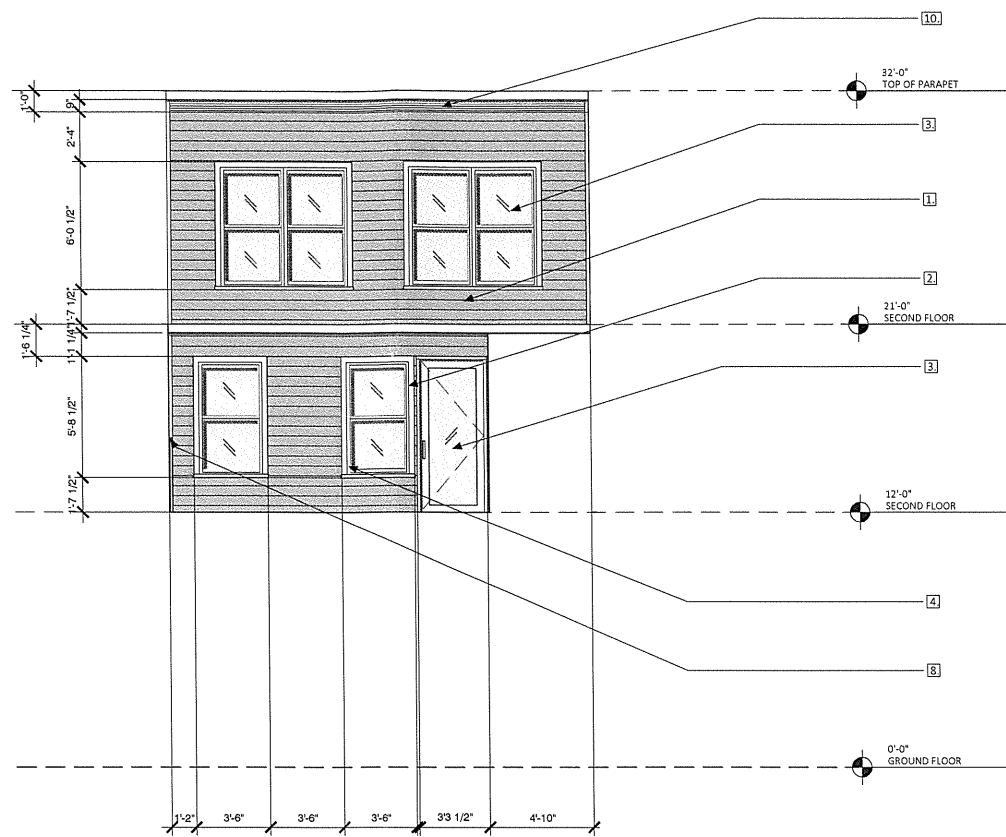
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CONSTRUCTION PLAN
 Project Number: - Sheet Number: **A100.00**
 Drawn By: JK/DJ/SQ
 Issue Date: 12.22.2015 Page No: -

