



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2013 Venable Street DATE: 12/16//2016

OWNER'S NAME: Project:HOMES TEL NO.: (804)233-0911

AND ADDRESS: 88 Carnation Street EMAIL: marion.cake@projecthomes.org

CITY, STATE AND ZIPCODE: Richmond, VA 23225

ARCHITECT/CONTRACTOR'S NAME: David R. Winn TEL. NO.: (804) 252-0948

AND ADDRESS: 10132 Berrymeade Place EMAIL: ylwtn@aol.com

CITY, STATE AND ZIPCODE: Glen Allen, VA 23060

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Remove and replace exterior finishes, windows and doors and roof. Repair and replace exterior trim work. Repair front porch floor and columns. Build addition on rear of house on first floor for bedroom. Where possible, architectural features will be saved or replaced with same to recover the form and details of the home. Railings, trim, porches, columns and other features of the home will be maintained. Windows and doors replaced with wood.

Signature of Owner or Authorized Agent: X 

Name of Owner or Authorized Agent (please print legibly): Marion Cake

(Space below for staff use only)

Received by Commission Secretary: DEC 19 2016 2:13 pm APPLICATION NO. _____

DATE _____ SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.









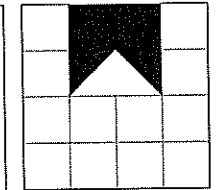








RENOVATION OF 2013 VENABLE STREET RICHMOND, VIRGINIA



DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948

LIST OF DRAWINGS

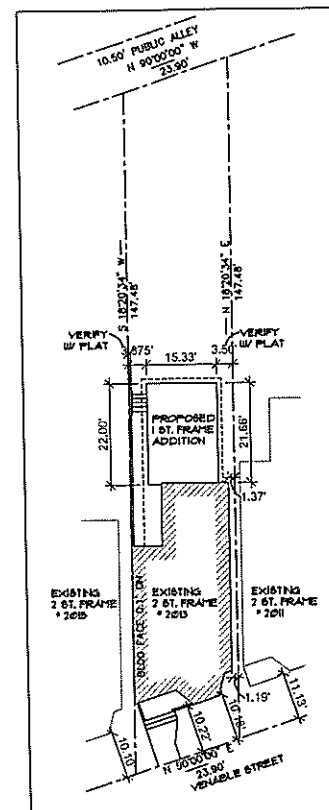
NO.	TITLE
A-001	COVER SHEET / CODE DATA / GENERAL NOTES
A-101	FOUNDATIONS / FIRST FLOOR FRAMING PLANS / FIRST FLOOR PLAN
A-102	2ND FLOOR PLAN / STRUCTURAL NOTES / WINDOW AND DOOR SCHEDULES
A-201	BUILDING ELEVATIONS
A-202	BUILDING ELEVATION - SOUTH
A-301	WALL SECTIONS / DETAILS
A-302	WALL SECTIONS / FENCE DETAIL
E-101	ELECTRICAL POWER AND LIGHTING PLANS

BUILDING DATA - 2013 VENABLE STREET

SCOPE OF WORK:	RENOVATION OF / ADDITION TO AN EXISTING SINGLE-FAMILY, DETACHED, TWO-STORY RESIDENCE.
APPLICABLE CODES:	2012 VIRGINIA RESIDENTIAL CODE
ZONING DISTRICT:	R-63
SETBACKS - FRONT:	NOT GREATER THAN 15 FEET (EXISTING IS CONFORMING)
SIDE:	3 FEET (EXISTING IS NON-CONFORMING)
REAR:	5 FEET (EXISTING IS CONFORMING)
CONSTRUCTION TYPE:	VB (WOOD FRAME, UNPROTECTED)
USE GROUP:	R-3, SINGLE FAMILY RESIDENCE
BUILDING AREAS: FIRST FLOOR:	966 SQ FT
SECOND FLOOR:	630 SQ FT
TOTAL:	1,596 SQ FT
ADDITION AREA:	336 SQ FT
FIRE RATED ASSEMBLIES:	A ONE HOUR FIRE RATING WILL BE REQUIRED AT ALL EXISTING AND NEW SIDE WALLS THAT HAVE < 5' FIRE SEPARATION DISTANCE TO THE SIDE LOT LINES. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE DESIGN/BUILD. PERMIT DRAWINGS FOR THOSE AREAS OF WORK SHALL BE SUBMITTED BY THE DESIGNATED TRADE.

GENERAL NOTES:

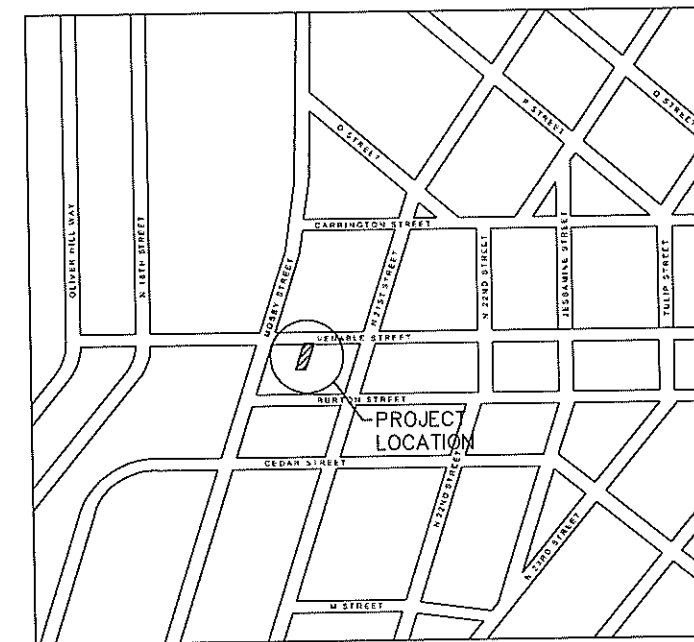
- THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS OF THE SITE AND SHOULD VERIFY THE LOCATIONS OF CONCEALED ITEMS WHICH MAY AFFECT THE NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS OF THE NEW WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE APPLICATION FOR AND OBTAINING OF ALL REQUIRED PERMITS FOR WORK REQUIRED BY THE PROJECT, INCLUDING PAYMENT OF ALL ASSOCIATED PERMIT FEES TO THE CITY OF RICHMOND.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING OF ALL WORK SO AS TO MEET THE TIMELINE OF THE OWNER AS POSSIBLE OR AS AGREED BETWEEN THE OWNER AND GENERAL CONTRACTOR. THE OWNER IS TO BE KEPT AWARE OF ALL CHANGES OF THE PROPOSED CONTRACTED SCHEDULE.
- THE SITE IS TO BE KEPT CLEAN AT ALL TIMES. NO DEBRIS OR RUNOFF IS TO BE ALLOWED IN NEIGHBORING YARDS, FRONT YARD OR STREETS.
- FIELD VERIFY LOCATION OF ALL EXISTING WATER AND SEWER LINES. VERIFY CONNECTION POINTS REQUIRED PER THE PLUMBING DRAWINGS.
- FIELD VERIFY AND IDENTIFY LOCATION OF ALL ELECTRICAL POWER LINES, TELEPHONE LINES, CABLE LINES WHETHER OVER-HEAD OR BELOW GRADE. VERIFY CONNECTION POINTS REQUIRED AS INDICATED ON THE ELECTRICAL DRAWINGS.
- COORDINATE ALL WORK WITH OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FIXTURES, IF ANY.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE DEMONSTRATED. THE E & P SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE DESIGN AND PERMITTING OF THEIR SPECIFIC PORTIONS OF THE WORK.
- ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE BEGINNING ANY WORK. THIS SHALL INCLUDE SANITARY LINES, DRAIN FIELD (IF ANY), POWER LINES, TELEPHONE AND CABLE LINES. GENERAL CONTRACTOR SHALL CONTACT "MISS UTILITY" BY DIALING 811 OR OTHER AGENCIES AS APPROPRIATE.



