

1626 North 27th Street

LIST OF DRAWINGS

| NO. | TITLE |
|-------|---|
| A-001 | COVER SHEET / CODE DATA / GENERAL NOTES |
| A-101 | FOUNDATION / FIRST FLOOR FRAMING PLANS / SCHEDULES AND WALL SECTION |
| A-102 | ROOF FRAMING PLAN / BRACED WALL PANEL DIAGRAM |
| A-201 | BUILDING ELEVATIONS |


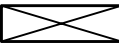


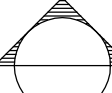
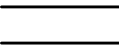
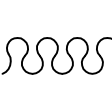
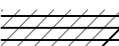

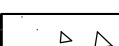

GENERAL NOTES:

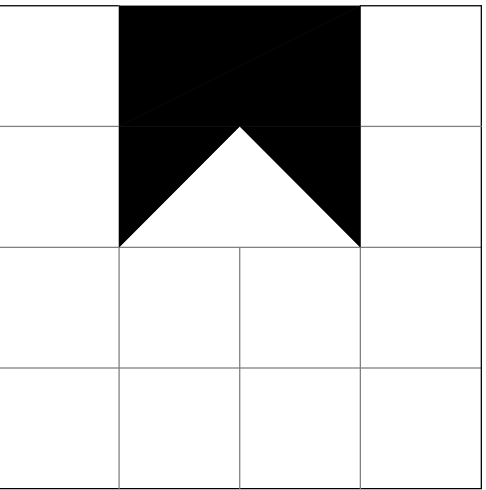
1. THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS OF THE SITE AND SHOULD VERIFY THE LOCATIONS OF CONCEALED ITEMS WHICH MAY AFFECT THE NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS OF THE NEW WORK.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE APPLICATION FOR AND OBTAINING OF ALL REQUIRED PERMITS FOR WORK REQUIRED BY THE PROJECT, INCLUDING PAYMENT OF ALL ASSOCIATED PERMIT FEES TO THE COUNTY OF HENRICO.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING OF ALL WORK SO AS TO MEET THE TIMELINE OF THE OWNER AS POSSIBLE OR AS AGREED BETWEEN THE OWNER AND GENERAL CONTRACTOR. THE OWNER IS TO BE KEPT AWARE OF ALL CHANGES OF THE PROPOSED CONTRACTED SCHEDULE.
4. THE SITE IS TO BE KEPT CLEAN AT ALL TIMES. NO DEBRIS OR RUNOFF IS TO BE ALLOWED IN NEIGHBORING YARDS, FRONT YARD OR STREETS.
5. FIELD VERIFY LOCATION OF ALL EXISTING WATER AND SEWER LINES. VERIFY CONNECTION POINTS REQUIRED PER THE PLUMBING DRAWINGS.
6. FIELD VERIFY AND IDENTIFY LOCATION OF ALL ELECTRICAL POWER LINES, TELEPHONE LINES, CABLE LINES+ WHETHER OVER-HEAD OR BELOW GRADE. VERIFY CONNECTION POINTS REQUIRED AS INDICATED ON THE ELECTRICAL DRAWINGS.
7. COORDINATE ALL WORK WITH OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FIXTURES, IF ANY.
8. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE DESIGN/BUILD. THE M, E & P SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE DESIGN AND PERMITTING OF THEIR SPECIFIC PORTIONS OF THE WORK.
9. ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE BEGINNING ANY WORK. THIS SHALL INCLUDE SANITARY LINES, DRAIN FIELD (IF ANY), POWER LINES, TELEPHONE AND CABLE LINES. GENERAL CONTRACTOR SHALL CONTACT "MISS UTILITY" BY DIALING 811 OR OTHER AGENCIES AS APPROPRIATE.

GENERAL NOTES

1. CONTRACTOR SHALL CONFORM TO THE 2012 VIRGINIA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, PART 1 OF THE VAUSBC AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
3. CONTRACTOR SHALL CAULK, FLASH OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT.
4. CONTRACTOR SHALL CAULK ALL GAPS BETWEEN DISSIMILAR MATERIALS.
5. ALL WOOD SILLS THAT ARE WITHIN 8" OF EXPOSED EARTH OR ON CONCRETE SLABS SHALL BE PRESSURE PRESERVATIVE TREATED.
6. ALL HOSE BIBBS SHALL BE FREEZE PROOF AND HAVE A BACKFLOW PREVENTER.
7. RUN ALL TOILET FANS AND EXHAUST VENTS TO AN APPROVED EXTERIOR DISCHARGE.
8. 8" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SIDING.
9. CONTRACTOR SHALL COORDINATE PLACEMENT OF ROOF FRAMING AND INSTALLATION OF ANY ATTIC ACCESS HATCHES AND SKYLIGHTS.
10. ALL FIXED GLAZING IN WINDOWS AND DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED PER THE REQUIREMENTS OF VRC CHAPTER R308 WHERE OCCURRING IN THE HAZARDOUS LOCATIONS IDENTIFIED THEREIN.
11. SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD ROOF TRUSSES, GIRDERS AND BEAMS, IF ANY.
12. HVAC CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS TO AN APPROVED LOCATION.
13. ALL EXPOSED GUTTERS, DOWNSPOUTS AND FLASHING TO BE PRE-FINISHED.
14. INSULATE ALL WALL AROUND BATHROOMS/TOILETS WITH 3 1/2" UNFACED BATT OR CELLULOSE INSULATION.
15. SHELVING AND SHELF AND RODS TO BE BRACED AT 4'-0" O.C. MAX.
16. VERIFY FRAMING/CONSTRUCTION DIMENSIONS PRIOR TO INSTALLATION OF CABINETS, TUBS, HVAC EQUIPMENT AND OTHER BUILT-IN FIXTURES OR EQUIPMENT.
17. SILL PLATE ANCHORAGE - 1/2" DIAMETER X 18" LONG ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM AT ALL EXTERIOR WALLS AND 12" MAXIMUM FROM CORNERS. ANCHOR BOLTS SHALL BE GROUTED SOLID IN MASONRY CORES, NOT MORTAR JOINTS.
18. INSULATE ALL PIPING AT EXTERIOR WALLS.
19. PROVIDE RECESSED BOX WITH VALVE TO AREA BEHIND REFRIGERATOR FOR ICE MAKER.
20. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL EQUIPMENT NECESSARY TO CONTROL EXISTING GROUND FAULT CURRENT AT THE SITE.
21. ALL WASHING MACHINES AND WATER HEATERS TO BE SET IN A PLASTIC OVERFLOW PAN WITH A DRAIN TO AN EXTERIOR OR APPROVED DISCHARGE.
22. GENERAL CONTRACTOR IS REQUIRED TO COORDINATE UNDER CUTTING OF DOOR WITH THE HVAC CONTRACTOR FOR ADEQUATE RETURN AIR FLOW.
23. ONLY GALVANIZED NAILS AND OTHER CONNECTORS TO BE USED IN EXTERIOR WOOD FENCES, RAILS, STAIRS, ETC.
24. CLOTHES DRYER EXHAUST SHALL COMPLY WITH THE 2012 VA RESIDENTIAL CODE.
25. ALL DIMENSIONS SHOWN ARE ACTUAL, AND ARE TO THE FACE OF STUD OR TO FACE OF MASONRY OR CONCRETE. CONTRACTOR TO COORDINATE ACTUAL LAY-OUT IN FIELD.
26. AT WOOD STUD EXTERIOR CORNERS (WHERE TWO INSULATED WALLS INTERSECT) - REFER TO DETAIL D5 ON SHEET A301.
27. WHERE INTERIOR PARTITIONS INTERSECT AN EXTERIOR INSULATED WALL, A LADDER T-WALL FRAMED CORNER SHALL BE CONSTRUCTED, REFER TO DETAIL D4 ON SHEET A301.
28. ALL HEADERS SHALL BE INSULATED WITH 1/2" FOAM BETWEEN.
29. THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS OF THE BUILDING AND SHOULD VERIFY THE LOCATIONS OF UTILITIES SUCH AS GAS, WATER, AND ELECTRIC WHICH MAY BE CONCEALED BEFORE PROCEEDING WITH THE WORK.
30. ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE ANY WORK. THIS INCLUDES SANITARY LINES, DRAIN FIELD (IF ANY), POWER LINE, TELEPHONE AND CABLE LINES, IRRIGATION LINES AND SPRINKLER HEADS. CONTACT " MISS UTILITY " BY DIALING 811 OR OTHER UTILITY AGENCIES AS APPROPRIATE.