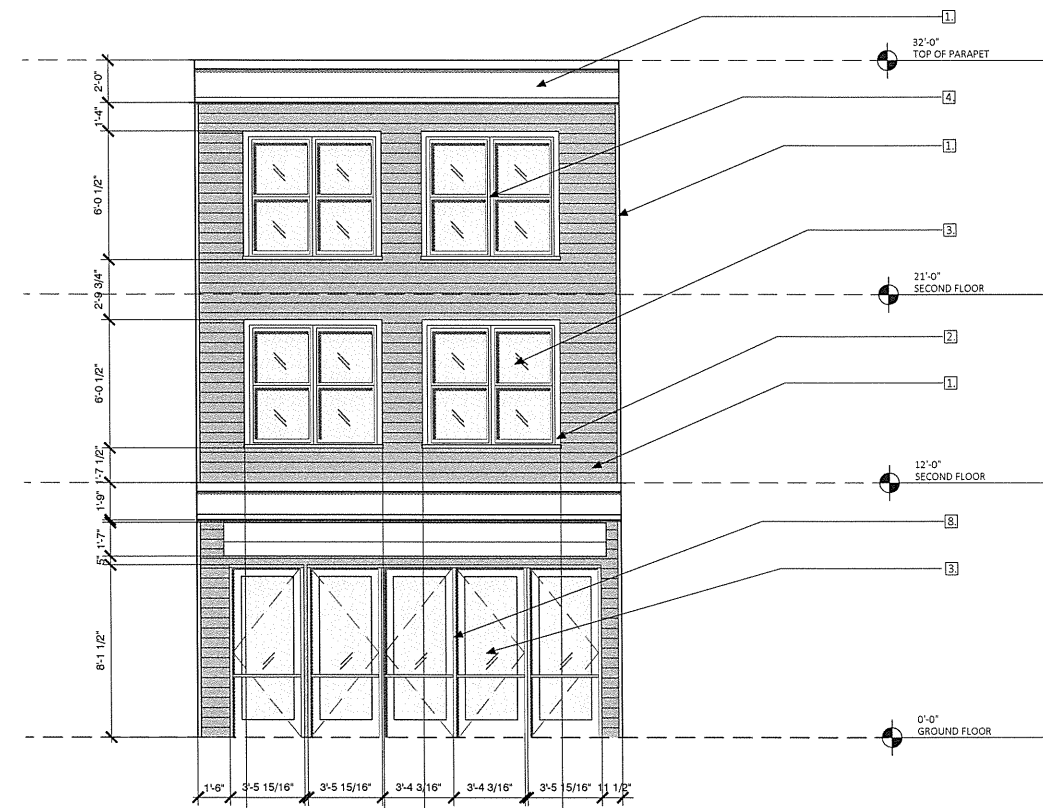
01 GROUND FLOOR PLAN
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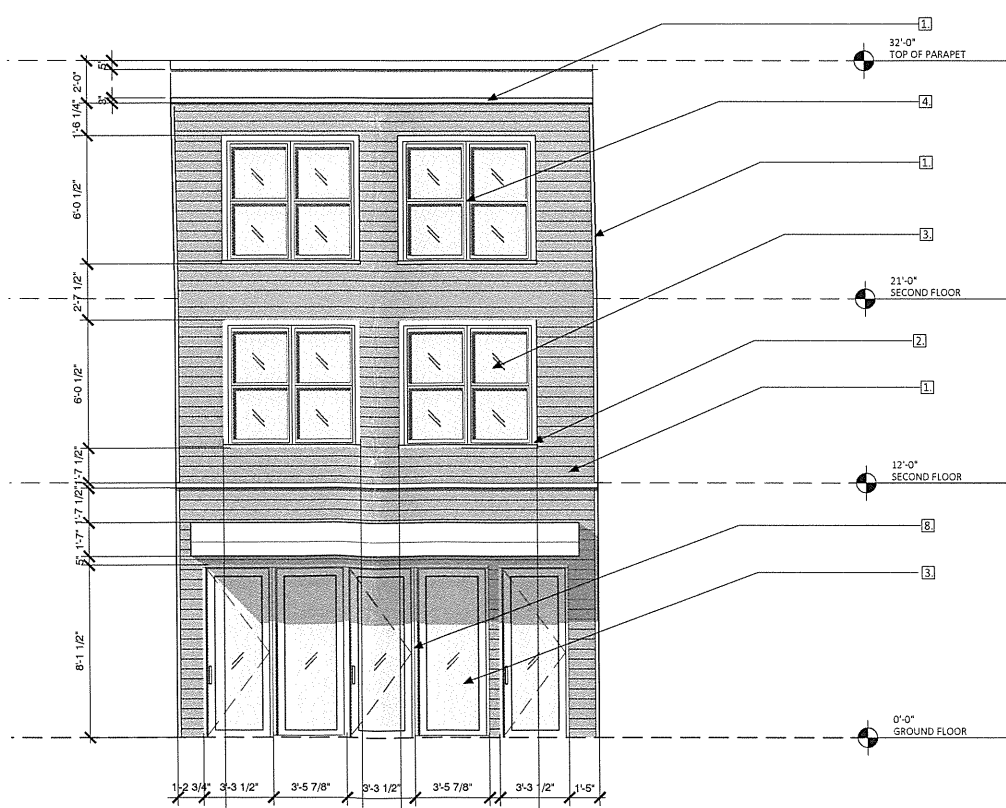
04 EXTERIOR ELEVATION - APT. B & C - FRONT FACADE
 SCALE: 1/4" = 1'-0"



