



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)
 Address 512 W. 19th Street
 Historic district Springhill

Date/time rec'd:	_____
Rec'd by:	_____
Application #:	_____
Hearing date:	_____

APPLICANT INFORMATION

Name Chad White
 Company Obadiah LLC
 Mailing Address 2527 Trefoil Way, Richmond VA 23235

Phone 8046151203
 Email cdw804@live.com
 Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Name Same as above
 Mailing Address _____

Company _____
 Phone _____
 Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
 Project Type: Alteration Demolition New Construction
 (Conceptual Review Required)

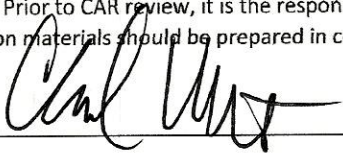
Project Description: (attach additional sheets if needed)
 Construction of a new single family dwelling on the vacant lot located at 512 W. 19th Street.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner 

Date 1/26/2018

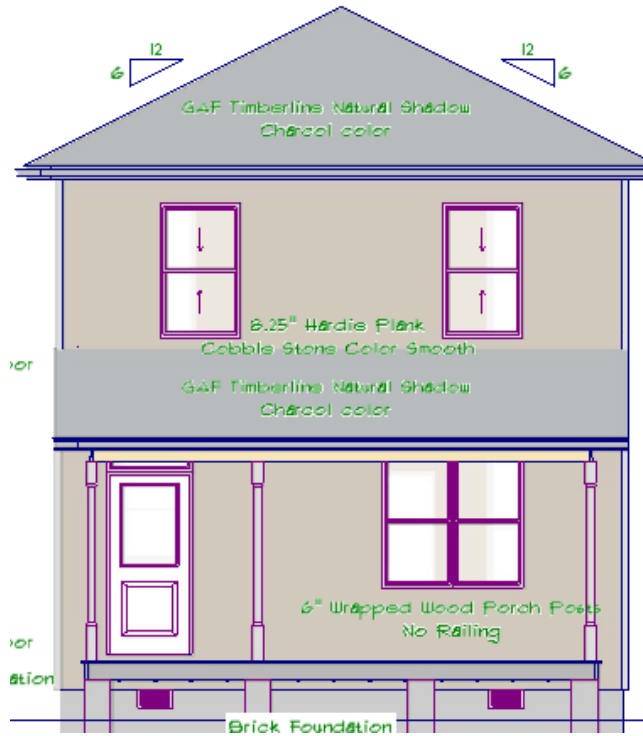
Written Description

512 W. 19th Street

New Home

This is an application for the construction of a new single family dwelling at 512 W. 19th Street. Care was taken to insure that the specifications for this home abide by the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*. This home will feature no faux wood grain products and use only approved materials per guidelines. Windows are to be one lite with no grills and to be clad with wood interiors. Doors are to be smooth fiberglass or steel. Siding to be hardie plank smooth 8.25" siding with a 7" reveal. Corners to be smooth white wood composite. Siding color to be Hardie Cobblestone. Roof shingles to be GAF timberline in the Charcoal color. Foundation to have a brick veneer.

