



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

### PROPERTY (location of work)

Address 10-12 East Broad Street

Historic district Broad St. Commercial Historic District

Date/time rec'd: \_\_\_\_\_

Rec'd by: \_\_\_\_\_

Application #: \_\_\_\_\_

Hearing date: \_\_\_\_\_

### APPLICANT INFORMATION

Check if Billing Contact

Name Scott Gordon

Phone 804-644-5202

Company The Yellow Room, Inc.

Email sgordon@yellowrm.com

Mailing Address 2731 West Grace Street  
Richmond, VA 23220

Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
 Other (please specify):

### OWNER INFORMATION (if different from above)

Check if Billing Contact

Name Judy Olive

Company Marshall Broad Street II, LLC

Mailing Address 4901 Dickens Road, #119

Phone 804-673-1978

Name Scott Richmond, VA 23230

Email Jolive@Landmark-property.com

### PROJECT INFORMATION

Project Type:  Alteration  Demolition  New Construction  
(Conceptual Review Required)

#### Project Description: (attach additional sheets if needed)

Front Elevation: Restore, reglaze, and paint existing wood windows, scrape, clean, prep, prime, and paint cornice, cast iron pilasters, and trim. Clean brick with low-pressure detergent wash. Demo existing modern storefront and re-construct per proposed elevation drawings. New storefront to be anodized aluminum 'dark bronze' finish. New ceramic tile at each of (2) new entry door sets.

Rear Elevation: Re-establish most of the currently bricked-in window openings and install new metal clad wood double hung windows. Repoint existing brick as necessary, per Park Service Standards for Rehabilitation. Construct new painted metal egress stairs and landings to provide code-required 2nd means of egress from building. Repair metal siding/roofing on bridge as required and prep/paint siding. Install insulation under floor of bridge and cover with cement fiber panels, paint finish. At East elevation, create new masonry openings to accommodate new double-hung windows as shown in proposed elevations. Install new code-require egress lighting, where indicated on proposed elevations.

### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date

8/7/2007



# CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS

In advance of the application deadline please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on-site. The Commission of Architectural Review website has additional project guidance and required checklists:

<http://www.richmondgov.com/CommissionArchitecturalReview/index.aspx>

Staff Contact: 804.646.6335 Carey.Jones@Richmondgov.com

## SUBMISSION INSTRUCTIONS

Certain exterior work can be administratively approved by Staff. Please contact staff for a preliminary determination of the level of review required prior to submitting an application.

Submit the following items to the Division of Planning and Preservation, 900 E. Broad Street, Rm. 510:

- One (1) signed and completed application – property owner's signature required
- One (1) copy of supporting documentation, as indicated on appropriate checklist, collated and stapled. All plans and elevations must be printed **11x17** and all text easily legible.
- One digital copy of the application and supporting documentation, submitted via email or OneDrive.
- Application fee, as required, will be invoiced. Payment of the fee must be received before the application will be scheduled. Please see fee schedule brochure available on the CAR website for additional information.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on the agenda.
- A **complete application** includes a signed application form, related checklist, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in Sec. 30-930.6(b).
- The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice if required.

## MEETING SCHEDULE AND APPLICATION DUE DATES

- The CAR meets on the fourth Tuesday of each month, except in December when it meets on the third Tuesday.
- The hearing of applications starts at 4:00 PM in the 5th floor conference room of City Hall, 900 E. Broad Street. The owner and/or applicant is *encouraged to attend* the meeting.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit: <http://www.richmondgov.com/CommissionArchitecturalReview> or contact staff.
- **Exception:** Revisions to applications that have been deferred or conceptually reviewed at a Commission meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.



# COMMONWEALTH of VIRGINIA

## Department of Historic Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Matt Strickler  
*Secretary of Natural Resources*

Julie V. Langan  
*Director*

Tel: (804) 367-2323  
Fax: (804) 367-2391  
[www.dhr.virginia.gov](http://www.dhr.virginia.gov)

May 21, 2021

Judy Olive  
Marshall Broad Street II, LLC  
4901 Dickens Road #119  
Richmond, Virginia 23230

Re: 10-12 East Broad Street  
Part 2 Response  
DHR # 2016-167

Dear Ms. Olive,

Thank you for submitting the Continuation/Amendment sheet addressing the change in ownership entity for the project at 10-12 East Broad Street Richmond. We are also received your State and Federal Rehabilitation Tax Credit Application, Part 2, "Description of Rehabilitation," for 10-12 East Broad Street, Richmond, and the necessary State application fees and appreciate their timely submission. Based on the materials provided, the proposed scope of work is consistent with the Secretary of the Interior's Standards for Rehabilitation and the project is approved provided the below conditions are met. Additionally, there are three items that require additional information.

### CONDITIONS:

The following conditions should be met in order for the project to receive approval. If additional information is requested, please submit the materials as an Amendment to the Part 2 application. The appropriate Amendment forms can be found through the National Park Service's website at <http://www.nps.gov/tps/tax-incentives/application.htm>. Otherwise, evidence of the completed, compliant work must be submitted with the Part 3 application.

**Mezzanine Railing:** Where the historic mezzanine railing is missing, it should be replicated to match the surrounding railing, and not replaced with a low wall, to be in compliance with *Standard #6*. The new railing should receive the same metal tension wires proposed for the historic mezzanine railing to bring the railing to code-compliant height.

Eastern Region Office  
2801 Kensington Avenue  
Richmond, VA 23221  
Tel: (804) 367-2323  
Fax: (804) 367-2391

Western Region Office  
962 Kime Lane  
Salem, VA 24153  
Tel: (540) 387-5443  
Fax: (540) 387-5446

Northern Region Office  
5357 Main Street  
PO Box 519  
Stephens City, VA 22655  
Tel: (540) 868-7029  
Fax: (540) 868-7033

*#6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

**Tin Ceiling:** Care must be taken in removing the historic tin ceilings throughout the building to install the new gypsum board. The reinstalled tin ceilings must include the historic tin cornices/crown found on each floor.

**New Windows:** The new windows in the reestablished openings on the north elevation and the new windows in new openings on the east elevation should be differentiated on the interior of the building as well as the exterior. Please install a simple wood trim on the interior of north elevation windows. The east elevation windows may be finished with the plain gypsum board jam returns at the widow sash with simple wood sills and apron trim.

**Removing Stairway:** Once removed, the location of the historic east stairs should be marked by turning the new flooring perpendicular to the historic flooring where the stairs were historically located.

**Historic Partition Third Floor:** Please install a semi-transparent film on the glass of the historic partition on the third floor instead of spray-painting the glass black. This will provide privacy for the new bedroom while also retaining some light transmission through the glass, as there would have been historically.

**Recessed Lighting:** We do not approve the installation of recessed lighting in historic tin ceilings as it would not be in compliance with *Standard #5*. Recessed lighting may only be installed in locations where the ceilings have been dropped so as not to damage this important historic feature.

*#5: Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

**Bridge Wall Finish:** No detail was provided on the proposed finishes for the interior walls in the bridge in the application. The board walls and ceilings must be retained and repaired in kind as needed in compliance with *Standards #2, #5 (above) and #6 (above)*.

*#2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

**Floors:** Where historic floorboards are deteriorated beyond repair, they must be replaced in kind to match species, width, and color to meet *Standard #6 (above)*.

Administrative Services  
10 Courthouse Ave.  
Petersburg, VA 23803  
Tel: (804) 862-6408  
Fax: (804) 862-6196

Eastern Region Office  
2801 Kensington Avenue  
Richmond, VA 23221  
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Fax: (540) 868-7033

**CLARIFICATION/ADDITIONAL INFORMATION REQUIRED:**

Please submit the following items as an Amendment to the Part 2 application. The appropriate forms can be found at the National Park Service's website at <http://www.nps.gov/tps/tax-incentives/application.htm>. Once we have received these items, we will complete our review. Please note at this time approval does not extend to these features and treatments.

**Storefront:** In order to ensure the storefront meets the *Standards*, please provide detailed, dimensioned drawings of the proposed replacement storefront. In addition, please submit the referenced historic photo showing two separate recessed entrances centered in the two primary bays of the south elevation that you are using as justification for the changes you are proposing.

**Basement Moisture Management:** Please provide more detail on how you proposed to conduct moisture management in the basement.

**Waist Lines in the First Floor Commercial Spaces:** Please provide more detail on the proposed waste lines that will be located within the commercial spaces. Submit a general systems plans that shows where these waste lines will be located so we can better understand how the introduction of these lines might affect these historic commercial spaces.

This conditional approval is for the Part 2 application as submitted. All new information should be sent for review and approval to the Virginia Department of Historic Resources (DHR) as an Amendment to the original application; you can find the appropriate form through the National Park Service's website at <http://www.nps.gov/tps/tax-incentives/application.htm>. We have forwarded the application to the National Park Service with our recommendations ~ you will receive their response in a separate letter.

In the meantime, please feel free to contact me with questions or concerns by e-mail at [Summer.Louthan@dhr.virginia.gov](mailto:Summer.Louthan@dhr.virginia.gov).

Sincerely,

Summer Louthan  
Tax Credit Reviewer  
Office of Preservation Incentives

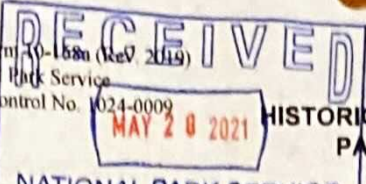
cc: Bryan Townes, Claremont Preservation Consulting

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APR 21 2021



HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 2 - DESCRIPTION OF REHABILITATION

Department of

Instructions: This page must be signed by the applicant, original signature and must be dated. The National Park Service certification is based on the descriptions in this application form. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

Historic Resources  
NPS Project Number  
34798 (2016-167)

1. Historic Property Name 10-12 East Broad Street

Street 10-12 East Broad Street

City Richmond County \_\_\_\_\_ State VA Zip 23219-1732

Name of Historic District or National Register property Broad Street Commercial Historic District

Listed individually in the National Register of Historic Places; date of listing \_\_\_\_\_

Located in a Registered Historic District; name of district \_\_\_\_\_

Part 1 - Evaluation of Significance submitted? Date submitted 10-17-16 Date of certification 10-18-16

2. Project Data (for phased projects, data entered in this section must be totals for entire project)

Date of building Ca. 1911 Estimated total rehabilitation costs (QRE) \$3,000,000

Number of buildings in project 1 Floor area before / after rehabilitation 16,839 / 16,839 sq ft

Start date (estimated) 06/01/2021 Use(s) before / after rehabilitation retail / mixed-use

Completion date (estimated) 06/01/2022 Number of housing units before / after rehabilitation 0 / 16

Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 0 / 16

Intend to elect IRS 60-month phased rehabilitation

3. Project Contact (if different from applicant)

Name Bryan Townes Company Claremont Preservation Consulting

Street 1223 Claremont Avenue City Richmond State VA

Zip 23227 Telephone (804) 814-8368 Email Address townesbryan@gmail.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or

if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Judy Olive Signature (Sign in ink) [Signature] Date 4/20/2021

Applicant Entity Marshall Broad Street II, LLC SSN \_\_\_\_\_ or TIN 85-3612258

Street 4901 Dickens Road #119 City Richmond State VA

Zip 23230 Telephone (804) 673-1978 Email Address jolive@landmark-property.com

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 2 for the above-named property and has determined that:

the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

8/6/2021

Renee Novak

Date \_\_\_\_\_ National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



## HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name \_\_\_\_\_ Project Number DHR# 2016-167  
NPS# 34798  
Property Address, City, State 10-12 East Broad Street, Richmond, Virginia 23219-1732

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

Conditions:

1. **Mezzanine Railing:** Where the historic mezzanine railing is missing, it should be replicated to match the surrounding railing, and not replaced with a low wall, to be in compliance with *Standard #6*. The new railing should receive the same metal tension wires proposed for the historic mezzanine railing to bring the railing to code-compliant height.
2. **Tin Ceiling:** Care must be taken in removing the historic tin ceilings throughout the building to install the new gypsum board. The reinstalled tin ceilings must include the historic tin cornices/crown found on each floor.
3. **New Windows:** The new windows in the reestablished openings on the north elevation and the new windows in new openings on the east elevation should be differentiated on the interior of the building as well as the exterior. Please install a simple wood trim on the interior of north elevation windows. The east elevation windows may be finished with the plain gypsum board jam returns at the widow sash with simple wood sills and apron trim.
4. **Removing Stairway:** Once removed, the location of the historic east stairs should be marked by turning the new flooring perpendicular to the historic flooring where the stairs were historically located.
5. **Historic Partition Third Floor:** Please install a semi-transparent film on the glass of the historic partition on the third floor instead of spray-painting the glass black. This will provide privacy for the new bedroom while also retaining some light transmission through the glass, as there would have been historically.
6. **Recessed Lighting:** We do not approve the installation of recessed lighting in historic tin ceilings as it would not be in compliance with *Standard #5*. Recessed lighting may only be installed in locations where the ceilings have been dropped so as not to damage this important historic feature.
7. **Bridge Wall Finish:** No detail was provided on the proposed finishes for the interior walls in the bridge in the application. The board walls and ceilings must be retained and repaired in kind as needed in compliance with *Standards #2, #5 and #6*.
8. **Floors:** Where historic floorboards are deteriorated beyond repair, they must be replaced in kind to match species, width, and color to meet *Standard #6*.

pg. 1 of 3

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

5/21/21  
Date

Summer Cowman  
State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

8/6/2021  
Date

Renee Novak  
National Park Service Signature



**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
NATIONAL PARK SERVICE  
CONDITIONS**

Historic Property Name \_\_\_\_\_ Project Number DHR# 2016-167  
NPS# 34798  
Property Address, City, State 10-12 East Broad Street, Richmond, Virginia 23219-1732

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

Clarification/Additional Information Required

1. **Storefront:** In order to ensure the storefront meets the *Standards*, please provide detailed, dimensioned drawings of the proposed replacement storefront. In addition, please submit the referenced historic photo showing two separate recessed entrances centered in the two primary bays of the south elevation that you are using as justification for the changes you are proposing.
2. **Basement Moisture Management:** Please provide more detail on how you proposed to conduct moisture management in the basement.
3. **Waist Lines in the First Floor Commercial Spaces:** Please provide more detail on the proposed waste lines that will be located within the commercial spaces. Submit a general systems plans that shows where these waste lines will be located so we can better understand how the introduction of these lines might affect these historic commercial spaces.

pg. 2 of 3

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

5/21/21  
Date

Summer Lentman  
State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

8/6/2021  
Date

Renee Novak  
National Park Service Signature





**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
NATIONAL PARK SERVICE  
CONDITIONS**

Historic Property Name \_\_\_\_\_ Project Number 34798

Property Address, City, State 10-12 East Broad Street, Richmond, VA

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. **Storefront (cont'd.):** Note that the metal framing in the new storefront must have a baked enamel or painted finish.
2. **Waste Lines in the First Floor Commercial Spaces (cont'd.):** New plumbing lines installed to service residential units on the upper floor must not adversely impact first floor commercial spaces below. Plumbing lines should be as minimal as possible and held back to the rear of the commercial space, away from the primary storefront elevation. Plumbing lines, mechanical and electrical elements must be painted to blend in with the background.
3. **HVAC:** Exposed ductwork must be held back from windows at least 3 feet.
4. **Future Tenant Work:** Please submit via Amendment for review the information regarding any additional work for the first-floor tenant commercial spaces as soon as available to ensure conformance of the overall project with the Secretary's Standards.

pg 3 of 3

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

**The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.**

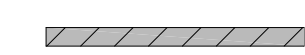

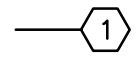
8/6/2021

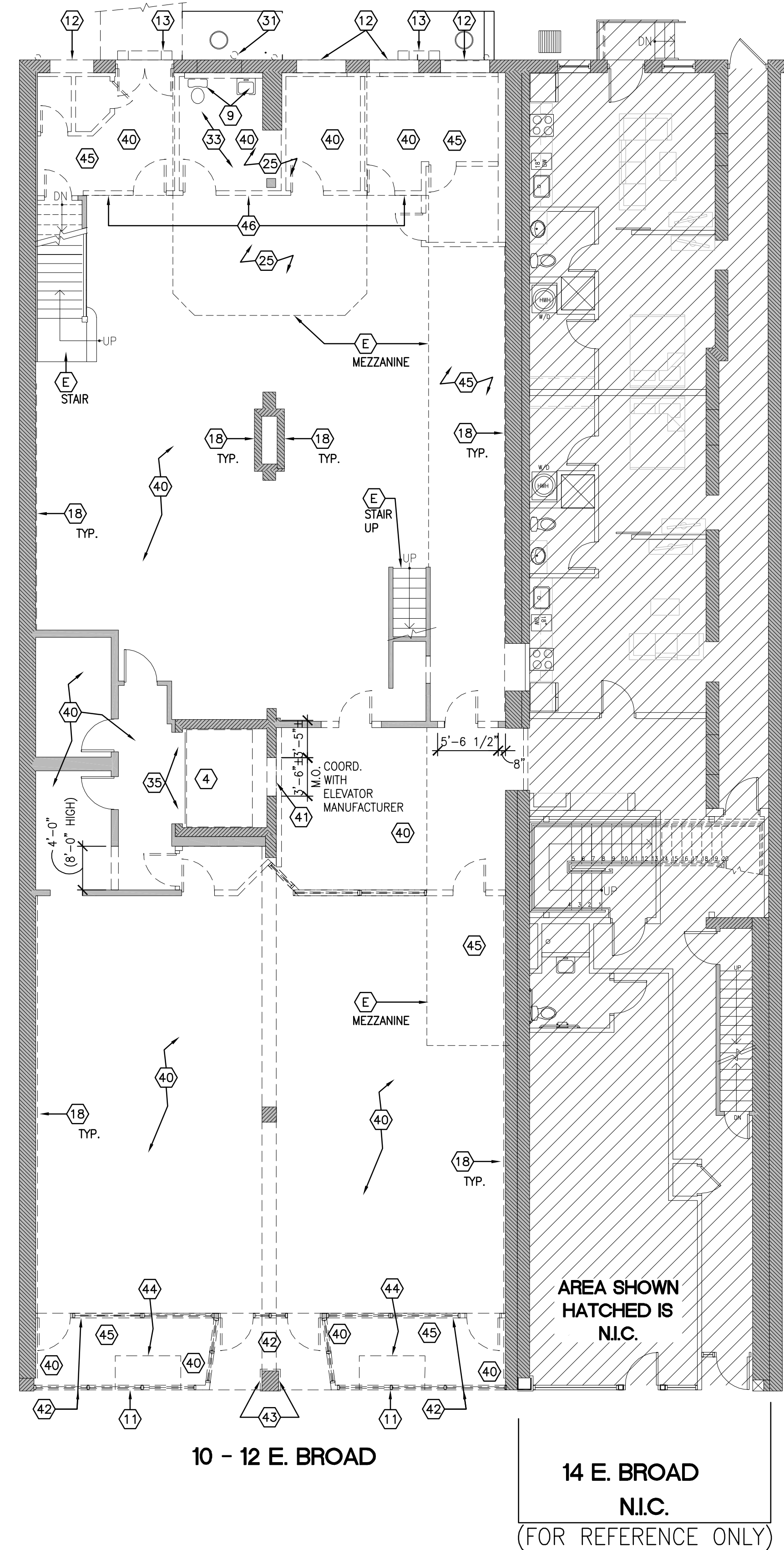
Date

Renee Novak

National Park Service Signature

**LEGEND**

-  EXISTING CONSTRUCTION
-  DEMOLITION
-  DEMOLITION KEY NOTE



**1 FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**DEMOLITION GENERAL NOTES**

1. ALL EXISTING DOORS SHOWN TO BE REMOVED ARE 'NON-HISTORIC' U.N.O.
2. ALL EXISTING WINDOWS ARE TO REMAIN U.N.O. REFURBISH, PREP, PRIME AND REPAINT.
3. REMOVE ALL EXISTING FLOOR FINISHES, INCLUDING MASTIC, THROUGHOUT U.N.O. PREP FLOORS FOR NEW FINISHES.
4. THIS IS A HISTORIC INVESTMENT TAX CREDIT PROJECT. THE SECRETARY OF INTERIORS "STANDARDS FOR REHABILITATION" APPLY TO ALL ASPECTS OF THIS PROJECT. NO HISTORIC CONTRIBUTING ORIGINAL MATERIALS ARE TO BE REMOVED FROM THIS PROJECT UNLESS REVIEWED AND APPROVED BY THE ARCHITECT. THIS INCLUDES ALL PLASTER CEILINGS, TERRAZZO FLOORS, WALL TILE, WOOD DOORS AND TRANSOMS (UNLESS SPECIFICALLY CALLED OUT FOR DEMOLITION IN THE DRAWINGS). IF A QUESTION ARISES AS TO WHETHER A MATERIAL IS TO BE REMOVED, CONSULT THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
5. NO WORK SHALL BE DONE BY CONTRACTORS THAT WILL REDUCE THE STRUCTURAL INTEGRITY OF THE BUILDING OR ITS COMPONENTS, REDUCE THE CURRENT LEVEL OR DEGREE OF FIRE PROTECTION OR LIFE-SAFETY MEASURES OR CONFLICT WITH ANY APPLICABLE CODES, ORDINANCES, REGULATIONS, REQUIREMENTS OR INSTRUCTIONS OF INSPECTING AUTHORITIES.
6. REMOVE ALL EXISTING ELECTRICAL WIRING AND CONDUIT THROUGHOUT.
7. SEE DEMOLITION ELEVATIONS FOR ALL WINDOW RELATED DEMOLITION.
8. REMOVE ALL RADIATORS AND ASSOCIATED PLUMBING THROUGHOUT. CAP LINES IN FLOOR.
9. REMOVE ALL HVAC EQUIPMENT AND DUCTWORK THROUGHOUT. REMOVE ALL ASSOCIATED ELECTRICAL BACK TO PANEL.
10. SALVAGE ALL EXISTING TIN CEILINGS THROUGHOUT FOR REINSTALLATION IN NEW CONSTRUCTION.
11. ALL EXISTING WOOD BASEBOARDS ARE TO REMAIN U.N.O. WHERE REMOVED, SALVAGE FOR REUSE IN NEW CONSTRUCTION.
12. REMOVE ALL DEBRIS FROM ALL AREAS OF BUILDING, TO INCLUDE OLD STORE MERCHANDISE, DEBRIS FROM FIRE, WINDOW TREATMENTS, RETAIL-RELATED PEGBOARDS, DISPLAYS, CASEWORK, SHELVING, FURNISHINGS, ACT CEILINGS, AND ALL FLOOR COVERINGS DOWN TO ORIGINAL HARDWOOD FLOORS.

**DEMOLITION KEY NOTES**

1. EXISTING ELEVATOR SHAFT SHALL BE EXCAVATED TO A DEPTH OF 4'-0" (G.C. TO COORD. EXACT DEPTH WITH ELEVATOR SUB). ADDITIONAL EXCAVATION TO CREATE NEW SUMP PIT (G.C. TO COORD. EXACT LOCATION, DEPTH, AND SIZE WITH ELEVATOR SUB). DO NOT BEGIN EXCAVATION UNTIL THOROUGH REVIEW OF STRUCTURAL DRAWINGS FOR ANY REQUIRED UNDERPINNING.
2. REMOVE MASONRY DOWN TO FLOOR LEVEL TO CONVERT BRICKED-IN WINDOW OPENING INTO A DOOR OPENING.
3. REMOVE EXISTING DRYWALL & ALL ASSOCIATED MODERN FRAMING FROM EXISTING WOOD RAILINGS. REMOVE STOREFRONT FROM TOP OF RAILINGS. EXISTING WOOD RAILINGS TO REMAIN. REPAIR/REPLACE IN-KIND WHERE REQ'D, AND PREP FOR NEW PAINT.
4. EXISTING ELEVATOR SHAFT TO REMAIN. REMOVE EXISTING ELEVATOR, RAILS AND ALL ASSOCIATED EQUIPMENT AND ELECTRICAL BACK TO PANEL. INTERIOR FACE OF SHAFT WALLS TO BE PREPPED FOR NEW ELEVATOR, AND LEFT SMOOTH AND FLUSH, WITH NO INDENTATIONS OR PROJECTIONS OF ANY KIND. SEE STRUCT. FOR STEEL TO FACILITATE NEW ELEVATOR RAIL INSTALLATION.
5. EXISTING HISTORIC RAILING TO REMAIN. REMOVE ALL NON-HISTORIC WOOD PANELING, PEG BOARD AND FLEXIGLAS & ASSOCIATED 2x4 FRAMING TO EXPOSE EXISTING RAILINGS. REPAIR/REPLACE "IN-KIND" WHERE FOUND DAMAGED OR MISSING, AND PREP RAILINGS FOR NEW PAINT.
6. REMOVE EXISTING PLYWOOD AND FRAME. PREP EXISTING OPENING FOR NEW WINDOW.
7. CREATE NEW OPENING (AS DIMENSIONED, 7'-0" HEADER HEIGHT.) IN EXISTING MASONRY FOR NEW DOOR/WINDOW. PROVIDE NEW STEEL LINTELS AS REQUIRED WITH 8" BEARING EACH SIDE. FOR MASONRY WALLS, TOOTH IN BRICK SO THAT NO SAW CUTS ARE VISIBLE.
8. REMOVE EXISTING TRIM FROM AROUND ELEVATOR OPENING, IF REQUIRED, TO FACILITATE NEW CONSTRUCTION. SALVAGE TRIM FOR REINSTALLATION IN NEW CONSTRUCTION.
9. REMOVE PLUMBING FIXTURE AND ALL ASSOCIATED PLUMBING. CAP LINES IN FLOOR/WALL AS APPROPRIATE.
10. REMOVE FAKE WOOD BEAMS. PATCH/REPAIR PLASTER AND PREP FOR NEW FINISHES.
11. REMOVE EXISTING NON-HISTORIC STOREFRONT AND COILING SECURITY GRILLS AND ASSOCIATED GRILL SOFFIT. COVER OPENING WITH PLYWOOD TO SECURE FROM ENTRY AND MAKE WEATHER TIGHT DURING CONSTRUCTION.
12. REMOVE EXISTING MASONRY INFILL FROM ORIGINAL DOOR/WINDOW OPENING. PREP ALL EDGES FOR FOR NEW DOOR/WINDOW. SEE DEMO ELEVATIONS & PROPOSED ELEVATIONS.
13. REMOVE EXISTING CONCRETE STEPS TO GRADE.
14. EXISTING DOOR AND FRAME TO REMAIN. MODIFY AS REQ. TO FLIP DOOR SWING AS SHOWN.
15. REMOVE NON-HISTORIC STEPS AND RAILING. FLOOR PLATFORM TO REMAIN.
16. REMOVE NON-HISTORIC DRYWALL PARTITION AND DOOR AS SHOWN.
17. EXISTING HISTORIC RAILING AND NEWEL POSTS TO REMAIN. PREP, PRIME AND REPAINT.
18. REMOVE ALL EXISTING PEG BOARD AND RELATED FURRING. TYP. AT ALL LOCATIONS WHERE FOUND.
19. REMOVE ALL EXISTING WOOD SLATS AND INSULATION AT WALLS AND CEILING. SALVAGE FOR REINSTALLATION IN NEW CONSTRUCTION.
20. REMOVE ROLL UP DOOR AND RAILINGS. PATCH EXISTING MASONRY AT ATTACHMENT POINTS AS REQ.
21. REMOVE EXISTING BEADBOARD RAILING AND STAIRS. SALVAGE PARTS FOR REUSE/PATCHING IN NEW CONSTRUCTION.
22. REMOVE INFILL PANEL FROM EXISTING OPENING.
23. EXISTING BEADBOARD RAILING/WALL TO REMAIN.
24. REMOVE EXISTING NON-HISTORIC 24" TALL WALL AND PEGBOARD. SEE PROPOSED PLAN FOR PROPOSED CODE-COMPLIANT REPLACEMENT.
25. EXISTING WOOD CEILING AND ASSOCIATED TRIM AT UNDERSIDE OF MEZZANINE SHALL BE CAREFULLY REMOVED AND STORED FOR RE-INSTALLATION.
26. REMOVE EXISTING CONCRETE "RAMP" TO MAKE ADJOINING FLOORS FLUSH.
27. REMOVE EXISTING OIL TANKS AND ALL ASSOCIATED LINES COMPLETELY.
28. REMOVE ALL EXISTING SHELVING AND RETAIL DISPLAY EQUIPMENT.
29. REMOVE ALL EXISTING GWB CEILINGS IN THIS AREA.
30. REMOVE EXISTING BOILER AND ALL ASSOCIATED PIPING AND WIRING.
31. EXISTING RADON VENTING SYSTEM TO BE RECONFIGURED AND VENTING TO BE RUN INTERNALLY UP TO ROOF. SEE MEP DRAWINGS.
32. EXISTING EXPOSED EARTH. EXCAVATE AS REQUIRED. INSTALL NEW 4" THICK CONCRETE SLAB OVER 4" GRAVEL AND 10 MIL VAPOR BARRIER.
33. REMOVE EXIST. GWB CEILING AND ASSOCIATED FRAMING TO REVEAL EXISTING ORIGINAL WOOD CEILING. NOTIFY ARCHITECT IF NO EXISTING WOOD CEILING IS FOUND.
34. NEW ACCESS DOOR OPENINGS FOR ACCESS TO NEW MECHANICAL EQUIPMENT LOFT ABOVE PROPOSED BATHROOMS. SEE PROPOSED PLANS FOR DOOR TYPE. POSITION NEW OPENINGS IMMEDIATELY ABOVE EXISTING DOOR OPENINGS.
35. EXISTING ELEVATOR DOORS AT THIS LEVEL ARE TO BE CAREFULLY REMOVED AND STORED FOR POSSIBLE REUSE. SEE PROPOSED 1ST FLOOR PROPOSED PLANS FOR NOTATIONS REGARDING NON-FUNCTIONAL REINSTALLATION.
36. EXISTING TEMPORARY SHORING TO BE REMOVED. SEE STRUCTURAL DRAWING FOR ANY RELATED REPAIR WORK, IF REQUIRED, BEFORE REMOVING EXISTING SHORING.
37. ALL JOISTS AND UNDERSIDE OF SUBFLOOR TO BE TREATED FOR MOLD.
38. EXCAVATE TO CREATE NEW SUMP PIT. SEE PLUMBING DRAWINGS.
39. ONCE NEW POWER IS ESTABLISHED, REMOVE ALL OLD/ABANDONED SERVICE PANELS INCLUDING ALL BRANCH CIRCUITS AND ASSOCIATED CONDUITS.
40. REMOVE ALL FLOOR FINISHES, INCLUDING TILE, CARPET, ADHESIVES DOWN TO ORIGINAL CONCRETE FLOOR (BASEMENT) OR T&G WOOD (UPPER FLOORS)
41. CREATE NEW OPENING IN EXISTING MASONRY FOR NEW ELEVATOR DOORS. COORDINATE EXACT SIZE AND LOCATION WITH SELECTED ELEVATOR SUB. SEE STRUCTURAL FOR LINTEL SPEC.
42. EXISTING STOREFRONT TO BE REMOVED EXISTING FDC TO REMAIN AND PROTECTED DURING CONSTRUCTION. FLOOR PLATFORM ABOVE ENTRY TO REMAIN. INFILL RECESSED SLOPED ENTRY VESTIBULE TO BE FLUSH WITH EXISTING WOOD FLOORS AND FINISHED WITH NEW T&G WOOD FLOORING. NEW T&G TO MATCH COLOR AND WIDTH OF EXISTING
43. REMOVE SHEET METAL CLADDING FROM SIDES AND REAR OF COLUMN.
44. NEW RECESSED SLOPED FLOOR (RAMP) SHALL EXTEND FROM SIDEWALK TO FINISHED FLOOR LEVEL (1:12 MAX. SLOPE) AT AREAS OF NEW RECESSED ENTRIES. NEW RAMP TO HAVE TILE FINISH, REFER TO FINISH SCHEDULE FOR SPECIFICATION.
45. EXISTING MODERN FIBER BOARD CEILING SHALL BE REMOVED FROM UNDERSIDE OF MEZZANINE
46. THIS PARTITION IS A STRUCTURAL PARTITION. REMOVE CEILING ONLY IN THIS AREA TO EXPOSE EXISTING STRUCTURE. SEE DEMO NOTE 25. ONCE EXPOSED, CONTACT ARCHITECT FOR INSPECTION. DO NOT DEMOLISH THIS PARTITION UNTIL INSTRUCTED TO DO SO BY THE ARCHITECT. SEE STRUCTURAL PLANS FOR ADD'L INFORMATION.