03 EXTERIOR ELEVATION - APT. B - REAR FACADE
 SCALE: 1/4" = 1'-0"



02 EXTERIOR ELEVATION - APT. A - FRONT FACADE
 SCALE: 1/4" = 1'-0"



01 EXTERIOR ELEVATION - APT. C - REAR FACADE
 SCALE: 1/4" = 1'-0"

MATERIALS KEY

1. HARDI PLANK - SEE CUTSHEETS
2. HARDI TRIM - SEE CUTSHEETS
3. GLASS - CLEAR GLASS PER IECC
4. WINDOW UNITS - SEE CUTSHEETS
5. STOREFRONT - SEE CUTSHEETS
6. ROOFING - SEE CUTSHEETS
7. HARDI PANEL - CAR PRE-APPROVED COLOR TBD
8. RAILING - SEE CUTSHEETS , SEE NOTE
9. BLACK CANVAS AWNING
10. TPO MEMBRANE ROOF - NOT VISIBLE FROM PUBLIC WAY

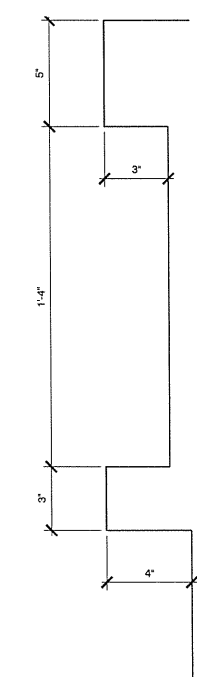
Project Team:

General Contractor:	TBD
Expeditor/Code Consultant:	TBD
Structural Consultant:	TBD

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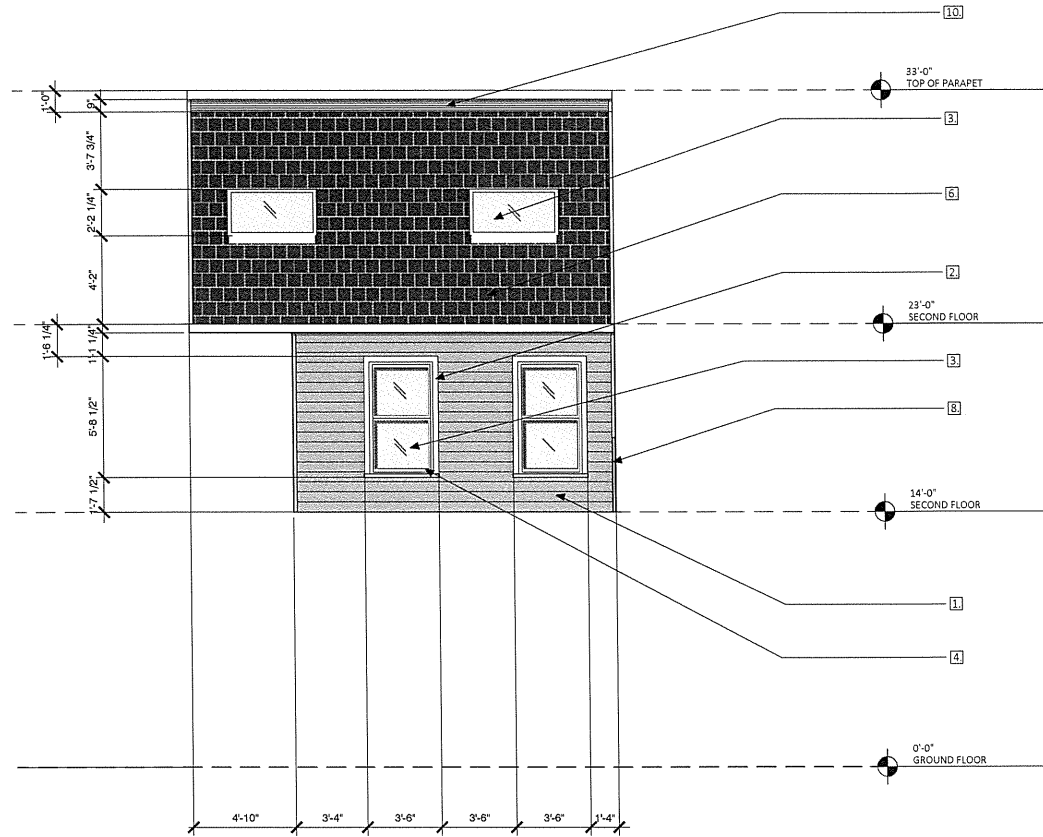