LEGEND

| | | | |
|---|-------------------------|---|--------------------------------|
|  | DOOR NUMBER |  | LUMBER (IN SECTION) |
|  | WINDOW TYPE |  | NEW WOOD STUD WALL (PLAN) |
|  | SECTION |  | EXISTING WOOD STUD WALL (PLAN) |
|  | BATT INSULATION |  | PLYWOOD |
|  | BRICK (IN SECTION) |  | CONCRETE (IN SECTION) |
|  | C. M. U. (PLAN/SECTION) | N. I. C. | NOT IN CONTRACT |
| | | U. N. O. | UNLESS NOTED OTHERWISE |
| | | O/O | OUT TO OUT |



DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948

new single family residence

PREPARED FOR PROJECT HOMES

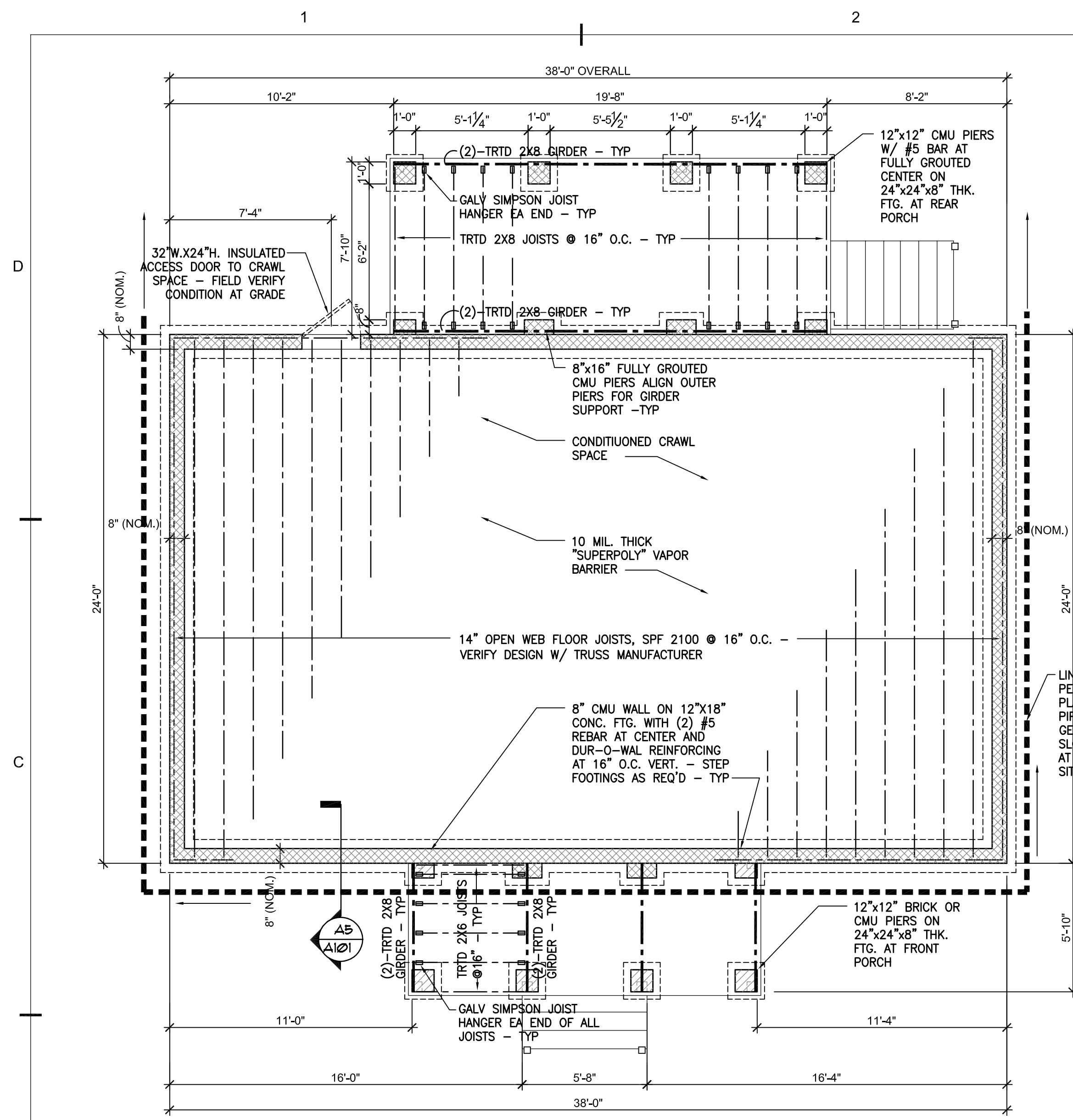
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| | 08.15.19 | PERMIT SET |

job #: 2019-0014
drawn: dnr
ch'kd: dnr
cad #: A001.DWG

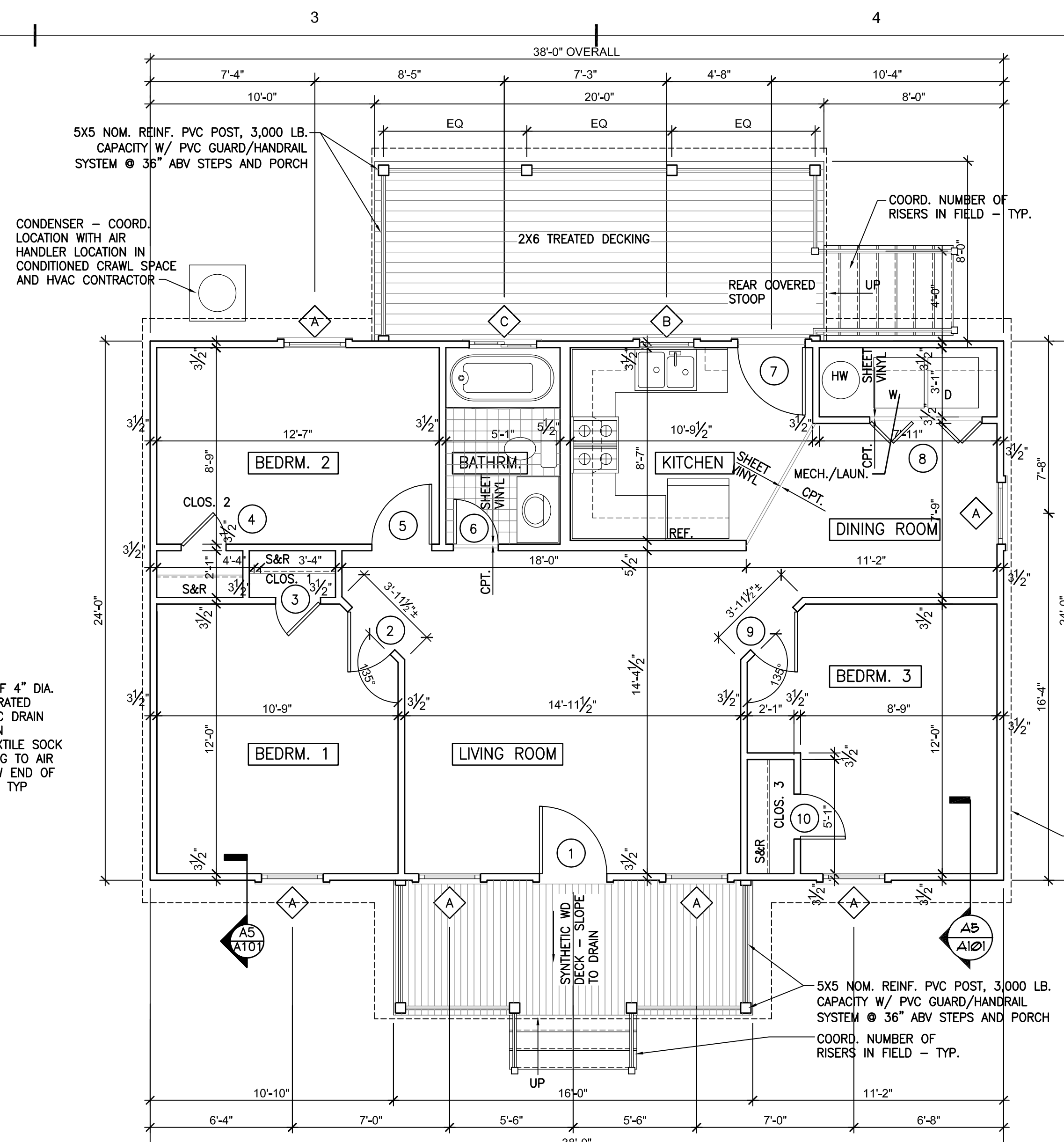
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COVER SHEET /
CODE DATA /
GEN. NOTES