2731 WEST GRACE STREET  
RICHMOND, VA 23220  
804.353.1415



**KBARRY  
ARCHITECT, LLC**

**10-12-14 EAST BROAD STREET  
Phase II  
Renovation/Adaptive Reuse  
Richmond, Virginia**

RECORD: \_\_\_\_\_ DATE: \_\_\_\_\_

REVIEW SET 04-07-2021  
PRICING SET 04-15-2021

SEAL: \_\_\_\_\_

DRAWING TITLE: \_\_\_\_\_


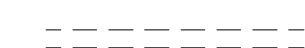
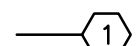
FIRST FLOOR  
DEMOLITION PLAN

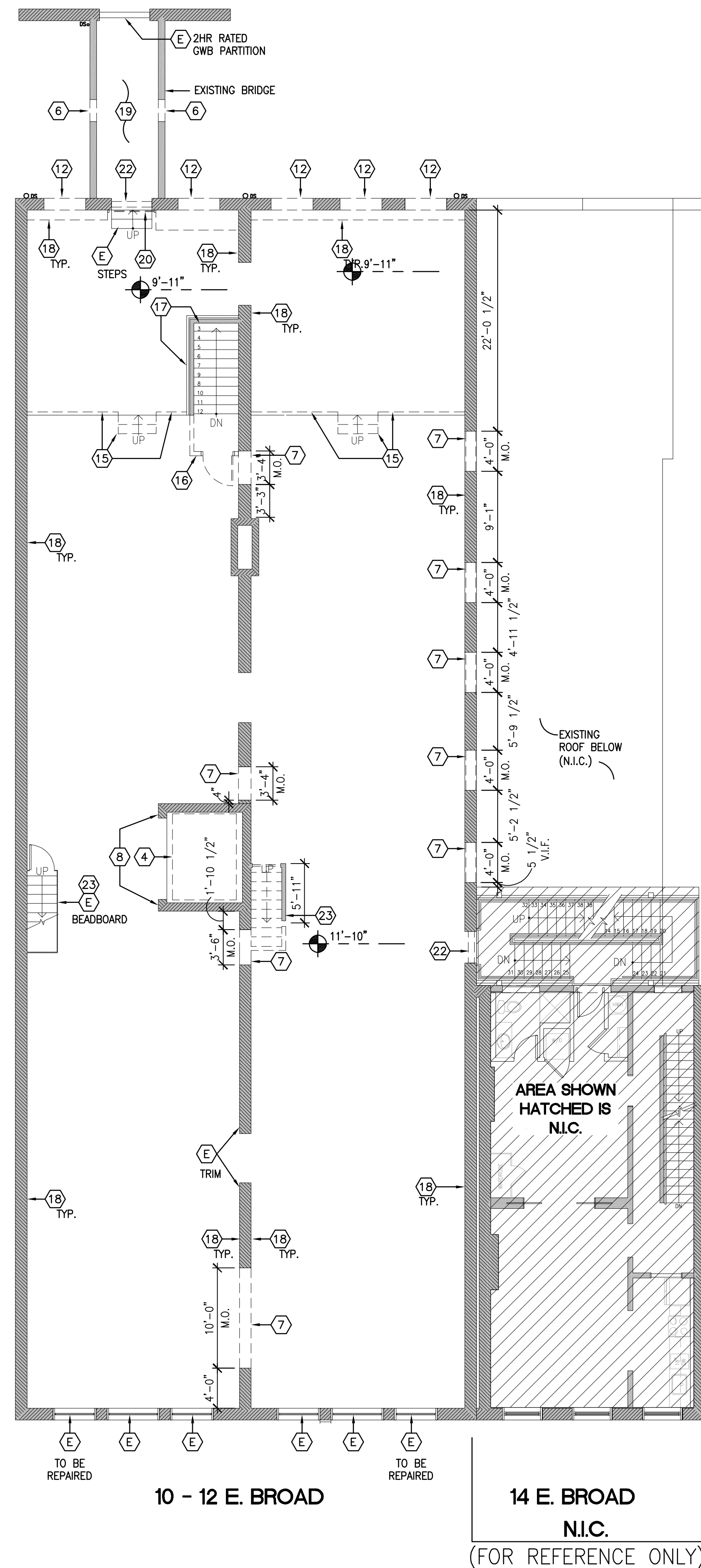
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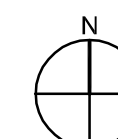
PROJECT NUMBER: 1824

**LEGEND**

-  EXISTING CONSTRUCTION
-  DEMOLITION
-  DEMOLITION KEY NOTE



**1 SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**DEMOLITION GENERAL NOTES**

1. ALL EXISTING DOORS SHOWN TO BE REMOVED ARE 'NON-HISTORIC' U.N.O.
2. ALL EXISTING WINDOWS ARE TO REMAIN U.N.O. REFURBISH, PREP, PRIME AND REPAINT.
3. REMOVE ALL EXISTING FLOOR FINISHES, INCLUDING MASTIC, THROUGHOUT U.N.O. PREP FLOORS FOR NEW FINISHES.
4. THIS IS A HISTORIC INVESTMENT TAX CREDIT PROJECT. THE SECRETARY OF INTERIORS "STANDARDS FOR REHABILITATION" APPLY TO ALL ASPECTS OF THIS PROJECT. NO HISTORIC CONTRIBUTING ORIGINAL MATERIALS ARE TO BE REMOVED FROM THIS PROJECT UNLESS REVIEWED AND APPROVED BY THE ARCHITECT. THIS INCLUDES ALL PLASTER CEILINGS, TERRAZZO FLOORS, WALL TILE, WOOD DOORS AND TRANSOMS (UNLESS SPECIFICALLY CALLED OUT FOR DEMOLITION IN THE DRAWINGS). IF A QUESTION ARISES AS TO WHETHER A MATERIAL IS TO BE REMOVED, CONSULT THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
5. NO WORK SHALL BE DONE BY CONTRACTORS THAT WILL REDUCE THE STRUCTURAL INTEGRITY OF THE BUILDING OR ITS COMPONENTS, REDUCE THE CURRENT LEVEL OR DEGREE OF FIRE PROTECTION OR LIFE-SAFETY MEASURES OR CONFLICT WITH ANY APPLICABLE CODES, ORDINANCES, REGULATIONS, REQUIREMENTS OR INSTRUCTIONS OF INSPECTING AUTHORITIES.
6. REMOVE ALL EXISTING ELECTRICAL WIRING AND CONDUIT THROUGHOUT.
7. SEE DEMOLITION ELEVATIONS FOR ALL WINDOW RELATED DEMOLITION.
8. REMOVE ALL RADIATORS AND ASSOCIATED PLUMBING THROUGHOUT. CAP LINES IN FLOOR.
9. REMOVE ALL HVAC EQUIPMENT AND DUCTWORK THROUGHOUT. REMOVE ALL ASSOCIATED ELECTRICAL BACK TO PANEL.
10. SALVAGE ALL EXISTING TIN CEILINGS THROUGHOUT FOR REINSTALLATION IN NEW CONSTRUCTION.
11. ALL EXISTING WOOD BASEBOARDS ARE TO REMAIN U.N.O. WHERE REMOVED, SALVAGE FOR REUSE IN NEW CONSTRUCTION.
12. REMOVE ALL DEBRIS FROM ALL AREAS OF BUILDING, TO INCLUDE OLD STORE MERCHANDISE, DEBRIS FROM FIRE, WINDOW TREATMENTS, RETAIL-RELATED PEGBOARDS, DISPLAYS, CASEWORK, SHELVING, FURNISHINGS, ACT CEILINGS, AND ALL FLOOR COVERINGS DOWN TO ORIGINAL HARDWOOD FLOORS.

**DEMOLITION KEY NOTES**

- 1 EXISTING ELEVATOR SHAFT SHALL BE EXCAVATED TO A DEPTH OF 4'-0" (G.C. TO COORD. EXACT DEPTH WITH ELEVATOR SUB). ADDITIONAL EXCAVATION TO CREATE NEW SUMP PIT (G.C. TO COORD. EXACT LOCATION, DEPTH, AND SIZE WITH ELEVATOR SUB). DO NOT BEGIN EXCAVATION UNTIL THOROUGH REVIEW OF STRUCTURAL DRAWINGS FOR ANY REQUIRED UNDERPINNING.
- 2 REMOVE MASONRY DOWN TO FLOOR LEVEL TO CONVERT BRICKED-IN WINDOW OPENING INTO A DOOR OPENING.
- 3 REMOVE EXISTING DRYWALL & ALL ASSOCIATED MODERN FRAMING FROM EXISTING WOOD RAILINGS. REMOVE STOREFRONT FROM TOP OF RAILINGS. EXISTING WOOD RAILINGS TO REMAIN. REPAIR/REPLACE IN-KIND WHERE REQ'D, AND PREP FOR NEW PAINT.
- 4 EXISTING ELEVATOR SHAFT TO REMAIN. REMOVE EXISTING ELEVATOR, RAILS AND ALL ASSOCIATED EQUIPMENT AND ELECTRICAL BACK TO PANEL. INTERIOR FACE OF SHAFT WALLS TO BE PREPPED FOR NEW ELEVATOR, AND LEFT SMOOTH AND FLUSH, WITH NO INDENTATIONS OR PROJECTIONS OF ANY KIND. SEE STRUCT. FOR STEEL TO FACILITATE NEW ELEVATOR RAIL INSTALLATION.
- 5 EXISTING HISTORIC RAILING TO REMAIN. REMOVE ALL NON-HISTORIC WOOD PANELING, PEG BOARD AND FLEXIGLAS & ASSOCIATED 2x4 FRAMING TO EXPOSE EXISTING RAILINGS. REPAIR/REPLACE "IN-KIND" WHERE FOUND DAMAGED OR MISSING, AND PREP RAILINGS FOR NEW PAINT.
- 6 REMOVE EXISTING PLYWOOD AND FRAME. PREP EXISTING OPENING FOR NEW WINDOW.
- 7 CREATE NEW OPENING (AS DIMENSIONED, 7'-0" HEADER HEIGHT.) IN EXISTING MASONRY FOR NEW DOOR/WINDOW. PROVIDE NEW STEEL LINTELS AS REQUIRED WITH 8" BEARING EACH SIDE. FOR MASONRY WALLS, TOOTH IN BRICK SO THAT NO SAW CUTS ARE VISIBLE.
- 8 REMOVE EXISTING TRIM FROM AROUND ELEVATOR OPENING, IF REQUIRED, TO FACILITATE NEW CONSTRUCTION. SALVAGE TRIM FOR REINSTALLATION IN NEW CONSTRUCTION.
- 9 REMOVE PLUMBING FIXTURE AND ALL ASSOCIATED PLUMBING. CAP LINES IN FLOOR/WALL AS APPROPRIATE.
- 10 REMOVE FAKE WOOD BEAMS. PATCH/REPAIR PLASTER AND PREP FOR NEW FINISHES.
- 11 REMOVE EXISTING NON-HISTORIC STOREFRONT AND COILING SECURITY GRILLS AND ASSOCIATED GRILL SOFFIT. COVER OPENING WITH PLYWOOD TO SECURE FROM ENTRY AND MAKE WEATHER TIGHT DURING CONSTRUCTION.
- 12 REMOVE EXISTING MASONRY INFILL FROM ORIGINAL DOOR/WINDOW OPENING. PREP ALL EDGES FOR FOR NEW DOOR/WINDOW. SEE DEMO ELEVATIONS & PROPOSED ELEVATIONS.
- 13 REMOVE EXISTING CONCRETE STEPS TO GRADE.
- 14 EXISTING DOOR AND FRAME TO REMAIN. MODIFY AS REQ. TO FLIP DOOR SWING AS SHOWN.
- 15 REMOVE NON-HISTORIC STEPS AND RAILING. FLOOR PLATFORM TO REMAIN.
- 16 REMOVE NON-HISTORIC DRYWALL PARTITION AND DOOR AS SHOWN
- 17 EXISTING HISTORIC RAILING AND NEWEL POSTS TO REMAIN. PREP, PRIME AND REPAINT.
- 18 REMOVE ALL EXISTING PEG BOARD AND RELATED FURRING. TYP. AT ALL LOCATIONS WHERE FOUND
- 19 REMOVE ALL EXISTING WOOD SLATS AND INSULATION AT WALLS AND CEILING. SALVAGE FOR REINSTALLATION IN NEW CONSTRUCTION.
- 20 REMOVE ROLL UP DOOR AND RAILINGS. PATCH EXISTING MASONRY AT ATTACHMENT POINTS AS REQ.
- 21 REMOVE EXISTING BEADBOARD RAILING AND STAIRS. SALVAGE PARTS FOR REUSE/PATCHING IN NEW CONSTRUCTION.
- 22 REMOVE INFILL PANEL FROM EXISTING OPENING.
- 23 EXISTING BEADBOARD RAILING/WALL TO REMAIN.
- 24 REMOVE EXISTING NON-HISTORIC 24" TALL WALL AND PEGBOARD. SEE PROPOSED PLAN FOR PROPOSED CODE-COMPLIANT REPLACEMENT.
- 25 EXISTING WOOD CEILING AND ASSOCIATED TRIM AT UNDERSIDE OF MEZZANINE SHALL BE CAREFULLY REMOVED AND STORED FOR RE-INSTALLATION.
- 26 REMOVE EXISTING CONCRETE "RAMP" TO MAKE ADJOINING FLOORS FLUSH.
- 27 REMOVE EXISTING OIL TANKS AND ALL ASSOCIATED LINES COMPLETELY.
- 28 REMOVE ALL EXISTING SHELVING AND RETAIL DISPLAY EQUIPMENT.
- 29 REMOVE ALL EXISTING GWB CEILINGS IN THIS AREA.
- 30 REMOVE EXISTING BOILER AND ALL ASSOCIATED PIPING AND WIRING.
- 31 EXISTING RADON VENTING SYSTEM TO BE RECONFIGURED AND VENTING TO BE RUN INTERNALLY UP TO ROOF. SEE MEP DRAWINGS.
- 32 EXISTING EXPOSED EARTH. EXCAVATE AS REQUIRED. INSTALL NEW 4" THICK CONCRETE SLAB OVER 4" GRAVEL AND 10 MIL VAPOR BARRIER.
- 33 REMOVE EXIST. GWB CEILING AND ASSOCIATED FRAMING TO REVEAL EXISTING ORIGINAL WOOD CEILING. NOTIFY ARCHITECT IF NO EXISTING WOOD CEILING IS FOUND.
- 34 NEW ACCESS DOOR OPENINGS FOR ACCESS TO NEW MECHANICAL EQUIPMENT LOFT ABOVE PROPOSED BATHROOMS. SEE PROPOSED PLANS FOR DOOR TYPE. POSITION NEW OPENINGS IMMEDIATELY ABOVE EXISTING DOOR OPENINGS.
- 35 EXISTING ELEVATOR DOORS AT THIS LEVEL ARE TO BE CAREFULLY REMOVED AND STORED FOR POSSIBLE REUSE. SEE PROPOSED 1ST FLOOR PROPOSED PLANS FOR NOTATIONS REGARDING NON-FUNCTIONAL REINSTALLATION.
- 36 EXISTING TEMPORARY SHORING TO BE REMOVED. SEE STRUCTURAL DRAWING FOR ANY RELATED REPAIR WORK, IF REQUIRED, BEFORE REMOVING EXISTING SHORING.
- 37 ALL JOISTS AND UNDERSIDE OF SUBFLOOR TO BE TREATED FOR MOLD.
- 38 EXCAVATE TO CREATE NEW SUMP PIT. SEE PLUMBING DRAWINGS.
- 39 ONCE NEW POWER IS ESTABLISHED, REMOVE ALL OLD/ABANDONED SERVICE PANELS INCLUDING ALL BRANCH CIRCUITS AND ASSOCIATED CONDUITS.
- 40 REMOVE ALL FLOOR FINISHES, INCLUDING TILE, CARPET, ADHESIVES DOWN TO ORIGINAL CONCRETE FLOOR (BASEMENT) OR T&G WOOD (UPPER FLOORS)
- 41 CREATE NEW OPENING IN EXISTING MASONRY FOR NEW ELEVATOR DOORS. COORDINATE EXACT SIZE AND LOCATION WITH SELECTED ELEVATOR SUB. SEE STRUCTURAL FOR LINTEL SPEC.
- 42 EXISTING STOREFRONT TO BE REMOVED EXISTING FDC TO REMAIN AND PROTECTED DURING CONSTRUCTION. FLOOR PLATFORM ABOVE ENTRY TO REMAIN. INFILL RECESSED SLOPED ENTRY VESTIBULE TO BE FLUSH WITH EXISTING WOOD FLOORS AND FINISHED WITH NEW T&G WOOD FLOORING. NEW T&G TO MATCH COLOR AND WIDTH OF EXISTING
- 43 REMOVE SHEET METAL CLADDING FROM SIDES AND REAR OF COLUMN.
- 44 NEW RECESSED SLOPED FLOOR (RAMP) SHALL EXTEND FROM SIDEWALK TO FINISHED FLOOR LEVEL (1:12 MAX. SLOPE) AT AREAS OF NEW RECESSED ENTRIES. NEW RAMP TO HAVE TILE FINISH, REFER TO FINISH SCHEDULE FOR SPECIFICATION.
- 45 EXISTING MODERN FIBER BOARD CEILING SHALL BE REMOVED FROM UNDERSIDE OF MEZZANINE
- 46 THIS PARTITION IS A STRUCTURAL PARTITION. REMOVE CEILING ONLY IN THIS AREA TO EXPOSE EXISTING STRUCTURE. SEE DEMO NOTE 25. ONCE EXPOSED, CONTACT ARCHITECT FOR INSPECTION. DO NOT DEMOLISH THIS PARTITION UNTIL INSTRUCTED TO DO SO BY THE ARCHITECT.



2731 WEST GRACE STREET  
RICHMOND, VA 23220  
804.353.1415

**KBARRY ARCHITECT, LLC**

**10-12-14 EAST BROAD STREET**  
**Phase II**  
**Renovation/Adaptive Reuse**  
**Richmond, Virginia**

RECORD: \_\_\_\_\_ DATE: \_\_\_\_\_

REVIEW SET 04-07-2021  
PRICING SET 04-15-2021

SEAL: \_\_\_\_\_

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**SECOND FLOOR DEMOLITION PLAN**

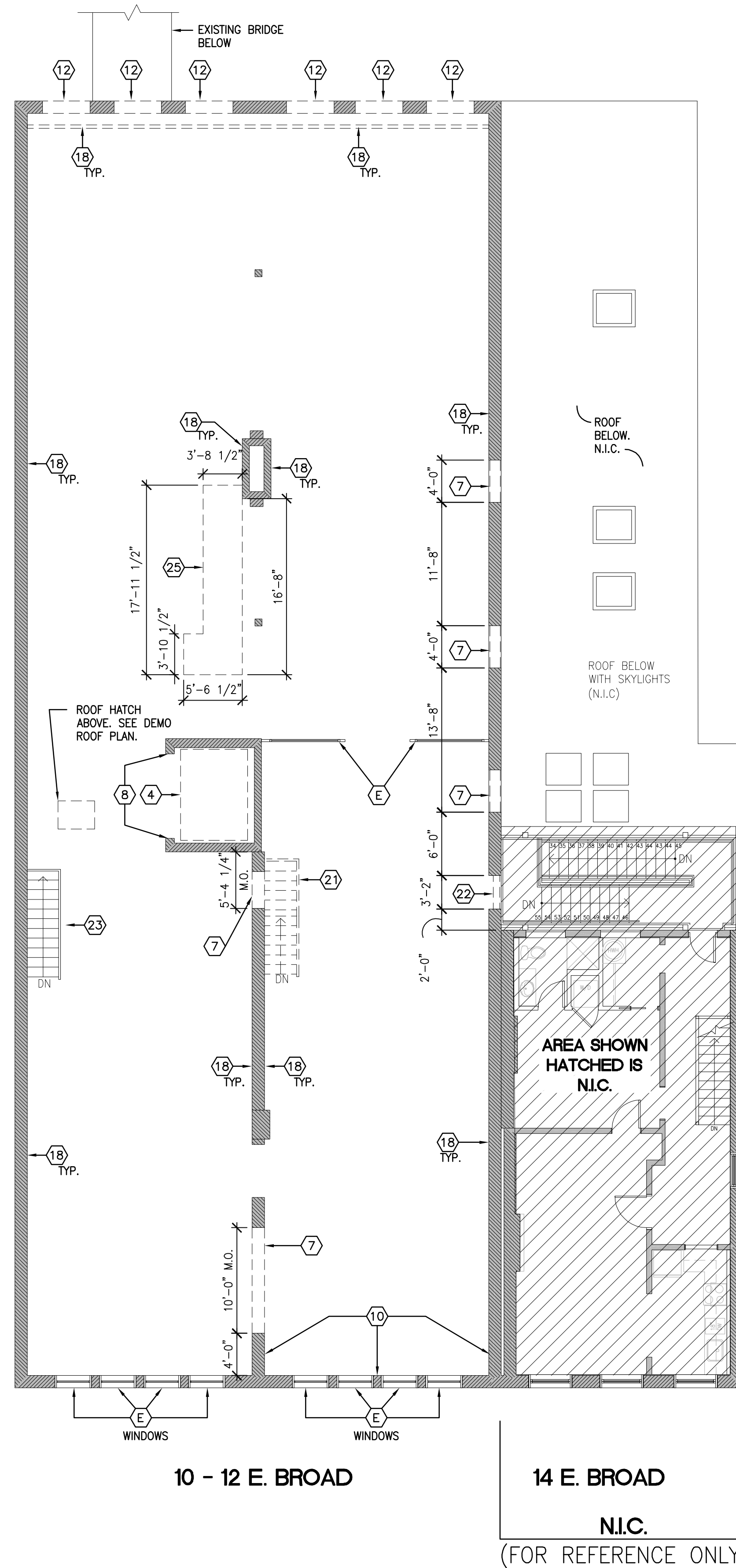
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PROJECT NUMBER: **1824**

**LEGEND**

-  EXISTING CONSTRUCTION
-  DEMOLITION
-  DEMOLITION KEY NOTE



**1 THIRD FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

**DEMOLITION GENERAL NOTES**

1. ALL EXISTING DOORS SHOWN TO BE REMOVED ARE 'NON-HISTORIC' U.N.O.
2. ALL EXISTING WINDOWS ARE TO REMAIN U.N.O. REFURBISH, PREP, PRIME AND REPAINT.
3. REMOVE ALL EXISTING FLOOR FINISHES, INCLUDING MASTIC, THROUGHOUT U.N.O. PREP FLOORS FOR NEW FINISHES.
4. THIS IS A HISTORIC INVESTMENT TAX CREDIT PROJECT. THE SECRETARY OF INTERIORS "STANDARDS FOR REHABILITATION" APPLY TO ALL ASPECTS OF THIS PROJECT. NO HISTORIC CONTRIBUTING ORIGINAL MATERIALS ARE TO BE REMOVED FROM THIS PROJECT UNLESS REVIEWED AND APPROVED BY THE ARCHITECT. THIS INCLUDES ALL PLASTER CEILINGS, TERRAZZO FLOORS, WALL TILE, WOOD DOORS AND TRANSOMS (UNLESS SPECIFICALLY CALLED OUT FOR DEMOLITION IN THE DRAWINGS). IF A QUESTION ARISES AS TO WHETHER A MATERIAL IS TO BE REMOVED, CONSULT THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
5. NO WORK SHALL BE DONE BY CONTRACTORS THAT WILL REDUCE THE STRUCTURAL INTEGRITY OF THE BUILDING OR ITS COMPONENTS, REDUCE THE CURRENT LEVEL OR DEGREE OF FIRE PROTECTION OR LIFE-SAFETY MEASURES OR CONFLICT WITH ANY APPLICABLE CODES, ORDINANCES, REGULATIONS, REQUIREMENTS OR INSTRUCTIONS OF INSPECTING AUTHORITIES.
6. REMOVE ALL EXISTING ELECTRICAL WIRING AND CONDUIT THROUGHOUT.
7. SEE DEMOLITION ELEVATIONS FOR ALL WINDOW RELATED DEMOLITION.
8. REMOVE ALL RADIATORS AND ASSOCIATED PLUMBING THROUGHOUT. CAP LINES IN FLOOR.
9. REMOVE ALL HVAC EQUIPMENT AND DUCTWORK THROUGHOUT. REMOVE ALL ASSOCIATED ELECTRICAL BACK TO PANEL.
10. SALVAGE ALL EXISTING TIN CEILINGS THROUGHOUT FOR REINSTALLATION IN NEW CONSTRUCTION.
11. ALL EXISTING WOOD BASEBOARDS ARE TO REMAIN U.N.O. WHERE REMOVED, SALVAGE FOR REUSE IN NEW CONSTRUCTION.
12. REMOVE ALL DEBRIS FROM ALL AREAS OF BUILDING, TO INCLUDE OLD STORE MERCHANDISE, DEBRIS FROM FIRE, WINDOW TREATMENTS, RETAIL-RELATED PEGBOARDS, DISPLAYS, CASEWORK, SHELVING, FURNISHINGS, ACT CEILINGS, AND ALL FLOOR COVERINGS DOWN TO ORIGINAL HARDWOOD FLOORS.