SCHEMATIC SITE PLAN

1/16" = 1'-0"

NOTE: DATA FOR THIS SCHEMATIC SITE PLAN WAS DERIVED FROM A DRAWING TITLED "SURVEY AND PLAT OF THE PROPERTY KNOWN AS 2013 VENABLE STREET IN THE CITY OF RICHMOND, VA" DATED: 10/05/16, BY EDWARDS, KRETTZ, LOHR & ASSOCIATES, PLLC, LAND SURVEYORS - PLANNERS.



LOCATION MAP

NOT TO SCALE



LEGEND

9	DOOR NUMBER		LUMBER (IN SECTION)
X	WINDOW TYPE		NEW WOOD STUD WALL (PLAN)
	SECTION		EXISTING WOOD STUD WALL (PLAN)
	BATT INSULATION		PLYWOOD
	BRICK (IN SECTION)		CONCRETE (IN SECTION)
	C. M. U. (PLAN/SECTION)	N. I. C.	NOT IN CONTRACT
		U. N. O.	UNLESS NOTED OTHERWISE
		Q/O	OUT TO OUT

GENERAL NOTES

- CONTRACTOR SHALL CONFORM TO THE 2012 VIRGINIA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, PART 1 OF THE VAUDC AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- CONTRACTOR SHALL CAULK, FLASH OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT.
- CONTRACTOR SHALL CAULK ALL GAPS BETWEEN DISSIMILAR MATERIALS.
- ALL WOOD SILLS THAT ARE WITHIN 6" OF EXPOSED EARTH OR ON CONCRETE SLABS SHALL BE PRESSURE PRESERVATIVE TREATED.
- ALL HOSE BIBBS SHALL BE FREEZE PROOF AND HAVE A BACKFLOW PREVENTER.
- RUN ALL TOILET FANS AND EXHAUST VENTS TO AN APPROVED EXTERIOR DISCHARGE.
- 6" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SIDING.
- CONTRACTOR SHALL COORDINATE PLACEMENT OF ROOF FRAMING AND INSTALLATION OF ANY ATTIC ACCESS HATCHES AND SKYLIGHTS.
- ALL FIXED GLAZING IN WINDOWS AND DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED PER THE REQUIREMENTS OF VRC CHAPTER R308 WHERE OCCURRING IN THE HAZARDOUS LOCATIONS IDENTIFIED THEREIN.
- SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD ROOF TRUSSES, GIRDERS AND BEAMS, IF ANY.
- HVAC CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS TO AN APPROVED LOCATION.
- ALL EXPOSED OUTLETS, DOWNSPOUTS AND FLASHING TO BE PRE-FINISHED.
- INSULATE ALL WALL AROUND BATHROOMS/TOILETS WITH 3 1/2" UNFACED BATT OR CELLULOSE INSULATION.
- SHELVING AND SHELF AND RODS TO BE BRACED AT 4'-0" O.C. MAX.
- VERIFY FRAMING/CONSTRUCTION DIMENSIONS PRIOR TO INSTALLATION OF CABINETS, TUBS, HVAC EQUIPMENT AND OTHER BUILT-IN FIXTURES OR EQUIPMENT.
- SILL PLATE ANCHORAGE - 1/2" DIAMETER X 16" LONG ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM AT ALL EXTERIOR WALLS AND 12" MAXIMUM FROM CORNERS. ANCHOR BOLTS SHALL BE GROUDED SOLID IN MASONRY CORES, NOT MORTAR JOINTS.
- INSULATE ALL PIPING AT EXTERIOR WALLS.
- PROVIDE RECESSED BOX WITH VALVE TO AREA BEHIND REFRIGERATOR FOR ICE MAKER.
- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL EQUIPMENT NECESSARY TO CONTROL EXISTING GROUND FAULT CURRENT AT THE SITE.
- ALL WASHING MACHINES AND WATER HEATERS TO BE SET IN A PLASTIC OVERFLOW PAN WITH A DRAIN TO AN EXTERIOR OR APPROVED DISCHARGE.
- GENERAL CONTRACTOR IS REQUIRED TO COORDINATE UNDER CUTTING OF DOOR WITH THE HVAC CONTRACTOR FOR ADEQUATE RETURN AIR FLOW.
- ONLY GALVANIZED NAILS AND OTHER CONNECTORS TO BE USED IN EXTERIOR WOOD FENCES, RAILS, STAIRS, ETC.
- CLOTHES DRYER EXHAUST SHALL COMPLY WITH THE 2012 VA RESIDENTIAL CODE.
- ALL DIMENSIONS SHOWN ARE ACTUAL AND ARE TO THE FACE OF STUD OR TO FACE OF MASONRY OR CONCRETE. CONTRACTOR TO COORDINATE ACTUAL LAY-OUT IN FIELD.
- AT WOOD STUD EXTERIOR CORNERS (WHERE TWO INSULATED WALLS INTERSECT) - REFER TO DETAIL D5 ON SHEET A301.
- WHERE INTERIOR PARTITIONS INTERSECT AN EXTERIOR INSULATED WALL, A LADDER T-WALL FRAMED CORNER SHALL BE CONSTRUCTED. REFER TO DETAIL D4 ON SHEET A301.
- ALL HEADERS SHALL BE INSULATED WITH 2" FOAM BETWEEN.

- THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS OF THE BUILDING AND SHOULD VERIFY THE LOCATIONS OF UTILITIES SUCH AS GAS, WATER, AND ELECTRIC WHICH MAY BE CONCEALED BEFORE PROCEEDING WITH THE WORK.
- ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE ANY WORK. THIS INCLUDES SANITARY LINES, DRAIN FIELD (IF ANY), POWER LINES, TELEPHONE AND CABLE LINES, IRRIGATION LINES AND SPRINKLER HEADS. CONTACT "MISS UTILITY" BY DIALING 811 OR OTHER UTILITY AGENCIES AS APPROPRIATE.