VACANT
Lot



512



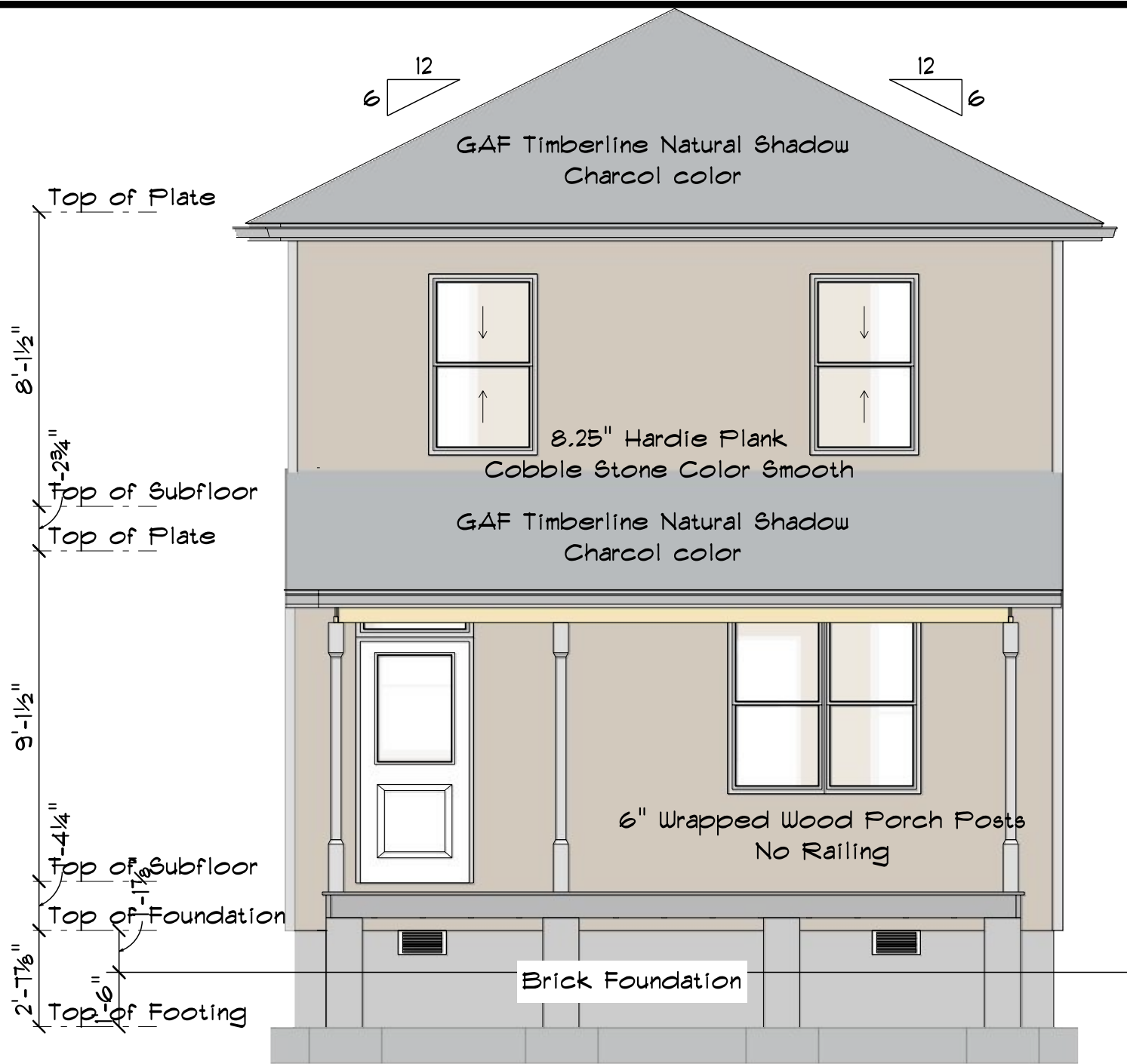
514

516

Front Elevation



Rear Elevation



Front Elevation

SCALE: 1/4" = 1'-0"



Rear Elevation

SCALE: 1/4" = 1'-0"

CDW Homes Inc.		512 W. 19th Street	
2527 Trefoil Way N. Chesterfield VA 23235	PHONE: (804) 615-1203 FAX: CDW804@Live.com	Front and Rear Elevation	PAGE:
		SCALE: 1/4" = 1'-0"	1
		DATE: Friday, January 26, 2018	



Right Elevation

SCALE: 1/4" = 1'-0"

CDW Homes Inc.

**512 W. 19th
Street**

2527 Trefoil Way
N. Chesterfield
VA
23235

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FAX:
CDW804@Live.com

Right Elevation
SCALE: 1/4" = 1'-0"
DATE: Friday, January 26, 2018

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Left Elevation

SCALE: 1/4" = 1'-0"

CDW Homes Inc.