A-001

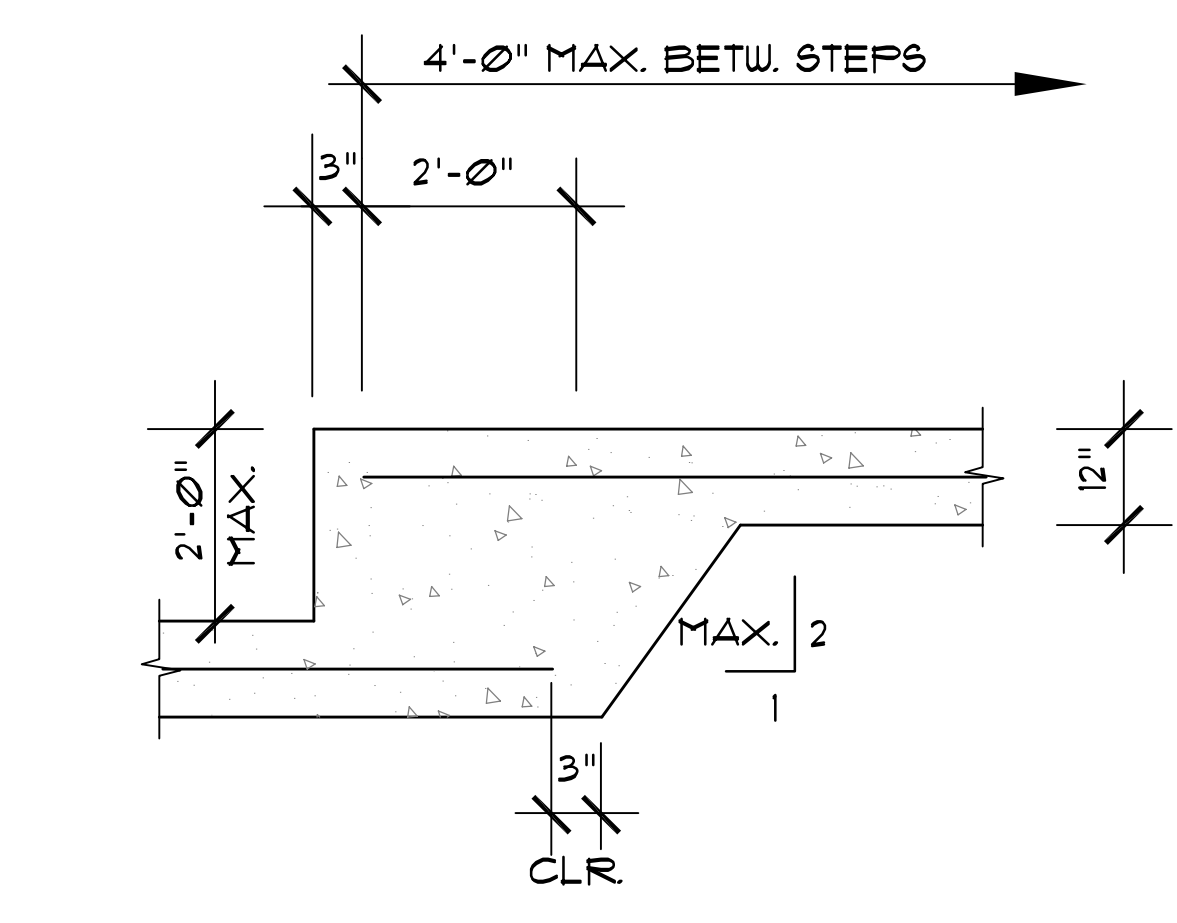
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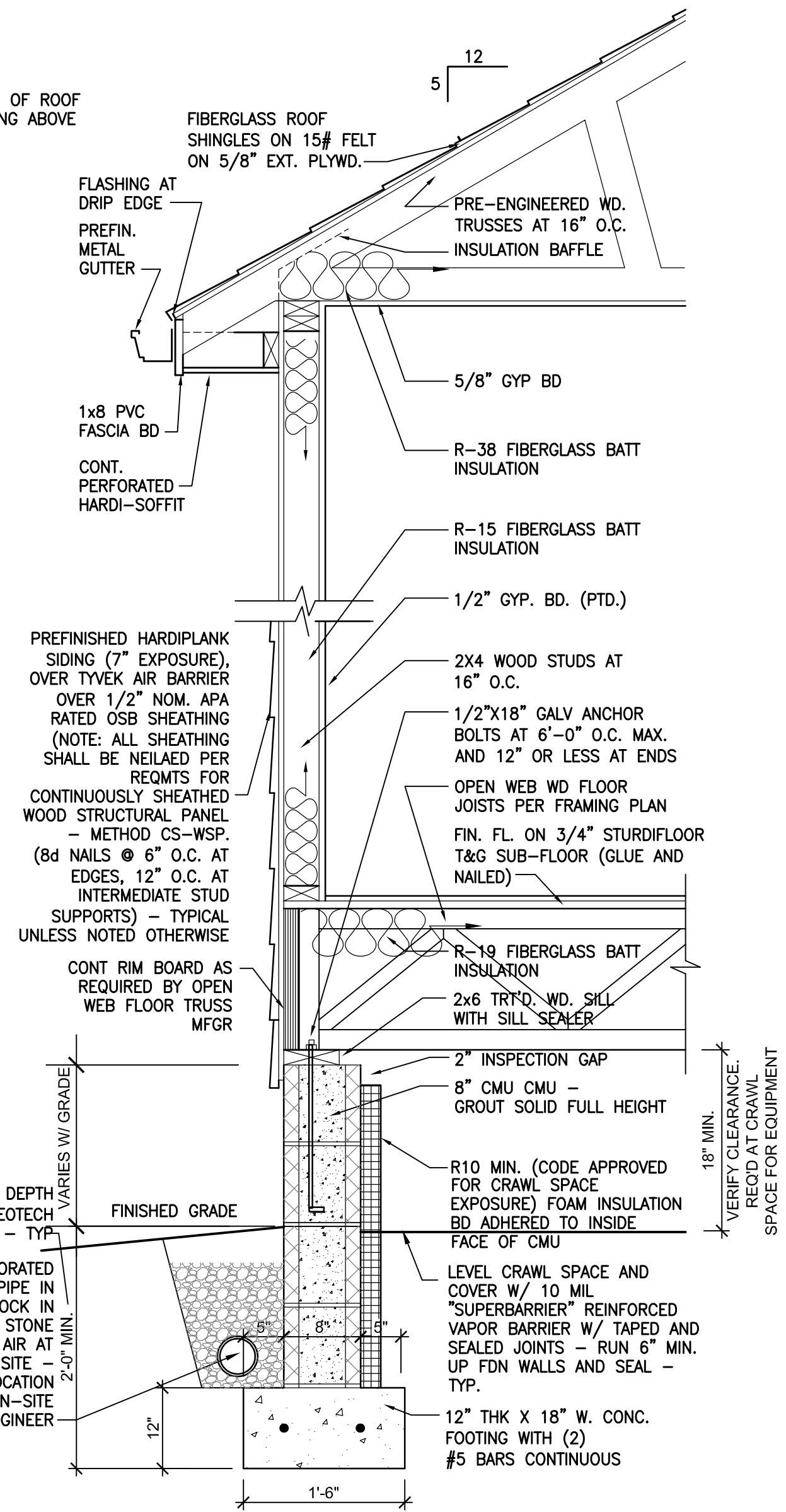
B1 FOUNDATION/FRAMING PLAN
1/4" = 1'-0"



B3 FIRST FLOOR PLAN
1/4" = 1'-0"



D5 STEPPED FOOTING DETAIL
NOT TO SCALE



A5 TYPICAL SECTION
1" = 1'-0"

| MARK | DOOR | | | | | | FRAME | | | FIRE RATING LABEL | HARDWARE | | NOTES | |
|------|------------|-------|--------|-------|---------|------|--------|--------|-------|-------------------|----------|---------------------------------|-------|------|
| | SIZE | | | MATL | TYPE | MATL | DEPTH | DETAIL | | | SET NO | KEYSIDE RM NO | | |
| | WD | HGT | THK | | | | | HEAD | JAMB | | | | | THRS |
| 1 | 3'-0" | 6'-8" | 1-5/8" | STL. | 6 PAN/L | WD | 4 1/2" | | ALUM. | - | EXT | INSULATED | | |
| 2 | 2'-8" | 6'-8" | 1-3/8" | MLDED | 6 PAN/L | WD | 4 1/2" | | - | - | - | - | | |
| 3 | 2'-4" | 6'-8" | EXIST. | MLDED | 6 PAN/L | WD | 4 1/2" | | - | - | - | - | | |
| 4 | 2'-4" | 5'-0" | EXIST. | MLDED | 6 PAN/L | WD | 4 1/2" | | - | - | - | - | | |
| 5 | 2'-8" | 6'-8" | 1-3/8" | MLDED | 6 PAN/L | WD | 4 1/2" | | - | - | - | - | | |
| 6 | 2'-4" | 6'-8" | 1-3/8" | MLDED | 6 PAN/L | WD | 4 1/2" | | - | - | - | - | | |
| 7 | 3'-0" | 6'-8" | 1-5/8" | STL. | 6 PAN/L | WD | 4 1/2" | | ALUM. | - | EXT | INSULATED WITH TEMPERED GLAZING | | |
| 8 | PR-2-4\"/> | | | | | | | | | | | | | |

| MARK | WINDOW | | | | | | | | DETAIL | NOTES | |
|------|--------|---|--------|--------|--------|------|---------------|------|--------|---|------|
| | NO. | SIZE (ROUGH OPENING) CONTRACTOR TO VERIFY | | | MATL | TYPE | DETAIL | | | | |
| | | NOM. SIZE | WD | HGT | | | THK | HEAD | | | JAMB |
| A | 6 | 2'-8"x5'-2" | 34" | 65.25" | 4 1/2" | PVC | DBL HUNG | | | INSULATED - LOW 'E' ARGON FILLED VERIFY MEETS EGRESS REQUIREMENTS | |
| B | 1 | 2'-4"x3'-2" | 30" | 41.25" | 4 1/2" | PVC | DBL HUNG | | | INSULATED - LOW 'E' ARGON FILLED SILL MUST CLEAR BACKSPLASH | |
| C | 1 | 3'-0"x1'-4" | VERIFY | VERIFY | 4 1/2" | PVC | BYPASS SLIDER | | | TEMPER/INSUL - VERIFY SILL CLEARS TOP OF TUB SURROUND | |