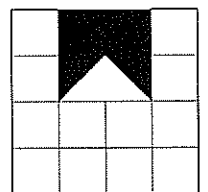
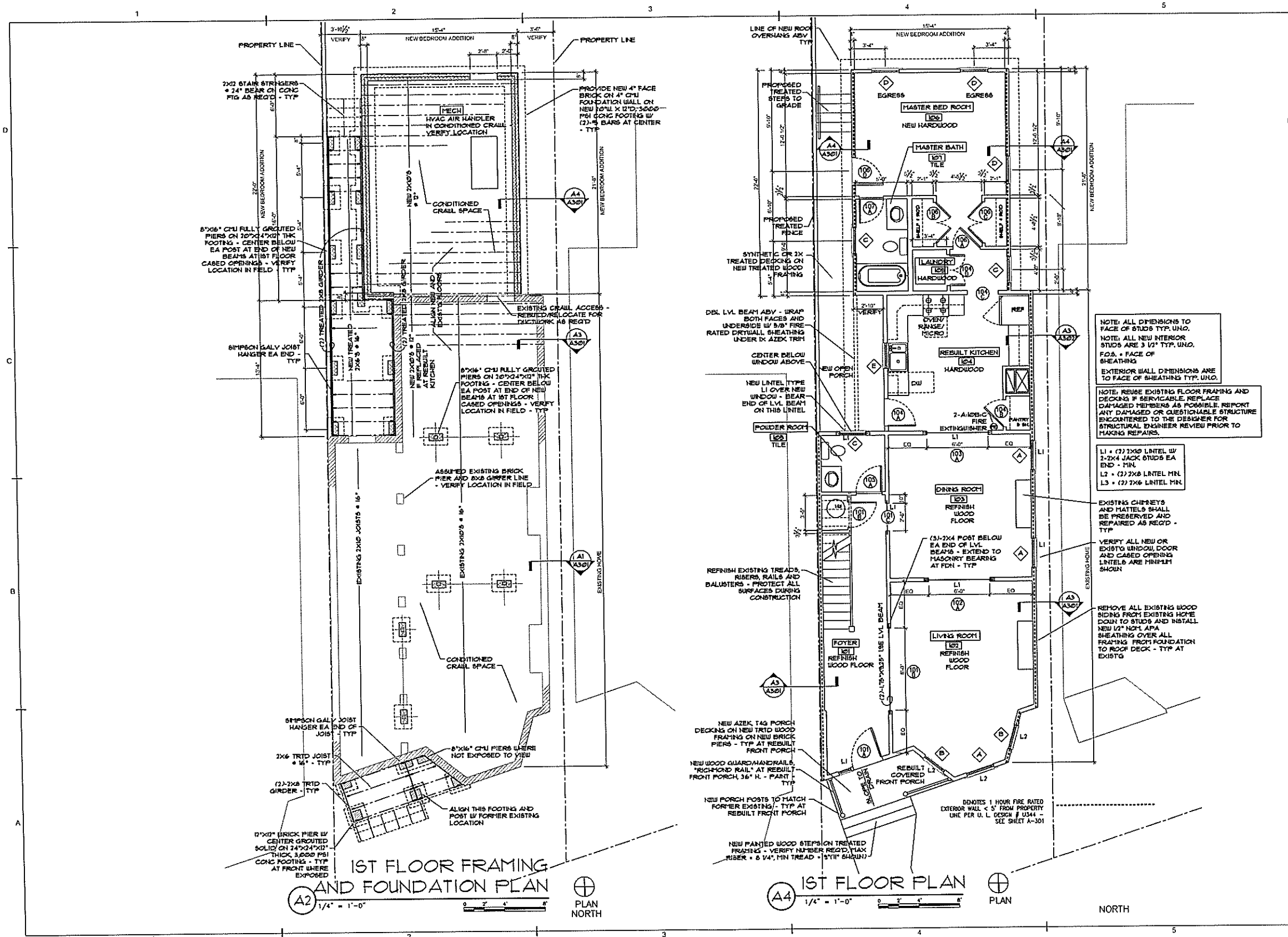
renovation of single family residence
 2013 VENABLE STREET
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT: HOMES

mark	date	description
	11.15.16	C.A.R. SET

job #:	2016-0010
drawn:	drw
ch'kd:	drw
cod #:	A001.DWG

sheet title
COVER SHEET /
CODE DATA /
GEN. NOTES

A-001	
sheet	1 of 7
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DAVID R. WINN, LLC
 residential design
 10132 BERRYMEADE PLACE
 GLEN ALLEN, VIRGINIA 23060
 (804) 252-0948

renovation of single family residence
 2013 VENABLE STREET
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT/HOMES

mark	date	description
11.15.16		C.A.R. SET

job #: 2016-0010
 drawn: dnu
 checked: A101.DWG

sheet title
 FOUNDATION / 1ST
 FLR AND 1ST FLR
 FRAMING PLANS

A-101
 sheet 2 of 7
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STRUCTURAL NOTES

- THE DESIGN INDICATED ON THESE DRAWINGS PRESUMES THAT THE STRUCTURE IS TO BE FOUNDED ON NATURAL, UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL HAVING A SAFE ALLOWABLE BEARING PRESSURE OF 3000 PSF. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THIS VALUE VERIFIED BY COMPETENT GEOTECHNICAL PERSONNEL.
DESIGN CODES: 2012 VIRGINIA RESIDENTIAL CODE
ALL FOUNDATION AND ROOFING WORK SHALL BE PERFORMED TO COMPLY WITH CHAPTER 4 OF 2012 INTERNATIONAL RESIDENTIAL CODE.
FOUNDATION WALL SHALL BE 4" FACE BRICK ON 8" CMU BACKUP MASONRY WALL WITH FULLY MORTARED OR GROUTED COLLAR JOINT AS NOTED. INSTALL SOLID CMU BLOCK UNITS AT ALL BEARING POINTS WITHIN WALLS AND AT INSIDE CORNERS. BALANCED EARTH FILL EACH SIDE OF WALL. GROUT CORES OF ALL PIERS SOLID. ALLOW MASONRY TO SET 24 HRS. MIN. BEFORE PLACING GROUT/COREFILL.
ANCHOR BOLTS SHALL BE PLACED WITHIN THE FULLY GROUTED CORE OF THE CMU - NOT THE COLLAR JOINT.
TREAT FOUNDATION SOIL FOR INSECTS AS REQUIRED BY BUILDING CODE, WITH A WARRANTED PROFESSIONAL PEST CONTROL COMPANY, USING TREATMENT PRODUCTS WHICH ARE ENVIRONMENTALLY APPROVED AS SAFE.
PRESERVATIVE TREAT ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR WOOD USED FOR EXTERIOR WEATHER EXPOSURE (ACQ). TREATMENT SHALL BE ENVIRONMENTALLY APPROVED AS SAFE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY BRACE AND SHORE ALL NEW OR EXISTING CONSTRUCTION TO SAFELY RESIST ALL REASONABLE LOADS TO WHICH THE NEW CONSTRUCTION MAY BE SUBJECTED UNTIL PERMANENT BRACING AND SUPPORT IS IN PLACE.
- MATERIALS:**
 - CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH - 3000 PSI SLUMP OF 2" - 4" MAX. AGGREGATE SIZE - 3/4"
 - GROUT/COREFILL: ASTM C416, 3"-11" SLUMP, 3000 PSI MIN. COMPRESSIVE STRENGTH.
 - REINFORCING STEEL: BARS - ASTM A603, GRADE 60 W/F - ASTM A955
 - CONCRETE MASONRY UNITS: ASTM C90, TYPE N, MIN. COMPRESSIVE STRENGTH OF 1500 PSI, FN x 1500 PSI
 - FACE BRICK AS SELECTED BY PROJECT/HOMES.
 - MASONRY MORTAR: ASTM C770, TYPE S.
 - ANCHOR BOLTS: ASTM A307 / A36 (MILD STEEL)
 - STRUCTURAL GRAIN LUMBER: 2X6 OR GREATER #2 SOUTHERN YELLOW PINE, MC 19 2X4s, #2 SPF
 - PLYWOOD AND OSB: APA RATED SHEATHING, 3/4" EXPOSURE 1. ALL EXTERIOR PLYWOOD OR OSB WALL SHEATHING SHALL BE NAILED PER THE REQUIREMENTS FOR BRACED WALL PANELS - METHOD C5-108P (CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL) - 8d COMMON NAIL, #6" O.C. ALONG PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUD SUPPORTS.
 - PLATE CONNECTED WOOD TRUSSES: PER LATEST REQUIREMENTS OF THE TRUSS PLATE INSTITUTE (TPI).
 - LAMINATED VENEER LUMBER (LVL) AS MANUFACTURED BY WEYERHAEUSER HAVING THE FOLLOWING MINIMUM PROPERTIES: E=1,925 PSI, Fv=2,600 PSI, FvH= 285 PSI, E=150 PSI
- FOR ALL CONCRETE WORK CONFORM TO ALL APPLICABLE SECTIONS OF ACI 318 AND ACI 308, CODE-CURRENT EDITIONS
- FOR ALL STRUCTURAL MASONRY CONSTRUCTION CONFORM TO ALL APPLICABLE SECTIONS OF ACI 530, CODE-CURRENT EDITION
- DESIGN LOADS:**
 - GROUND SNOW LOAD: 20 PSF
 - MIN. ROOF LIVE LOAD: 20 PSF
 - WIND SPEED / EXPOSURE: Vw1 = 15 MPH, Vw2 = 85 MPH / EXPOSURE B
 - FLOOR SYSTEM DESIGN IS BASED ON RESIDENTIAL LIVING AREA LIVE LOAD = 40 PSF
 - LOADING CONDITION MINIMUM, WITH LL DEFLECTION = L/360 MAXIMUM
- PROVIDE FULL STUD SUPPORT UNDER BEARING SURFACES OF ROOF RAFTERS. DOUBLE STUDS AT ALL WINDOW AND DOOR LINTELS.
- VERIFY ALL FLOOR JOIST AND RAFTER BEARING ELEVATIONS W/ OWNER IN THE FIELD.
- PROVIDE AND INSTALL HURRICANE TIES AS MANUFACTURED BY SIMPSON STRONG TIE AT ROOF RAFTER BEARINGS.
- PROVIDE WOOD LINTELS AT ALL WOOD FRAMED WINDOW AND DOOR OPENINGS AS SHOWN ON THE DRAWINGS.