**DEMOLITION KEY NOTES**

1. EXISTING ELEVATOR SHAFT SHALL BE EXCAVATED TO A DEPTH OF 4'-0" (G.C. TO COORD. EXACT DEPTH WITH ELEVATOR SUB). ADDITIONAL EXCAVATION TO CREATE NEW SUMP PIT (G.C. TO COORD. EXACT LOCATION, DEPTH, AND SIZE WITH ELEVATOR SUB). DO NOT BEGIN EXCAVATION UNTIL THOROUGH REVIEW OF STRUCTURAL DRAWINGS FOR ANY REQUIRED UNDERPINNING.
2. REMOVE MASONRY DOWN TO FLOOR LEVEL TO CONVERT BRICKED-IN WINDOW OPENING INTO A DOOR OPENING.
3. REMOVE EXISTING DRYWALL & ALL ASSOCIATED MODERN FRAMING FROM EXISTING WINDOW RAILINGS. REMOVE STOREFRONT FROM TOP OF RAILINGS. EXISTING WOOD RAILINGS TO REMAIN. REPAIR/REPLACE IN-KIND WHERE REQ'D, AND PREP FOR NEW PAINT.
4. EXISTING ELEVATOR SHAFT TO REMAIN. REMOVE EXISTING ELEVATOR, RAILS AND ALL ASSOCIATED EQUIPMENT AND ELECTRICAL BACK TO PANEL. INTERIOR FACE OF SHAFT WALLS TO BE PREPPED FOR NEW ELEVATOR, AND LEFT SMOOTH AND FLUSH, WITH NO INDENTATIONS OR PROJECTIONS OF ANY KIND. SEE STRUCT. FOR STEEL TO FACILITATE NEW ELEVATOR RAIL INSTALLATION.
5. EXISTING HISTORIC RAILING TO REMAIN. REMOVE ALL NON-HISTORIC WOOD PANELING, PEG BOARD AND PLEXIGLAS & ASSOCIATED 2x4 FRAMING TO EXPOSE EXISTING RAILINGS. REPAIR/REPLACE "IN-KIND" WHERE FOUND DAMAGED OR MISSING, AND PREP RAILINGS FOR NEW PAINT.
6. REMOVE EXISTING PLYWOOD AND FRAME. PREP EXISTING OPENING FOR NEW WINDOW.
7. CREATE NEW OPENING (AS DIMENSIONED, 7'-0" HEADER HEIGHT.) IN EXISTING MASONRY FOR NEW DOOR/WINDOW. PROVIDE NEW STEEL LINTELS AS REQUIRED WITH 8" BEARING EACH SIDE. FOR MASONRY WALLS, TOOTH IN BRICK SO THAT NO SAW CUTS ARE VISIBLE.
8. REMOVE EXISTING TRIM FROM AROUND ELEVATOR OPENING, IF REQUIRED, TO FACILITATE NEW CONSTRUCTION. SALVAGE TRIM FOR REINSTALLATION IN NEW CONSTRUCTION.
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10. REMOVE FAKE WOOD BEAMS. PATCH/REPAIR PLASTER AND PREP FOR NEW FINISHES.
11. REMOVE EXISTING NON-HISTORIC STOREFRONT AND COILING SECURITY GRILLS AND ASSOCIATED GRILL SOFFIT. COVER OPENING WITH PLYWOOD TO SECURE FROM ENTRY AND MAKE WEATHER TIGHT DURING CONSTRUCTION.
12. REMOVE EXISTING MASONRY INFILL FROM ORIGINAL DOOR/WINDOW OPENING. PREP ALL EDGES FOR FOR NEW DOOR/WINDOW. SEE DEMO ELEVATIONS & PROPOSED ELEVATIONS.
13. REMOVE EXISTING CONCRETE STEPS TO GRADE.
14. EXISTING DOOR AND FRAME TO REMAIN. MODIFY AS REQ. TO FLIP DOOR SWING AS SHOWN.
15. REMOVE NON-HISTORIC STEPS AND RAILING. FLOOR PLATFORM TO REMAIN.
16. REMOVE NON-HISTORIC DRYWALL PARTITION AND DOOR AS SHOWN
17. EXISTING HISTORIC RAILING AND NEWEL POSTS TO REMAIN. PREP, PRIME AND REPAINT.
18. REMOVE ALL EXISTING PEG BOARD AND RELATED FURRING. TYP. AT ALL LOCATIONS WHERE FOUND
19. REMOVE ALL EXISTING WOOD SLATS AND INSULATION AT WALLS AND CEILING. SALVAGE FOR REINSTALLATION IN NEW CONSTRUCTION.
20. REMOVE ROLL UP DOOR AND RAILINGS. PATCH EXISTING MASONRY AT ATTACHMENT POINTS AS REQ.
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25. EXISTING WOOD CEILING AND ASSOCIATED TRIM AT UNDERSIDE OF MEZZANINE SHALL BE CAREFULLY REMOVED AND STORED FOR RE-INSTALLATION.
26. REMOVE EXISTING CONCRETE "RAMP" TO MAKE ADJOINING FLOORS FLUSH.
27. REMOVE EXISTING OIL TANKS AND ALL ASSOCIATED LINES COMPLETELY.
28. REMOVE ALL EXISTING SHELVING AND RETAIL DISPLAY EQUIPMENT.
29. REMOVE ALL EXISTING GWB CEILINGS IN THIS AREA.
30. REMOVE EXISTING BOILER AND ALL ASSOCIATED PIPING AND WIRING.
31. EXISTING RADON VENTING SYSTEM TO BE RECONFIGURED AND VENTING TO BE RUN INTERNALLY UP TO ROOF. SEE MEP DRAWINGS.
32. EXISTING EXPOSED EARTH. EXCAVATE AS REQUIRED. INSTALL NEW 4" THICK CONCRETE SLAB OVER 4" GRAVEL AND 10 MIL VAPOR BARRIER.
33. REMOVE EXIST. GWB CEILING AND ASSOCIATED FRAMING TO REVEAL EXISTING ORIGINAL WOOD CEILING. NOTIFY ARCHITECT IF NO EXISTING WOOD CEILING IS FOUND.
34. NEW ACCESS DOOR OPENINGS FOR ACCESS TO NEW MECHANICAL EQUIPMENT LOFT ABOVE PROPOSED BATHROOMS. SEE PROPOSED PLANS FOR DOOR TYPE. POSITION NEW OPENINGS IMMEDIATELY ABOVE EXISTING DOOR OPENINGS.
35. EXISTING ELEVATOR DOORS AT THIS LEVEL ARE TO BE CAREFULLY REMOVED AND STORED FOR POSSIBLE REUSE. SEE PROPOSED 1ST FLOOR PROPOSED PLANS FOR NOTATIONS REGARDING NON-FUNCTIONAL REINSTALLATION.
36. EXISTING TEMPORARY SHORING TO BE REMOVED. SEE STRUCTURAL DRAWING FOR ANY RELATED REPAIR WORK, IF REQUIRED, BEFORE REMOVING EXISTING SHORING.
37. ALL JOISTS AND UNDERSIDE OF SUBFLOOR TO BE TREATED FOR MOLD.
38. EXCAVATE TO CREATE NEW SUMP PIT. SEE PLUMBING DRAWINGS.
39. ONCE NEW POWER IS ESTABLISHED, REMOVE ALL OLD/ABANDONED SERVICE PANELS INCLUDING ALL BRANCH CIRCUITS AND ASSOCIATED CONDUITS.
40. REMOVE ALL FLOOR FINISHES, INCLUDING TILE, CARPET, ADHESIVES DOWN TO ORIGINAL CONCRETE FLOOR (BASEMENT) OR T&G WOOD (UPPER FLOORS)
41. CREATE NEW OPENING IN EXISTING MASONRY FOR NEW ELEVATOR DOORS. COORDINATE EXACT SIZE AND LOCATION WITH SELECTED ELEVATOR SUB. SEE STRUCTURAL FOR LINTEL SPEC.
42. EXISTING STOREFRONT TO BE REMOVED EXISTING FDC TO REMAIN AND PROTECTED DURING CONSTRUCTION. FLOOR PLATFORM ABOVE ENTRY TO REMAIN. INFILL RECESSED SLOPED ENTRY VESTIBULE TO BE FLUSH WITH EXISTING WOOD FLOORS AND FINISHED WITH NEW T&G WOOD FLOORING. NEW T&G TO MATCH COLOR AND WIDTH OF EXISTING
43. REMOVE SHEET METAL CLADDING FROM SIDES AND REAR OF COLUMN.
44. NEW RECESSED SLOPED FLOOR (RAMP) SHALL EXTEND FROM SIDEWALK TO FINISHED FLOOR LEVEL (1:12 MAX. SLOPE) AT AREAS OF NEW RECESSED ENTRIES. NEW RAMP TO HAVE TILE FINISH, REFER TO FINISH SCHEDULE FOR SPECIFICATION.
45. EXISTING MODERN FIBER BOARD CEILING SHALL BE REMOVED FROM UNDERSIDE OF MEZZANINE
46. THIS PARTITION IS A STRUCTURAL PARTITION. REMOVE CEILING ONLY IN THIS AREA TO EXPOSE EXISTING STRUCTURE. SEE DEMO NOTE 25. ONCE EXPOSED, CONTACT ARCHITECT FOR INSPECTION. DO NOT DEMOLISH THIS PARTITION UNTIL INSTRUCTED TO DO SO BY THE ARCHITECT.



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**KBARRY ARCHITECT, LLC**

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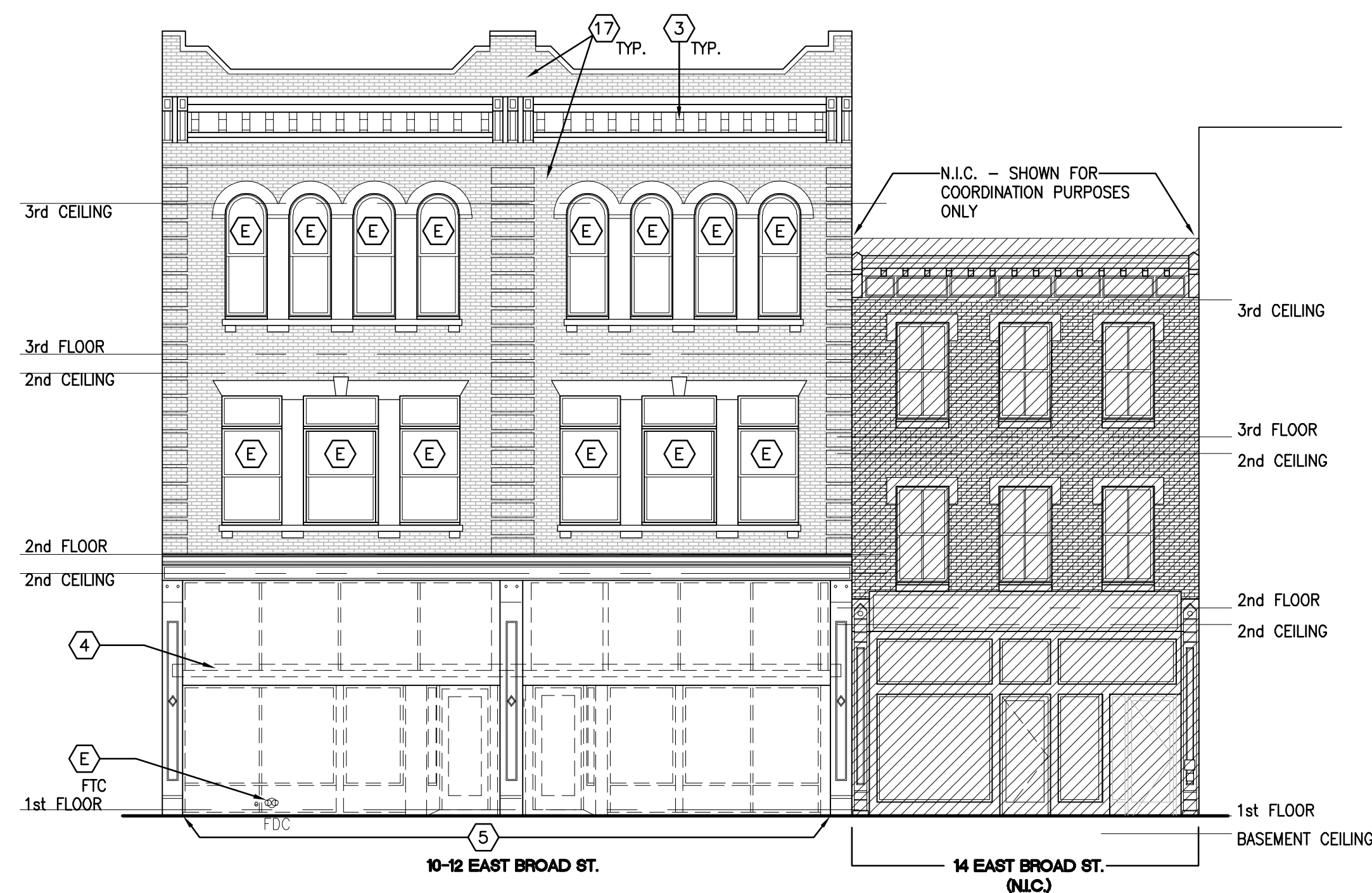
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THIRD FLOOR  
DEMOLITION PLAN

SHEET: \_\_\_\_\_

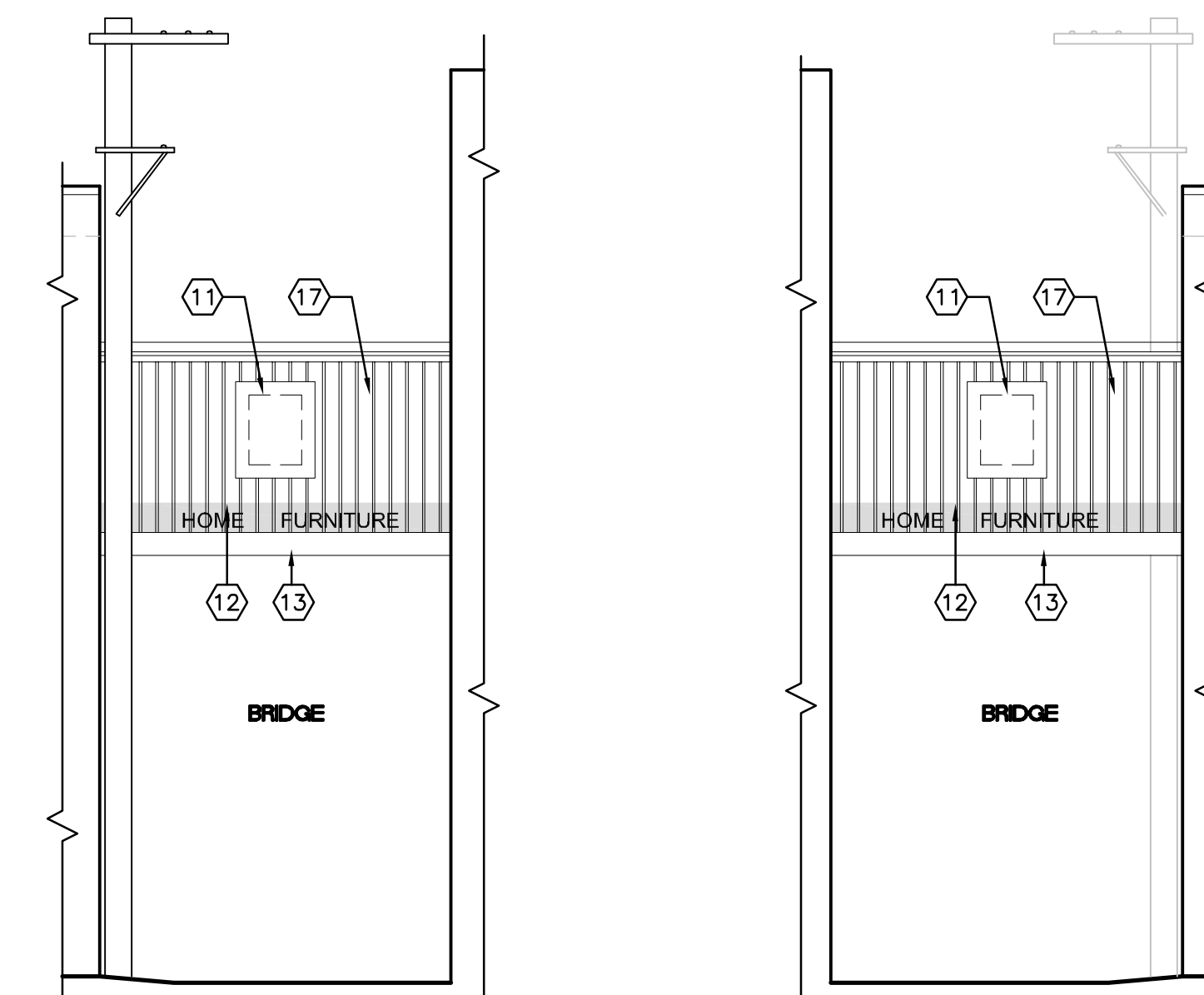
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PROJECT NUMBER: 1824



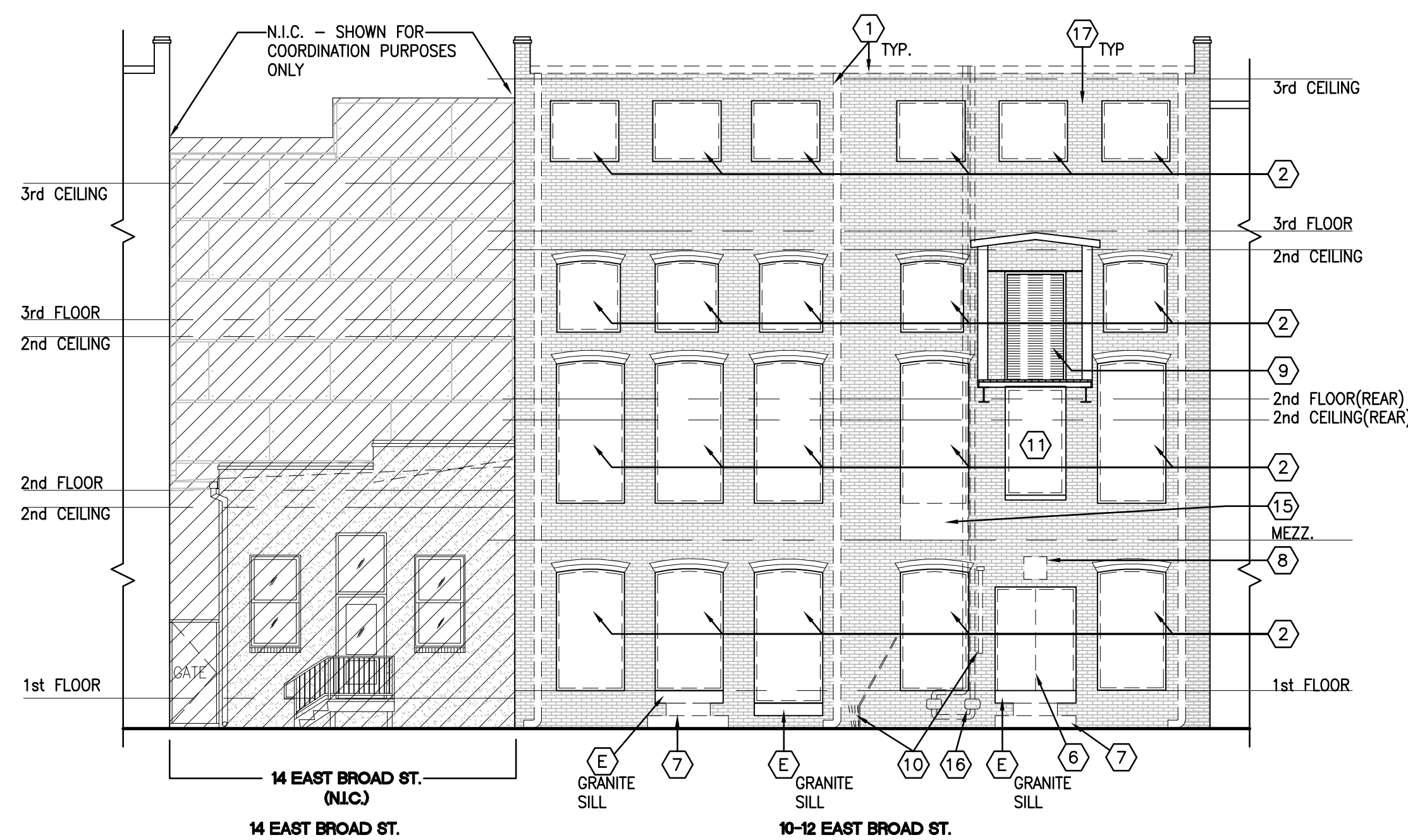
**1 SOUTH ELEVATION - DEMOLITION**

SCALE: 1/8" = 1'-0"



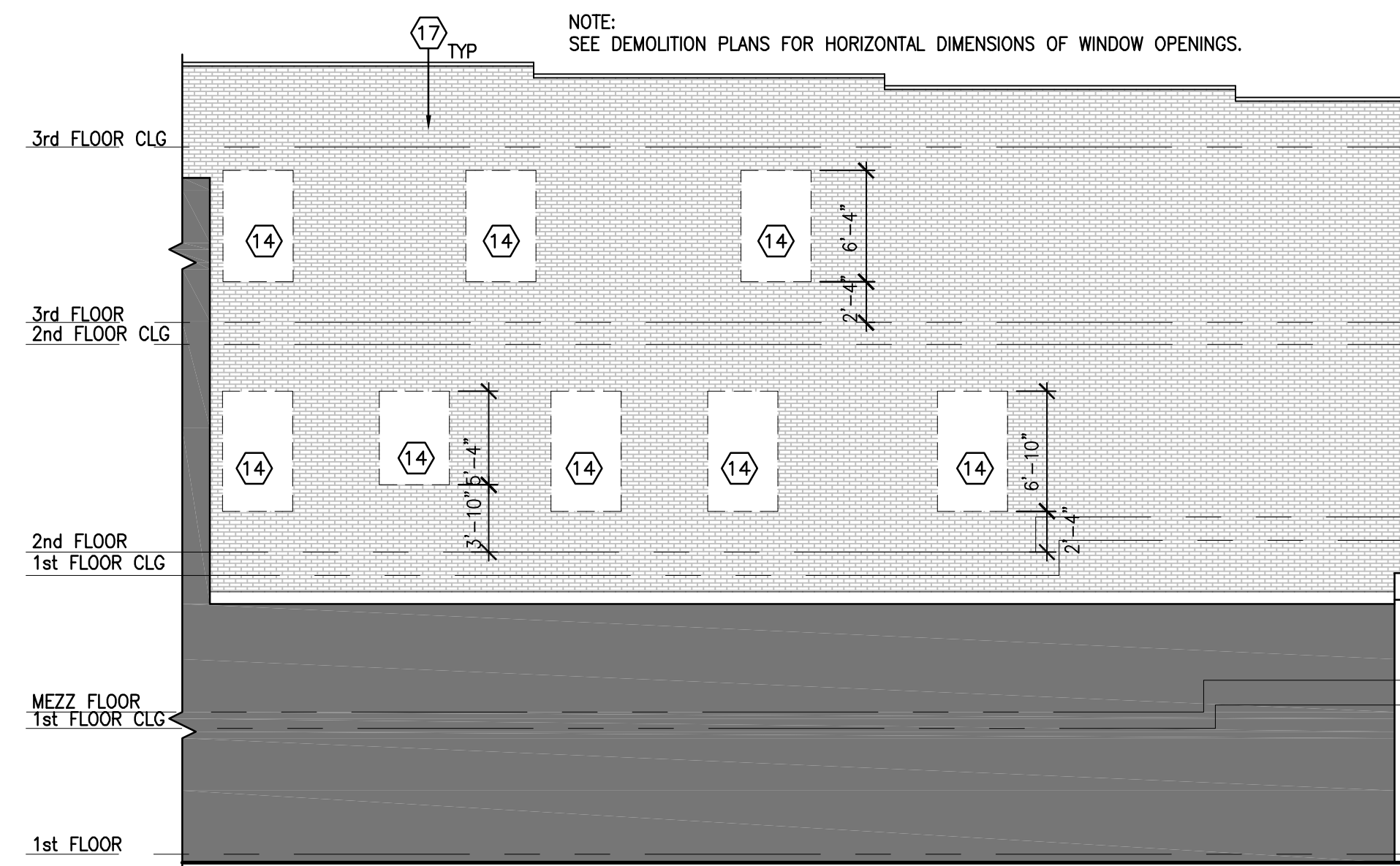
**2 EAST & WEST ELEVATIONS - DEMOLITION**

SCALE: 1/8" = 1'-0"



**3 NORTH ELEVATION - DEMOLITION**

SCALE: 1/8" = 1'-0"



**4 PARTIAL WEST ELEVATION - DEMOLITION**

SCALE: 1/8" = 1'-0"

**DEMOLITION GENERAL NOTES**

1. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS SHOWN OR NOTED ON DRAWINGS AND THOSE ITEMS REQUIRED TO BE REMOVED TO FULFILL THE INTENT OF THE CONSTRUCTION DOCUMENTS.
2. DEMOLITION AND REMOVAL OF DEBRIS: ALL DEMOLITION WORK AND RUBBISH REMOVAL SHALL BE CONFINED TO THE TIMES AND HOURS ALLOWED BY ALL LOCAL CODES HAVING JURISDICTION AND SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS.
3. CONTRACTORS SHALL BE RESPONSIBLE FOR INSPECTION REQUIREMENTS BY AUTHORITIES HAVING JURISDICTION OVER THE PROJECT FOR THEIR PORTIONS OF THE WORK, INCLUDING NOTIFICATION OF SUCH AUTHORITIES, AND SHALL ALERT THE ARCHITECT IN A TIMELY MANNER THAT THEIR INSTALLATIONS ARE AT A POINT REQUIRING INSPECTION BY LOCAL AUTHORITIES BEFORE PROCEEDING OR ALLOWING THEIR WORK TO BE COVERED UP BY SUBSEQUENT CONSTRUCTION BY OTHER CONTRACTORS.
4. CONTRACTORS ARE RESPONSIBLE FOR COMPLYING WITH ALL CODES AND REGULATIONS PERTAINING TO THEIR WORK AND CORRECTING ANY DEFICIENCIES THAT MAY BE FOUND BY INSPECTING AUTHORITIES.
5. CONTRACTORS INVOLVED IN DEMOLITION OPERATIONS SHALL BE AWARE OF ONGOING OR SCHEDULED OPERATIONS BY OTHER CONTRACTORS IN PROXIMITY TO DEMOLITION AREAS.
6. DEMOLITION SHALL BE ACCOMPANIED BY ALL SAFETY MEASURES NECESSARY AND REQUIRED TO PROTECT WORKMEN AND THE PUBLIC AT THE SITE. PROVIDE PROTECTION FOR EXISTING FINISHES TO REMAIN, INCLUDING, BUT NOT LIMITED TO ORNAMENTAL/FINISH PLASTER, WINDOWS, TRIM, AND ALL WOOD FLOORS.
7. DEMOLITION INVOLVING MODIFICATION OR CREATION OF OPENINGS IN THE EXTERIOR ENVELOPE OF THE BUILDING SHALL BE ACCOMPANIED BY SUBSTANTIAL INTERIM CLOSURE OF SUCH OPENINGS, BEFORE SUBSEQUENT AND PERMANENT CLOSURE, TO ASSURE BUILDING SECURITY AND WEATHER RESISTANCE.
8. DEMOLITION THAT INVOLVES ITEMS OR ASSEMBLIES WITH MECHANICAL, PLUMBING OR ELECTRICAL CONNECTIONS SHALL HAVE SUCH CONNECTIONS DISCONNECTED, DEACTIVATED, CAPPED OR SEALED BY THE APPROPRIATE CONTRACTOR, IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS, UNLESS SHOWN OTHERWISE AS REROUTED OR REUSED BY FOLLOW-ON NEW WORK.
9. NO WORK SHALL BE DONE BY CONTRACTORS THAT WILL REDUCE THE STRUCTURAL INTEGRITY OF THE BUILDING OR ITS COMPONENTS, REDUCE THE CURRENT LEVEL OR DEGREE OF FIRE PROTECTION OR LIFE-SAFETY MEASURES OR CONFLICT WITH ANY APPLICABLE CODES, ORDINANCES, REGULATIONS, REQUIREMENTS OR INSTRUCTIONS OF INSPECTING AUTHORITIES.
10. REMAINING EXISTING SURFACES THAT ARE DISTURBED, OR IN ANY WAY MARRED BY DEMOLITION OPERATIONS OR INSTALLATIONS OF FOLLOW-ON NEW MATERIALS, ITEMS OR ASSEMBLIES SHALL BE PATCHED, REPAIRED, REFINISHED OR REPLACED AS REQUIRED TO PRODUCE A FINISHED APPEARANCE. PATCHING AND REPAIRS SHALL BE MADE WITH LIKE NEW MATERIALS MATCHING CONTIGUOUS EXISTING OR IN-PLACE NEW MATERIALS AND FINISHES.
11. THE GENERAL CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR THE EXISTING STRUCTURE, FACILITIES, AND IMPROVEMENTS ADJOINING THE AREA UNDER THIS CONTRACT. ANY DISTURBANCE OR DAMAGE TO ADJOINING PROPERTY RESULTING DIRECTLY OR INDIRECTLY FROM THE CONTRACTOR'S OPERATIONS SHALL BE PROMPTLY RESTORED, REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
12. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY INCLUDING, BUT NOT LIMITED TO, FLOORS, CEILING, PLASTER, TILES, DOORS, FRAMES, AND ALL OTHER PROPERTY SCHEDULED TO REMAIN. ALL EXISTING NON-STRUCTURAL CONSTRUCTION ITEMS THAT INTERFERE WITH THE CONSTRUCTION PER THE CONSTRUCTION DOCUMENTS SHALL BE REMOVED, RELOCATED, OR CAPPED FLUSH IN CEILING, WALL OR FLOOR AS REQUIRED.
13. THE GENERAL CONTRACTOR SHALL REMOVE ALL FLOOR AND WALL CONDUITS LEFT AFTER WALL AND FLOOR DEMOLITION, INCLUDING SWITCH BOXES, PLATES, BRIDGES OR ANY OTHER DEMOLITION AND ELECTRICAL EQUIPMENT.
14. ELECTRICAL DEMOLITION SHALL INCLUDE REMOVAL OF ALL RECEPTACLES, TELEPHONE OUTLETS AND DEVICES IN PARTITIONS SCHEDULED FOR DEMOLITION. MAINTAIN CIRCUIT CONTINUITY TO REMAINING DEVICES. REUSE ALL ABANDONED CIRCUITS WHERE POSSIBLE.
15. THE GENERAL CONTRACTOR SHALL REMOVE EXISTING PARTITIONS, DOORS, FRAMES, HARDWARE AND CABINETS, WHERE INDICATED ON DRAWINGS. ALL DAMAGED AREAS SHALL BE PATCHED AS REQUIRED AND FINISHED TO MATCH EXISTING ADJACENT AREAS OR AS SPECIFIED.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION. ALL MATERIALS, FIXTURES AND EQUIPMENT REMOVED AS A PART OF THE DEMOLITION WORK UNDER THIS CONTRACT SHALL BE OFFERED TO THE OWNER PRIOR TO DISPOSAL.
17. MATERIALS THAT ARE TO BE SALVAGED FOR REUSE SHALL BE CLEANED AND REPAIRED AS REQUIRED BY CONTRACTOR PRIOR TO REINSTALLATION.
18. REFER TO CONSTRUCTION NOTES FOR FURTHER REQUIREMENTS FOR WORK RELATED TO THE ABOVE AND OTHER ITEMS INCLUDED IN THE SCOPE OF WORK.
19. THIS IS A HISTORIC INVESTMENT TAX CREDIT PROJECT. THE SECRETARY OF INTERIORS "STANDARDS FOR REHABILITATION" APPLY TO ALL ASPECTS OF THIS PROJECT. NO HISTORIC, CONTRIBUTING, ORIGINAL MATERIALS ARE TO BE REMOVED FROM THIS PROJECT UNLESS REVIEWED AND APPROVED BY THE ARCHITECT. THIS INCLUDES ALL PLASTER/TIN CEILING, WALL TILE, WOOD DOORS AND TRANSOMS (UNLESS SPECIFICALLY CALLED OUT FOR DEMOLITION IN THE DRAWINGS). IF A QUESTION ARISES AS TO WHETHER A MATERIAL IS TO BE REMOVED, CONSULT THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK. ALL DOORS AND WINDOWS INDICATED TO BE REMOVED SHALL BE RETURNED TO OWNER FOR POSSIBLE REUSE.
20. G.C. TO INCLUDE A \$20,000 ALLOWANCE FOR REPOINTING OF EXISTING BRICK.