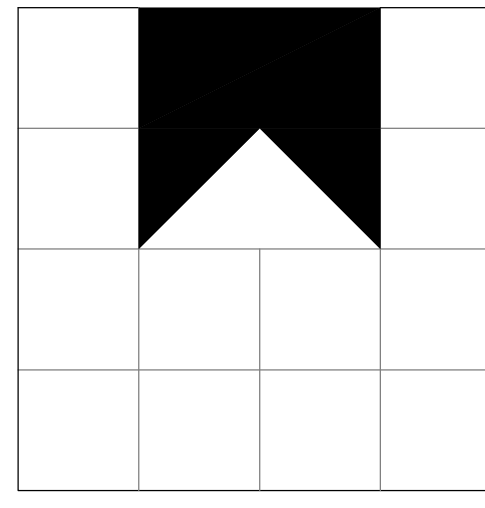
WINDOW NOTES:

- ALL WINDOW UNITS SHALL BE PROVIDED WITH INSECT SCREENS
- ALL WINDOWS WILL BE PROVIDED WITH AND HAVE INSTALLED INTEGRAL 1X4 PVC OR HARDI TRIM AT EXTERIOR JAMBS AND HEAD.
- PROVIDE SAFETY GLAZING IN ALL WINDOWS LOCATED IN HAZARDOUS LOCATIONS PER VRC 2012, SECTION 308.4.
- WINDOWS SHALL BE BY "LEGACY", WHITE, EXTRUDED PVC DOUBLE HUNG, TILT SASH, LOW E GLAZING, OR EQUIVALENT.
- VERIFY THAT WINDOWS INDICATED AT BEDROOMS MEET EMERGENCY EGRESS REQUIREMENTS

| ROOM NO. | ROOM NAME | FLOOR | | WALLS | | | | CEILING | | NOTES |
|----------|--------------------|-------|-----------|-------|----|----|----|---------|--------|-------|
| | | BASE | FLOOR | N | S | E | W | MATL | HEIGHT | |
| | | PT | PT | PT | PT | PT | PT | PT | PT | |
| | LIVING ROOM | WD | CPT | PT | PT | PT | PT | GWB | 8'-0" | |
| | BEDROOM 1 | WD | CPT | PT | PT | PT | PT | GWB | 8'-0" | |
| | CLOSET 1 | WD | CPT | PT | PT | PT | PT | GWB | 8'-0" | |
| | BEDROOM 2 | WD | CPT | PT | PT | PT | PT | GWB | 8'-0" | |
| | CLOSET 2 | WD | CPT | PT | PT | PT | PT | GWB | 8'-0" | |
| | BATHROOM | WD | SH. VINYL | PT | PT | PT | PT | GWB | 8'-0" | |
| | KITCHEN | WD | SH. VINYL | PT | PT | PT | PT | GWB | 8'-0" | |
| | MECHANICAL/LAUNDRY | WD | SH. VINYL | PT | PT | PT | PT | GWB | 8'-0" | |
| | DINING ROOM | WD | CPT | PT | PT | PT | PT | GWB | 8'-0" | |
| | BEDROOM 3 | WD | CPT | PT | PT | PT | PT | GWB | 8'-0" | |
| | CLOSET 3 | WD | CPT | PT | PT | PT | PT | GWB | 8'-0" | |

FINISH SCHEDULE LEGEND

CPT: CARPET AS SPECIFIED
 GWB: GYPSUM WALL BOARD AS SPECIFIED
 PT: PAINT AS SPECIFIED
 WD: WOOD



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residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
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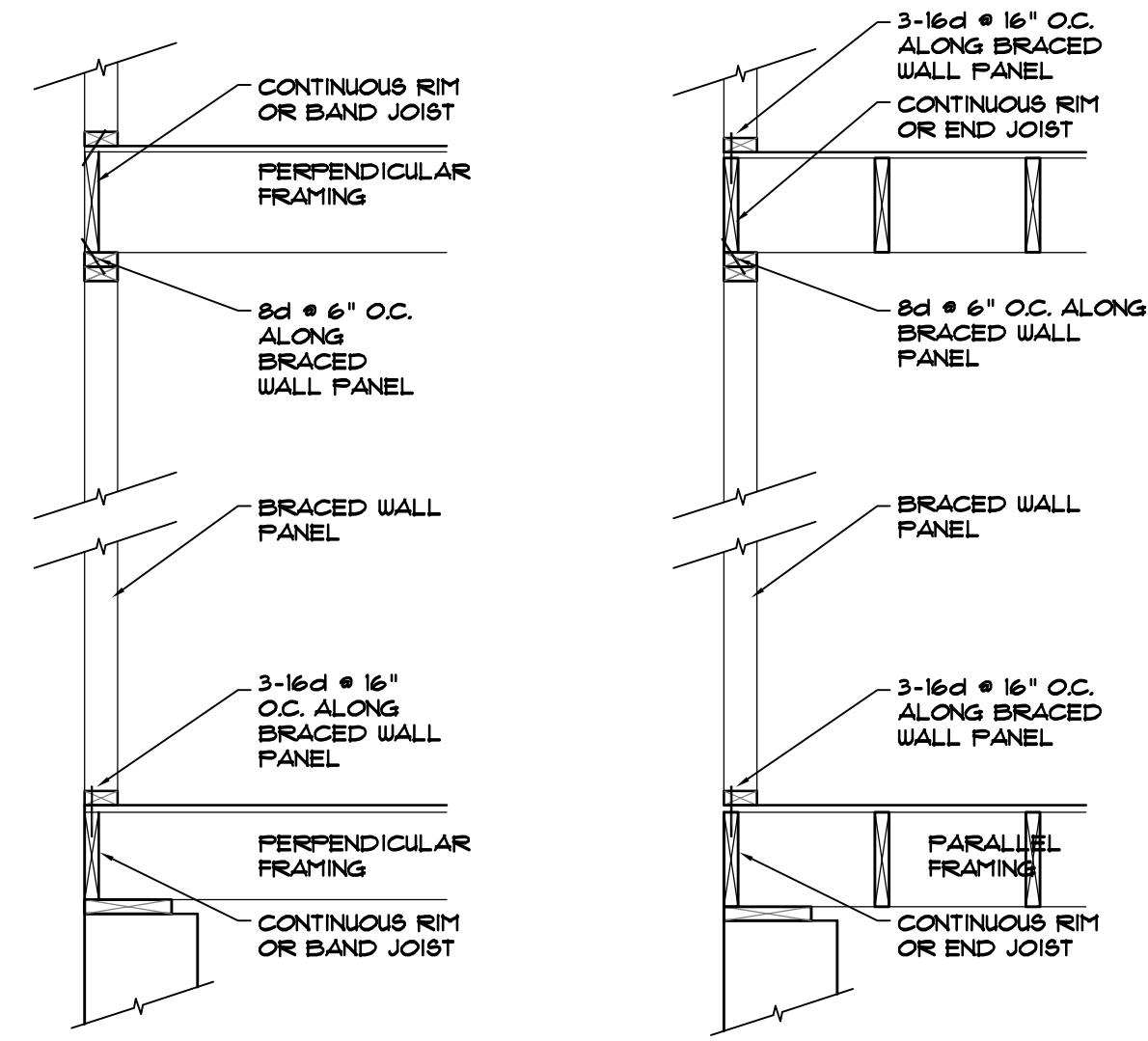
new single family residence
 PREPARED FOR PROJECT/HOMES

| mark | date | description |
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| | 08.15.19 | PERMIT SET |