WINDOW SCHEDULE - 2013 VENABLE STREET

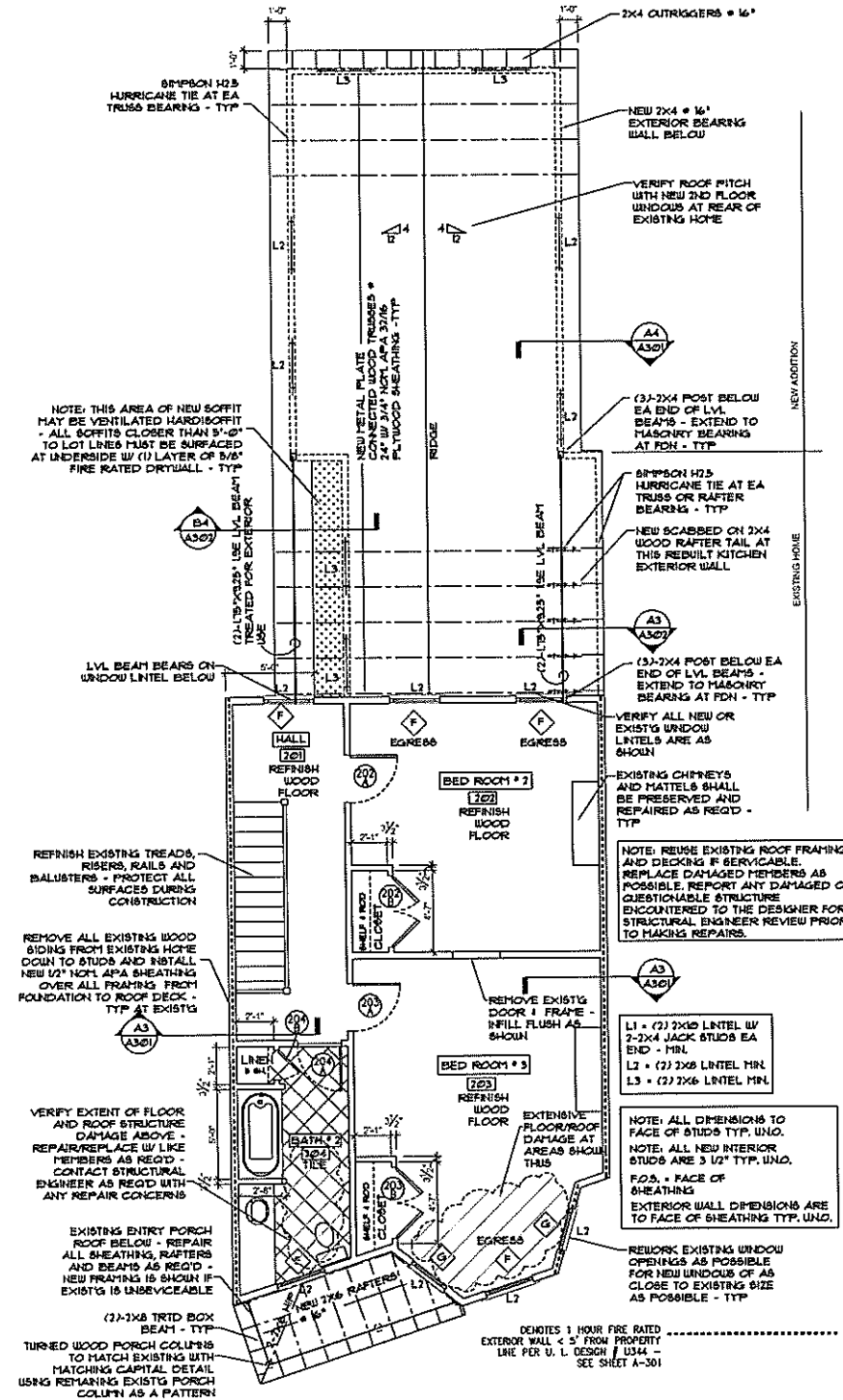
MARK	WINDOW			MATERIAL	TYPE	DETAIL			NOTES
	NO.	UNIT	SIZE (ROUGH OPENING) CONTRACTOR TO VERIFY			HEAD	JAMB	SILL	
A	3	3'-0" X 6'-0"	36"	77.25"	VERIFY	WOOD	22 OBL. HUNG TDL		INSULATED - LOW 'E' ARGON FILLED
B	2	2'-4" X 6'-0"	30"	77.25"	VERIFY	WOOD	22 OBL. HUNG TDL		INSULATED - LOW 'E' ARGON FILLED
C	3	2'-8" X 5'-0"	34"	63.25"	VERIFY	WOOD	22 OBL. HUNG TDL		INSULATED - LOW 'E' ARGON FILLED TEMPERED GLAZING AT BATHS
D	3	2'-8" X 5'-0"	38"	63.25"	VERIFY	WOOD	22 OBL. HUNG TDL		INSULATED - LOW 'E' ARGON FILLED MUST MEET EGRESS REQUIREMENT
E	1	2'-4" X 3'-0"	30"	49.25"	VERIFY	WOOD	22 OBL. HUNG TDL		INSULATED - LOW 'E' ARGON FILLED
F	5	3'-0" X 5'-0"	38"	63.25"	VERIFY	WOOD	22 OBL. HUNG TDL		INSULATED - LOW 'E' ARGON FILLED MUST MEET EGRESS REQUIREMENT
G	2	2'-4" X 5'-0"	30"	63.25"	VERIFY	WOOD	22 OBL. HUNG TDL		INSULATED - LOW 'E' ARGON FILLED

- WINDOW NOTES:**
- ALL WINDOW UNITS SHALL BE PROVIDED WITH INSECT SCREENS
 - ALL WINDOWS WILL BE PROVIDED WITH AND HAVE INSTALLED NEW 5/4 X 4 WOOD "HARDTREAT" OR "AZEK" AT EXTERIOR JAMBS AND HEAD.
 - PROVIDE TEMPERED SAFETY GLAZING IN ALL WINDOWS LOCATED IN HAZARDOUS LOCATIONS PER VBC 2012, SECTION 708.4. ALL GLAZING IN BATHROOMS AND AT STAIRS SHALL BE TEMPERED.
 - THE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON MAW WINDOWS PRODUCT, WOOD - JEFFERSON SERIES 200. TRUE DIVIDED LITE, 22 DOUBLE HUNG WINDOW PRODUCT - TLT SASH UNITS, MATCH EXISTING WINDOW SIZES IN EXISTING OPENINGS AS CLOSELY AS POSSIBLE.