**DEMOLITION KEY NOTES**

- 1 REMOVE EXISTING GUTTER AND DOWNSPOUTS.
- 2 REMOVE EXISTING MASONRY INFILL AT EXISTING WINDOW OPENINGS. SEE STRUCTURAL FOR LINTEL/ARCH REQUIREMENTS AT EACH WINDOW.
- 3 EXISTING FRIEZE AND DENTALS TO REMAIN. PREP FOR NEW PAINT.
- 4 G.C. TO CHECK OPERABILITY OF EXISTING AWNING BEFORE REMOVAL. REMOVE AND STORE FOR REINSTALLATION IN NEW CONSTRUCTION IF CURRENTLY OPERABLE. DISCARD IF NOT REUSABLE.
- 5 REMOVE EXISTING STOREFRONT AND METAL SECURITY GRILLE. SECURE OPENING AND MAKE WEATHER TIGHT DURING CONSTRUCTION.
- 6 REMOVE EXISTING DOOR(S) AND FRAME. PREP OPENING FOR NEW DOOR(S).
- 7 REMOVE EXISTING CONCRETE STEPS.
- 8 REMOVE EXISTING LIGHTS AND CAGE.
- 9 REMOVE EXISTING ROLLUP DOOR AND FRAME.
- 10 REMOVE EXISTING CONDUIT AND PLUMBING FROM FACE IF BUILDING. REMOVE ELECTRICAL BACK TO PANEL. CAP PLUMBING.
- 11 REMOVE EXISTING PLYWOOD AND FRAME. PREP OPENING FOR NEW WINDOW.
- 12 EXISTING METAL SIDING AND SIGNAGE TO REMAIN. G.C. TO INSPECT AND VERIFY WEATHER TIGHTNESS. PREP FOR NEW PAINT.
- 13 SCRAPE PRIME AND REPAINT EXISTING STEEL BEAMS.
- 14 CREATE NEW OPENINGS IN MASONRY FOR NEW WINDOWS. REWORK ALL JAMBS TO TOOTH IN EXISTING BRICK. NO SAW CUTS ARE TO BE VISIBLE. PROVIDE NEW LINTEL. SEE STRUCTURAL.
- 15 REMOVE EXISTING BRICK DOWN TO FLOOR LINE. TOOTH IN JAMBS WITH EXISTING SALVAGED BRICK AND MORTAR TO MATCH EXISTING. NO SAW CUTS TO BE VISIBLE.
- 16 EXISTING RADON VENTING SYSTEM TO BE RELOCATED TO AN INTERIOR LOCATION. SEE MEP.
- 17 CLEAN ALL EXISTING BRICK/SIDING WITH WARM WATER AND DETERGENT AT LOW PRESSURE.



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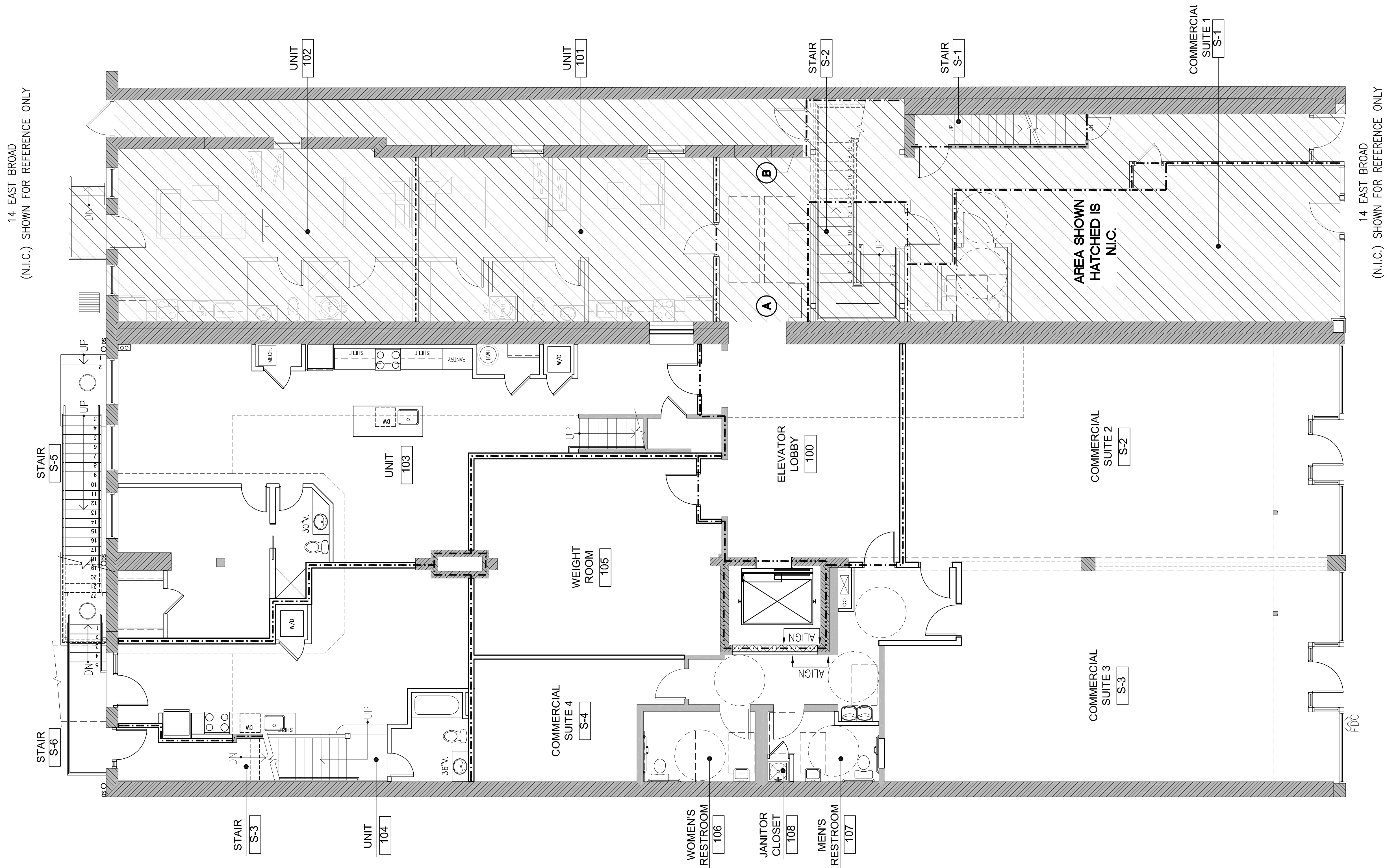
DEMOLITION  
ELEVATIONS

SHEET:

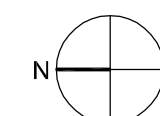
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PROJECT NUMBER: 1824

PLAN LEGEND	
	CONSTRUCTION KEY NOTE
	WALL TYPE
	WINDOW TAG
	DOOR TAG
	INTERIOR ELEVATION TAG
	NEW 2 HOUR RATED WALL
	NEW 1 HOUR RATED WALL
	NEW NON-RATED PARTITION WALL
	EXIST. CONSTRUCTION TO REMAIN
	EXIST. 1 HOUR FIRE RATED WALL
	EXIST. 2 HOUR FIRE RATED WALL
ALL NEW INTERIOR WALLS ARE TYPE '1' UNLESS OTHERWISE NOTED.	



**1** FIRST FLOOR PLAN - PROPOSED  
SCALE: 3/16" = 1'-0"



**10-12-14 EAST BROAD STREET**  
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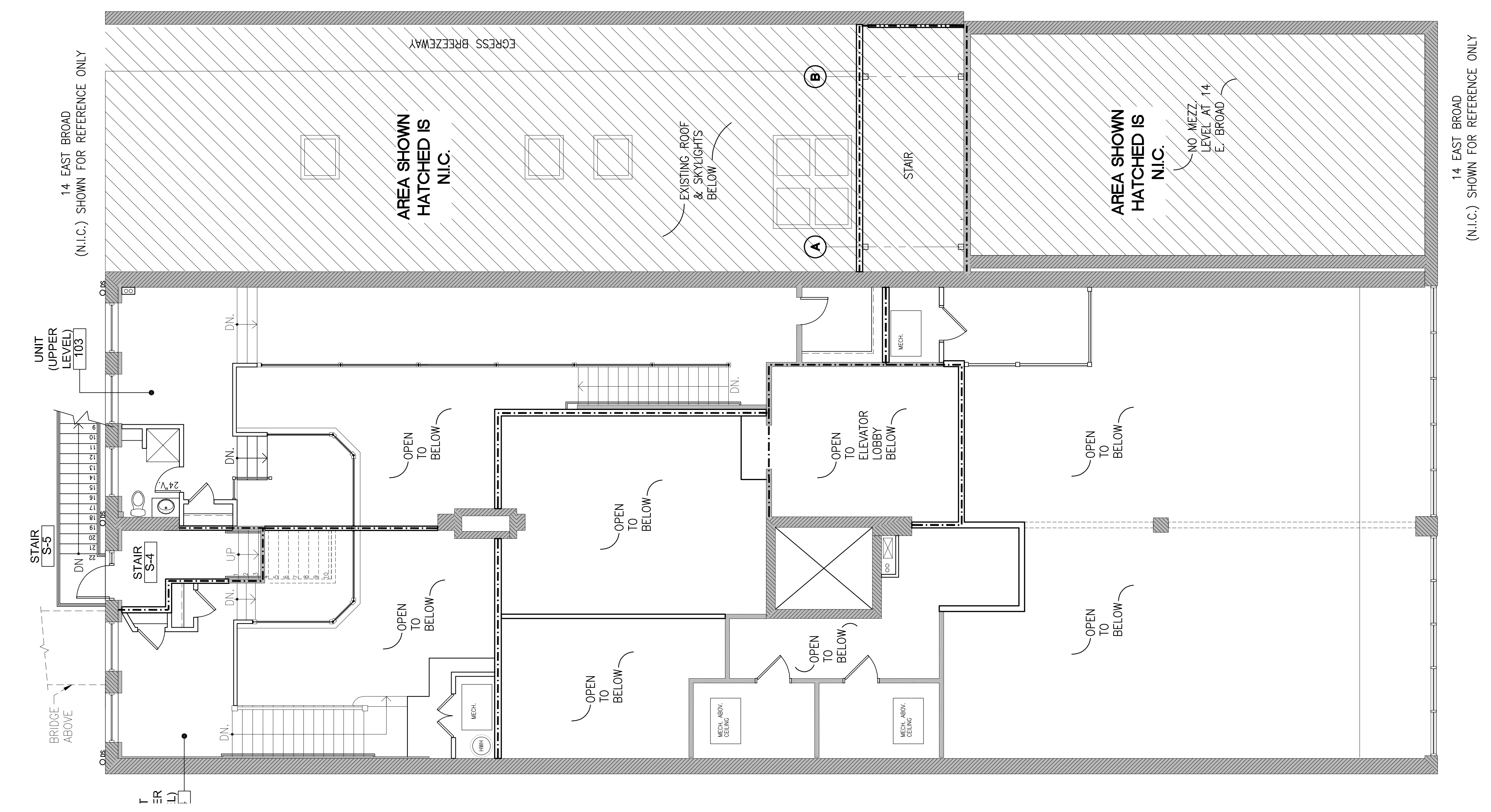
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REVIEW SET	04-07-2021
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DRAWING TITLE:  
**FIRST FLOOR  
PLAN - PROPOSED**

SHEET:  
**A1.1**

PROJECT NUMBER:  
**1824**

1 MEZZANINE PLAN - PROPOSED  
SCALE: 3/16" = 1'-0"



**PLAN LEGEND**

- CONSTRUCTION KEY NOTE
- WALL TYPE
- WINDOW TAG
- DOOR TAG
- INTERIOR ELEVATION TAG
- NEW 2 HOUR RATED WALL
- NEW 1 HOUR RATED WALL
- NEW NON-RATED PARTITION WALL
- EXIST. CONSTRUCTION TO REMAIN
- EXIST. 1 HOUR FIRE RATED WALL
- EXIST. 2 HOUR FIRE RATED WALL

ALL NEW INTERIOR WALLS ARE TYPE '1' UNLESS OTHERWISE NOTED.

**YR** YELLOW ROOM INCORPORATED

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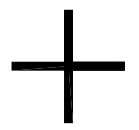
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MEZZANINE PLAN - PROPOSED

SHEET:  
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PROJECT NUMBER:  
1824

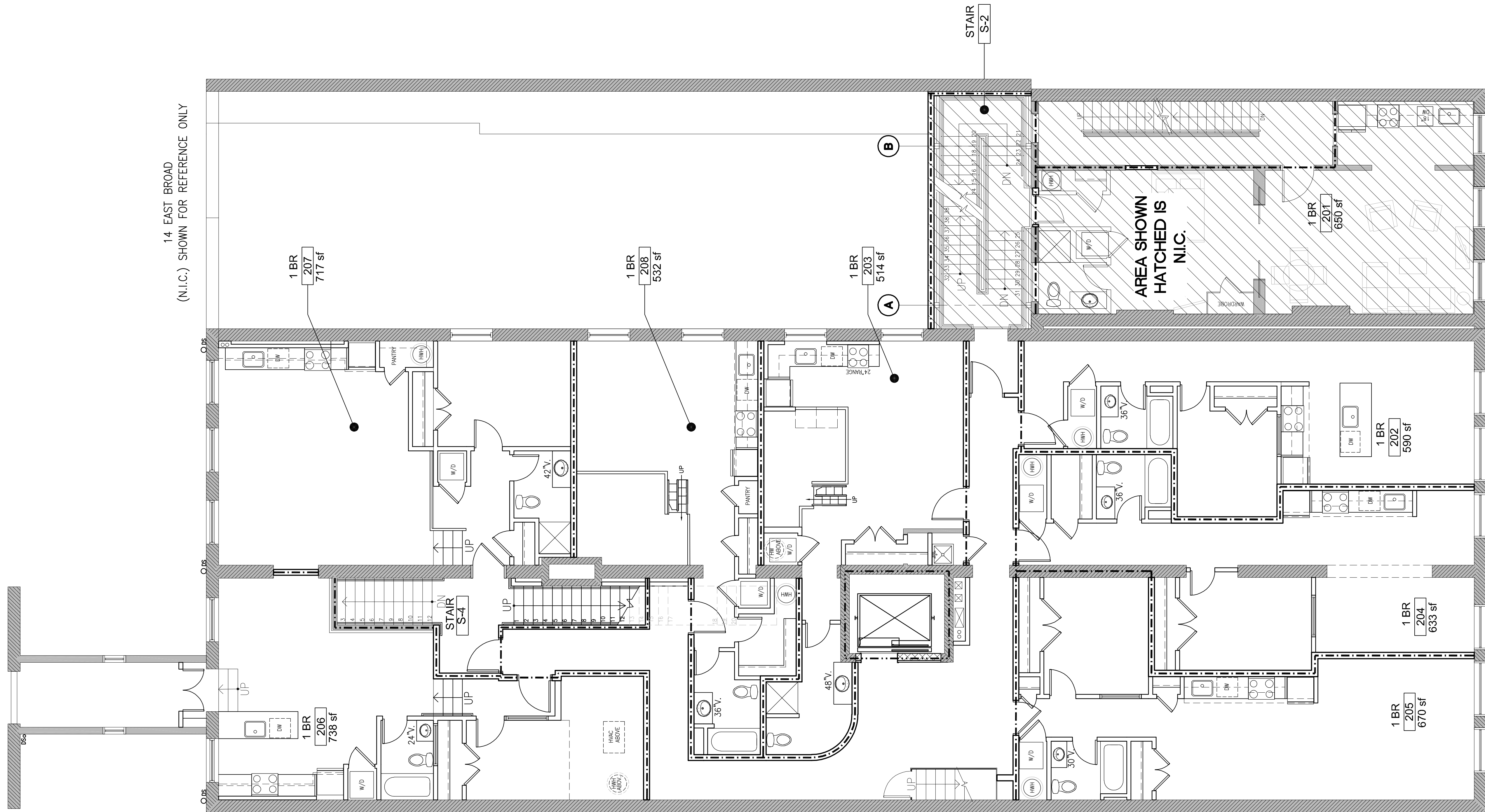


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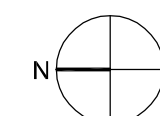
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	WALL TYPE
	WINDOW TAG
	DOOR TAG
	INTERIOR ELEVATION TAG
	NEW 2 HOUR RATED WALL
	NEW 1 HOUR RATED WALL
	NEW NON-RATED PARTITION WALL
	EXIST. CONSTRUCTION TO REMAIN
	EXIST. 1 HOUR FIRE RATED WALL
	EXIST. 2 HOUR FIRE RATED WALL

ALL NEW INTERIOR WALLS ARE TYPE '1' UNLESS OTHERWISE NOTED.

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**1** SECOND FLOOR PLAN - PROPOSED  
SCALE: 3/16" = 1'-0"



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**SECOND FLOOR  
PLAN - PROPOSED**

SHEET:

**A1.2a**

PROJECT NUMBER:  
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PLAN LEGEND	
	CONSTRUCTION KEY NOTE
	WALL TYPE
	WINDOW TAG
	DOOR TAG
	INTERIOR ELEVATION TAG
	NEW 2 HOUR RATED WALL
	NEW 1 HOUR RATED WALL
	NEW NON-RATED PARTITION WALL
	EXIST. CONSTRUCTION TO REMAIN
	EXIST. 1 HOUR FIRE RATED WALL
	EXIST. 2 HOUR FIRE RATED WALL
ALL NEW INTERIOR WALLS ARE TYPE '1' UNLESS OTHERWISE NOTED.	

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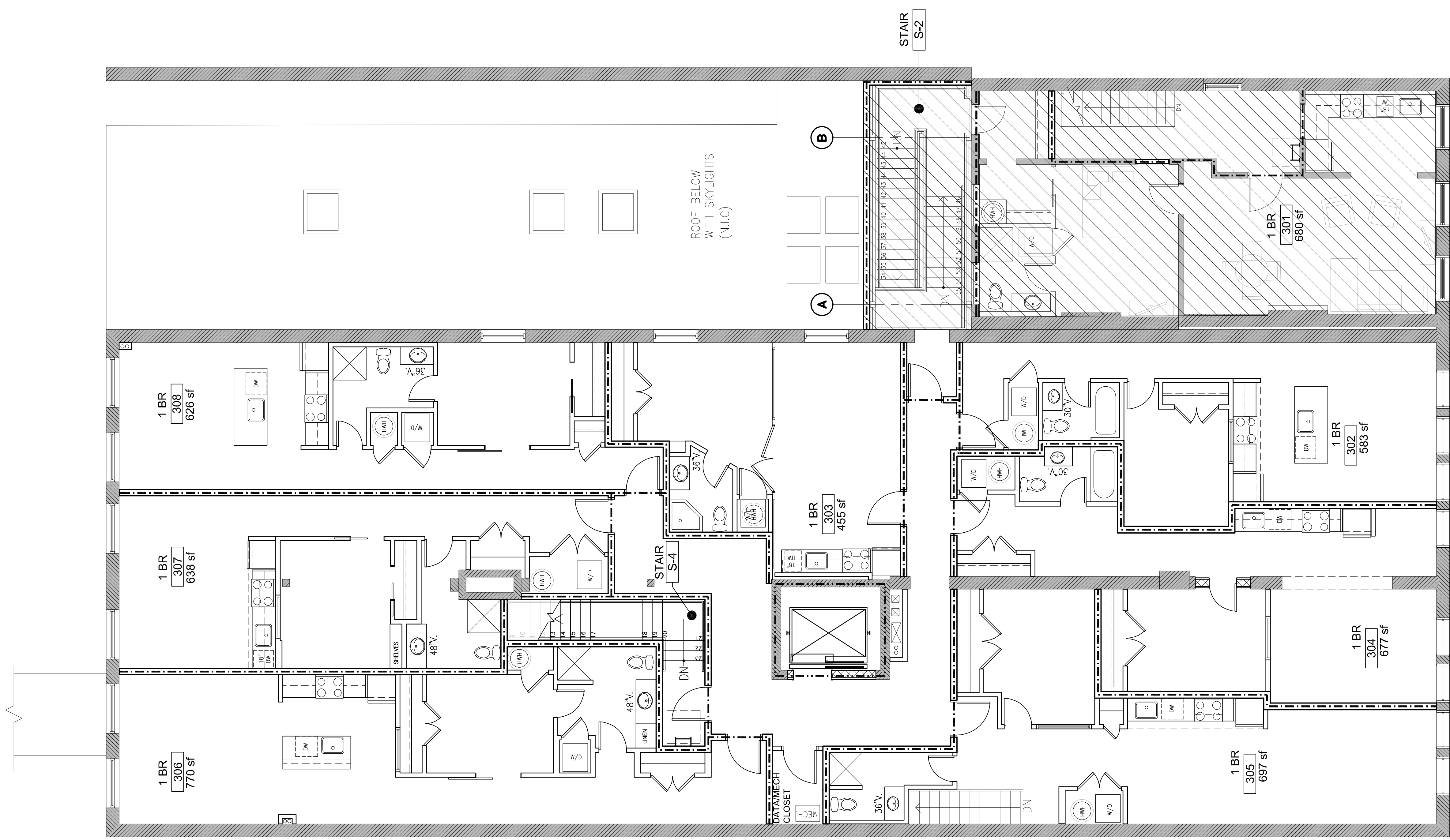
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PLAN - PROPOSED**

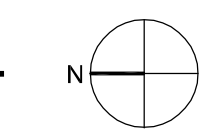
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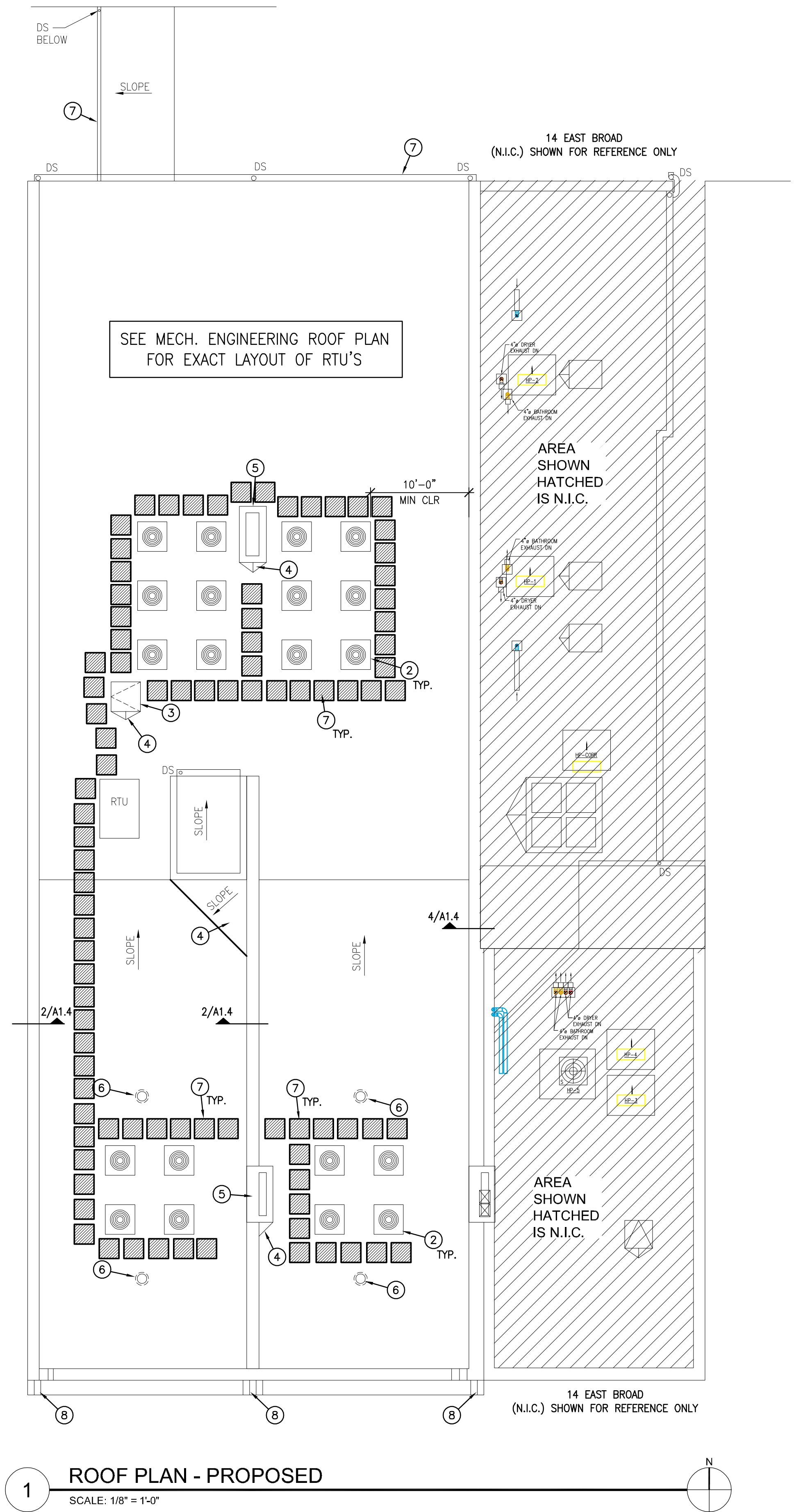
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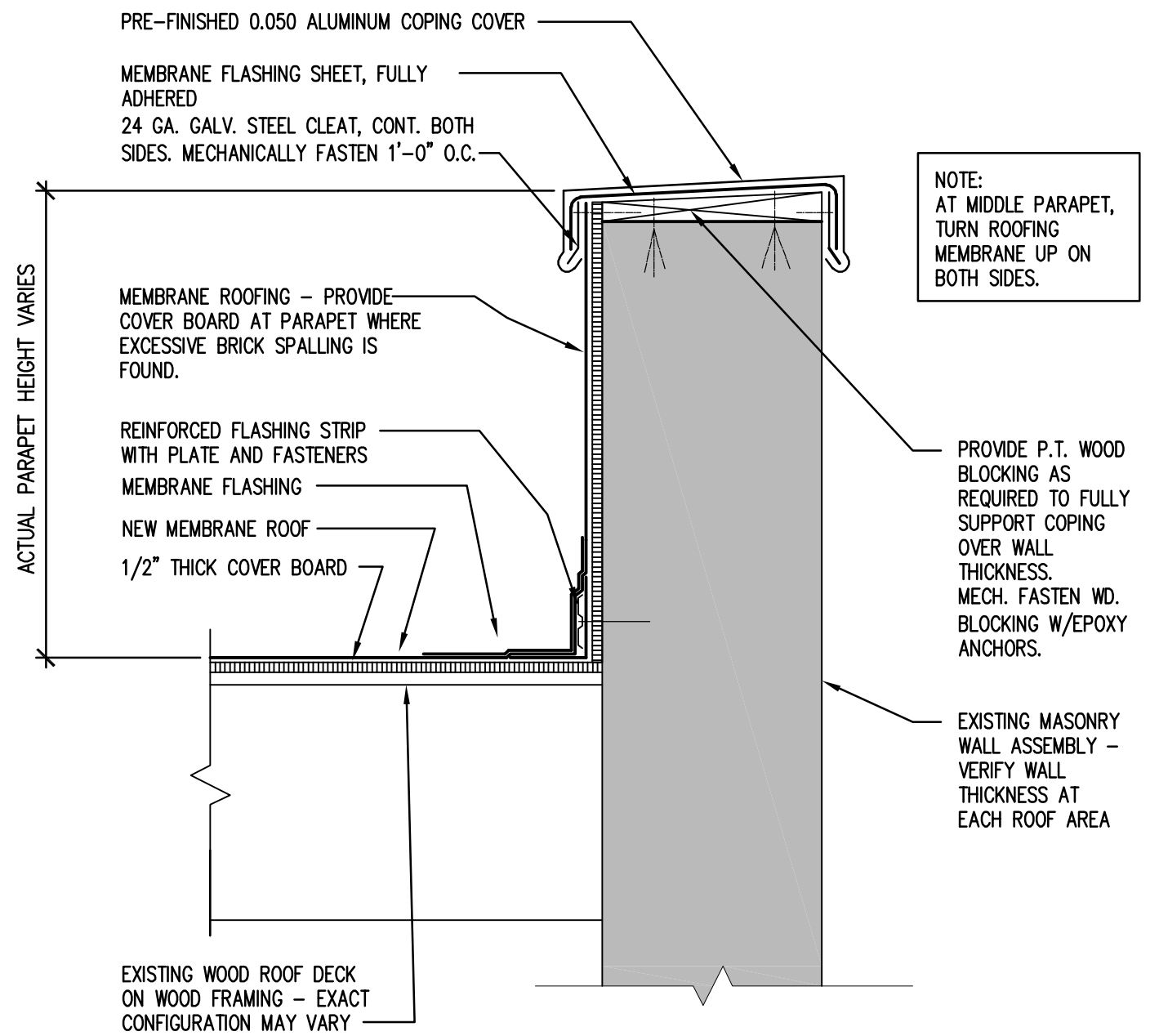