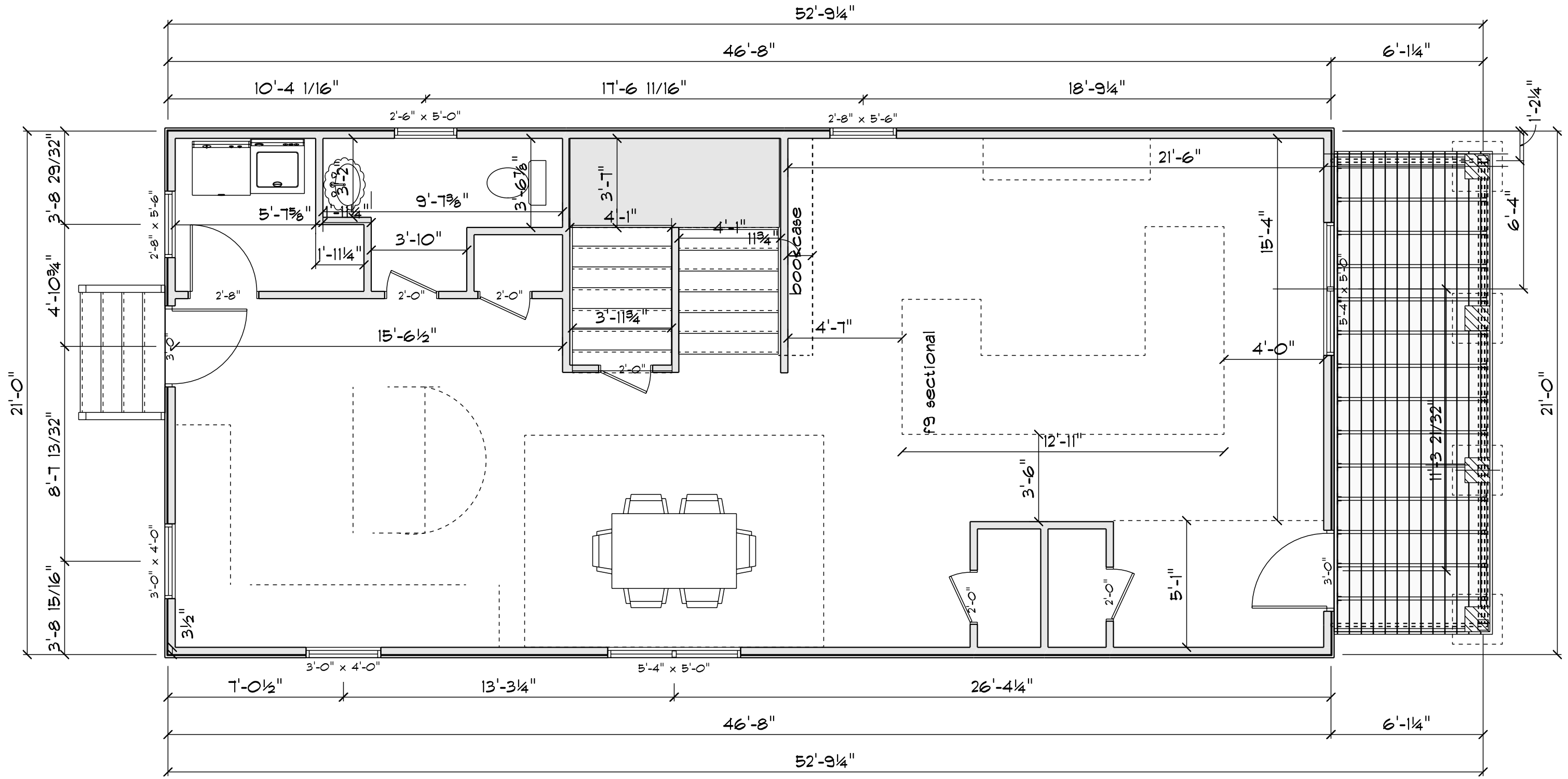
**512 W. 19th
Street**

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Left Elevation
SCALE: 1/4" = 1'-0"
DATE: Friday, January 26, 2018