DOOR SCHEDULE - 2013 VENABLE STREET

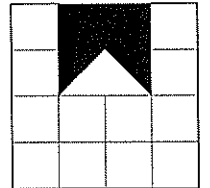
MARK	DOOR			FRAME			FIRE RATING LABEL	NOTES
	NO.	SIZE	TYPE	MATERIAL	DEPTH	DETAIL		
101A	7'-0"	6'-0"	1-3/8"	WOOD / PANEL	WD	VERIFY	-	MAIN ENTRY - SOLID WOOD W/ TRANSPARENT GLASS - MATCH EXISTING
101B	7'-0"	6'-0"	1-3/8"	COMP. SPANL	WD	4 1/2"	-	PASSAGE - H.W. CLOSET
101C	7'-0"	6'-0"	-	CASED OPNG.	WD	VERIFY	-	CASED OPNG. - REFERENCE EXISTING DOOR FRAME
101D	6'-0"	6'-0"	-	CASED OPNG.	WD	VERIFY	-	CASED OPNG.
102A	6'-0"	6'-0"	-	CASED OPNG.	WD	VERIFY	-	CASED OPNG.
103A	6'-0"	6'-0"	-	CASED OPNG.	WD	VERIFY	-	CASED OPNG.
104A	2'-6"	6'-0"	1-3/4"	WOOD / GLASS	WD	VERIFY	ALUM.	TEMPERED INSULATED LOW-E ARGON FILLED LITE WITH MUNTINS BETWEEN
104B	2'-6"	6'-0"	1-3/8"	COMP. SPANL	WD	4 1/2"	-	PASSAGE - PANTRY
104C	3'-0"	6'-0"	-	CASED OPNG.	WD	4 1/2"	-	CASED OPNG.
104D	PR 2'-0"	6'-0"	1-3/8"	COMP. SPANL	WD	4 1/2"	-	PASSAGE - LAUNDRY
105A	2'-6"	6'-0"	1-3/8"	COMP. SPANL	WD	VERIFY	-	PRIVACY - HALF BATH
106A	2'-6"	6'-0"	1-3/8"	COMP. SPANL	WD	4 1/2"	-	PRIVACY - MASTER BEDROOM
106B	PR 2'-0"	6'-0"	1-3/8"	COMP. SPANL	WD	4 1/2"	-	PAN PASSAGE - ROLLER CATCHES DUMMY LEVERS OUTSIDE - CLOSET
106C	PR 2'-0"	6'-0"	1-3/8"	COMP. SPANL	WD	4 1/2"	-	PAN PASSAGE - ROLLER CATCHES DUMMY LEVERS OUTSIDE - CLOSET
106D	2'-6"	6'-0"	1-3/4"	WOOD / GLASS	WD	4 1/2"	ALUM.	TEMPERED INSULATED LOW-E ARGON FILLED LITE WITH MUNTINS BETWEEN
107A	2'-4"	6'-0"	1-3/8"	COMP. SPANL	WD	4 1/2"	-	PRIVACY - MASTER BATHROOM

- DOOR NOTES:**
- VERIFY ANY POTENTIAL REUSE OF EXISTING DOORS AND FRAMES WITH PROJECT/HOMES
 - ALL DOOR HARDWARE TO HAVE LEVER OPERATORS, OR ADA COMPLIANT (VERIFY REGS W/ PROJECT/HOMES)



2ND FLOOR PLAN / NEW ROOF FRAMING

PERMIT SET 12/05/16



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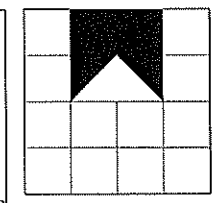
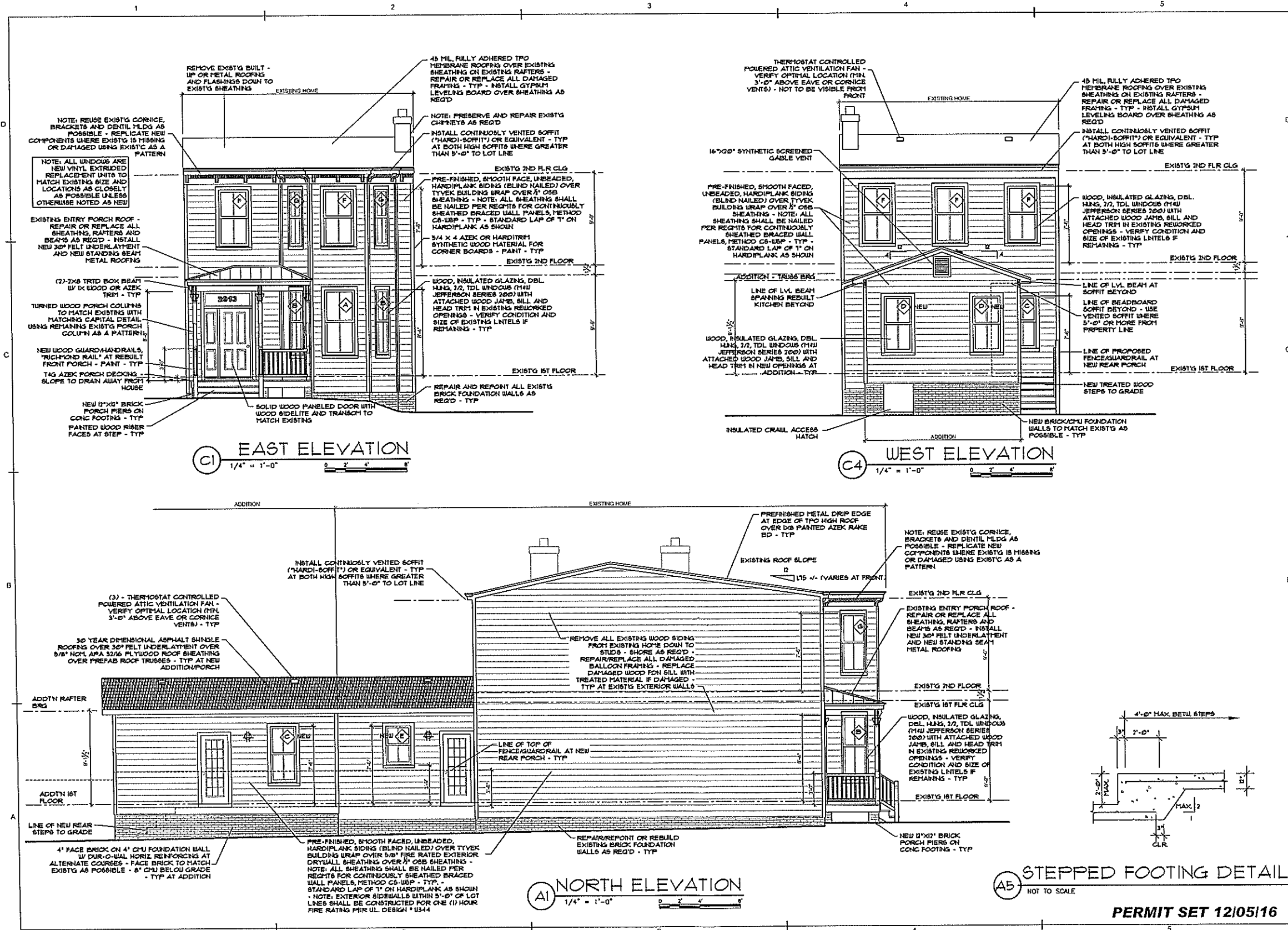
renovation of single family residence
2013 VENABLE STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT/HOMES