**1** **THIRD FLOOR PLAN - PROPOSED**  
SCALE: 3/16" = 1'-0"

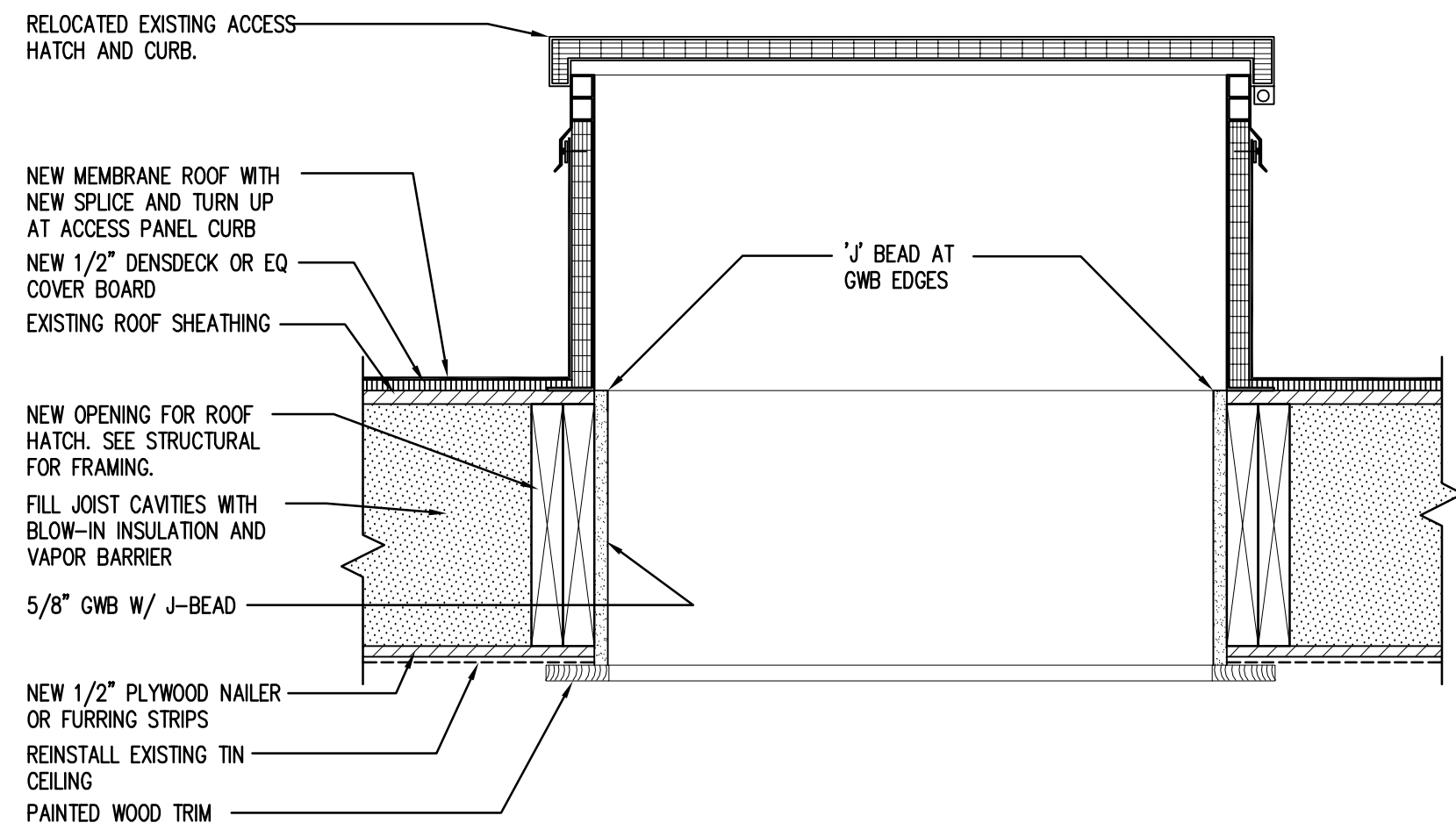




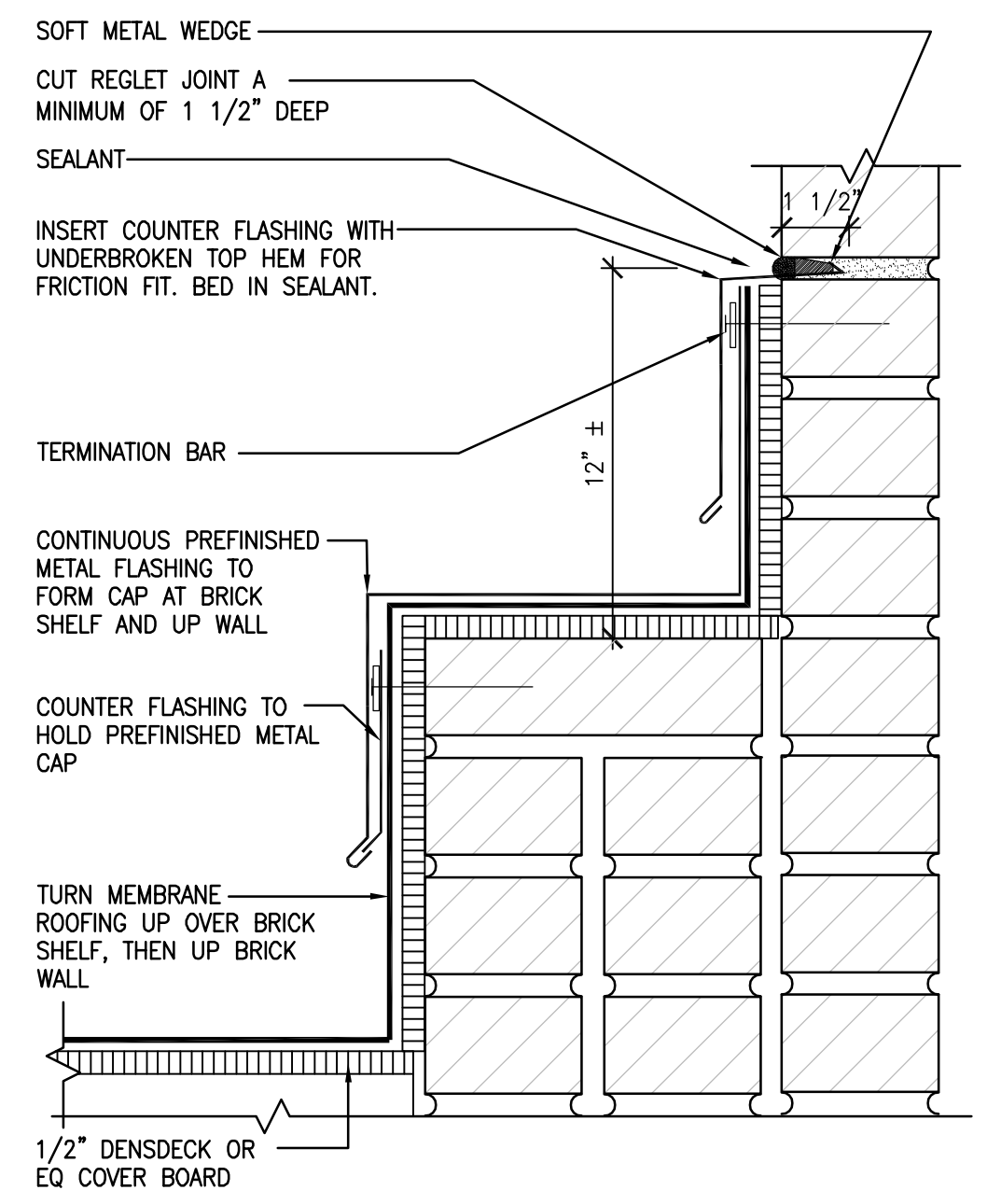
**1 ROOF PLAN - PROPOSED**  
SCALE: 1/8" = 1'-0"



**2 METAL PARAPET CAP DETAIL**  
SCALE: 1 1/2" = 1'-0"

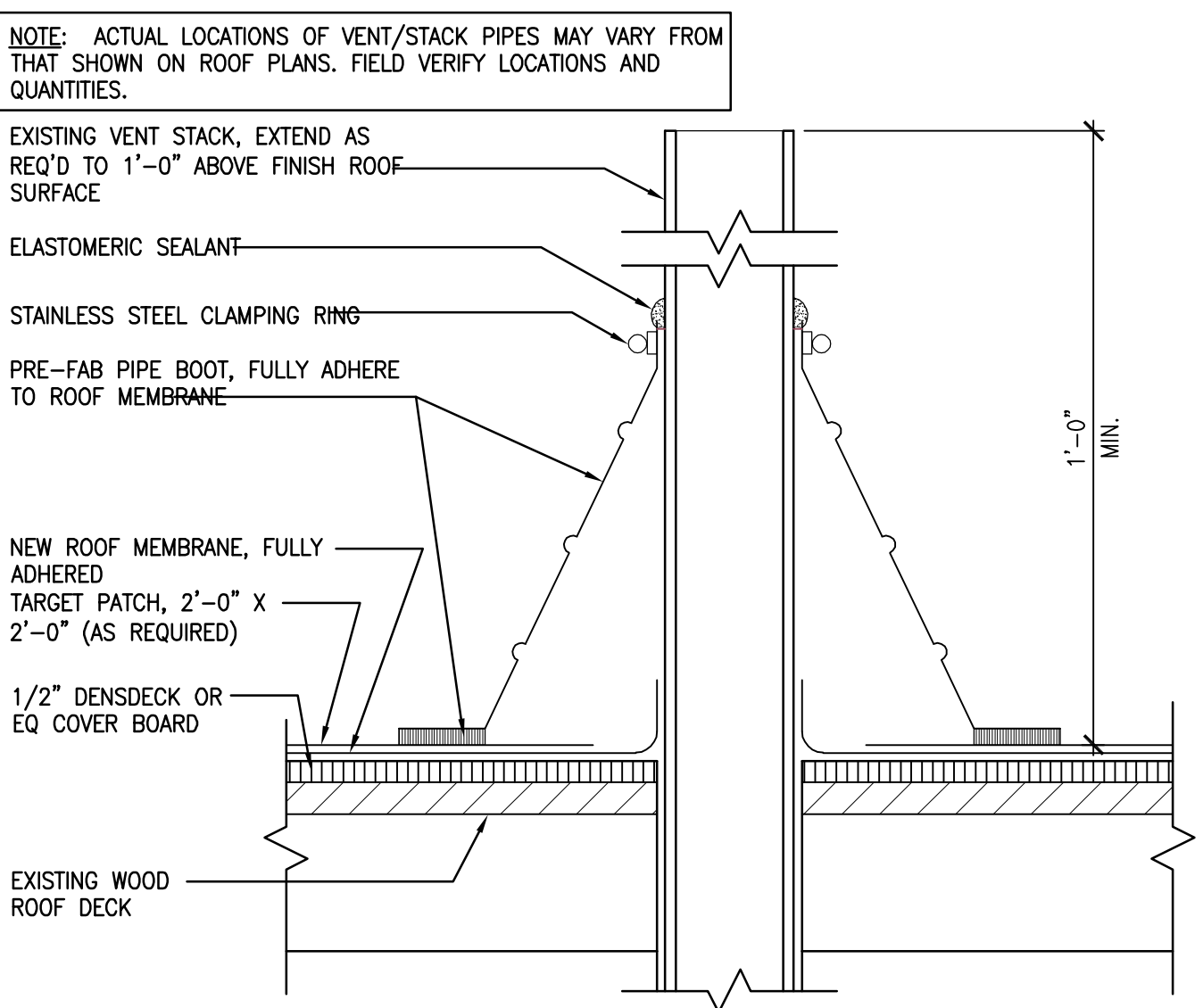


**3 ROOF ACCESS HATCH DETAIL**  
SCALE: 1 1/2" = 1'-0"

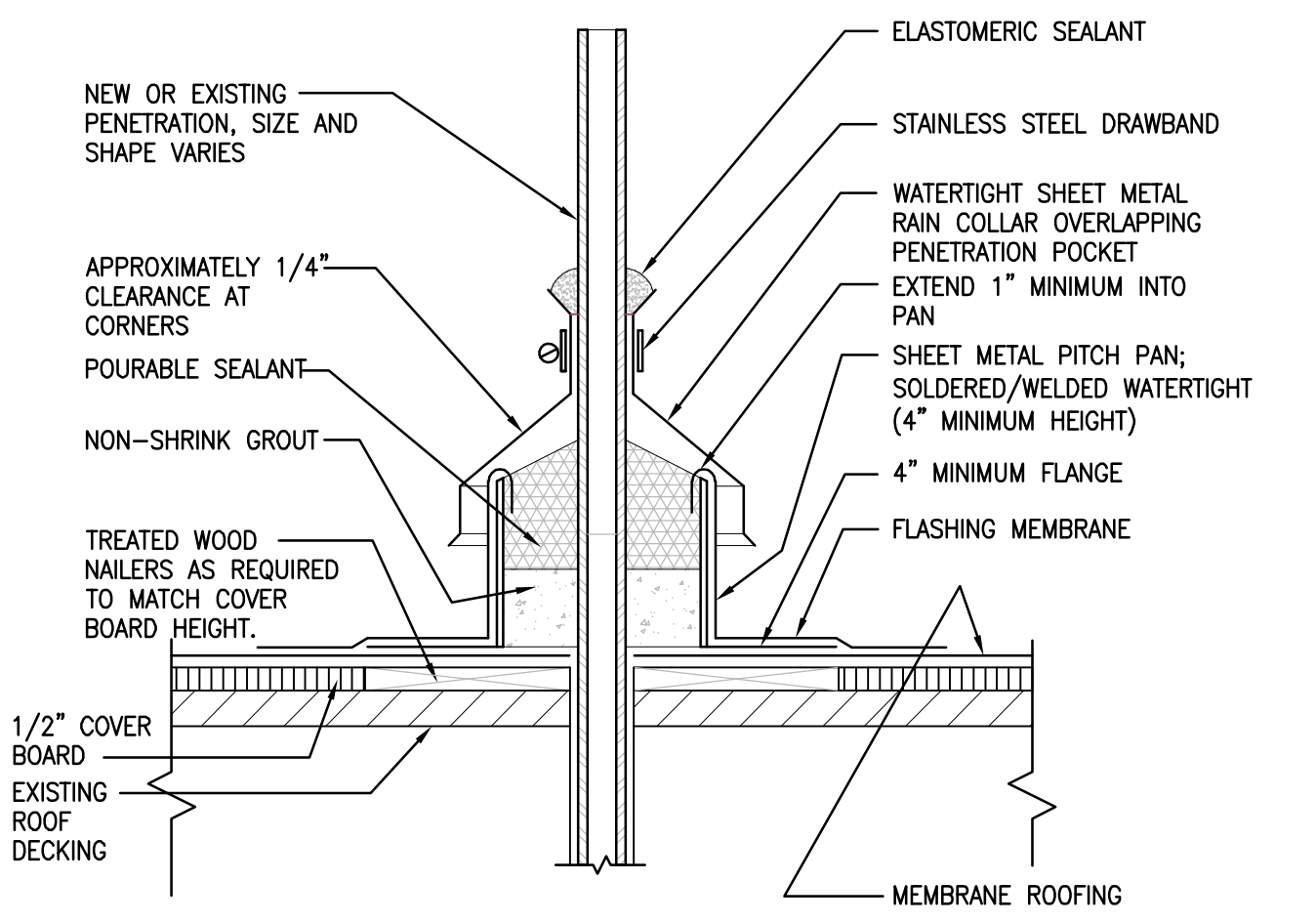


**4 TYP. COUNTER FLASHING DETAIL**  
SCALE: 3" = 1'-0"

- PLAN GENERAL NOTES**
- INSTALL NEW EPDM ROOFING AT MAIN ROOF, ELEVATOR OVERRUN AND EXISTING BRIDGE. INSTALL OVER NEW 1/2" RECOVERY BOARD. SUBMIT CUT SHEETS FOR THE PROPOSED ROOFING AND ATTACHMENT METHOD FOR ARCHITECT'S APPROVAL.
    - EXTEND MEMBRANE OVER PARAPETS AND CAP WITH PREFINISHED METAL PARAPET CAPS. SEE ROOF DETAILS.
  - CAP ALL EXISTING CHIMNEYS WITH PREFINISHED METAL CAPS.
  - INSTALL NEW PREFINISHED METAL GUTTERS AT MAIN ROOF, ELEVATOR OVERRUN AND BRIDGE. SEE PLUMBING FOR SIZING.
- PLAN KEY NOTES**
- EXISTING TO REMAIN.
  - NEW HVAC UNIT. SEE MEP FOR UNIT SPECIFICATIONS AND ROOF DETAILS FOR CURBS.
  - RELOCATED BILCO 36"x36" INSULATED ROOF HATCH. SEE 3/A1.4.
  - NEW ROOF CRICKET.
  - CAP CHIMNEY WITH PREFINISHED METAL CAP AND SOLID TREATED WOOD SUBSTRATE.
  - NEW ROOF VENT TO MATCH EXISTING BEING REPLACED.
  - NEW PREFINISHED ALUMINUM BOX GUTTER AND ROUND DOWNSPOUTS. SEE PLUMBING DRAWINGS FOR SIZING. COLOR T.B.D. - G.C. TO SUBMIT TO ARCHITECT PREFIN. METAL COLOR SAMPLES FROM WHICH TO CHOOSE COLOR.
  - INSTALL PREFIN. ALUM. METAL CAP OVER DETERIORATED METAL DETAILS AT PARTY WALLS, AS NOTED. DO NOT CHANGE APPEARANCE OF EXISTING DETAIL AS VIEWED FROM BROAD STREET - INTENT IS TO IMPROVE WATER-PROOFNESS AND LONG TERM DURABILITY OF DETAIL WITHOUT REMOVAL OF EXISTING METAL WORK.
  - NEW WALK PADS.



**5 TYPICAL VENT PIPE/ STACK PIPE DETAIL**  
SCALE: 3" = 1'-0"



**6 TYPICAL PITCH POCKET DETAIL**  
SCALE: 3" = 1'-0"



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**ROOF PLAN - PROPOSED**

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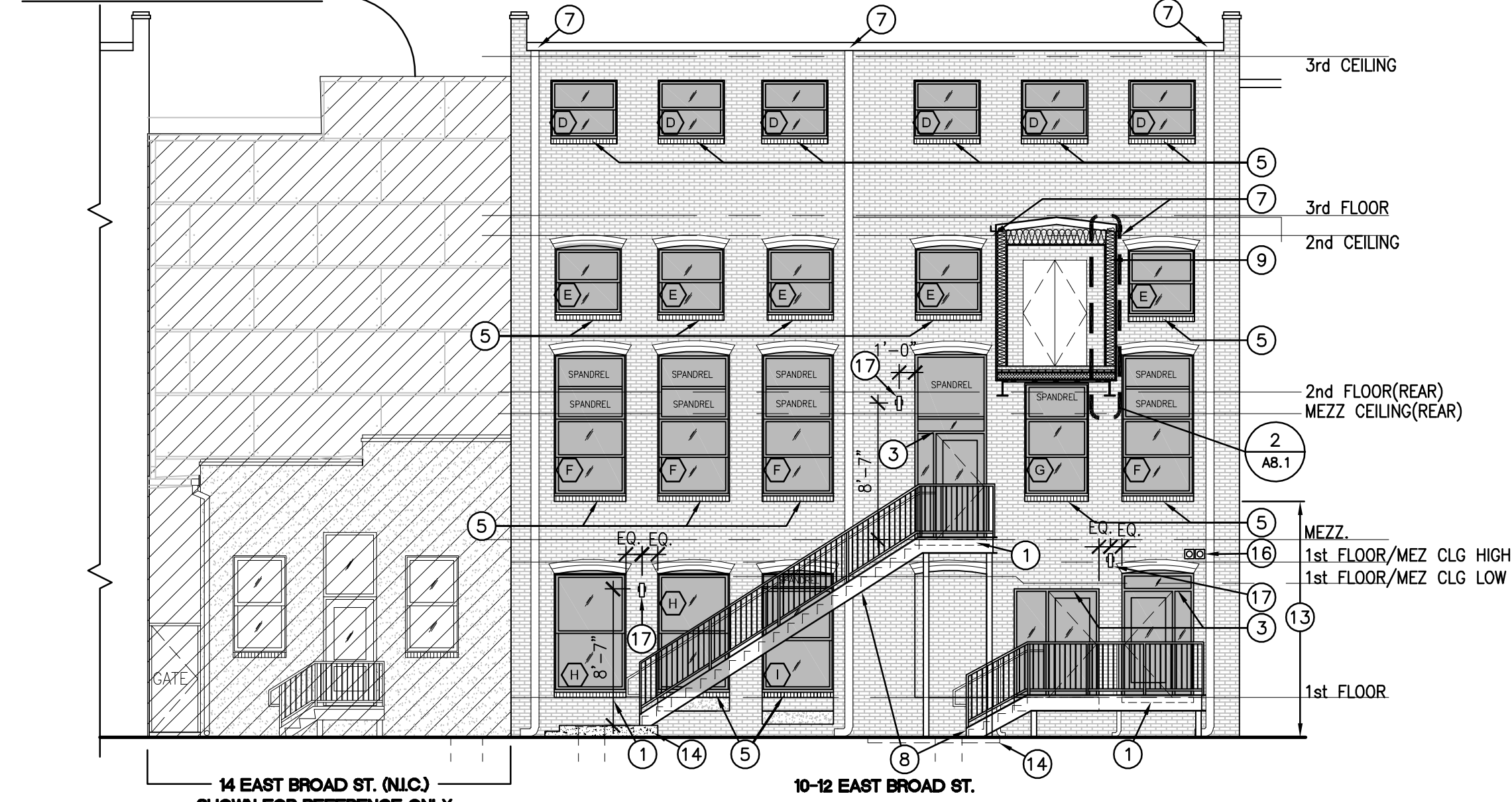
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PROJECT NUMBER: **1824**

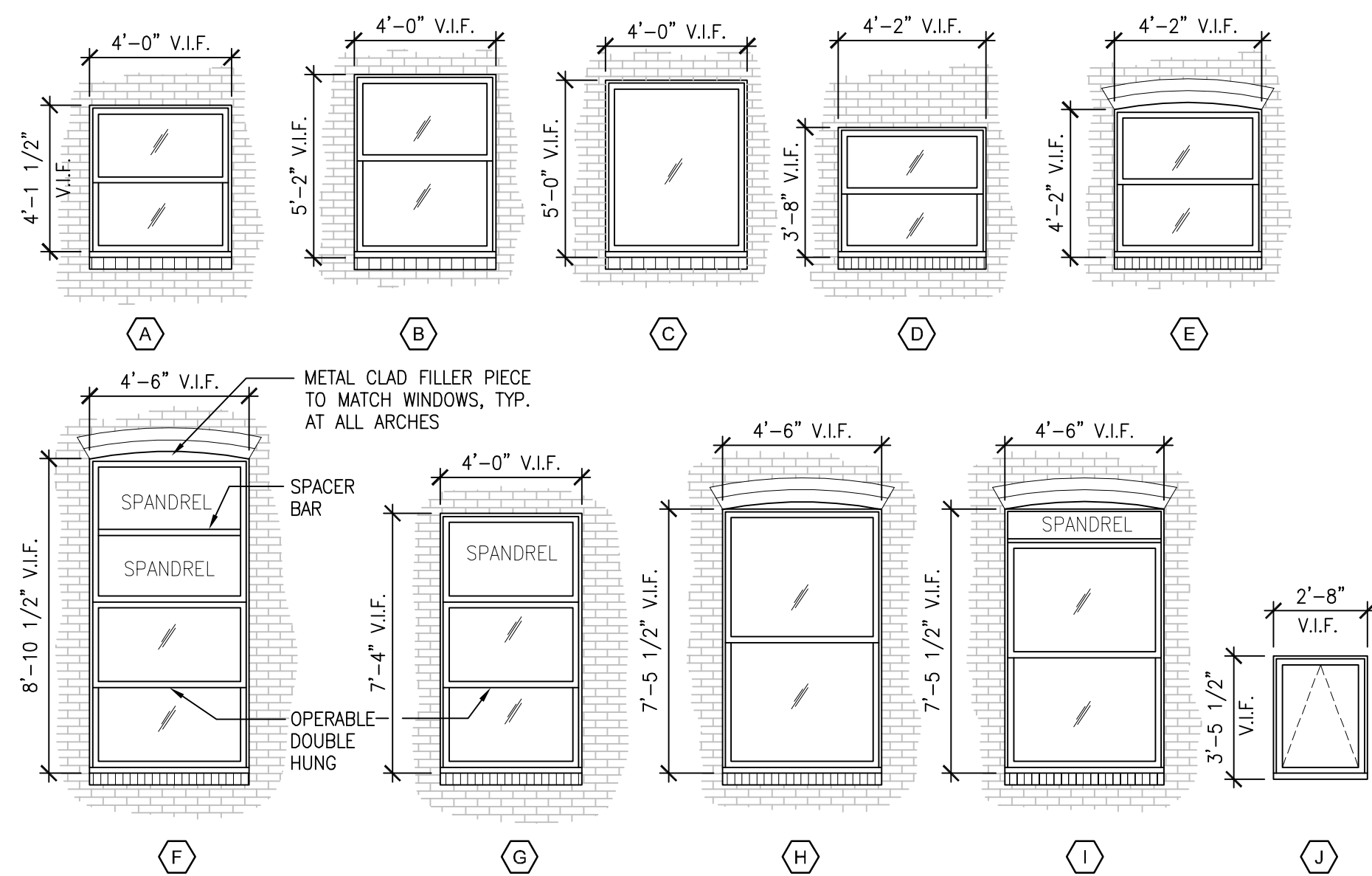


**1 SOUTH ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0"

HATCHED AREA N.I.C. - SHOWN FOR REFERENCE PURPOSES ONLY

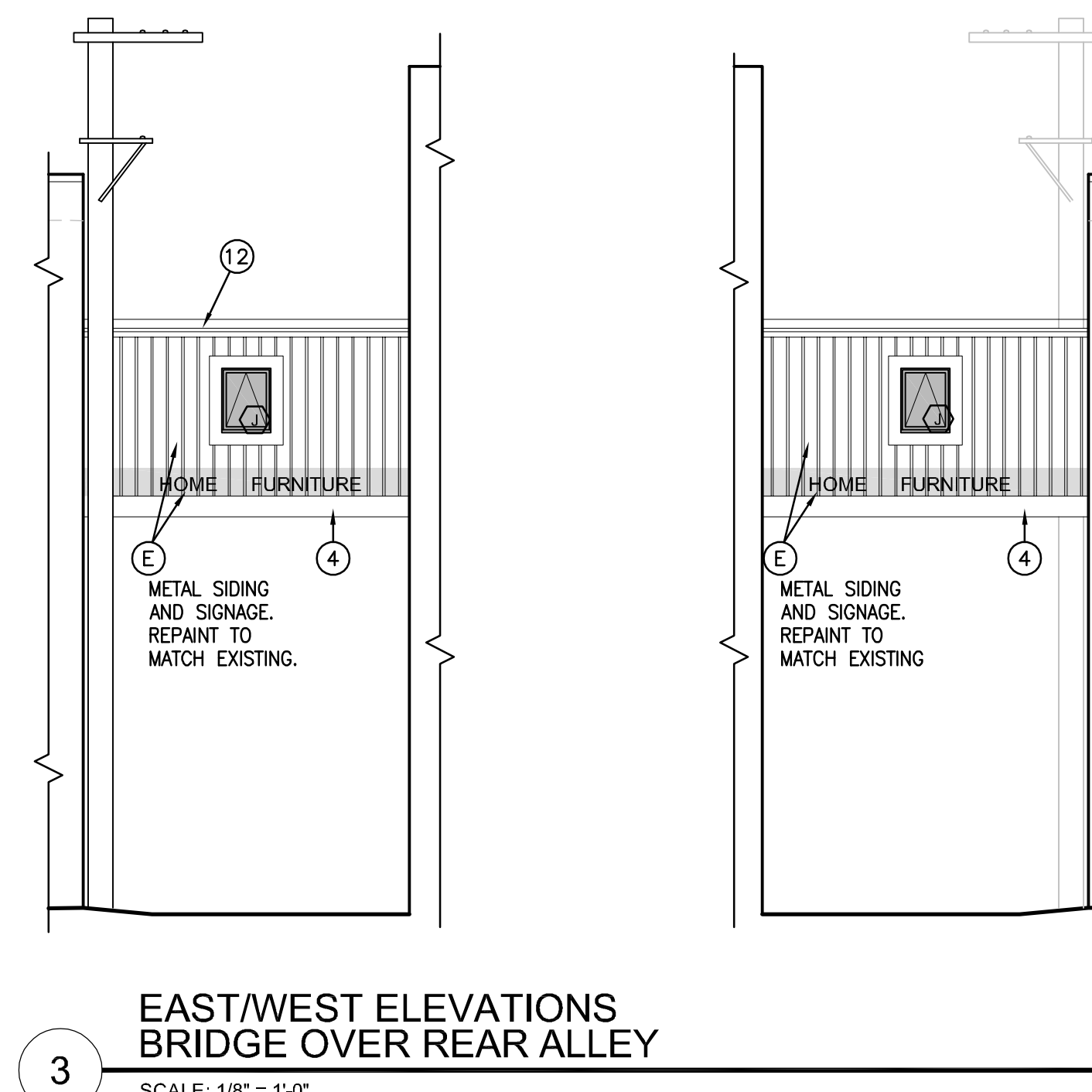


**2 NORTH ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0"

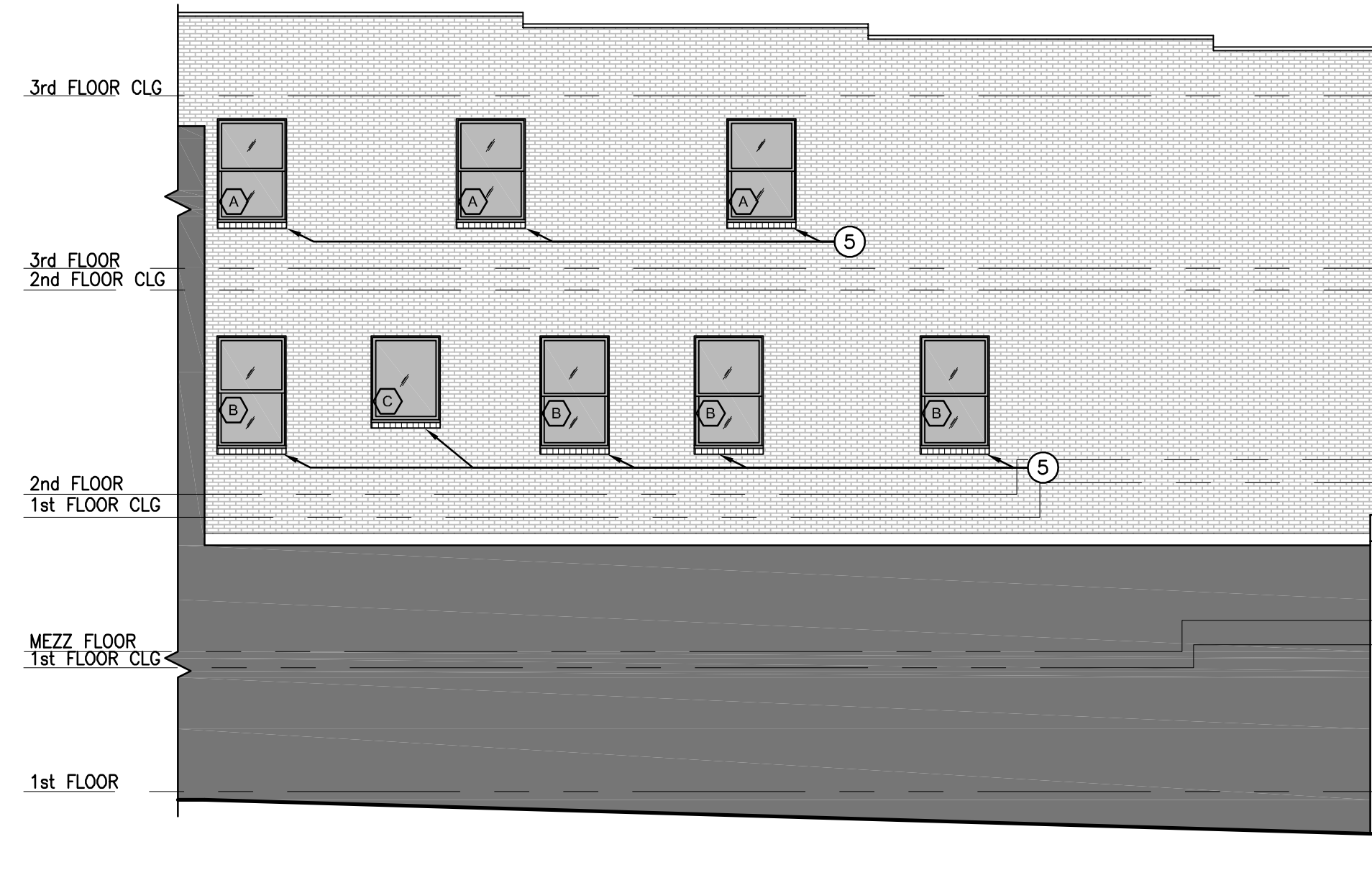


NOTE: ALL NEW WINDOWS TO BE METAL CLAD WOOD. COLOR TBD. SPANDREL PANELS TO MATCH FRAME COLOR. ALL GLASS TO BE DOUBLE PANE, INSULATED, LOW-E CLEAR. ALL GLASS WITHIN 18" OF FLOOR, DOOR, STAIR SHALL BE TEMPERED.