1A CORNICE PROFILE
 SCALE: 3" = 1'-0"

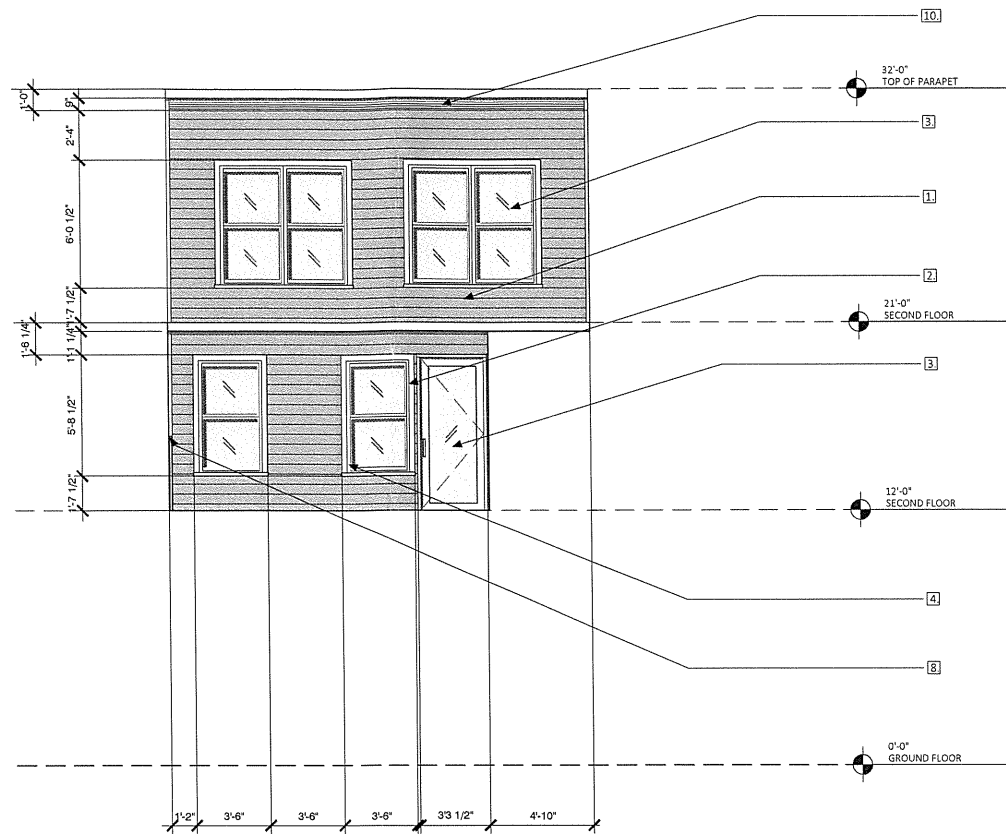