mark	date	description
	12.05.16	PERMIT SET
	7/15/16	REVISED WOOD WINDOW AND DOORS
job #:	2016-0010	
drawn:	dhw	
chk'd:	dhw	
cod #:	A102.DWG	

sheet title
2ND FLR AND ROOF FRAMING PLANS / STRUCTURAL NOTES / SCHEDULES

A-102

sheet 3 of 7
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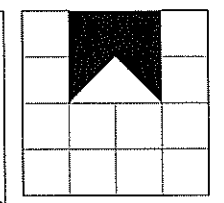
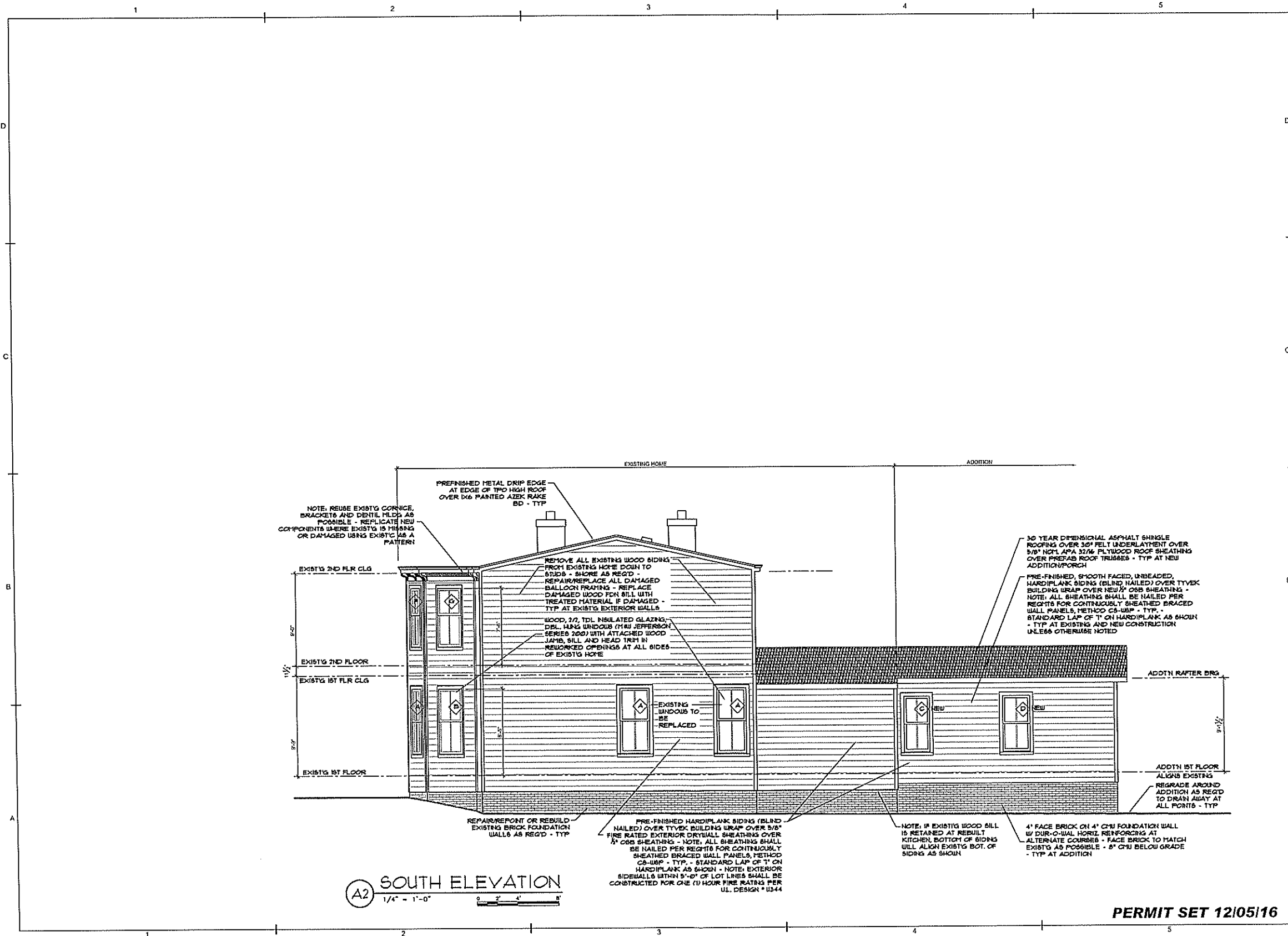
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renovation of single family residence
 2013 VENABLE STREET
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT: HOMES

mark	date	description
	12.05.16	PERMIT SET
		REVISED WOOD WINDOWS AND DOORS
job #:	2016-0010	dwn
drawn:		chld
cod #:		A201.DWG

sheet title
BUILDING
ELEVATIONS /
DOOR & WINDOW
SCHEDULES

A-201
sheet 4 of 7
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renovation of single family residence
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 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT: HOMES

mark	date	description
	12/05/16	REVISION WOOD WINDOWS AND DOORS
	12/05/16	PERMIT SET

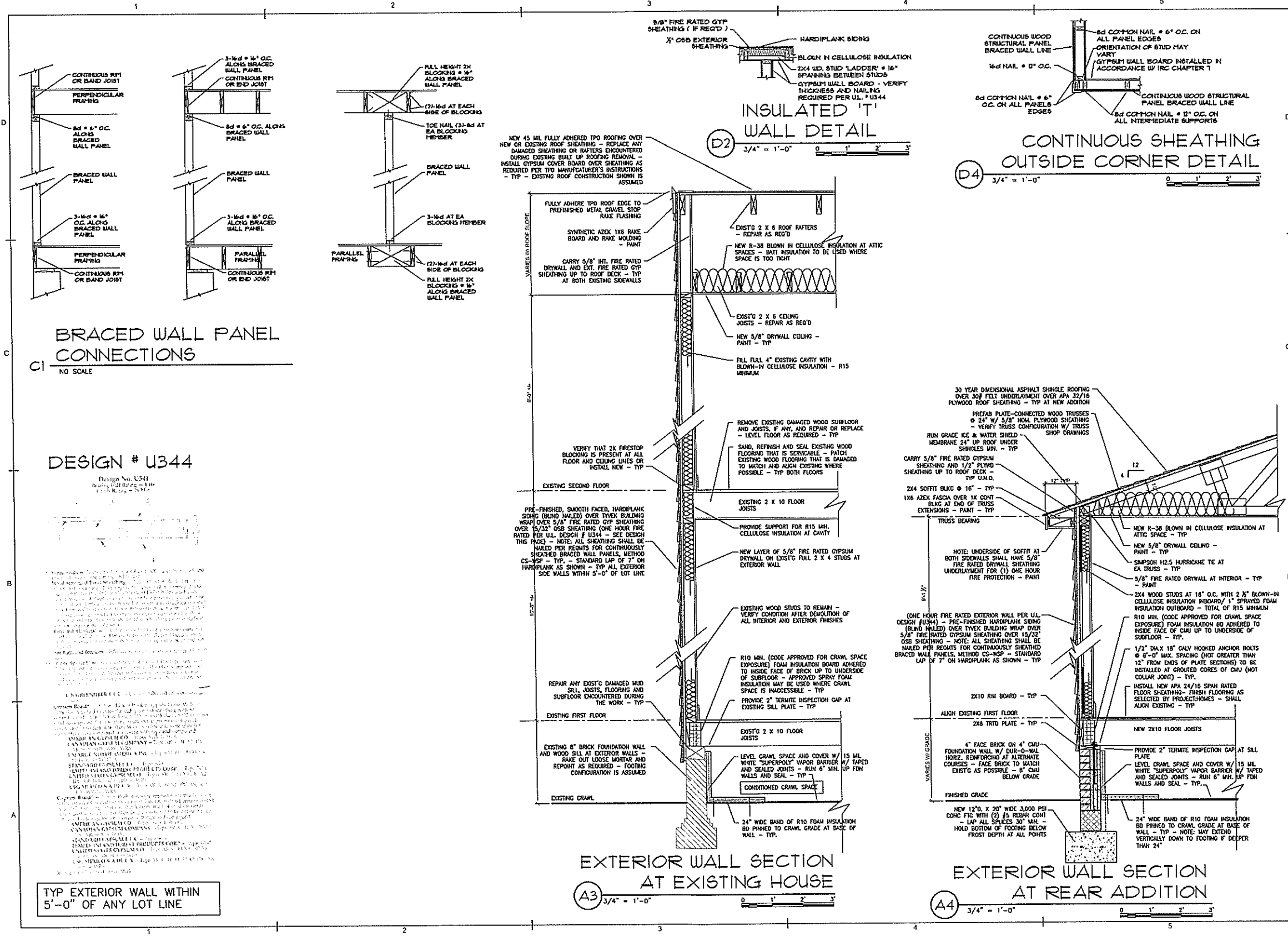
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 cod #: A202.DWG