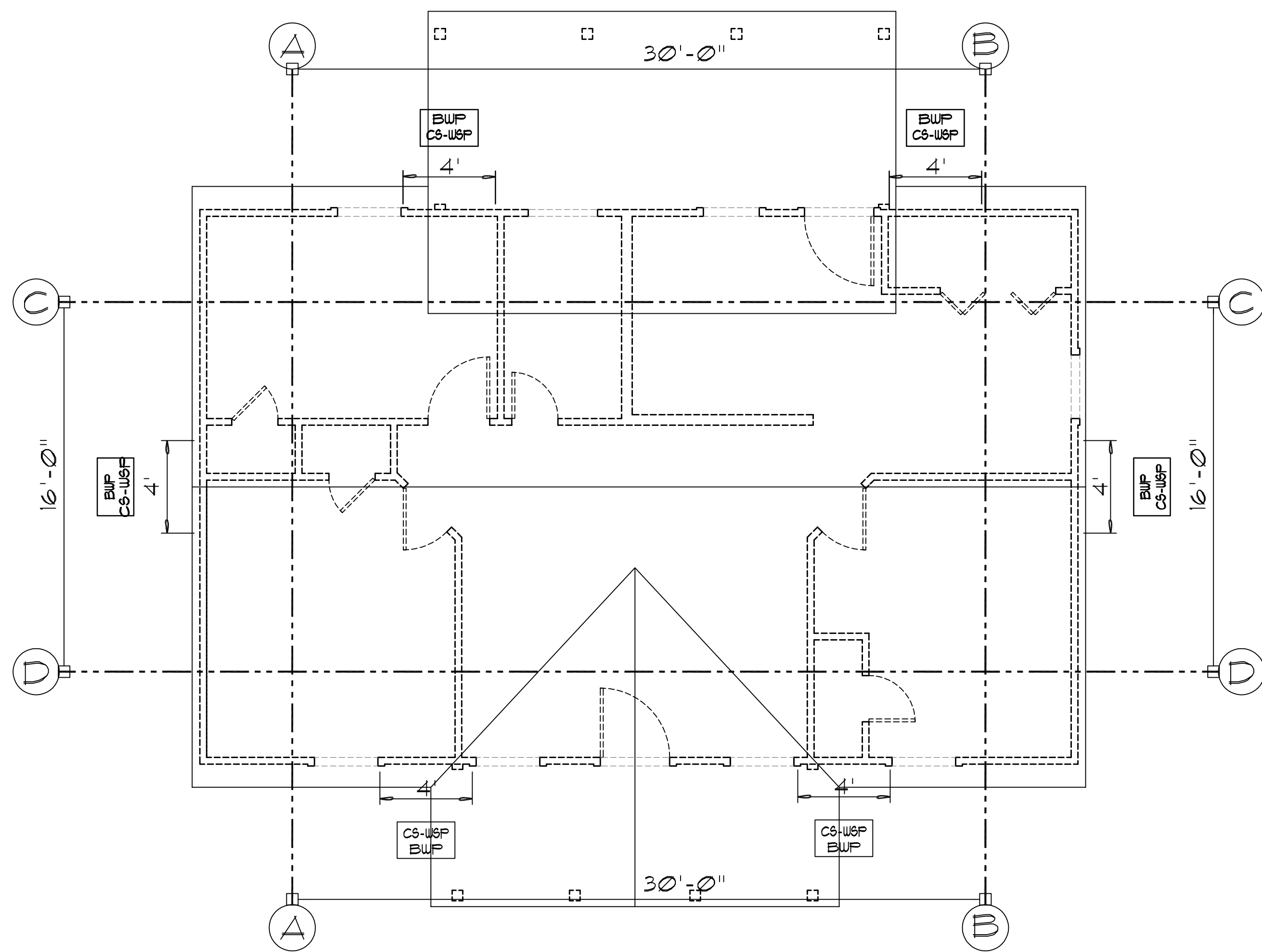
job #: 2019-0014
 drawn: dnw
 ch'kd: dww
 cad #: A101.DWG

**FIRST FLOOR/
FDN PLAN
SCHEDULES
AND SECTION**

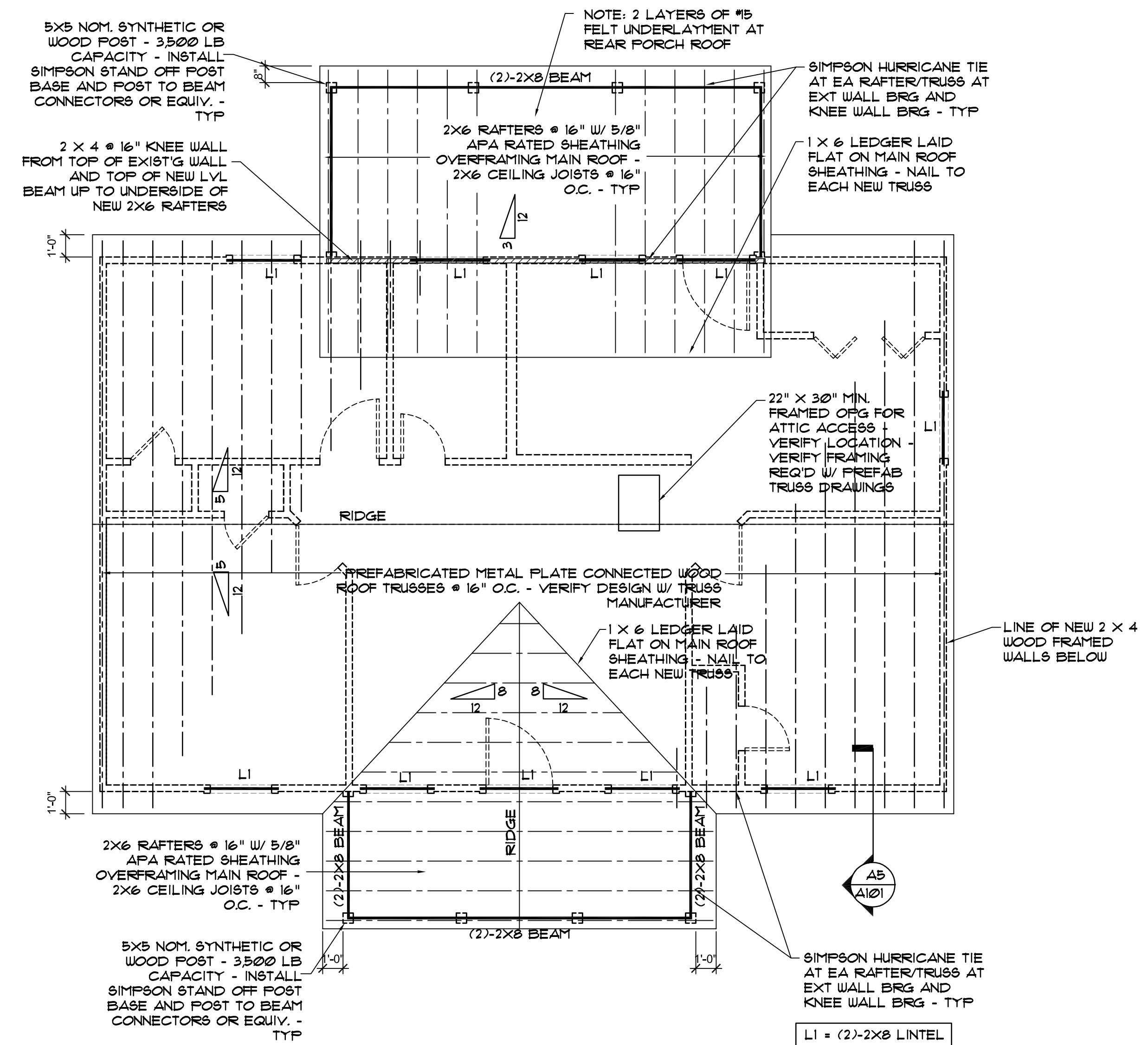
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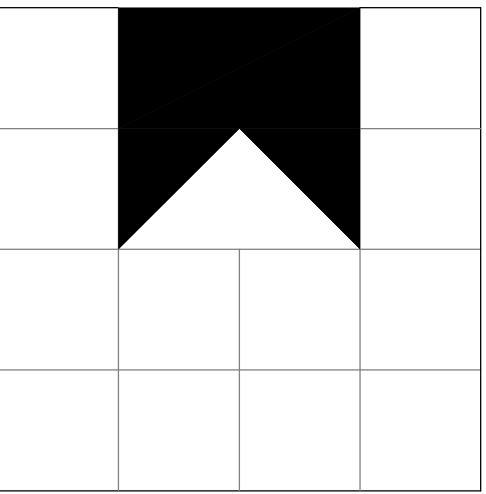
D1 BRACED WALL PANEL CONNECTIONS
NOT TO SCALE