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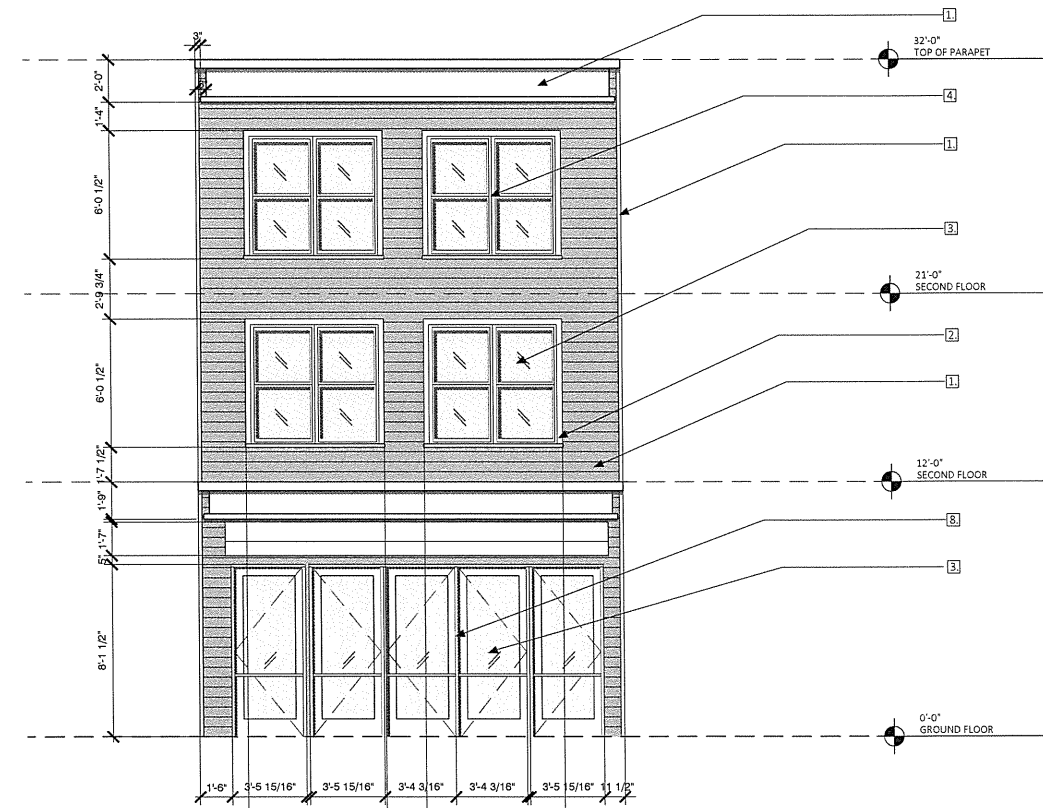
No.	Revision Description	Date