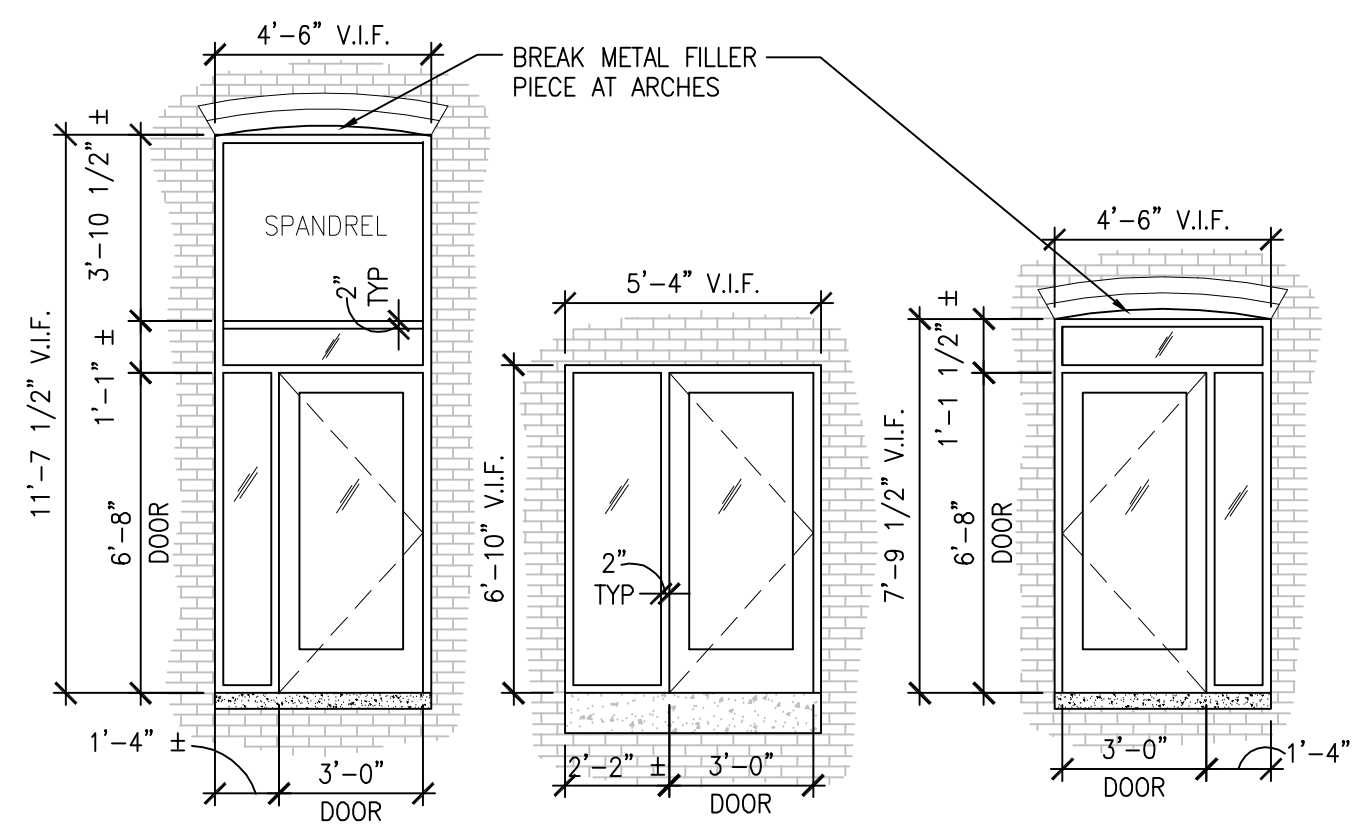
**5 PROPOSED WINDOW TYPES**  
SCALE: 1/4" = 1'-0"



**3 EAST/WEST ELEVATIONS BRIDGE OVER REAR ALLEY**  
SCALE: 1/8" = 1'-0"



**4 PARTIAL EAST ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0"



NOTE: ALL NEW STOREFRONT TO BE ANODIZED ALUMINUM (2"x4 1/2"), CENTERED GLAZING. FRAME AND SPANDREL COLOR TO MATCH NEW WINDOWS. ALL SIDELITE AND DOOR GLASS TO BE TEMPERED.

**6 PROPOSED ALLEY (NORTH) FACADE STOREFRONTS**  
SCALE: 1/4" = 1'-0"

**ELEVATION GENERAL NOTES**

- CONTRACTOR SHALL CAREFULLY REVIEW ALL EXISTING CONDITIONS. ALL REPAIRS NOTED AS "TYP." (BY THE SPECIFIC ELEVATION NOTES) OR NOTED UNDER THE GENERAL ELEVATION NOTES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY EXACT LOCATION AND EXTENT OF WORK. TYPICAL NOTES ARE NOT SHOWN AT EVERY LOCATION WHERE SAID WORK IS REQUIRED AND IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL LOCATIONS FOR ALL CONDITIONS EXPOSED TO VIEW.
- CONTRACTOR SHALL REPOINT ALL EXPOSED EXTERIOR BRICK AS NOTED FOR STRUCTURAL SOUNDNESS AND WATER-TIGHTNESS, VIA PROPER MORTAR MIX: TYPE "O" FOR REPOINTING. CONTRACTOR SHALL VERIFY QUANTITIES REQUIRED. MATCH EXISTING MORTAR COLOR AND JOINT PROFILE. PROVIDE SAMPLE MOCK-UP ON BUILDING FOR ARCHITECT'S APPROVAL.
- CONTRACTOR SHALL REPAIR/REPLACE ANY DAMAGED, SPLIT, SEVERELY SPALLED BRICK. CONTRACTOR SHALL REWORK BRICK AT NEW OR ENLARGED OPENINGS AS REQUIRED FOR NEW WINDOWS, DOORS, VENTS, ETC. BRICK SHALL BE REBUILT BY TOOTHING TOGETHER, SAW CUTTING NOT ALLOWED AT AREAS WHERE CUT WOULD BE VISIBLE. NOTE THAT SOME BUT NOT ALL ARE NOTED ON THE ELEVATIONS AND CONTRACTOR SHALL VERIFY EXTENT OF BRICK WORK REQUIRED TO COMPLETE THE PROJECT. MATCH EXISTING BRICK COLOR AND SIZE, MORTAR COLOR AT ALL NEW BRICK WORK LOCATIONS, INFILLS, REWORKING, ETC. PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL.
- CONTRACTOR SHALL REMOVE ALL EXTRANEUS MATERIALS FROM FACE OF BUILDING, INCLUDING BUT NOT LIMITED TO VINES, ABANDONED WIRING AND CONDUITS, ABANDONED PLUMBING AND MECHANICAL PIPES, METAL ANCHORS, NAILS, WOOD BLOCKING, ALARMS, LIGHTING ETC. AND REPAIR SURFACE BEHIND AS REQUIRED FOR CONTINUOUS APPEARANCE. NO NEW CONDUITS, CABLE, WIRING, ETC. IS TO BE RUN EXPOSED ON THE FACE OF THE BLDG. IF THERE ARE ANY QUESTIONS REGARDING WHAT TO REMOVE (OR NOT) CONTACT THE ARCHITECT DIRECTLY.
- CONTRACTOR SHALL SEAL/CAULK ALL CONNECTIONS OF MATERIALS AND OTHER LOCATIONS AS REQUIRED FOR WATER-TIGHTNESS.
- CONTRACTOR SHALL CAREFULLY INSPECT ALL EXTERIOR WOOD. REPAIR/REPLACE ALL WOOD MEMBERS AT DOORS, WINDOWS, SOFFITS, FASCIAS AND OTHER LOCATIONS SHOWING ROT OR OTHER DAMAGE AS REQUIRED. MATCH EXISTING PROFILES. BACK-PRIME ALL NEW EXTERIOR WOOD MEMBERS. CONTRACTOR TO VERIFY EXTENT OF VISIBLE DAMAGE.
- CONTRACTOR SHALL INSPECT ALL EXISTING WINDOWS, DOORS AND FRAMES TO REMAIN AND INCLUDE ANY NEEDED REPAIRS/REPLACEMENTS REQUIRED FOR LIKE NEW APPEARANCE AND SOUND OPERATION. REPAIRS/REPLACEMENT INCLUDE FLASHING, GLAZING COMPOUND, GLASS, SASH AND MUNTIN MEMBERS, FRAMES, LOCK AND OTHER HARDWARE DEVICES, SILLS, LINTELS, ETC.
- CONTRACTOR SHALL PAINT ALL EXTERIOR WOOD AND METAL SURFACES (LINTELS) ETC. UNLESS SPECIFICALLY NOTED OTHERWISE OR PREFINISHED.
- CONTRACTOR SHALL CAREFULLY INSPECT ALL STRUCTURAL MEMBERS, INCLUDING BUT NOT LIMITED TO BEAMS, LINTELS, MASONRY, ARCHES, ETC. AND NOTIFY THE ARCHITECT IN WRITING OF ANY STRUCTURALLY UNSOUND CONDITIONS REQUIRING REPAIR, REPLACEMENT, OR FURTHER INVESTIGATION.
- PAINT DENOTES PAINTING ACCORDING TO THE SPECIFICATIONS AND PREPARATION OF SURFACE BY HAND SCRAPING AND SANDING ALL LOOSE AND DAMAGED PAINT AND SANDING TO FEATHER EDGES AT REMAINING LAYERS AS REQUIRED FOR A CONTINUOUS FINISH.
- ALL WORK TO COMPLY WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION.
- CLEAN ALL BRICK, STONE, AND CONCRETE SURFACES WITH THE GENTLEST MEANS POSSIBLE. WASH ALL BRICK AND UNPAINTED CONCRETE/STONE SURFACES WITH LOW-PRESSURE, HIGH TEMPERATURE POWER WASH AND DETERGENT.
- ALL EXTERIOR DOORS/WINDOWS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED ON DEMOLITION DRAWINGS OR SHOWN TO BE NEW ON ELEVATIONS OR WINDOW/DOOR SCHEDULES. EXISTING EXTERIOR DOORS/WINDOWS ARE TO BE REFURBISHED, PRIMED AND PAINTED WITH EXTERIOR GRADE PAINT. COLOR TO BE DETERMINED.
- ALL EXTERIOR WOOD TRIM, DENTILS AND EAVES ARE TO BE REPAIRED IF DAMAGED. SCRAPE AND SAND TO PROVIDE SMOOTH FINISH, CAULK JOINTS/CRACKS, PRIME AND PAINT WITH EXTERIOR GRADE PAINT. COLOR TO BE DETERMINED. ALL NEW EXTERIOR WOOD SURFACES TO BE PRIMED AND PAINTED. COLOR TBD.
- VERIFY CONDITION OF ALL EXISTING CAULK. REMOVE AND REPLACE ANY DAMAGED OR MISSING CAULK. CAULK TO BE APPLIED AT ALL LOCATIONS WHERE WOOD/METAL ABUTS MASONRY OR CONCRETE. CAULK SHALL MATCH PAINTED WOOD COLOR OR BE PAINTED THE SAME COLOR AS ADJACENT WOODWORK.
- REMOVE ALL VEGETATION FROM EXISTING BRICK.
- REPOINT EXISTING BRICK WHERE WATER DAMAGED AT DOWNSPOUT LOCATIONS. MORTAR TO MATCH EXISTING IN COLOR AND TEXTURE.

**ELEVATION KEY NOTES**

- EXISTING WOOD FULL LITE DOOR/STOREFRONT TO REMAIN.
- NEW 4" CONCRETE SILL.
- EXISTING WINDOW TO REMAIN. REFURBISH/REBUILD IN KIND AS REQUIRED. PRIME AND REPAINT. COLOR TBD.
- NEW DARK BRONZE ANOD. ALUM. STOREFRONT WITH DOOR AND TRANSOM.
- SCRAPE, PRIME AND REPAINT EXISTING STEEL BEAMS. COLOR TBD.
- NEW BRICK ROWLOCK SILL. BRICK AND MORTAR TO MATCH EXISTING HISTORIC BRICK. TYPICAL AT ALL NEW WINDOWS.
- NOT USED.
- NEW PREFINISHED METAL GUTTER AND DOWNSPOTS
- NEW METAL GRATE EGRESS STAIRS AND PAINTED METAL RAILING.
- INSTALL NEW R-19 (WALLS) AND R-38 (CEILING) BATT INSULATION WITH INTEGRAL VAPOR BARRIER AT WALLS/CEILING. REINSTALL EXISTING SALVAGED WOOD SLATS.
- NEW DOUBLE HUNG WOOD WINDOW TO MATCH EXISTING ADJACENT IN SIZE, PROFILE, SECTION, AND HARDWARE. PRIME/PAINT. COLOR TBD.
- EXISTING HISTORIC CAST IRON FACADE CLADDING TO REMAIN. CLEAN, SAND, PREP, PRIME, AND PAINT 2 COATS FINISH PAINT. COLOR T.B.D.
- NEW PAINTED 1X6 FASCIA BOARD AND PREFINISHED METAL GUTTER
- REPAINT EXISTING BRICK WHERE PREVIOUSLY PAINTED--GRADE UP TO APPROX. SILL LINE AS INDICATED. COLR TBD.
- NEW CONCRETE LANDING. SEE STAIR SECTIONS ON SHEETS A5.0 AND A5.1.
- G.C. TO PROVIDE AN ADD/ALTERNATE PRICE FOR INSTALLING A NEW RETRACTABLE FABRIC AWNING TO REPLACE EXISTING AWNING.
- NEW DRYER VENTS AT EXISTING VENT LOCATION.
- NEW EGRESS LIGHTING. SEE RCP. SEE ELECTRICAL.

**LEGEND**

- KEY NOTE
- WINDOW TYPE



2731 WEST GRACE STREET  
RICHMOND, VA 23220  
804.353.1415

**KBARRY ARCHITECT, LLC**

**10-12-14 EAST BROAD STREET**  
**Phase II**  
**Renovation/Adaptive Reuse**  
**Richmond, Virginia**

RECORD: DATE:

REVIEW SET 04-07-2021  
PRICING SET 04-15-2021

SEAL:

DRAWING TITLE:

PROPOSED ELEVATIONS

SHEET:

**A3.1**

PROJECT NUMBER: 1824

**10-12-14 EAST BROAD STREET**  
**Phase II**  
**Renovation/Adaptive Reuse**  
**Richmond, Virginia**

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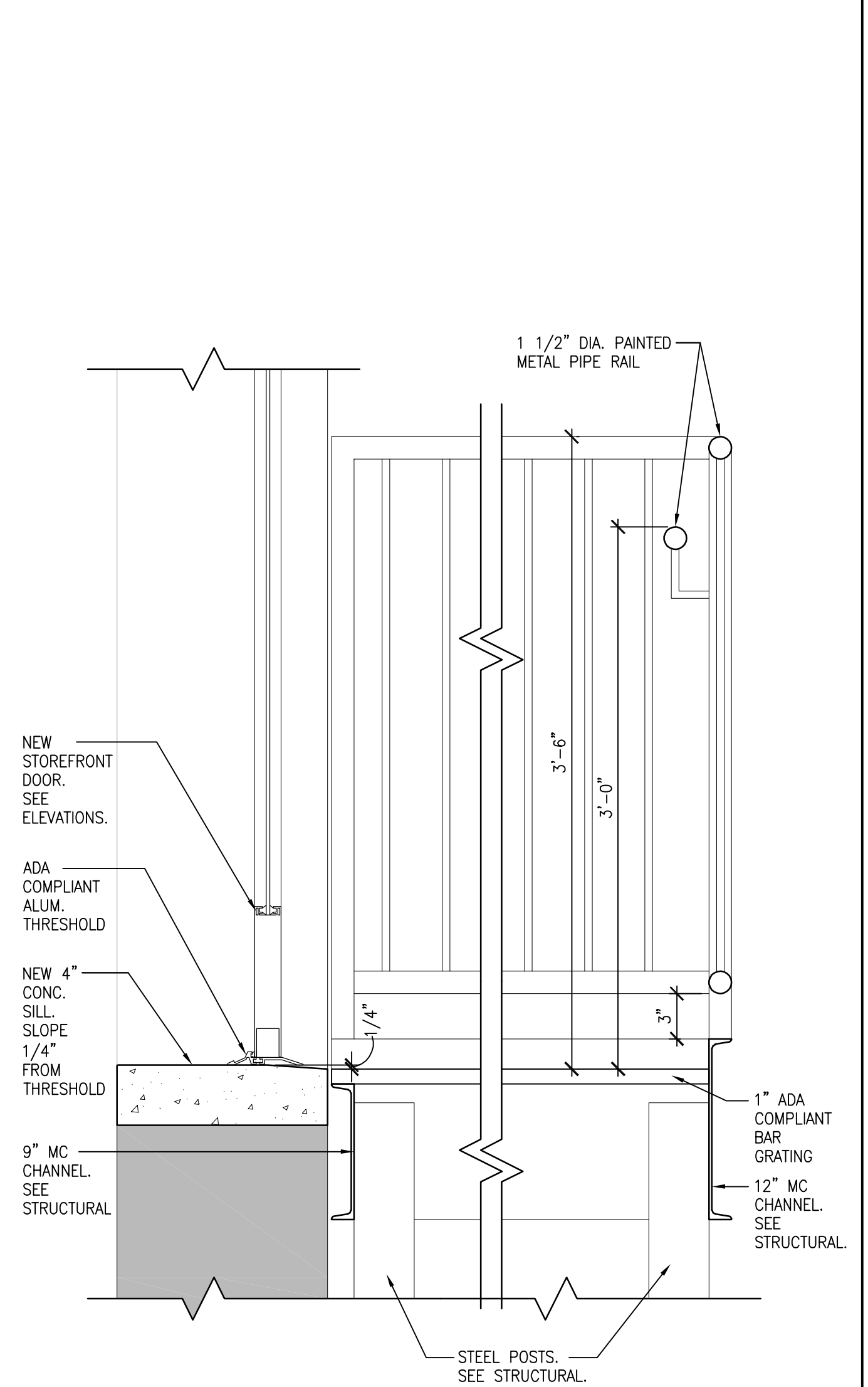
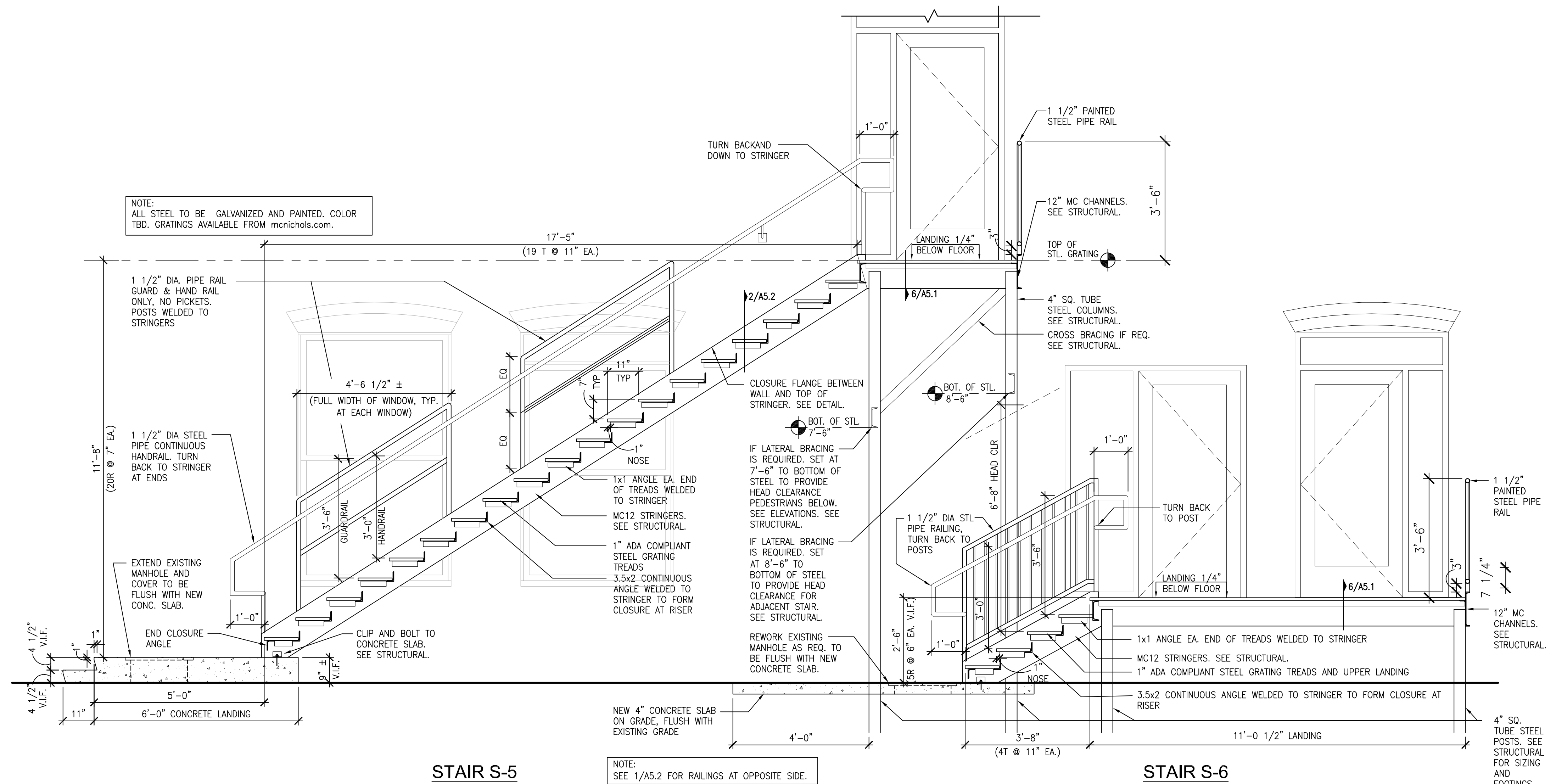
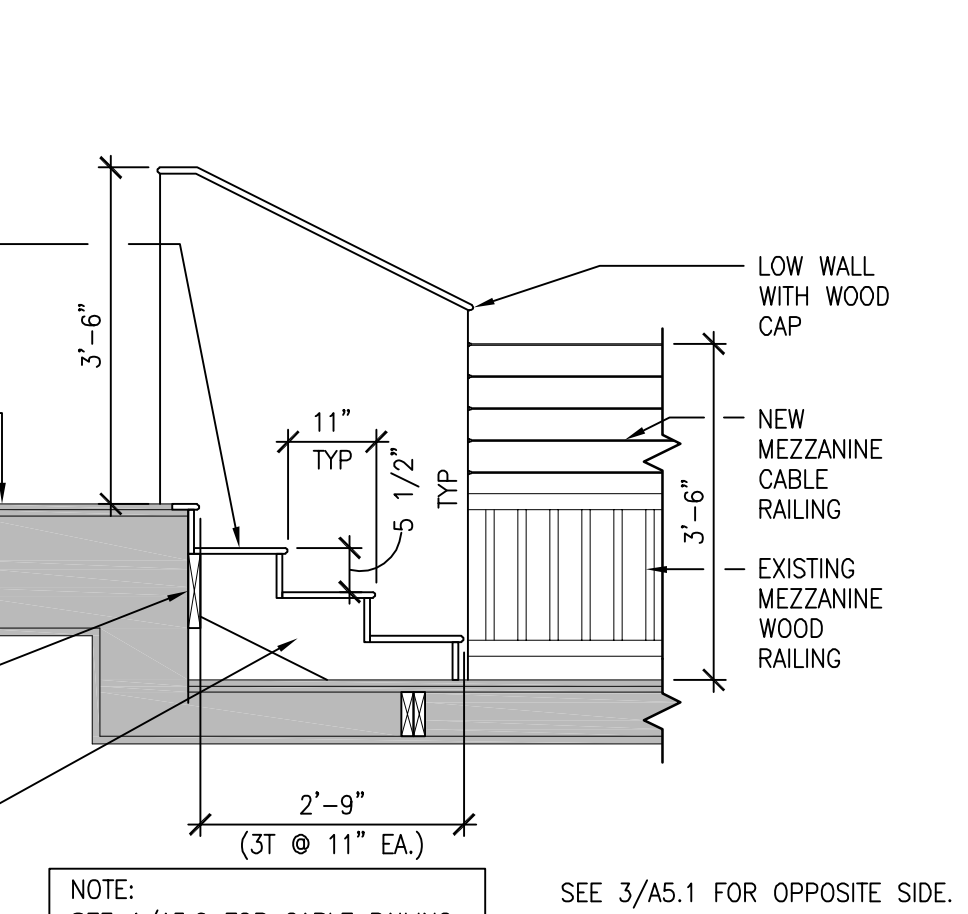
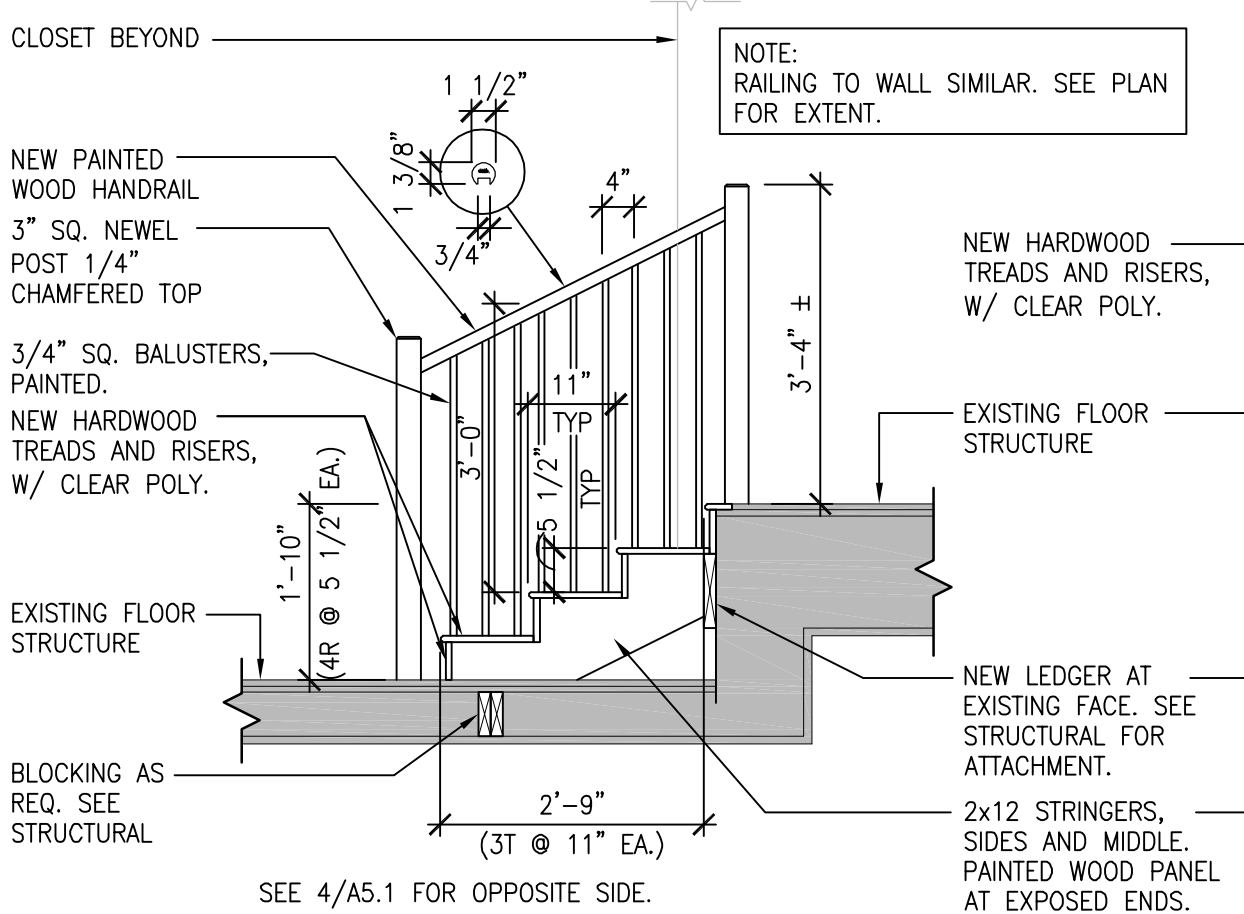
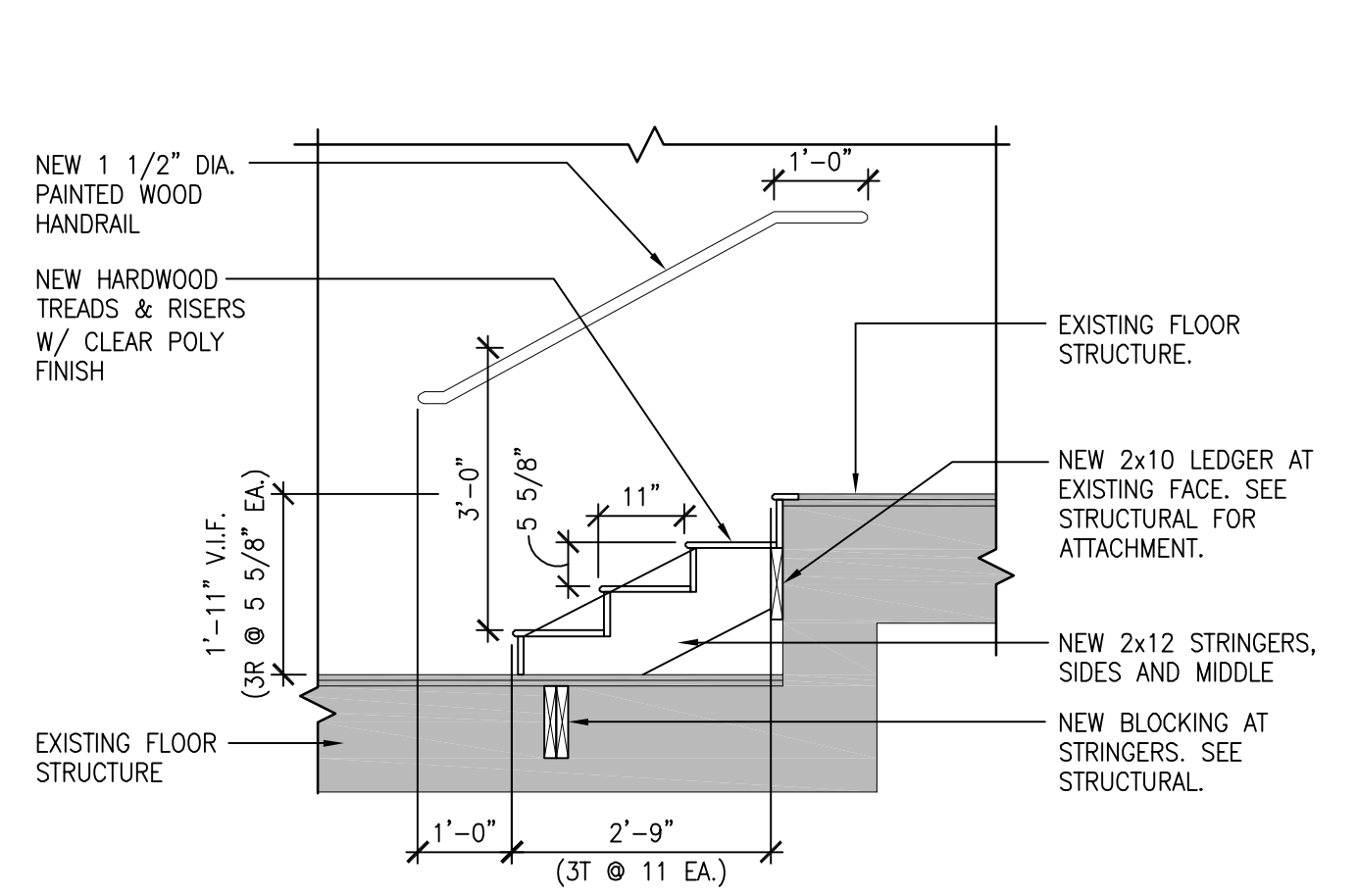
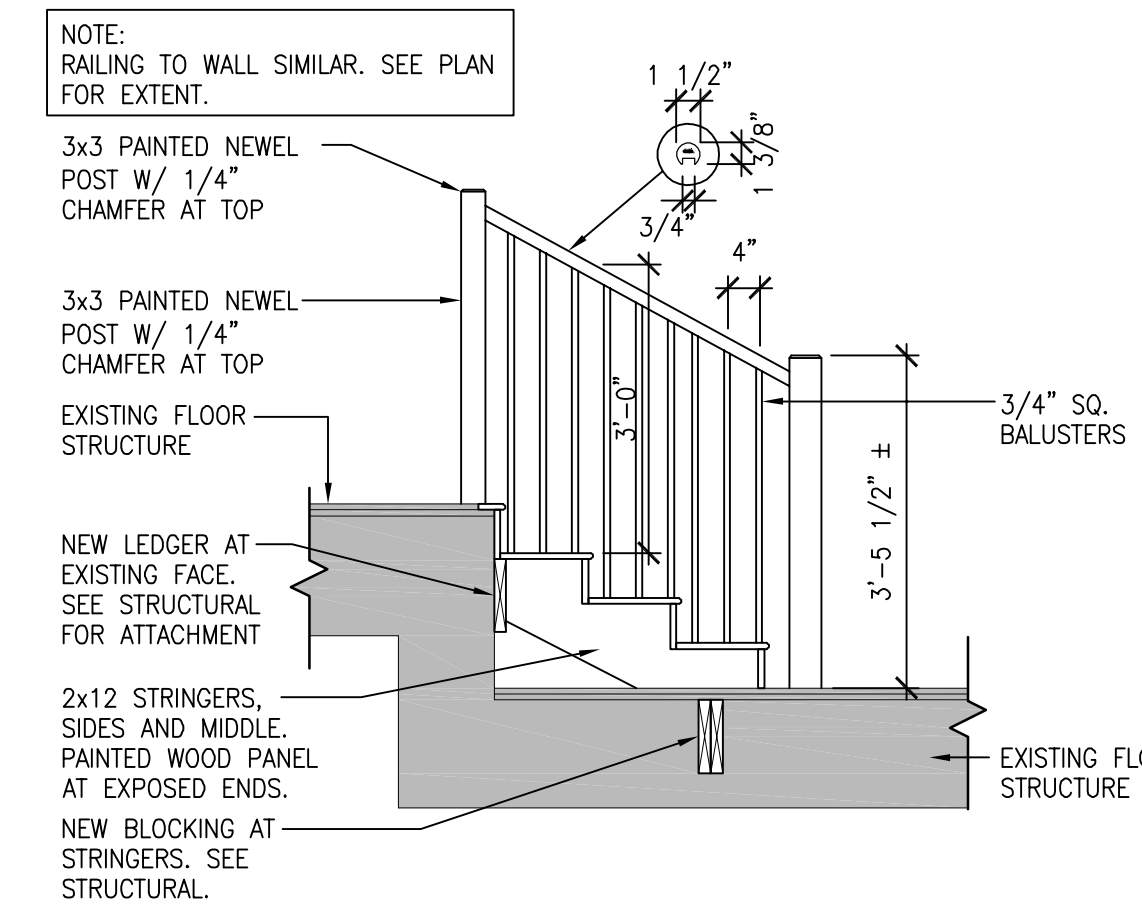
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STAIR & RAILING  
DETAILS