A1 BRACED WALL PANEL DIAGRAM
1/4" = 1'-0"
PLAN NORTH



A4 ROOF FRAMING PLAN
1/4" = 1'-0"
PLAN NORTH



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new single family residence

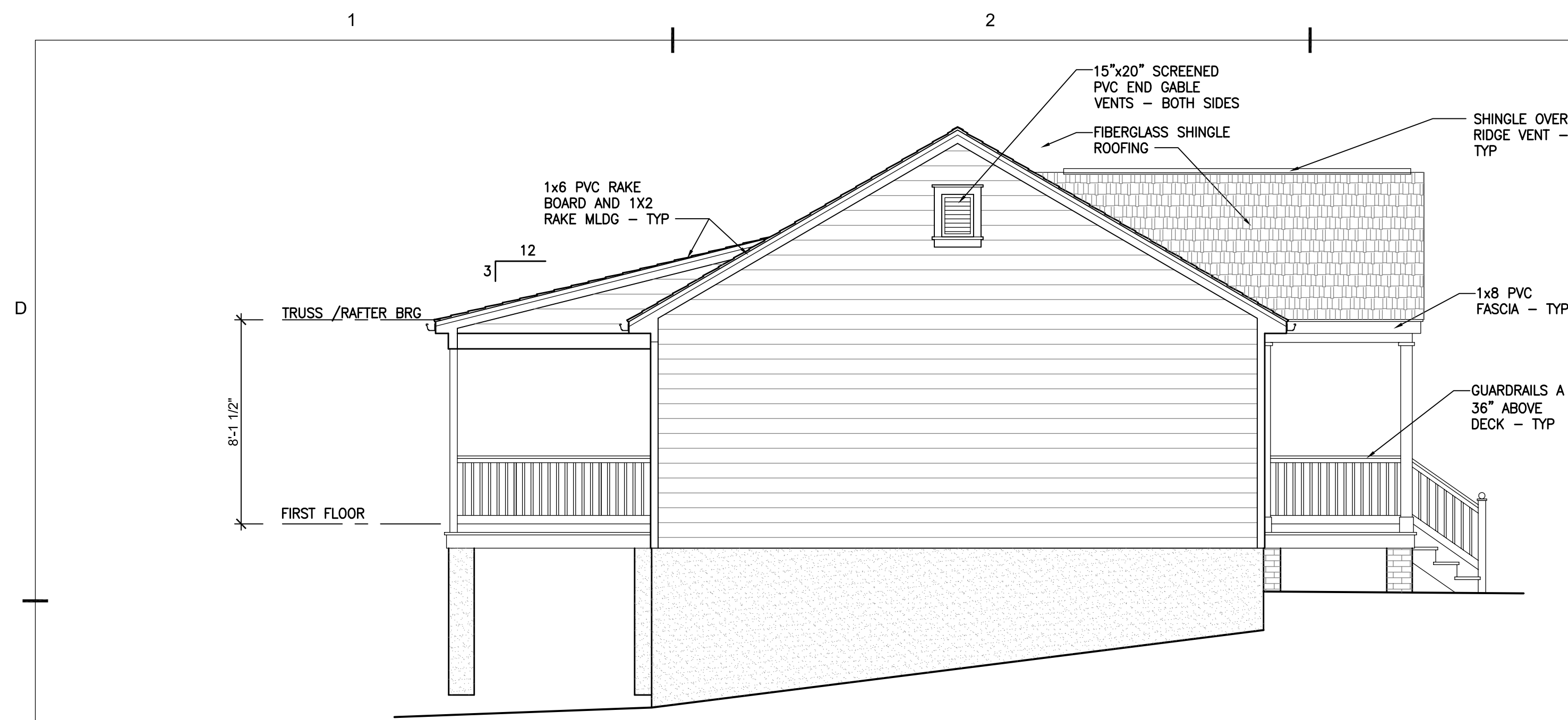
PREPARED FOR PROJECT HOMES

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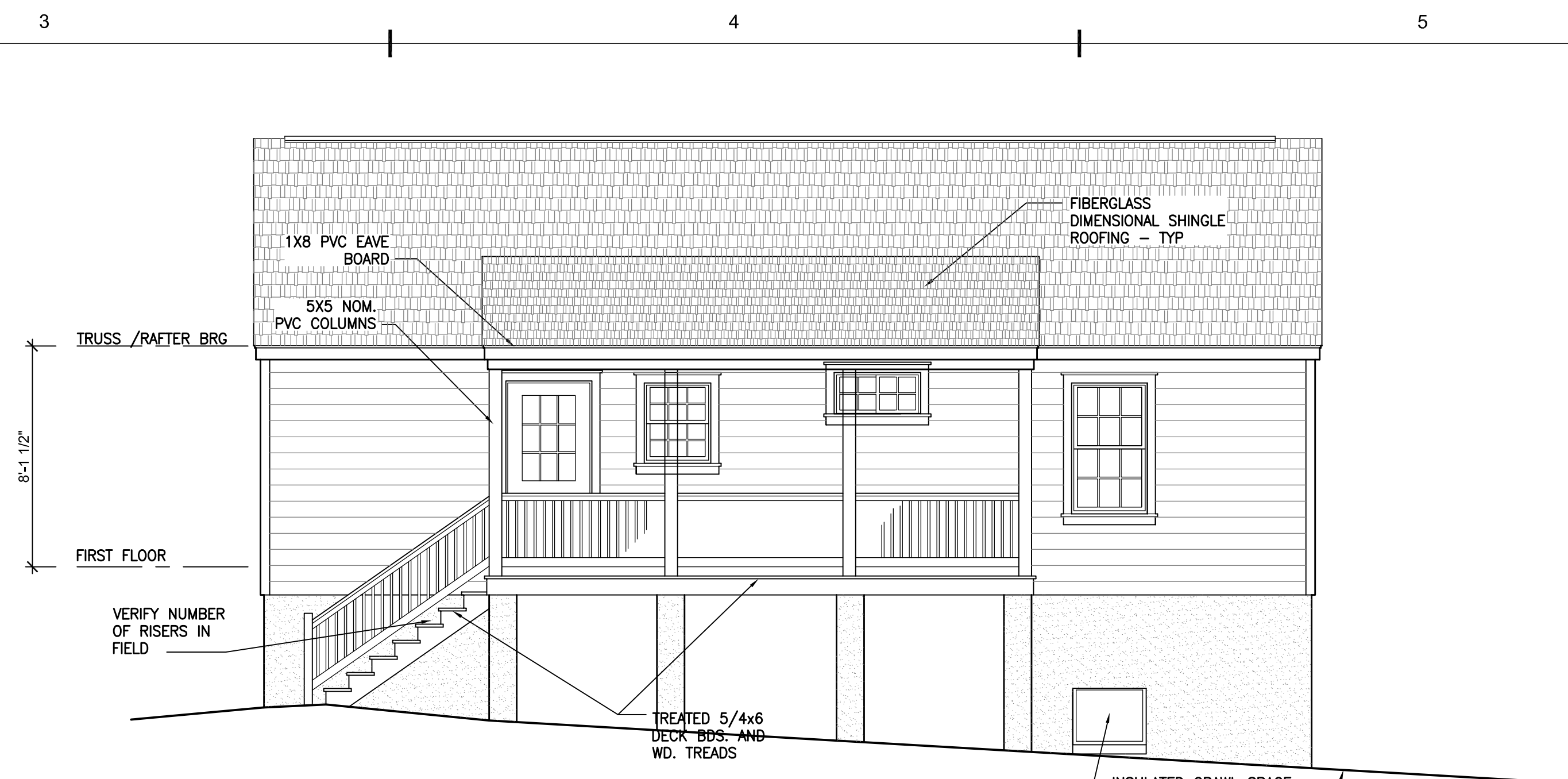
job #: 2019-0014
drawn: drw
ch'kd: drw
cad #: A102.DWG