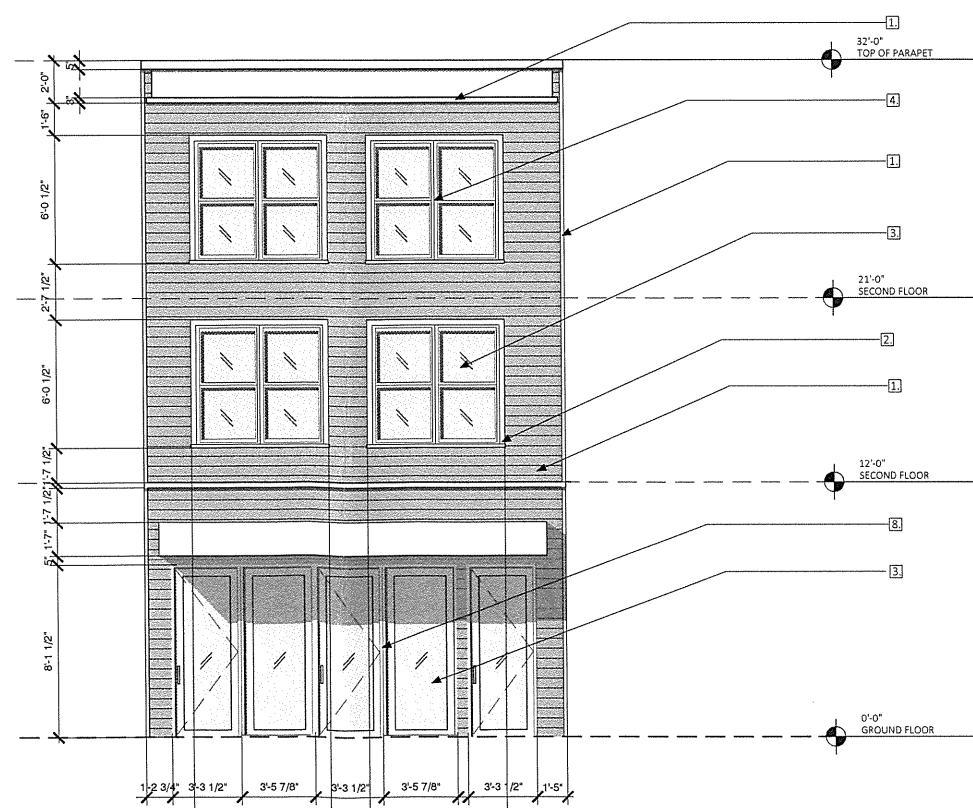
04 EXTERIOR ELEVATION - APT. B & C - FRONT FACADE
 SCALE: 1/4" = 1'-0"



03 EXTERIOR ELEVATION - APT. B - REAR FACADE
 SCALE: 1/4" = 1'-0"



02 EXTERIOR ELEVATION - APT. A - FRONT FACADE
 SCALE: 1/4" = 1'-0"



01 EXTERIOR ELEVATION - APT. C - REAR FACADE
 SCALE: 1/4" = 1'-0"

MATERIALS KEY

1. HARDI PLANK - SEE CUTSHEETS
2. HARDI TRIM - SEE CUTSHEETS
3. GLASS - CLEAR GLASS PER IECC
4. WINDOW UNITS - SEE CUTSHEETS
5. STOREFRONT - SEE CUTSHEETS
6. ROOFING - SEE CUTSHEETS
7. HARDI PANEL - CAR PRE-APPROVED COLOR TBD
8. RAILING - SEE CUTSHEETS, SEE NOTE
9. BLACK CANVAS AWNING
10. TPO MEMBRANE ROOF - NOT VISIBLE FROM PUBLIC WAY

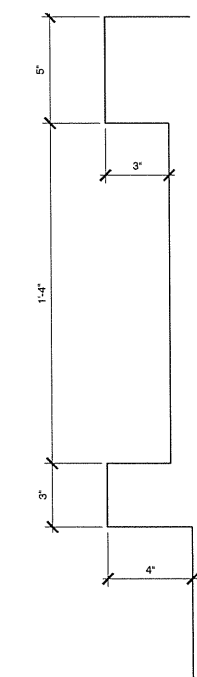
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Structural Consultant:	TBD

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1A CORNICE PROFILE
 SCALE: 3" = 1'-0"

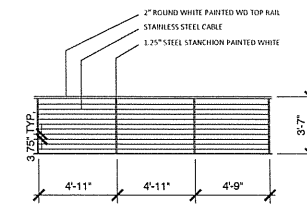
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No.	Revision Description	Date