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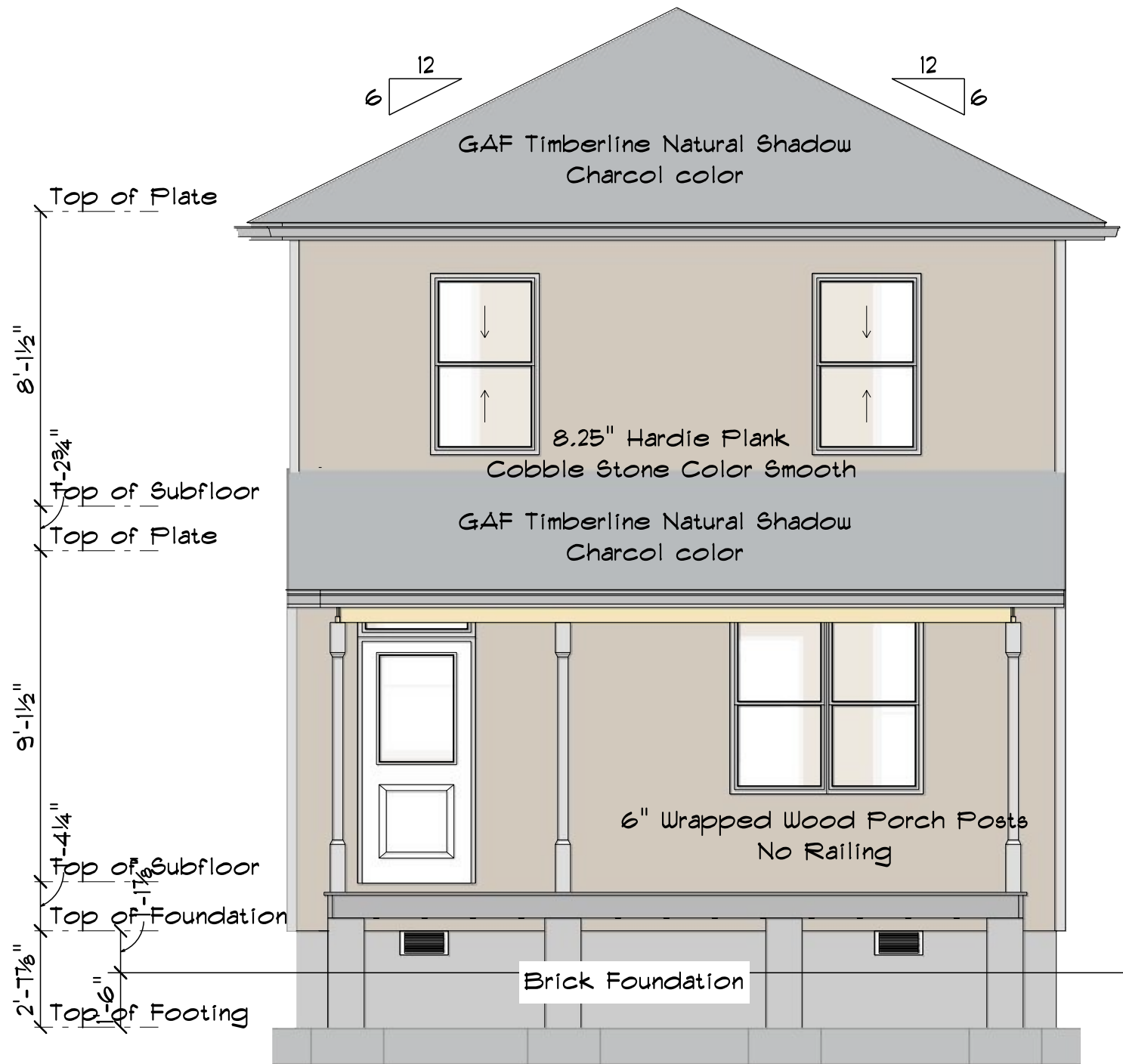
CDW Homes Inc. 2527 Trefoil Way N. Chesterfield VA 23235		512 W. 19th Street	
		PHONE: (804) 615-1203 FAX: CDW804@Live.com	First Floor Plan SCALE: 1/4" = 1'-0" DATE: Friday, January 26, 2018
			PAGE: 4