sheet title
BUILDING ELEVATION / FENCING DETAILS

A-202

sheet 5 of 7
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PERMIT SET 12/05/16



BRACED WALL PANEL CONNECTIONS
NO SCALE

INSULATED T WALL DETAIL
D2 3/4" = 1'-0"

CONTINUOUS SHEATHING OUTSIDE CORNER DETAIL
D4 3/4" = 1'-0"

EXTERIOR WALL SECTION AT EXISTING HOUSE
A3 3/4" = 1'-0"

EXTERIOR WALL SECTION AT REAR ADDITION
A4 3/4" = 1'-0"

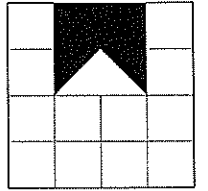
DESIGN # U344

Design No. U344
Residential Building - 1st Flr
10/18/2016



Notes:
1. All work shall be in accordance with the approved plans and specifications.
2. The contractor shall be responsible for obtaining all necessary permits.
3. All materials shall be of the highest quality and shall be installed in accordance with the manufacturer's instructions.
4. The contractor shall be responsible for protecting all existing work and utilities.
5. All work shall be completed within the specified time frame.
6. The contractor shall be responsible for obtaining all necessary insurance.
7. All work shall be completed in accordance with the applicable building codes.
8. The contractor shall be responsible for obtaining all necessary approvals.
9. All work shall be completed in accordance with the applicable zoning regulations.
10. The contractor shall be responsible for obtaining all necessary approvals.

TYP EXTERIOR WALL WITHIN 5'-0" OF ANY LOT LINE



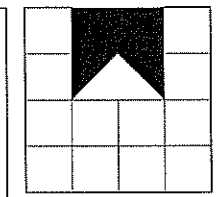
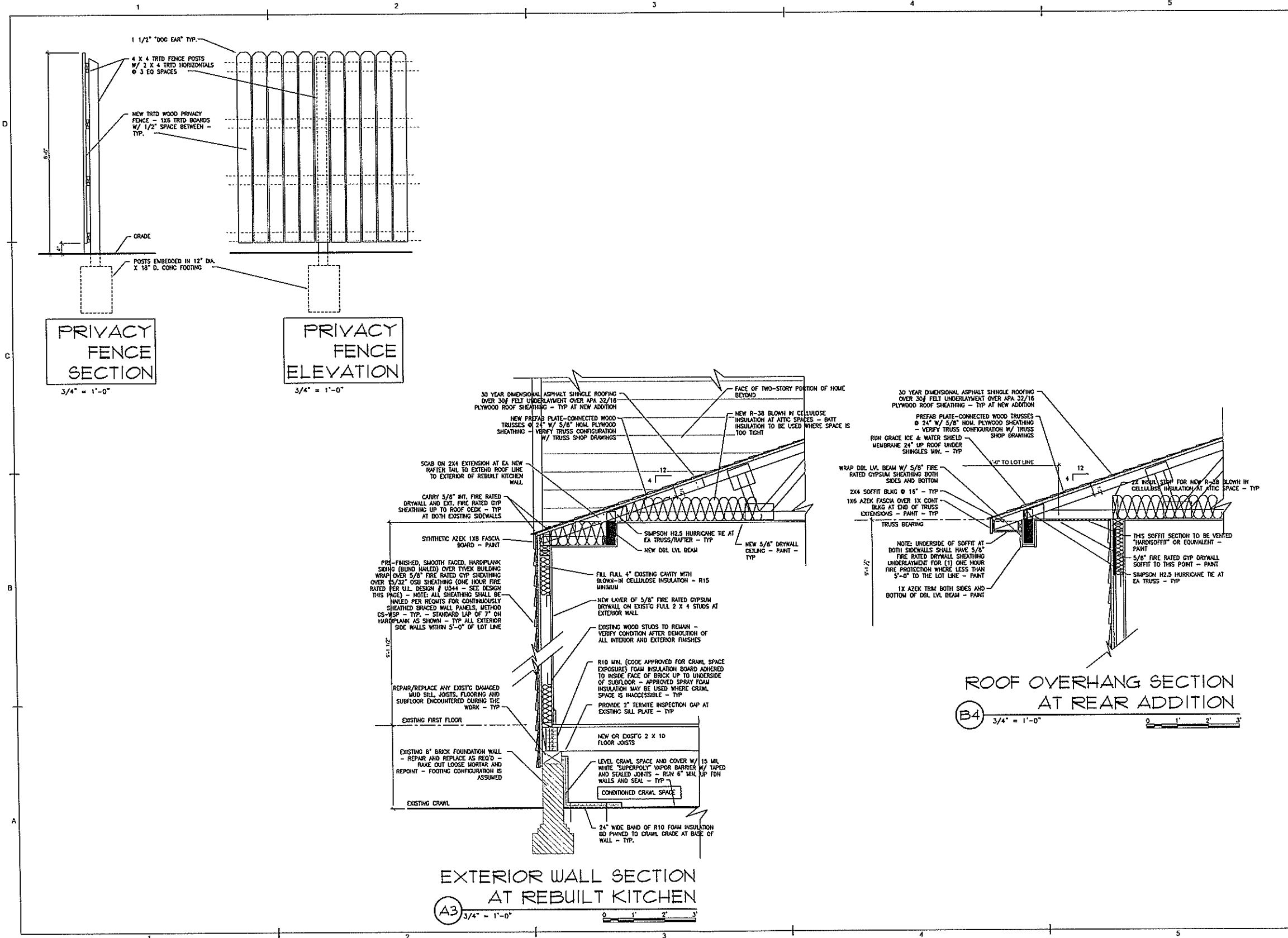
DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948

renovation of single family residence
2013 VENABLE STREET
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT: HOMES

mark	date	description
11.15.16	C.A.R. SET	

job #: 2016-0010
drawn: drw
date: 11/15/16
sheet title: WALL SECTIONS / FENCING

A-301
sheet 6 of 7
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residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948