MATERIALS KEY

- | | |
|---------------------------------|---|
| 1. HARDI PLANK - SEE CUTSHEETS | 6. ROOFING - SEE CUTSHEETS |
| 2. HARDI TRIM - SEE CUTSHEETS | 7. HARDI PANEL - CAR PRE-APPROVED COLOR TBD |
| 3. GLASS - CLEAR GLASS PER IEC | 8. RAILING - SEE 3/A201 |
| 4. WINDOW UNITS - SEE CUTSHEETS | 9. BLACK CANVAS AWNING |
| 5. STOREFRONT - SEE CUTSHEETS | 10. TPO MEMBRANE ROOF - NOT VISIBLE FROM PUBLIC WAY |



03 RAILING DETAIL
 SCALE: 3/16" = 1'-0"

Project Team:
 General Contractor: TBD

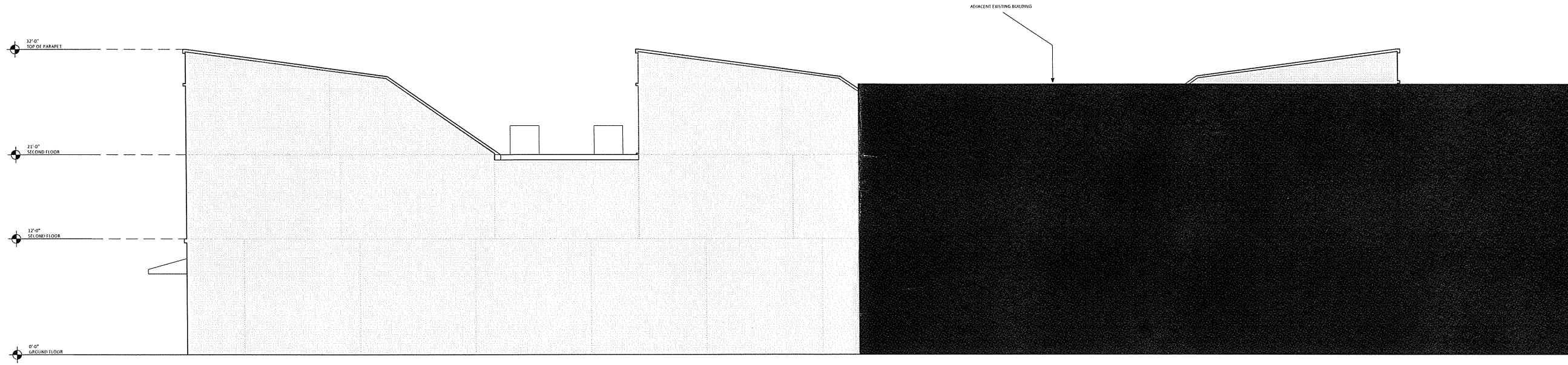
Expeditor/Code Consultant: TBD

Structural Consultant: TBD

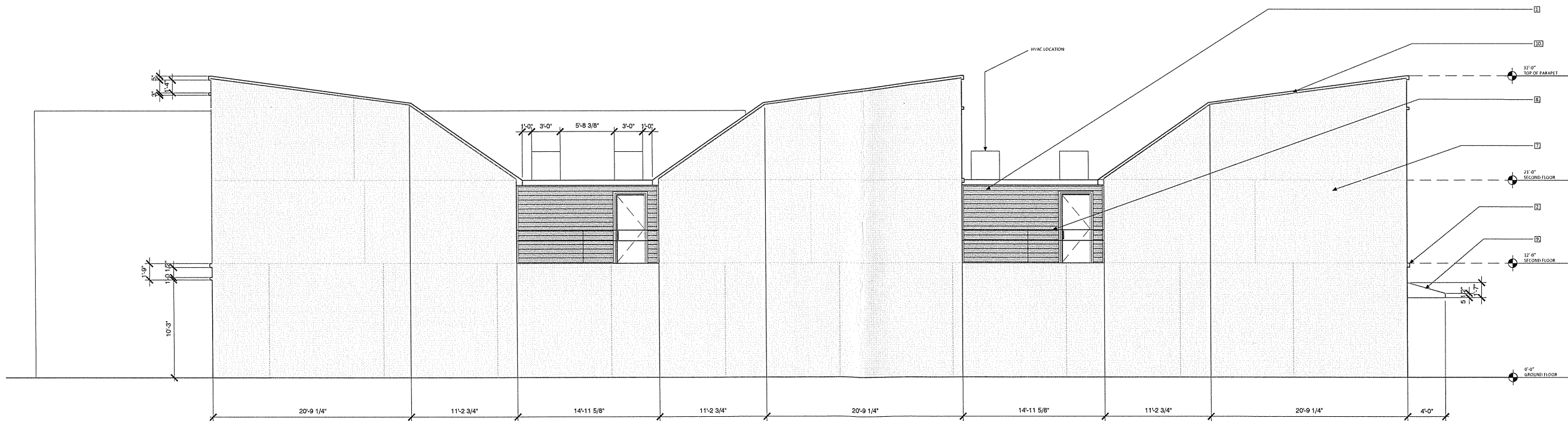
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Project Title:



02 EXTERIOR ELEVATION -SIDE
 SCALE: 3/16" = 1'-0"



02 EXTERIOR ELEVATION -SIDE
 SCALE: 3/16" = 1'-0"

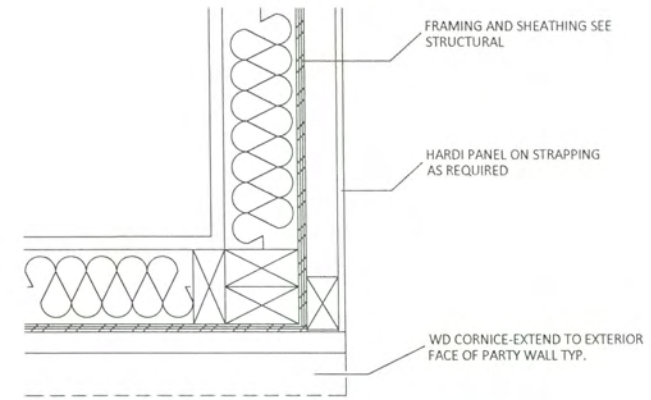
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Sheet Title:

SIDE ELEVATIONS

Project Number: - Sheet Number: A201
 Drawn By: JK/DJ/SQ
 Issue Date: 12.22.2015 Page No: -



2 ENLARGED PLAN AT CORNICE OPTION A
 SCALE: 3" = 1'-0"

Project Team:
 General Contractor: TBD
 Expeditor Code Consultant: TBD
 Structural Consultant: TBD

Professional Seal:

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Project Title:

2308 JEFFERSON AVE.
 RICHMOND, VA 23223

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No.	Revision Description	Date

Sheet Title:

SIDE ELEVATIONS

Project Number: - Sheet Number: -
 Drawn By: JK/DJSQ **A202**
 Issue Date: 12.22.2015 Page No: -



01 FRONT ELEVATION IN CONTEXT - JEFFERSON AVE.
 SCALE: NTS

NOTE: NO SURVEY OF ADJACENT PROPERTIES IS AVAILABLE, ADJACENT PROPERTY IMAGES ARE SHOW TO SCALE BASED ON BEST ESTIMATE

Project Team:
 General Contractor: TBD
 Expeditor Code Consultant: TBD
 Structural Consultant: TBD

Professional Seal:

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Project Title:



2308 JEFFERSON AVE.
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No.	Revision Description	Date

Sheet Title:

SIDE ELEVATIONS
 Project Number: - Sheet Number: -
 Drawn By: JK/DJSQ **A203**
 Issue Date: 12.22.2015 Page No:

01 SIDE ELEVATION IN CONTEXT - JEFFERSON AVE.
 SCALE: NTS

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