All Windows to Be Jeld Wen Vinyl Clad 1-lite.
 Window and door trim to be 1x4 wrap.
 Doors to be smooth 1 lite per elevation

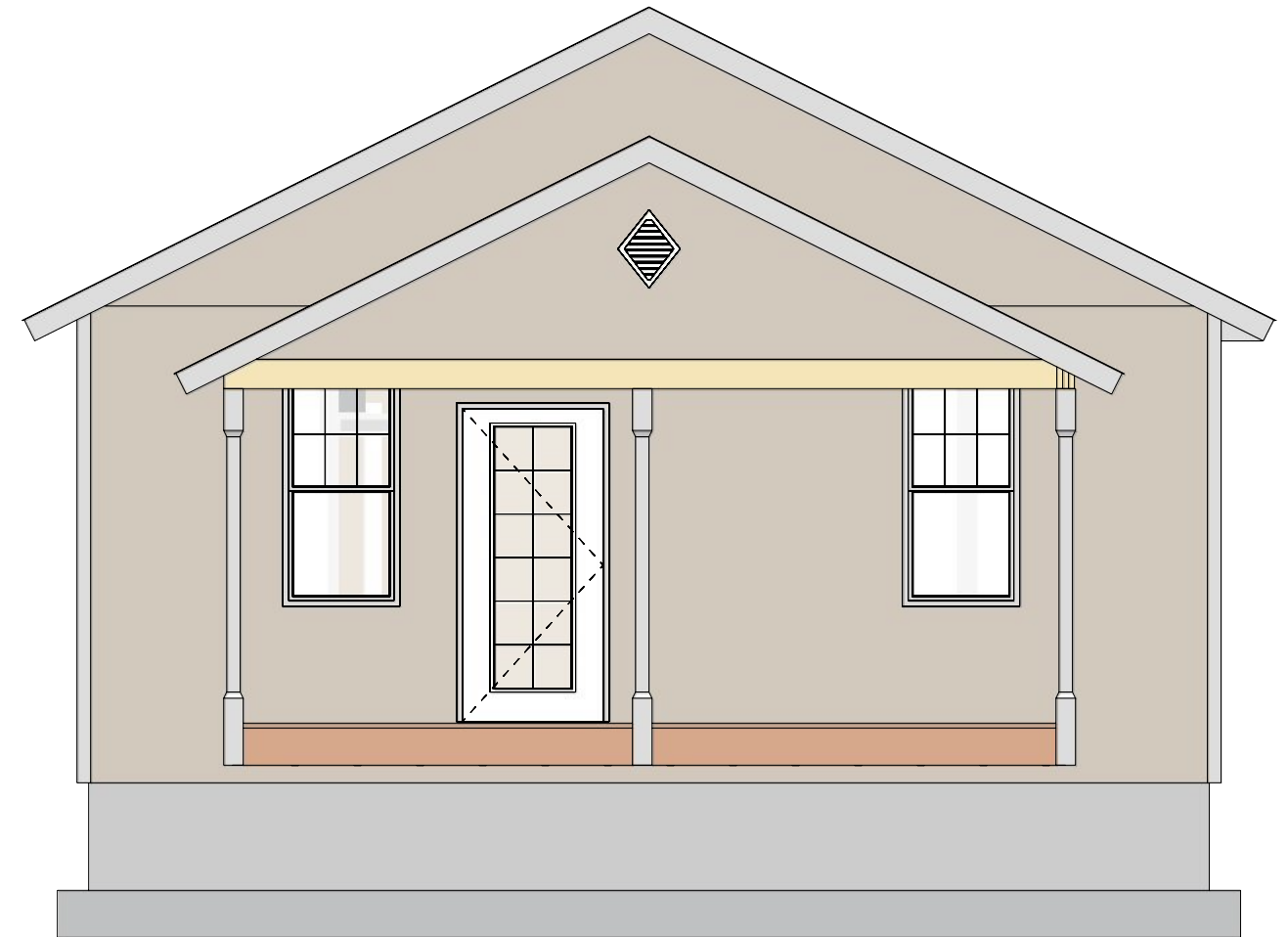
OPENING SCHEDULE			
PRODUCT CODE	SIZE	HINGE	COUNT
36X80 COUNTRY A 1-No Grilles - Transom	3'-0"	NA	1
36X80 DUTCH 1-No Grilles	3'-0"	L	1
24X42 DOUBLE HUNG 1-MODIFIED	2'-8" x 3'-6"	U	1
30X60 DOUBLE HUNG 1-MODIFIED	2'-8" x 5'-0"	U	2
30X60 DOUBLE HUNG 1	2'-6" x 5'-0"	U	1
30X66 DOUBLE HUNG 1-MODIFIED	2'-8" x 5'-6"	U	2
36X48 DOUBLE HUNG 1	3'-0" x 4'-0"	U	2
36X60 DOUBLE HUNG 1-MODIFIED	2'-8" x 5'-0"	U	4
36X60 DOUBLE HUNG 1	3'-0" x 5'-0"	U	2
60X60 DOUBLE HUNG 2-MODIFIED	5'-4" x 5'-0"	UU	3
34X12 TRANSOM-MODIFIED	4'-0" x 10"	N	1