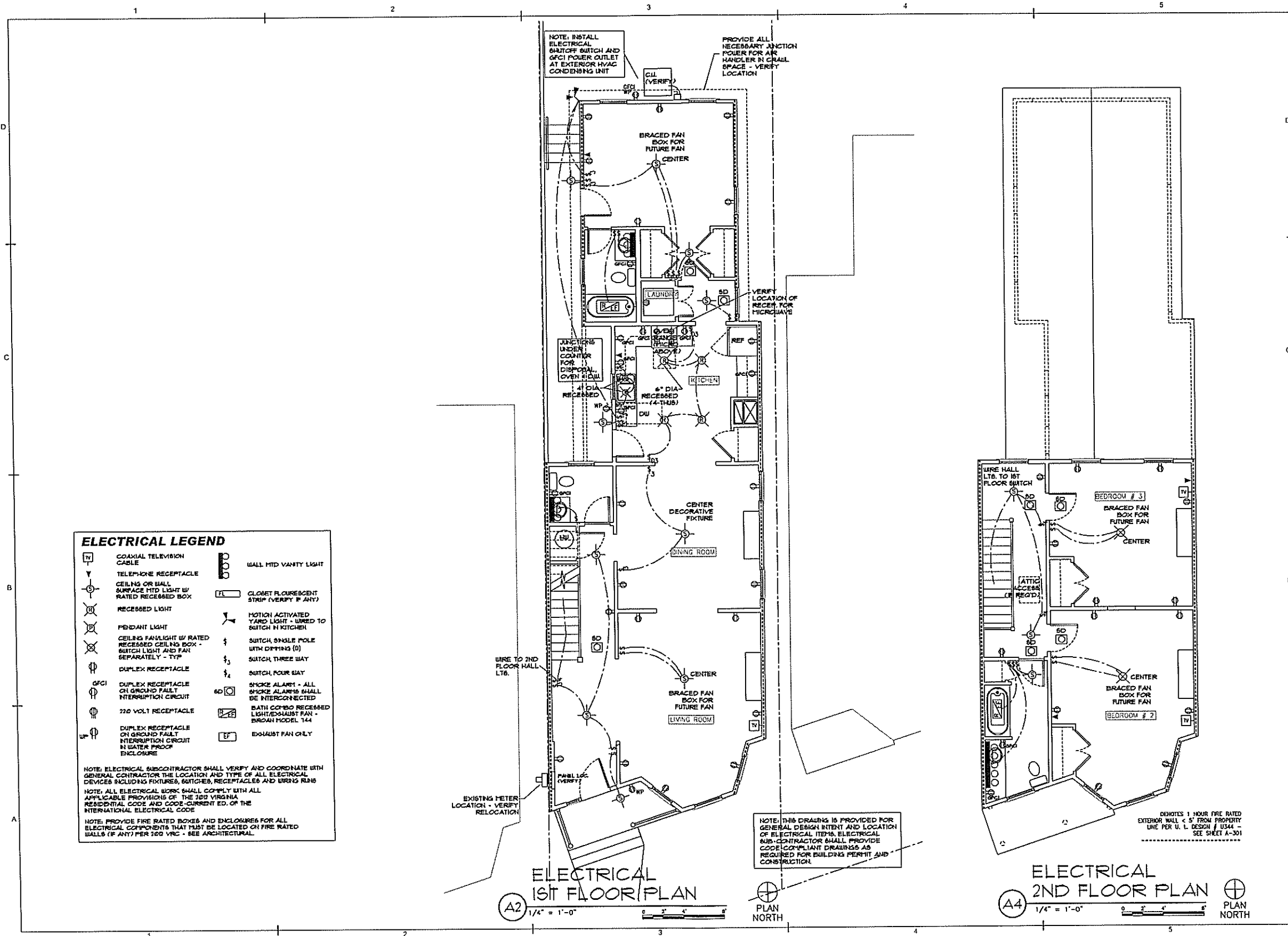
renovation of single family residence
2013 VENABLE STREET
RICHMOND, VIRGINIA
PREPARED FOR PROJECT-HOMES

mark	date	description
11.15.16	C.A.R. SET	

job #: 2016-0010
drawn: dhw
checked: A302.DWG

sheet title
WALL SECTIONS / FENCING

A-302
sheet 7 of 7
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ELECTRICAL LEGEND

	COAXIAL TELEVISION CABLE		WALL MTD VANITY LIGHT
	TELEPHONE RECEPTACLE		CLOSET FLOURESCENT STRIP (VERIFY IF ANY)
	CEILING OR WALL SURFACE MTD LIGHT W/ RATED RECESSED BOX		MOTION ACTIVATED YARD LIGHT - WIRED TO SWITCH IN KITCHEN
	RECESSED LIGHT		SWITCH SINGLE POLE WITH DIMMING (D)
	PENDANT LIGHT		SWITCH THREE WAY
	CEILING FANLIGHT W/ RATED RECESSED CEILING BOX - SWITCH LIGHT AND FAN SEPARATELY - TYP		SWITCH FOUR WAY
	DUPLEX RECEPTACLE		SMOKE ALARM - ALL SMOKE ALARMS SHALL BE INTERCONNECTED
	GFCI DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTION CIRCUIT		BATH COMBO RECESSED LIGHT/EXHAUST FAN - BROAD MODEL 144
	220 VOLT RECEPTACLE		EXHAUST FAN ONLY
	DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTION CIRCUIT IN WATER PROOF ENCLOSURE		

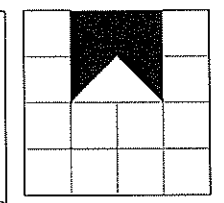
NOTE: ELECTRICAL SUBCONTRACTOR SHALL VERIFY AND COORDINATE WITH GENERAL CONTRACTOR THE LOCATION AND TYPE OF ALL ELECTRICAL DEVICES INCLUDING FIXTURES, SWITCHES, RECEPTACLES AND WIRING RUNS

NOTE: ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE 2015 VIRGINIA RESIDENTIAL CODE AND CODE-CURRENT ED. OF THE INTERNATIONAL ELECTRICAL CODE

NOTE: PROVIDE FIRE RATED BOXES AND ENCLOSURES FOR ALL ELECTRICAL COMPONENTS THAT MUST BE LOCATED ON FIRE RATED WALLS (IF ANY) PER 202 VRC - SEE ARCHITECTURAL

ELECTRICAL 1ST FLOOR PLAN
 A2 1/4" = 1'-0"

ELECTRICAL 2ND FLOOR PLAN
 A4 1/4" = 1'-0"



DAVID R. WINN, LLC
 residential design
 10132 BERRYMEADE PLACE
 GLEN ALLEN, VIRGINIA 23060
 (804) 252-0948

renovation of single family residence
2013 VENABLE STREET
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT: HOMES

mark	date	description
	11.15.16	C.A.R. SET

job #: 2016-0010
 draw: drw
 chkd: drw
 coord #: E101.DWG

sheet title
ELECTRICAL PLANS

E-101
 sheet 1 of 1
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NOTE: THIS DRAWING IS PROVIDED FOR GENERAL DESIGN INTENT AND LOCATION OF ELECTRICAL ITEMS. ELECTRICAL SUB-CONTRACTOR SHALL PROVIDE CODE COMPLIANT DRAWINGS AS REQUIRED FOR BUILDING PERMIT AND CONSTRUCTION.

DENOTES 1 HOUR FIRE RATED EXTERIOR WALL < 5' FROM PROPERTY LINE PER U. L. BOSCH / USA - SEE SHEET A-301