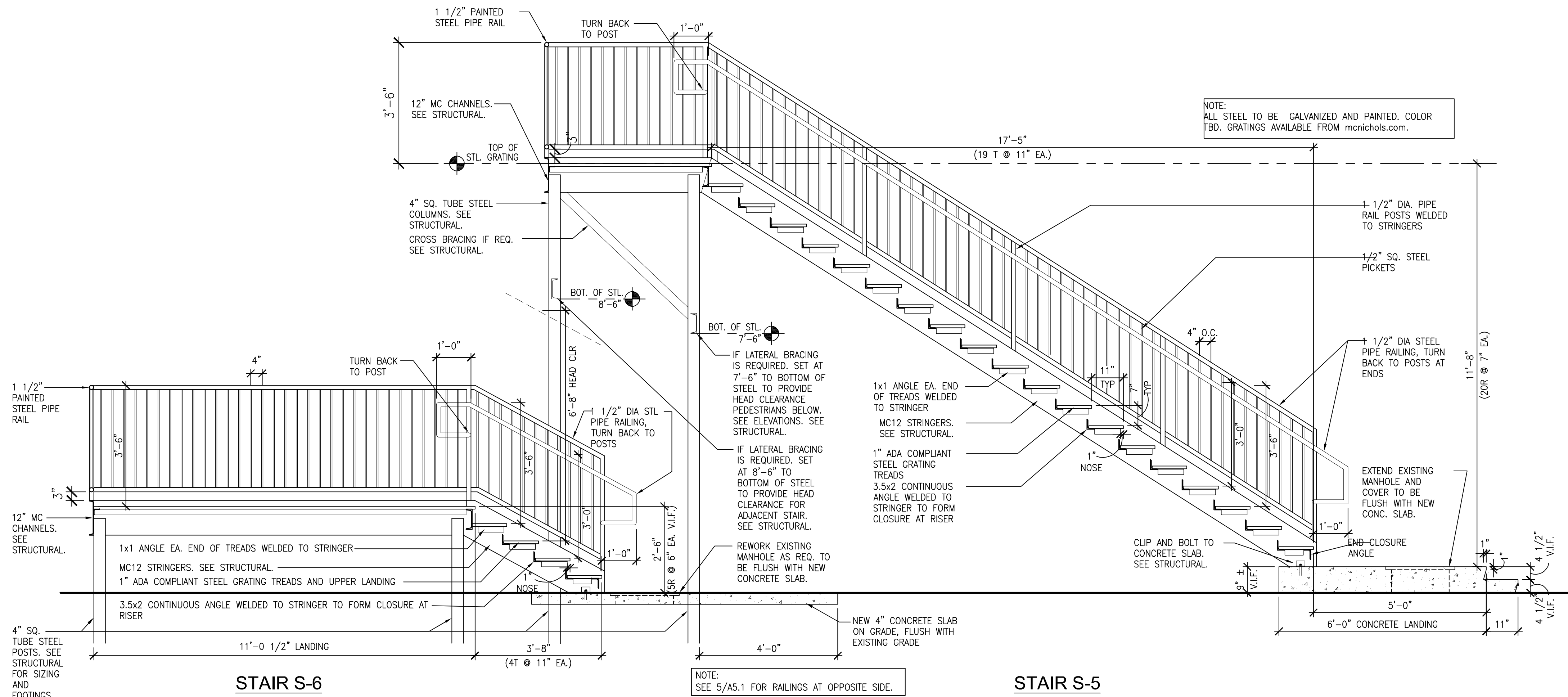
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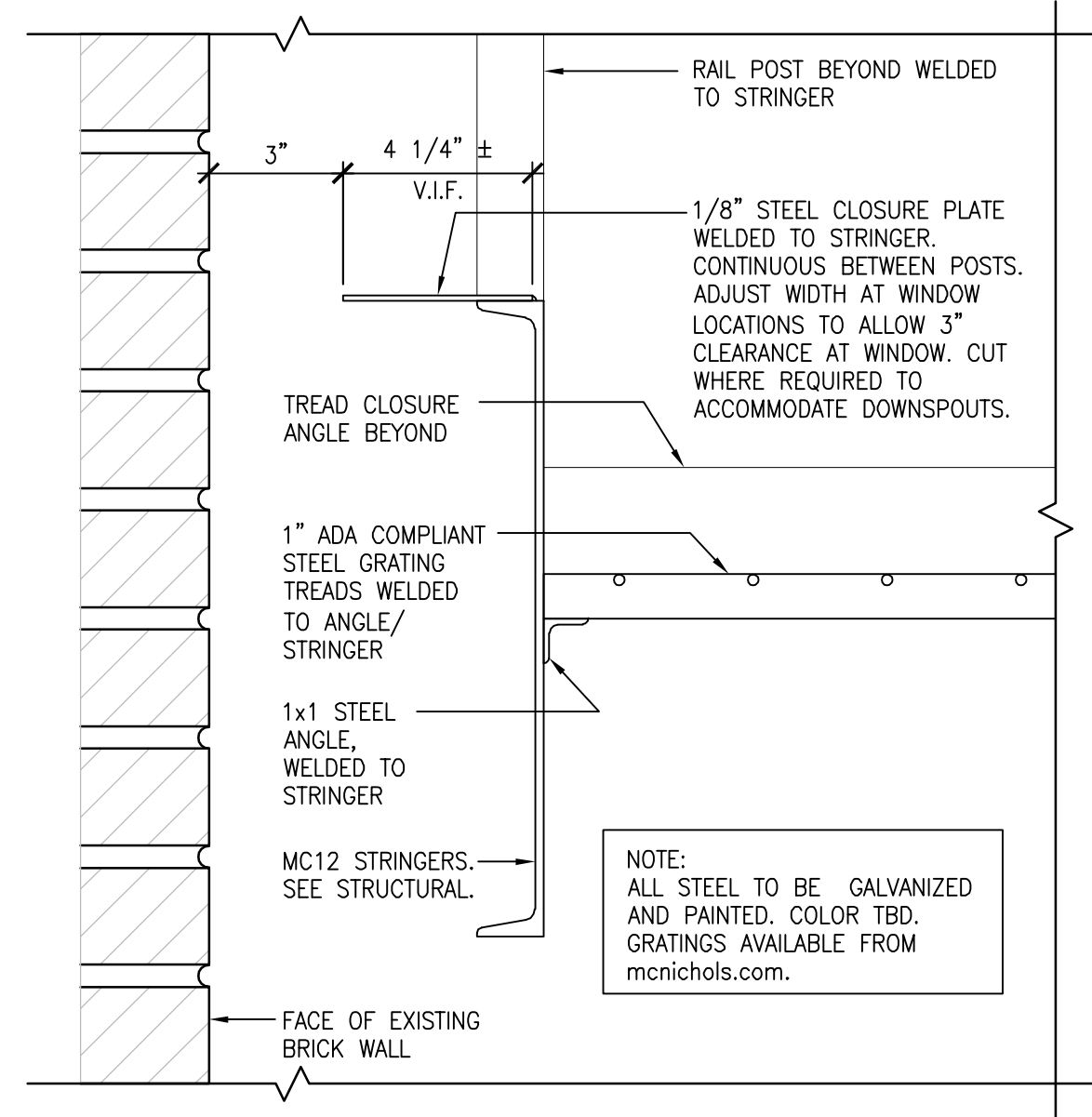
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**10-12-14 EAST BROAD STREET**  
Phase II  
**Renovation/Adaptive Reuse**  
Richmond, Virginia



**1** SECTION AT STAIR S-5 AND STAIR S-6  
SCALE: 1/2" = 1'-0"



**2** STRINGER CLOSURE PLATE DETAIL  
SCALE: 3" = 1'-0"

RECORD: \_\_\_\_\_ DATE: \_\_\_\_\_

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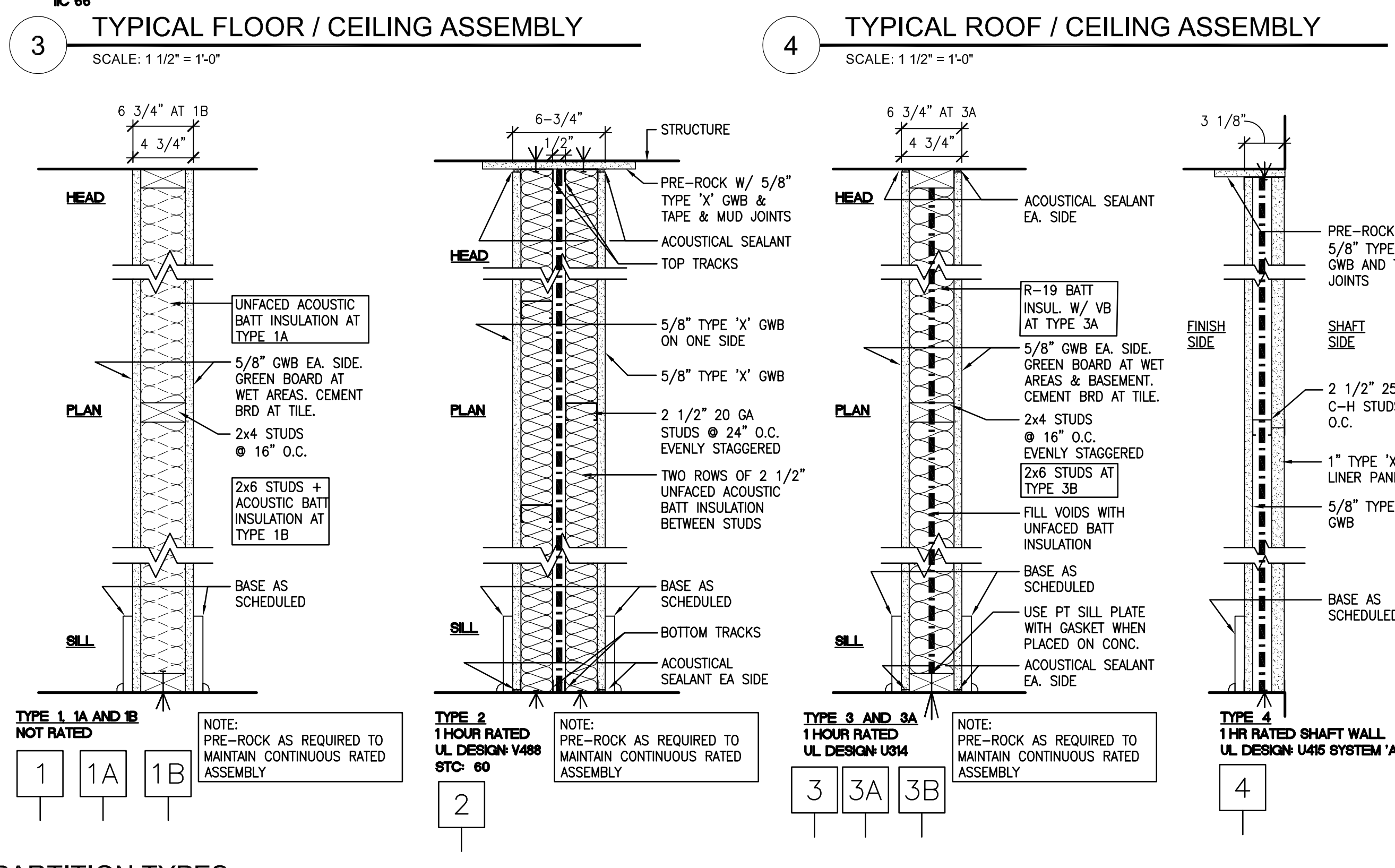
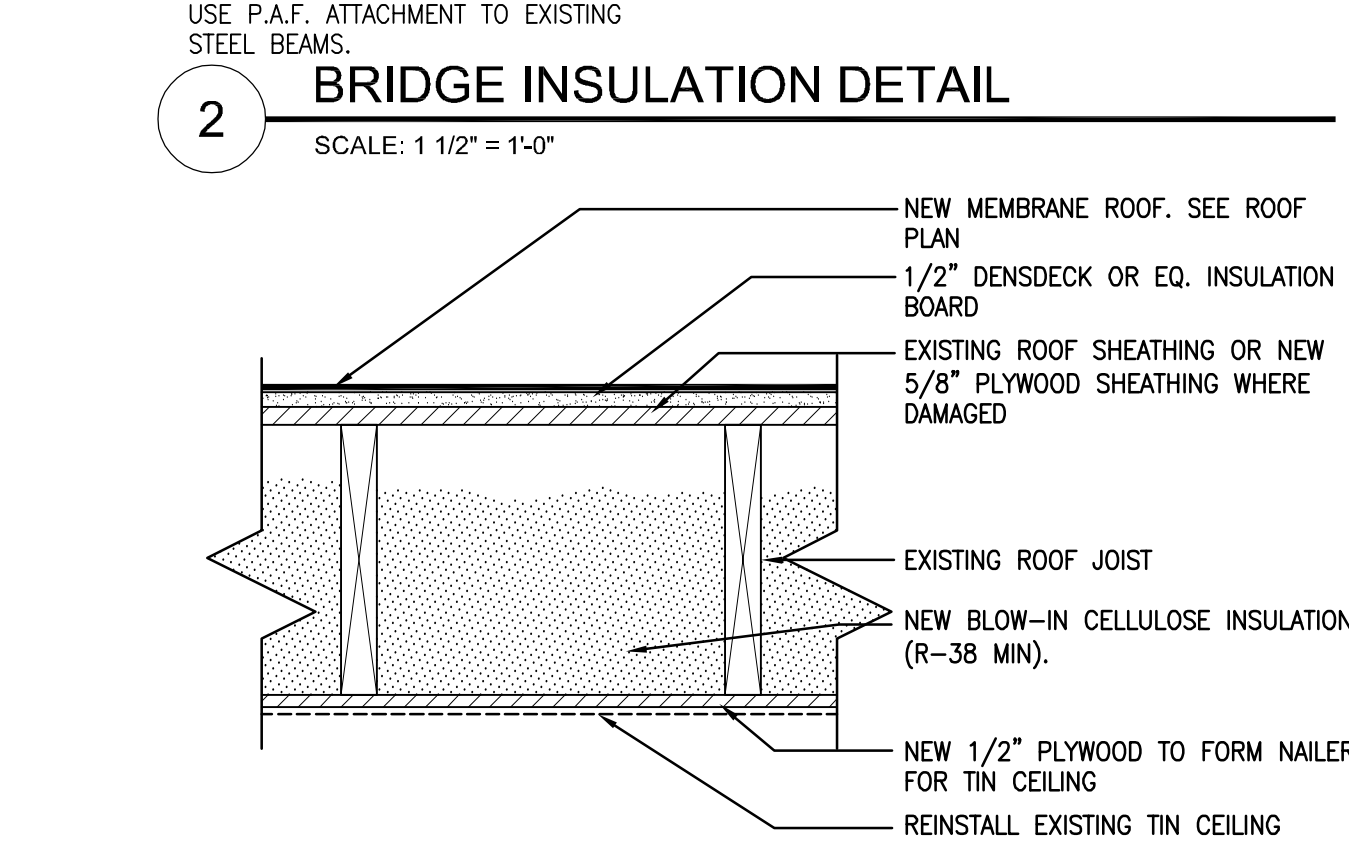
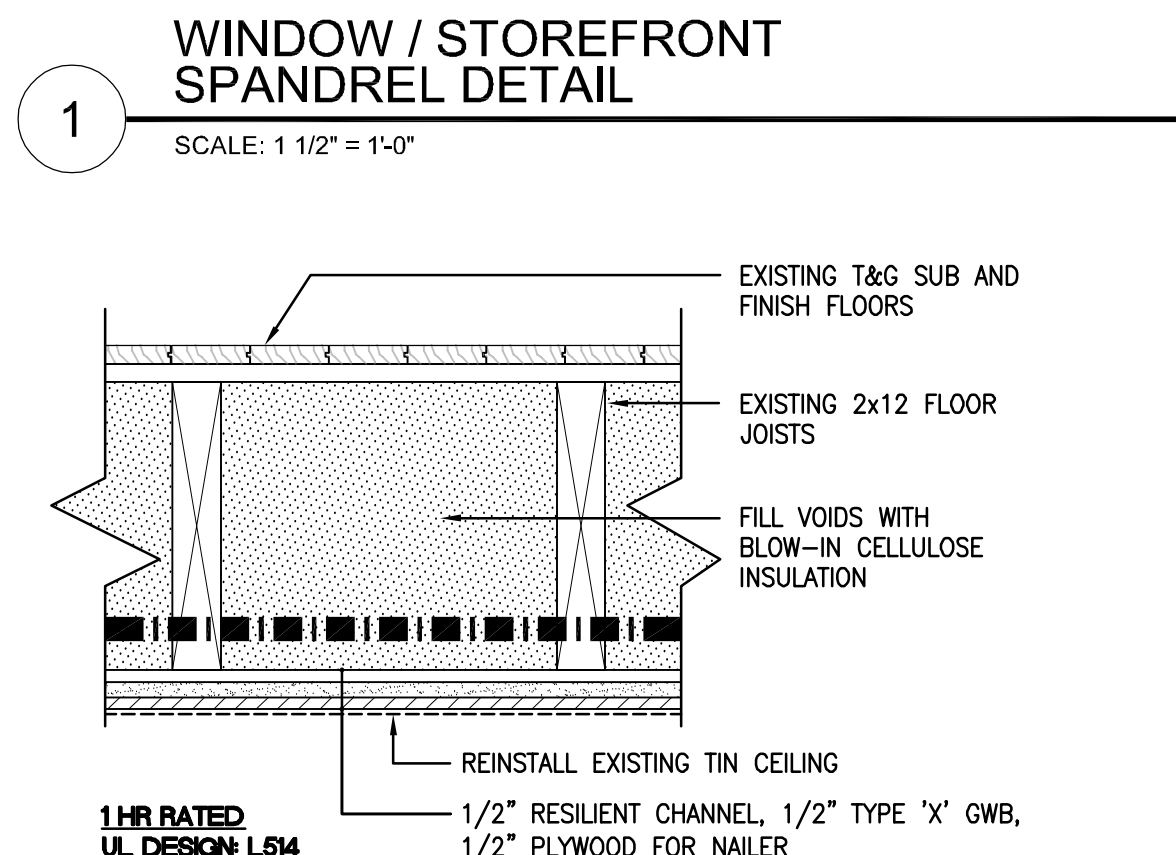
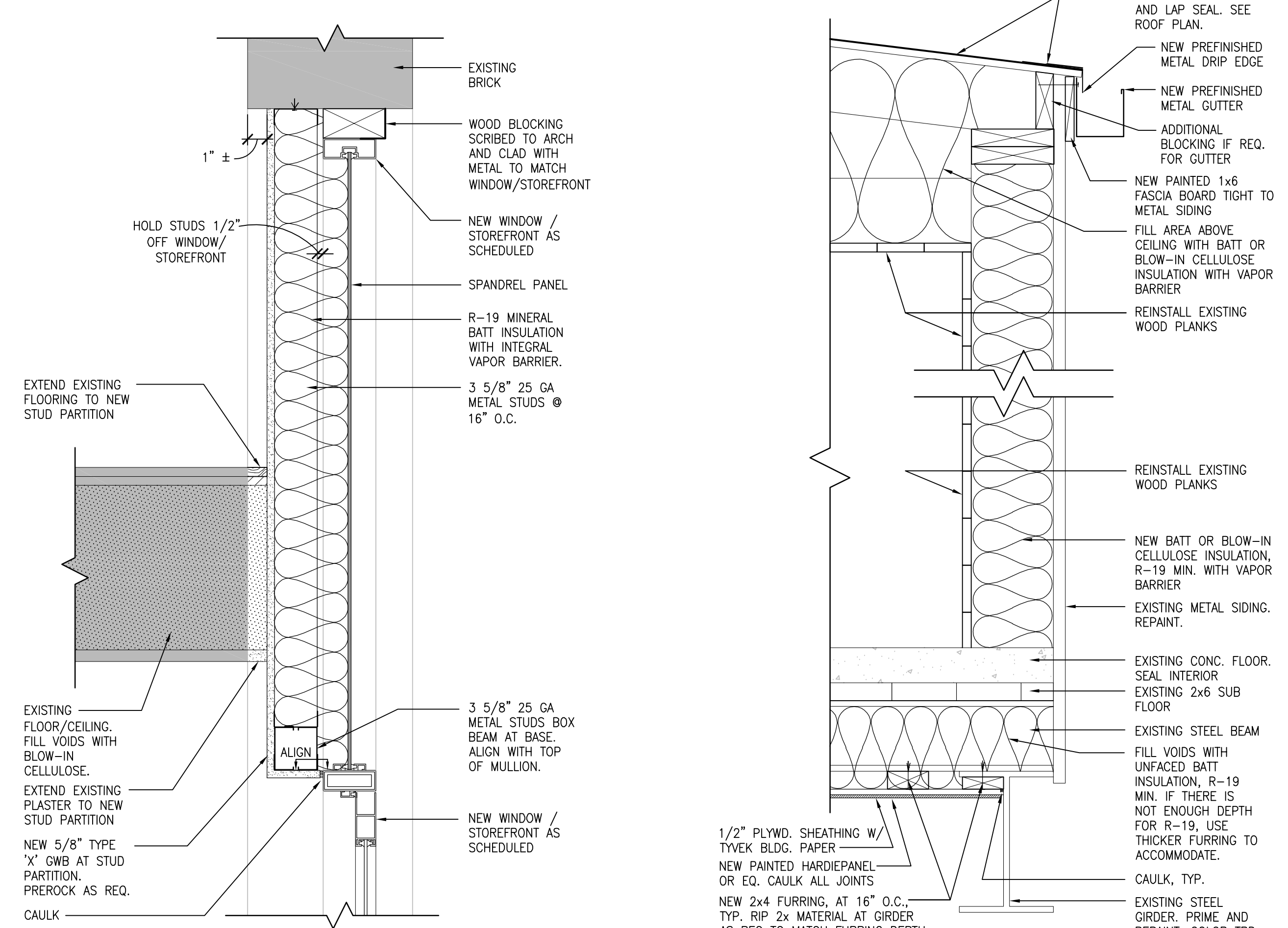
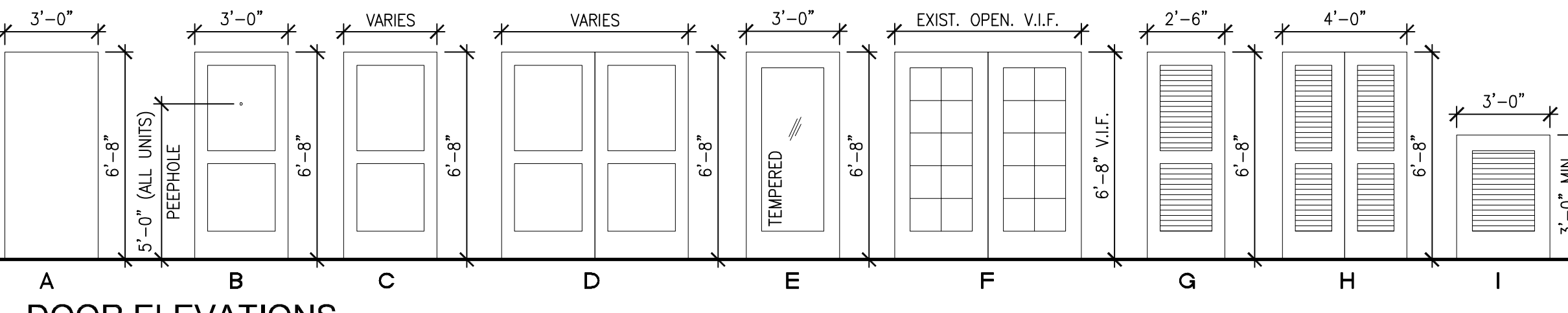
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PROJECT NUMBER: 1824