CDW Homes Inc.		512 W. 19th Street	
2527 Trefoil Way N. Chesterfield VA 23235	PHONE: (804) 615-1203 FAX: CDW804@Live.com	Opening Schedule	PAGE:
		SCALE: As Noted	6
		DATE: Friday, January 26, 2018	

New Proposed SFD



Existing SFD 514 W. 19th



Front Elevation

SCALE: 1/4" = 1'-0"

CDW Homes Inc.

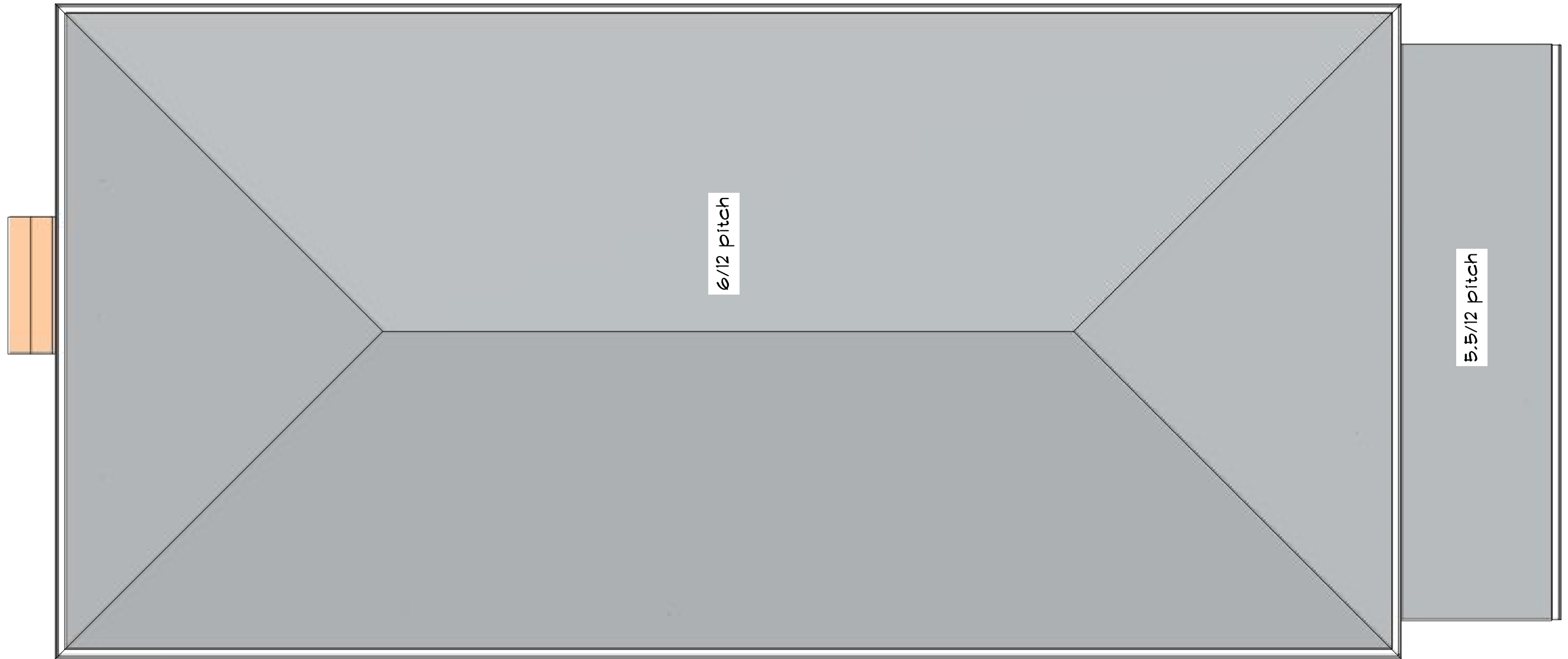
512 W. 19th Street

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Context Drawing
SCALE: 1/4" = 1'-0"
DATE: Friday, January 26, 2018