sheet title
**ROOF FRAMING
PLAN / BRACED
WALL PANEL
DIAGRAM**

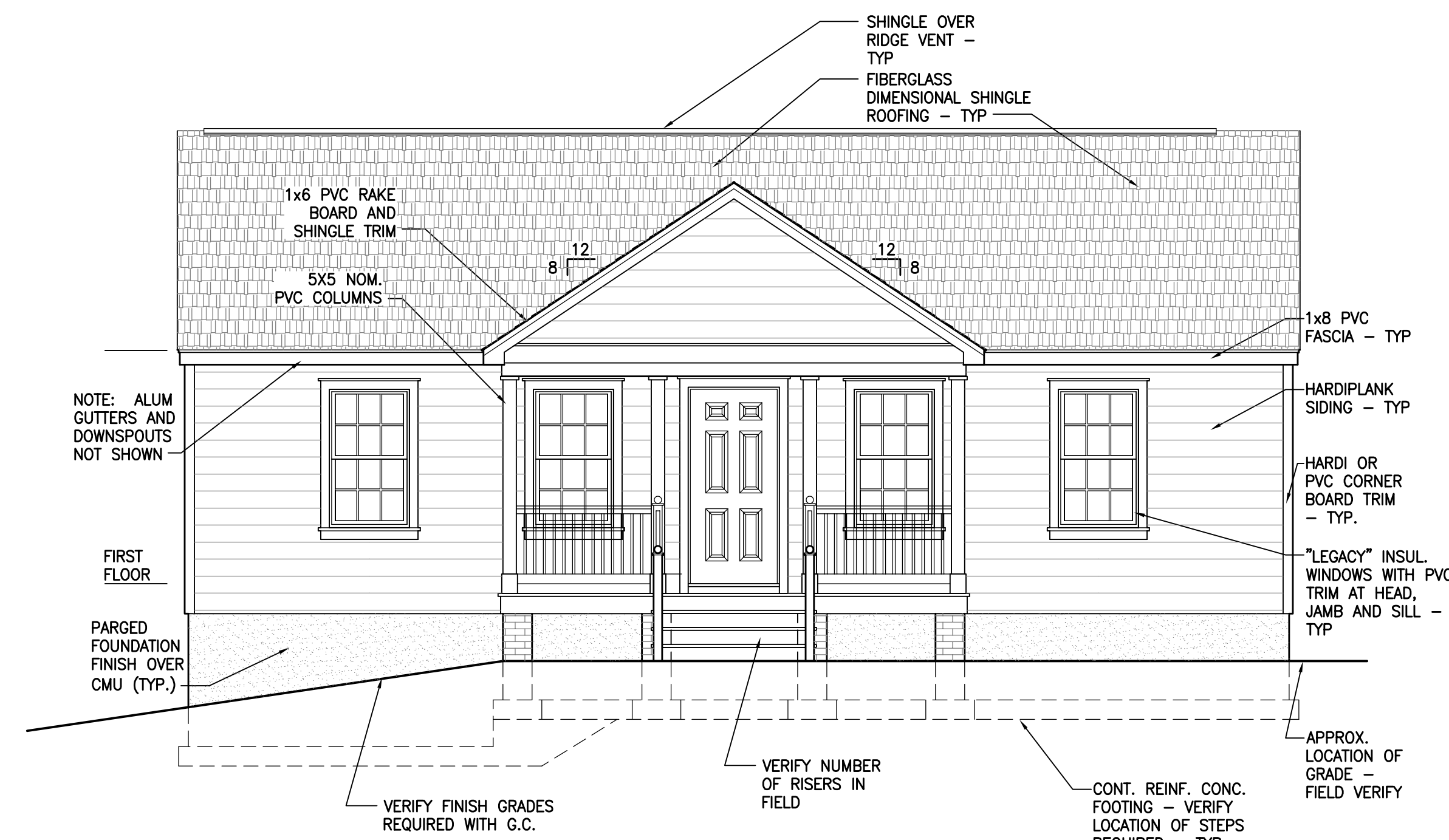
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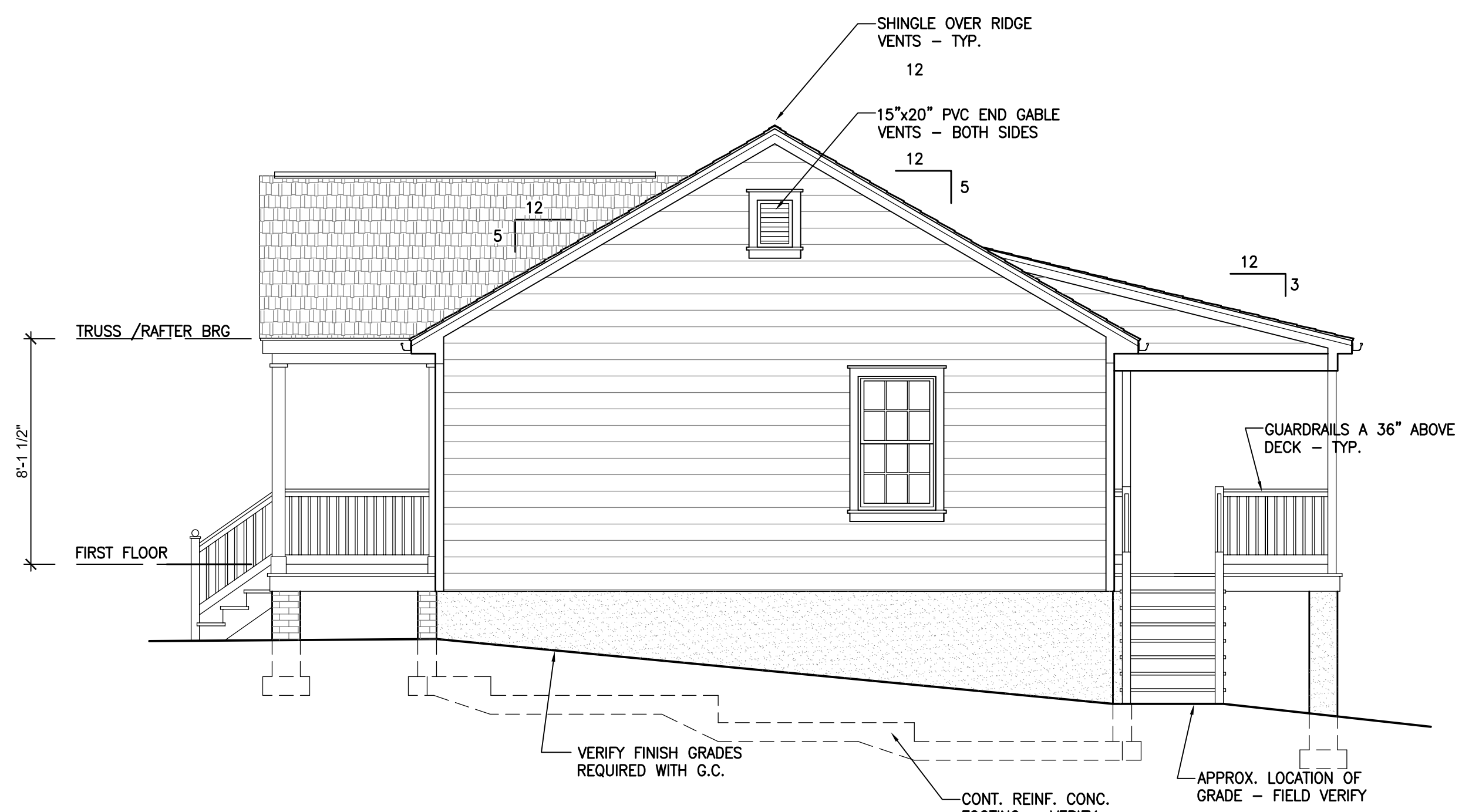
C1 LEFT SIDE ELEVATION
1/4" = 1'-0"



C4 REAR (SOUTH) ELEVATION
1/4" = 1'-0"



B1 FRONT (NORTH) ELEVATION
1/4" = 1'-0"



B4 RIGHT SIDE ELEVATION
1/4" = 1'-0"

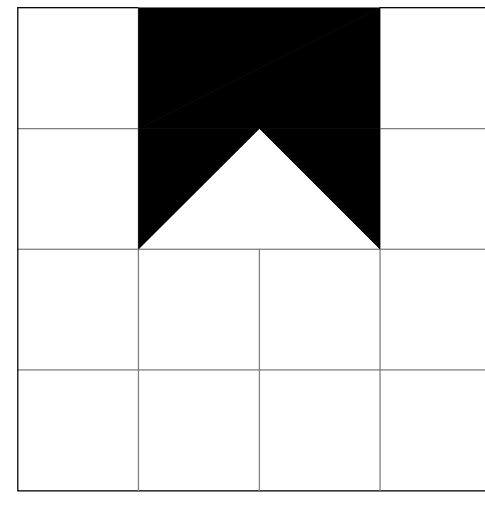
STRUCTURAL NOTES

1. THE DESIGN INDICATED ON THESE DRAWINGS PRESUMES THAT THE STRUCTURE IS TO BE FOUNDED ON NATURAL, UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL HAVING A SAFE ALLOWABLE BEARING PRESSURE OF 2000 PSF. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THIS VALUE VERIFIED BY COMPETENT GEOTECHNICAL PERSONNEL.
DESIGN CODES: 2012 VIRGINIA RESIDENTIAL CODE
ALL FOUNDATION AND FOOTING WORK SHALL BE PERFORMED TO COMPLY WITH CHAPTER 4 OF 2012 VIRGINIA RESIDENTIAL CODE.
NEW FOUNDATION WALL SHALL BE 4" FACE BRICK ON 8" CMU BACKUP MASONRY WALL WITH FULLY MORTARED OR GROUTED COLLAR JOINT AS NOTED. INSTALL SOLID CMU BLOCK UNITS AT ALL BEARING POINTS WITHIN WALLS AND AT INSIDE CORNERS. BALANCED EARTH FILL EACH SIDE OF WALL. GROUT CORES OF ALL PIERS SOLID. ALLOW MASONRY TO SET 24 HRS. MIN. BEFORE PLACING GROUT/COREFILL.
ANCHOR BOLTS SHALL BE PLACED WITHIN THE FULLY GROUTED CORE OF THE CMU - NOT THE COLLAR JOINT.