DOOR SCHEDULE														
MARK	SIZE		DOOR			FRAME		FIRE RATING	REMARKS	MARK				
	W x H x T	STYLE	ELEV. MATL.	FINISH	HDWR	MATL.	FINISH							
<b>BASEMENT BASE BUILDING DOORS</b>														
E1	3'-0"x6'-8" x 1 3/4"	SLAB	A	MTL	PAINT	03	HM	PAINT	60 MIN.	EXISTING DOOR AND FRAME. VERIFY HARDWARE MATCHES HARDWARE INDICATED.	E1			
E2	3'-0"x6'-8" x 1 3/4"	SLAB	A	MTL	PAINT	03	HM	PAINT	60 MIN.	EXISTING DOOR AND FRAME. VERIFY HARDWARE MATCHES HARDWARE INDICATED.	E2			
B100	3'-0"x6'-8" x 1 3/4"	SLAB	A	MTL	PAINT	03	HM	PAINT	60 MIN.	STORAGE AREA	B100			
B101	3'-0"x6'-10" x 1 3/4"	SLAB	A	MTL	PAINT	03	HM	PAINT	60 MIN.	STORAGE AREA	B101			
B102	3'-0"x6'-8" x 1 3/4"	SLAB	A	MTL	PAINT	07	HM	PAINT	60 MIN.	ELEVATOR MACHINE ROOM	B102			
B103	3'-0"x6'-8" x 1 3/4"	SLAB	A	MTL	PAINT	07	HM	PAINT	60 MIN.	STORAGE AREA	B103			
B104	3'-0"x6'-8" x 1 3/4"	SLAB	A	MTL	PAINT	07	HM	PAINT	60 MIN.	ELECTRICAL ROOM	B104			
<b>FIRST FLOOR BASE BUILDING DOORS</b>														
100	3'-0"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	05	HM	HM	60 MIN.	COMMERCIAL RESTROOM AREA TO ELEVATOR LOBBY	100			
101	3'-0"x7'-0" x 1 3/4"	STOREFRONT	E	AL	ANODIZ.	01	AL	ANODIZ.	-	COMMERCIAL SUITE 3 STOREFRONT ENTRY DOOR	101			
101A	3'-0"x6'-8" x 1 3/4"	SLAB	A	WOOD	PAINT	05	HM	PAINT	-	COMMERCIAL SUITE 3 TO RESTROOM AREA	101A			
102	3'-0"x7'-0" x 1 3/4"	STOREFRONT	E	AL	ANODIZ.	01	AL	ANODIZ.	-	COMMERCIAL SUITE 2 STOREFRONT ENTRY DOOR	102			
102A	3'-0"x6'-8" x 1 3/4"	SLAB	C	WOOD	PAINT	05	HM	PAINT	-	COMMERCIAL SUITE 2 TO RESTROOM AREA	102A			
103	3'-0"x6'-8" x 1 3/4"	EXISTING	-	WOOD	PAINT	01	WD	PAINT	-	EXISTING. COMMERCIAL RESTROOM AREA TO COMMERCIAL SUITE 4. MODIFY HARDWARE AS REQUIRED. SEE HARDWARE TYPE.	103			
104	3'-0"x6'-8" x 1 3/4"	FULL-LIGHT	E	WOOD	PAINT	06	HM	PAINT	60 MIN.	WEIGHT ROOM DOOR	104			
105	2'-6"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	13	HM	PAINT	-	RESTROOM 1 DOOR	105			
106	2'-6"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	13	HM	PAINT	-	RESTROOM 2 DOOR	106			
107	2'-6"x6'-8" x 1 3/4"	SLAB	A	WOOD	PAINT	07	HM	PAINT	-	JANITOR CLOSET	107			
108	2'-6"x6'-8" x 1 3/4"	STOREFRONT	E	AL	ANODIZ.	01	AL	ANODIZ.	-	UNIT 104 ENTRY DOOR	108			
109	2'-6"x6'-8" x 1 3/4"	STOREFRONT	E	AL	ANODIZ.	06	AL	ANODIZ.	-	ENTRY DOOR TO BASEMENT STAIR S-3, KEYPED FOR ACCESS BY ALL TENANTS	109			
<b>MEZZANINE LEVEL BASE BUILDING DOORS</b>														
M100	3'-0"x6'-8" x 1 3/4"	STOREFRONT	E	AL	ANODIZ.	06	AL	ANODIZ.	-	EGRESS STAIR STOREFRONT ENTRY DOOR, KEYPED FOR ACCESS BY ALL TENANTS	M100			
<b>SECOND FLOOR BASE BUILDING DOORS</b>														
E3	EXISTING	-	-	WOOD	PAINT	-	-	PAINT	-	EXISTING DOOR. INSTALL HARDWARE TYPE 2, EXCEPT NO PEEP HOLE.	E3			
200	3'-0"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	03	HM	PAINT	60 MIN.	EGRESS STAIR-S2	200			
201	2'-4"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	07	HM	PAINT	-	JANITOR CLOSET	201			
202	3'-0"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	03	HM	PAINT	60 MIN.	EGRESS STAIR-S4	202			
<b>THIRD FLOOR BASE BUILDING DOORS</b>														
300	3'-0"x6'-8" x 1 3/4"	SLAB	C	WOOD	PAINT	03	HM	PAINT	60 MIN.	EGRESS STAIR-S2	300			
301	3'-0"x6'-8" x 1 3/4"	SLAB	C	WOOD	PAINT	07	HM	PAINT	-	DATA / HVAC CLOSET	301			
302	3'-0"x6'-8" x 1 3/4"	SLAB	C	WOOD	PAINT	03	HM	PAINT	60 MIN.	EGRESS STAIR-S4	302			
<b>UNIT DOORS</b>														
D1	3'-0"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	02	WD	PAINT	60 MIN.	UNIT ENTRY DOOR; PROVIDE PEEP HOLE AND CLOSER	D1			
D2	2'-4"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	04	WD	PAINT	-	BATHROOM DOOR	D2			
D3	2'-6"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	04	WD	PAINT	-	BEDROOM	D3			
D4	4'-0"x6'-8" x 1 3/4"	BARN	C	WOOD	PAINT	09	WD	PAINT	-	BARN DOOR (BEDROOMS)	D4			
D5	3'-0"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	08	WD	PAINT	-	POCKET DOOR (BEDROOM)	D5			
D6	2'-4"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	08	WD	PAINT	-	CLOSET DOOR	D6			
D7	2'-6"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	08	WD	PAINT	-	CLOSET/PANTRY DOOR	D7			
D8	2'-0"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	08	WD	PAINT	-	CLOSET/PANTRY DOOR	D8			
D9	(PAIR) 2'-0"x6'-8" x 1 3/4"	2-PANEL	H	WOOD	PAINT	12	WD	PAINT	-	DOUBLE CLOSET WITH LOVERS (WASHER/DRYER/HVAC)	D9			
D10	2'-6"x6'-8" x 1 3/4"	2-PANEL	G	WOOD	PAINT	08	WD	PAINT	-	SINGLE CLOSET WITH LOVERS (WASHER/DRYER/HVAC)	D10			
D11	(PAIR) 2'-6"x6'-8" x 1 3/4"	2-PANEL	D	WOOD	PAINT	12	WD	PAINT	-	DOUBLE CLOSET	D11			
D12	(PAIR) 2'-0"x6'-8" x 1 3/4"	2-PANEL	D	WOOD	PAINT	12	WD	PAINT	-	DOUBLE CLOSET	D12			
D13	1'-6"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	08	WD	PAINT	-	CLOSET/PANTRY	D13			
D14	2'-4"x6'-8" x 1 3/4"	2-PANEL	F	WOOD	PAINT	10	WD	PAINT	-	POCKET DOOR (BATHROOMS)	D14			
D15	3'-0"x6'-8" x 1 3/4"	2-PANEL	C	WOOD	PAINT	10	WD	PAINT	-	POCKET DOOR (CLOSETS)	D15			
D16	(PAIR) 3'-0"x6'-8" x 1 3/4"	FRENCH	D	WOOD	PAINT	11	WD	PAINT	-	DOUBLE FRENCH DOORS IN EXISTING FRAME. V.I.F.	D16			
D17	3'-0" X MAX x 1 3/4"	2-PANEL	I	WOOD	PAINT	08	WD	PAINT	-	MODIFIED SINGLE CLOSET WITH LOVERS (WASHER/DRYER/HVAC) ADJUST HEIGHT TO FIT SPACE (36" MIN, 48" MAX) INSTALL LEVER HARDWARE NEAR BOTTOM FOR EASIER ACCESS.	D17			

- GENERAL DOOR NOTES:**
- ALL DOORS INDICATED AS 'E' ARE EXISTING TO REMAIN.
  - ALL HARDWARE TO BE LEVER TYPE, ADA COMPLIANT.
  - ALL INTERIOR DOORS TO BE SOLID CORE WOOD (WITH WOOD LOUVERS WHERE INDICATED IN SCHEDULE).
  - ALL INTERIOR UNIT ENTRY DOORS TO HAVE CLOSERS AND BRUSH SKIRTS TO REDUCE TRANSMISSION OF HALLWAY NOISE.
  - ALL DOOR GLASS AND GLASS WITHIN 18" OF DOORS/FLOORS TO BE TEMPERED.
  - ALL HARDWARE ON INTERIOR DOORS TO BE LEVER HARDWARE BRUSHED NICKEL UNLESS OTHERWISE NOTED.
  - ALL STOREFRONT TO BE BRONZE ANODIZED ALUMINUM WITH 1" CLEAR INSULATED GLASS, TEMPERED. ALL STOREFRONT HARDWARE TO BE BRONZE ANODIZED.

HARDWARE TYPES	
TYPE 01 EXTERIOR STOREFRONT UNIT ENTRY DOORS	LEVER HARDWARE
	KEYED DEAD BOLT WITH INTERIOR THUMB TURN
	WEATHERSTRIPPING
TYPE 02 INTERIOR UNIT ENTRY DOORS	WEATHERSTRIPPING
	WALL MOUNTED DOOR STOP
	ALUMINUM THRESHOLD
	LEVER HARDWARE
TYPE 03 EGRESS STAIR DOORS (1 HR)	KEYED DEAD BOLT WITH INTERIOR THUMB TURN
	CLOSER AND BRUSH SKIRT
	WOOD THRESHOLD
TYPE 04 BEDROOMS/BATHROOMS	PEEPHOLE
	LEVER PASSAGE HARDWARE
	CLOSER
TYPE 05 COMMERCIAL AREAS TO ELEVATOR LOBBY	LEVER PRIVACY LOCKSET
	WALL MOUNTED DOORSTOP IF DOOR CANNOT SWING BEYOND 90 DEGREES
	CLOSER
TYPE 06 BUILDING ENTRANCE DOOR	INTERIOR AUTO-LOCKING ON CLOSE, AUTO-OPEN FROM INTERIOR, KEYPED LEVER FROM LOBBY/RESTROOM AREA SIDE, ADA COMPLIANT ALUMINUM THRESHOLD
	CLOSER
	WEATHERSTRIPPING
	KEY FOB ACCESS CONTROL DEVICE W/ ELECTRIC STRIKES
TYPE 07 UTILITY CLOSET DOORS (INTERIOR/EXTERIOR)	KEYED DEAD BOLT WITH INTERIOR THUMB TURN
	WEATHERSTRIPPING ON EXTERIOR DOORS ONLY
	ALUMINUM THRESHOLD AT EXTERIOR DOORS ONLY
TYPE 08 CLOSET DOORS	WEATHERSTRIPPING ON EXTERIOR DOORS ONLY
	LEVER PASSAGE SET
	WALL MOUNTED DOOR STOP IF DOOR CANNOT OPEN BEYOND 90 DEGREES
TYPE 09 BARN DOORS	BARN DOOR RAILS AND SLIDES
	PRIVACY LOCK AND STRIKE
	RECESSED FINGER PULLS
TYPE 10 POCKET DOORS	POCKET DOOR RAILS AND SLIDES
	PRIVACY LOCK AND STRIKE AT BATHROOMS & BEDROOMS
	RECESSED FINGER PULLS
TYPE 11 FRENCH DOORS	RECESSED TOP & BOTTOM BOLTS. SEE PLAN FOR BOLT SIDE.
	PRIVACY LOCKSET AND STRIKE
	CLOSER
TYPE 12 DOUBLE DOORS	LEVER PULLS
	BALL LATCH PER LEAF
	LEVER PRIVACY SET
TYPE 13 COMMERCIAL RESTROOMS	CLOSER



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**SCHEDULES & PARTITION TYPES**

SHEET:  
**A8.1**

PROJECT NUMBER: **1824**

**10-12-14 EAST BROAD STREET**  
**Phase II**  
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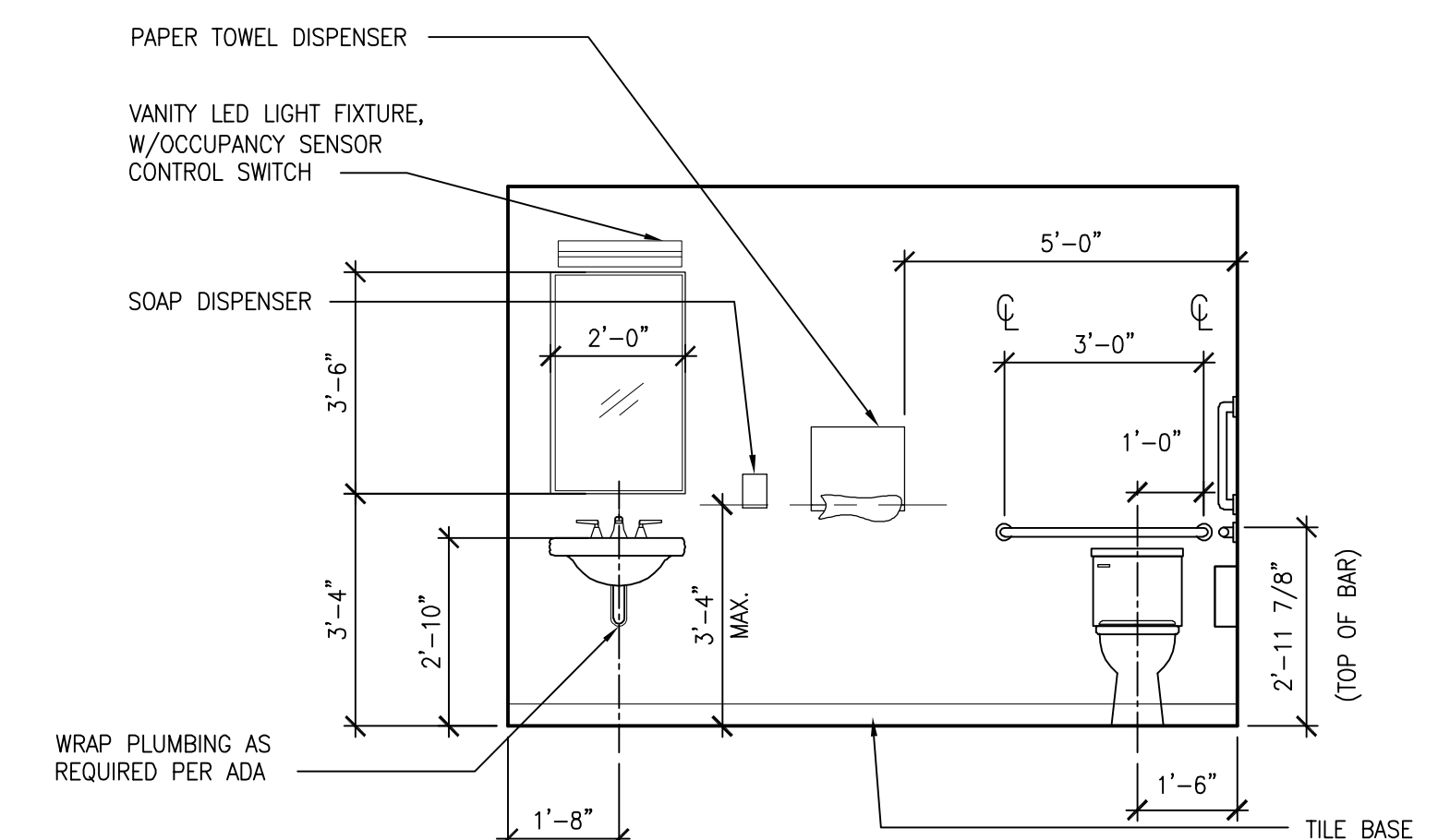
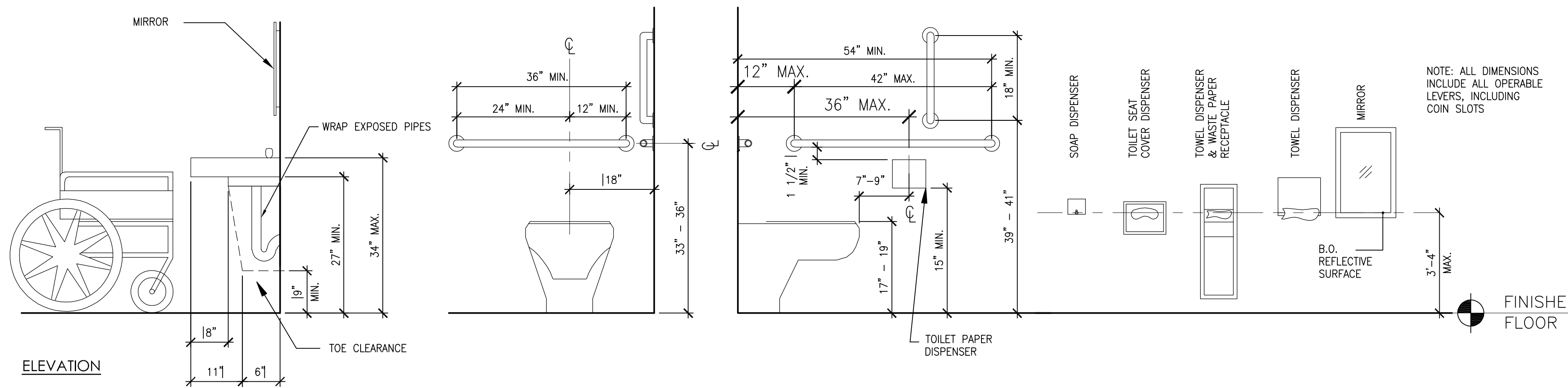
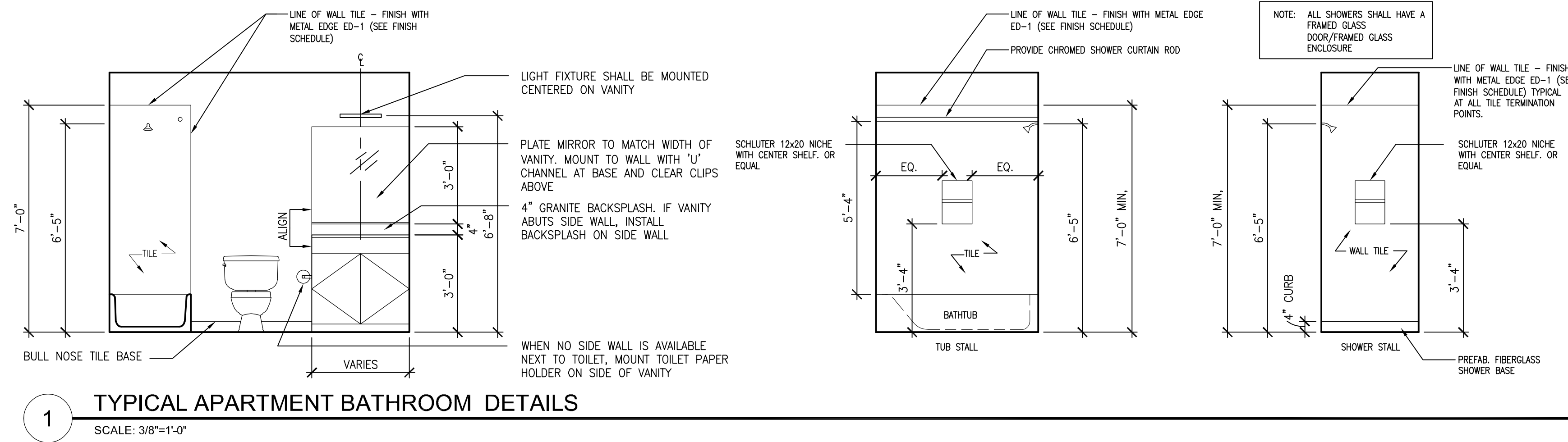
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FINISH SCHEDULE  
AND DETAILS

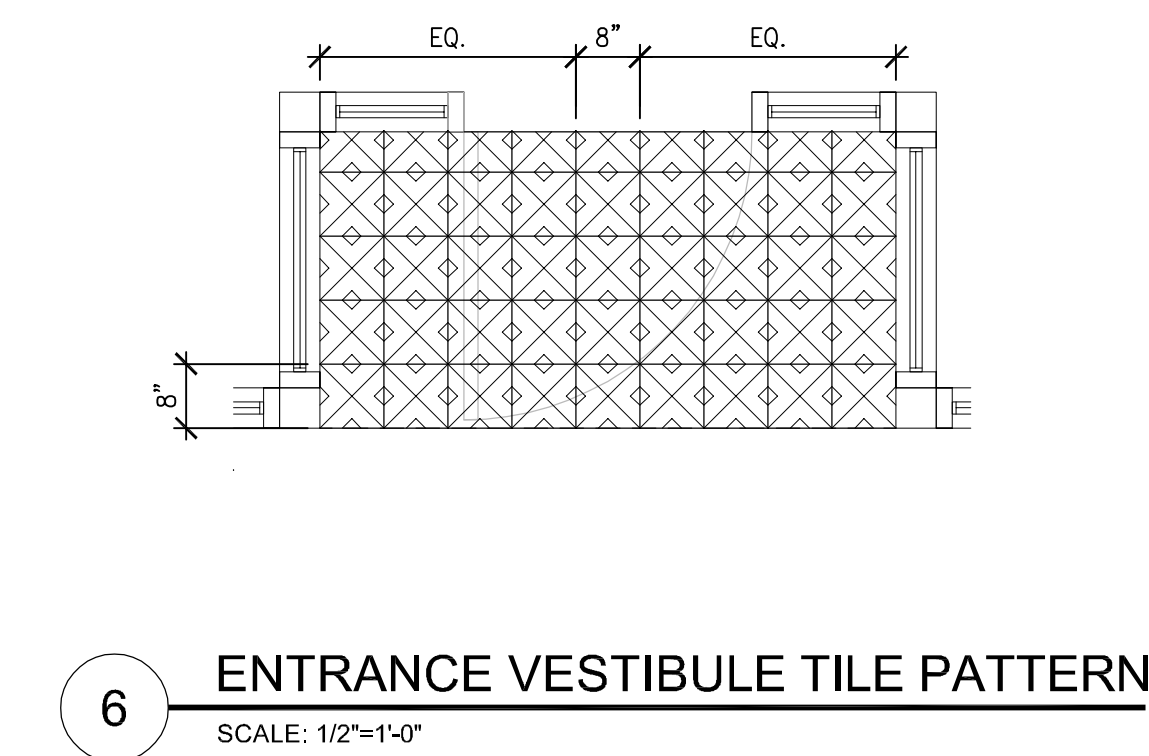
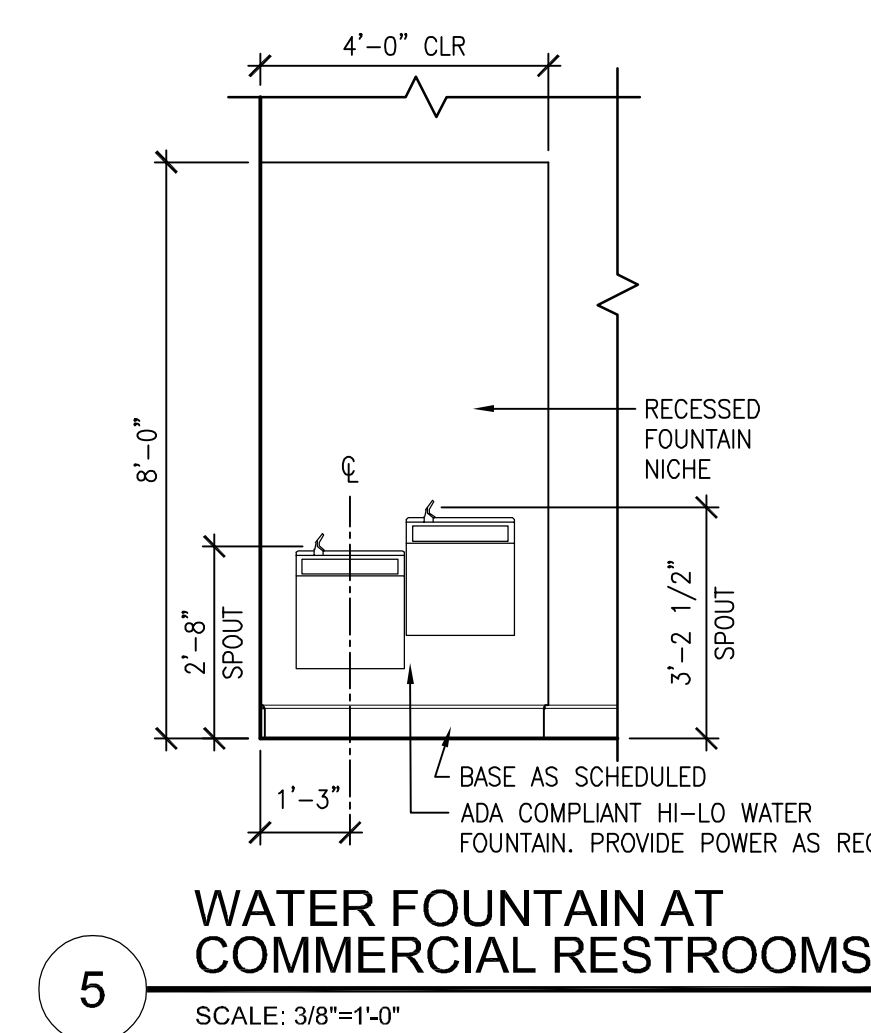
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**A8.2**

PROJECT NUMBER: **1824**



FINISH KEY:						
KEY	PRODUCT	MANUFACTURER	COLOR # / PRODUCT #	FINISH	SIZE	REMARKS:
PT-1	PAINT	SHERWIN WILLIAMS	SW 7006 EXTRA WHITE	FLAT		APARTMENT WALLS
PT-2	PAINT	SHERWIN WILLIAMS	SW 7006 EXTRA WHITE	SEMI-GLOSS		DOOR AND WINDOW CASING AND BASE TRIM (APARTMENTS)
PT-3	PAINT	SHERWIN WILLIAMS	T.B.D.	FLAT		CORRIDOR WALLS
PT-4	PAINT	SHERWIN WILLIAMS	T.B.D.	SEMI-GLOSS		BASE TRIM AND STAIR RISERS (AT PUBLIC CORRIDORS)
PT-5	PAINT	SHERWIN WILLIAMS	T.B.D.	SEMI-GLOSS		DOORS
PT-6	PAINT	SHERWIN WILLIAMS	SW 7645 THUNDER GRAY	EXTERIOR SEMI-GLOSS		EXTERIOR METAL EGRESS STAIRS
PT-7	PAINT	SHERWIN WILLIAMS	T.B.D.	FLAT		ACCENT WALLS
PT-8	PAINT	SHERWIN WILLIAMS	T.B.D.	FLAT		ACCENT WALLS
PT-9	PAINT	SHERWIN WILLIAMS	T.B.D.	FLAT		ACCENT WALLS
						GROUT COLOR
						FROM LATIURE
CT-1	CERAMIC TILE	MORRIS TILE	AR30 OFF WHITE MARAZZI	GRID PATTERN	12X12	BATHROOM FLOOR
CT-2	CERAMIC TILE	MORRIS TILE	AR30 OFF WHITE MARAZZI	BULL NOSE	3X12	BATHROOM BASE
CT-3	CERAMIC TILE	MORRIS TILE	U81 BRIGHT ICE WHITE	BRICK BOND PTRN	3X6	TUB/SHOWER SURROUND
CT-4	CERAMIC TILE	FLOOR & DECOR	LA BELLE PURITY SKU# 100507722	BRICK BOND PTRN	3X12	BACKSLASH
CT-4	CERAMIC TILE	MORRIS TILE	MARAZZI D-SEgni MOUK	STACKED	8X8	VESTIBULE SEE NOTE 2 BELOW
CONC	SEAL CONCRETE					BASEMENT - CONCRETE SEALER CLEAR SATIN
ED-1	METAL EDGE TRIM @ TILE	BLANKE	CUBELINE	ALUM. SATIN SILVER		EXPOSED EDGES & OUTSIDE CORNERS AT WALL TILE
ED-2	STONE TRANSITION					WOOD TO TILE - SEE NOTE #1 BELOW
SS-1	GRANITE	OZ ENTERPRISES	COLONIAL WHITE			KITCHEN, ISLAND AND VANITY COUNTER TOPS SEE NOTE #3 BELOW
WD-1	WOOD BASE	SIEWERS	PINE	PAINTED		WOOD BASE - SI-750 (REFER TO DETAIL 2/AB.2 BELOW)
WD-2	DOOR CASING	SIEWERS	PINE	PAINTED		DOOR CASING - SI-44B1 (REFER TO DETAIL 2/AB.2 BELOW)
NOTES	1. ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTERLINE OF CLOSED DOOR. 2. SEE TILE PATTEN 6/AB.2 3. AT UNIT 203 THE 24" WIDE RANGE IS LESS THAN 24" DEEP, A BRIDGE PIECE OF GRANITE WILL BE REQUIRED TO FILL THE GAP BEHIND THE RANGE, V.I.F.					



**RESTROOM ACCESSORIES LEGEND**

ITEM NUMBER	DESCRIPTION	MANUFACTURER	MODEL #	SIZE (H x W x D)	MOUNTING HEIGHT	NOTES
1	TOILET PAPER DISPENSER	PAMEX	BC12-45		26"	APARTMENTS - POLISHED CHROME
2	TOWEL BAR	PAMEX	BC12-15818	18"	48"	APARTMENTS - POLISHED CHROME
3	SHOWER ROD	PAMEX	BSRS-541	60"	SEE DETAIL BELOW	APARTMENTS
4	TOILET PAPER DISPENSER	BOBRICK	B-6697		SEE DETAIL BELOW	COMMERCIAL - SEMI-RECESSED MOUNTED
5	PAPER TOWEL DISPENSER	BOBRICK	B-4262		SEE DETAIL BELOW	COMMERCIAL - FLUSH MOUNT
6	SOAP DISPENSER	BOBRICK	B-4112		SEE DETAIL BELOW	COMMERCIAL - FLUSH MOUNT
7	PIPE AND VALVE COVER	WHITE				COMMERCIAL - G.C. TO SELECT - SUBMIT CUT
8	GRAB BARS	BOBRICK	B-6806 (x36, x42, x18)		SEE MOUNT, HTS.	36" BACK, 42" SIDE, 18" VERTICAL