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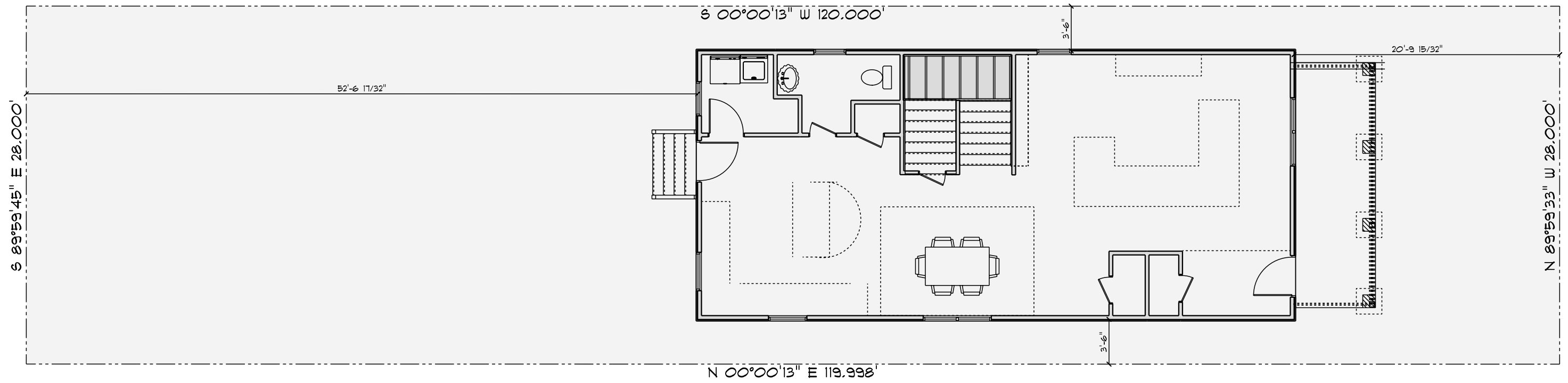


514 Roof Plan

SCALE: 1/4" = 1'-0"

CDW Homes Inc. 2527 Trefoil Way N. Chesterfield VA 23235		512 W. 19th Street	
		PHONE: (804) 615-1203 FAX: CDW804@Live.com	Roof Plan SCALE: 1/4" = 1'-0" DATE: Friday, January 26, 2018

-1.333+



512 Main Floor

SCALE: 1/8" = 1'-0"

CDW Homes Inc.

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512 Site Plan	PAGE: 9
SCALE: 1/8" = 1'-0"	
DATE: Friday, January 26, 2018	