TREAT FOUNDATION SOIL FOR INSECTS AS REQUIRED BY BUILDING CODE WITH A WARRANTED PROFESSIONAL PEST CONTROL COMPANY, USING TREATMENT PRODUCTS WHICH ARE ENVIRONMENTALLY APPROVED AS SAFE.
PRESERVATIVE TREAT ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR WOOD USED FOR EXTERIOR WEATHER EXPOSURE (ACQ). TREATMENT SHALL BE ENVIRONMENTALLY APPROVED AS SAFE.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY BRACE AND SHORE ALL NEW OR EXISTING CONSTRUCTION TO SAFELY RESIST ALL REASONABLE LOADS TO WHICH THE NEW CONSTRUCTION MAY BE SUBJECTED UNTIL PERMANENT BRACING AND SUPPORT IS IN PLACE.
3. MATERIALS:
- CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH - 3000 PSI SLUMP OF 2" - 4" MAX. AGGREGATE SIZE = 3/4"
- GROUT/COREFILL: ASTM C416, 9"-11" SLUMP, 3000 PSI MIN. COMPRESSIVE STRENGTH.
- REINFORCING STEEL: BARS - ASTM A615, GRADE 60 WUF - ASTM A185

- CONCRETE MASONRY UNITS: ASTM C90, TYPE N, MIN. COMPRESSIVE STRENGTH OF 1900 PSI, f'm = 1500 PSI
- FACE BRICK: AS SELECTED BY PROJECT: HOMES.
- MASONRY MORTAR: ASTM C210, TYPE S.
- ANCHOR BOLTS: ASTM A307 / A36 (MILD STEEL)
- STRUCTURAL SAUN LUMBER: 2X6 OR GREATER; #2 SOUTHERN YELLOW PINE, MC 19 2X4'S: #2 SFF
- PLYWOOD AND OSB: APA RATED SHEATHING, 32/16 EXPOSURE 1. ALL EXTERIOR PLYWOOD OR OSB WALL SHEATHING SHALL BE NAILED PER THE REQUIREMENTS FOR BRACED WALL PANELS - METHOD C8-W8P (CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL) - 8d COMMON NAIL # 6" O.C. ALONG PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUD SUPPORTS. ALL EDGES BLOCKED.
- PLATE CONNECTED WOOD TRUSSES: PER LATEST REQUIREMENTS OF THE TRUSS PLATE INSTITUTE (TPI).
- LAMINATED VENEER LUMBER (LVL): HAVING THE FOLLOWING MINIMUM PROPERTIES: E=1.9E5 PSI, Fb=2600 PSI, Fv=285 PSI, Fc=1500 PSI

4. FOR ALL CONCRETE WORK: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 318 AND ACI 301, CODE-CURRENT EDITIONS
5. FOR ALL STRUCTURAL MASONRY CONSTRUCTION: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 530.1, CODE-CURRENT EDITION.
6. DESIGN LOADS:
GROUND SNOW LOAD: 20 PSF
MIN. ROOF LIVE LOAD: 20 PSF
WIND SPEED / EXPOSURE: Vult = 115 MPH, Vasd = 89 MPH / EXPOSURE B
FLOOR SYSTEM DESIGN IS BASED ON RESIDENTIAL LIVING AREA LIVE LOAD = 40 PSF LOADING CONDITION MINIMUM, WITH LL/DEFLECTION = L/360 MAXIMUM
7. PROVIDE FULL STUD SUPPORT UNDER BEARING SURFACES OF ROOF RAFTERS. DOUBLE STUDS AT ALL WINDOW AND DOOR LINTELS.
8. VERIFY ALL FLOOR, JOIST AND RAFTER BEARING ELEVATIONS W/ OWNER IN THE FIELD.
9. PROVIDE AND INSTALL HURRICANE TIES AS MANUFACTURED BY SIMPSON STRONG TIE AT ROOF RAFTER BEARINGS.
10. PROVIDE WOOD LINTELS AT ALL WOOD FRAMED WINDOW AND DOOR OPENINGS AS SHOWN ON THE DRAWINGS.



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residential design
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GLEN ALLEN, VIRGINIA 23060
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new single family residence
PREPARED FOR PROJECT: HOMES

| mark | date | description |
|------|----------|-------------|
| | 08.15.19 | PERMIT SET |

| | |
|--------|-----------|
| job #: | 2019-0014 |
| drawn: | drw |
| ch'kd: | drw |
| cad #: | A201.DWG |

sheet title
BUILDING ELEVATIONS / STRUCTURAL NOTES

A201
sheet 4 of 4
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ADDRESS: 1626 N 27TH
PARCEL: E0000948030
ZONED R-5
SETBACKS

FRONT: 25'
SIDE: 5'
REAR: 5'

LOT SIZE: 3629 SQ. FT.

AREA OF DISTURBANCE: 3125 Sq. Feet
ONCE CONSTRUCTION IS COMPLETE SITE
IS TO BE PERMANENTLY SEEDED.



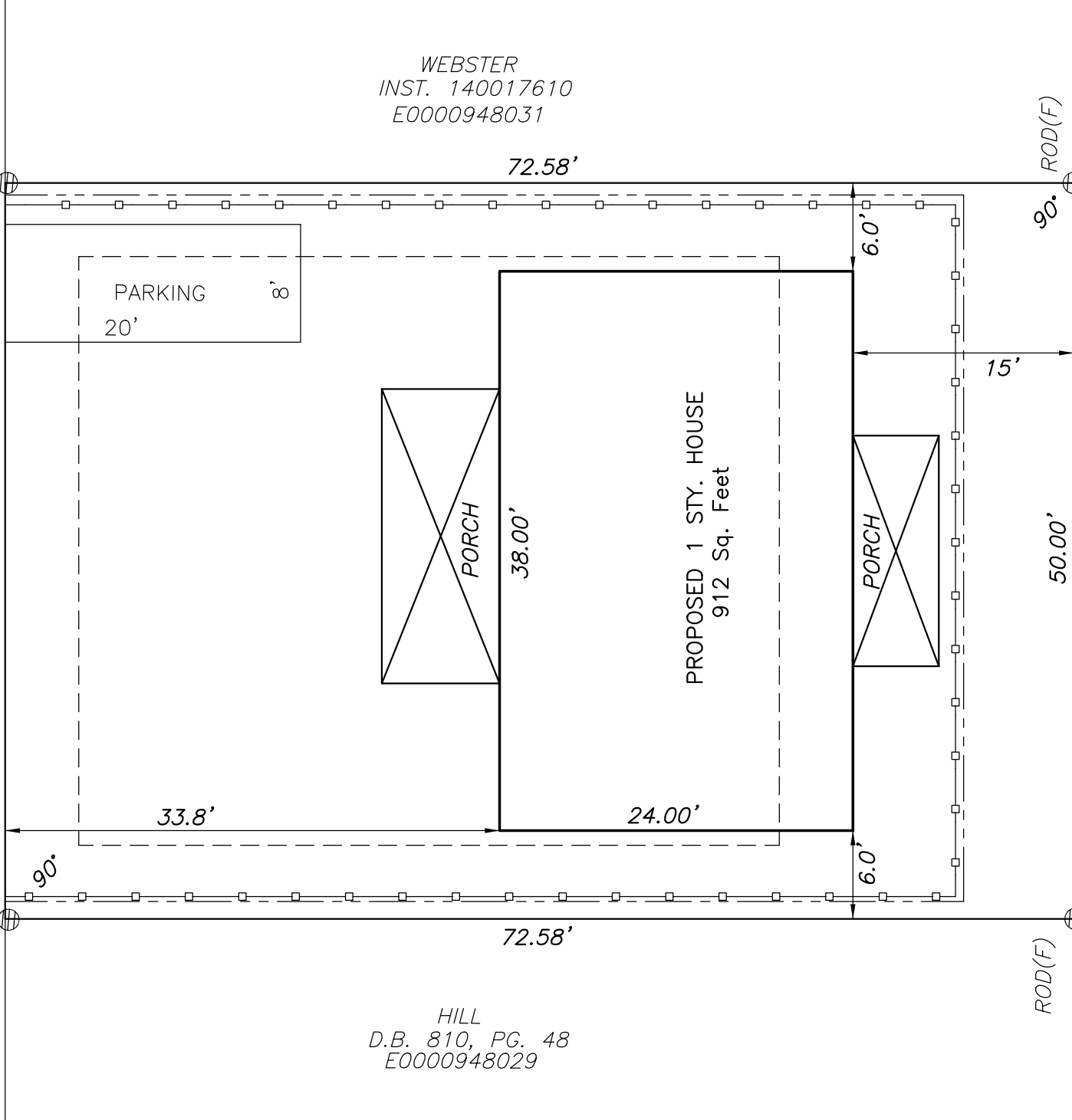
- SET BACKS
- SILT FENCE
- LIMITS OF DISTURBANCE

20' PUBLIC ALLEY

50.00'

ROD(F)

ROD(F)



HILL
D.B. 810, PG. 48
E0000948029

WEBSTER
INST. 140017610
E0000948031

ROD(F)

50.00'

15'

90°

ROD(F)

PROPOSED 5' CONCRETE SIDEWALK

50.0' TO X
ST. (UNOPENED)



PROPOSED
TREE TO BE
DETERMINED PER
URBAN FORESTRY GUIDE

N 27TH STREET

VAR. WIDTH PUBLIC R/W

SITE PLAN

1626 N 27TH STREET

CITY OF RICHMOND
VIRGINIA

LONG SURVEYING, LLC
4650 FACTORY MILL ROAD
MAIDENS, VA 23012
804-314-5620

JAN. 9, 2021
SCALE: 1"=10'

Last Revised: January 7, 2022
FOR: PROJECT HOMES