



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2211 Jefferson Ave

Historic district Church Hill North

Date/time rec'd: _____

Rec'd by: _____

Application #: _____

Hearing date: _____

APPLICANT INFORMATION

☐ Check if Billing Contact

Name Sebastian Quinn

Phone 212-933-9116

Company SQBW

Email office@sebastianquinn.com

Mailing Address 63 Flushing Ave, Suite 352
Brooklyn, NY, 11205

Applicant Type: ☐ Owner ☐ Agent

☐ Lessee ☒ Architect ☐ Contractor

☐ Other (please specify): _____

OWNER INFORMATION (if different from above)

☒ Check if Billing Contact

Name Josh Bilder

Company Sterling Bilder LLC

Mailing Address 17 South Belmont Avenue
Richmond, VA, 23221

Phone 804-359-5018

Email josh.bilder@gmail.com

PROJECT INFORMATION

Project Type:

☒ Alteration

☐ Demolition

☒ New Construction

(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Repair existing non-contributing commercial building at 2211 Jefferson. Add a second commercial floor above the existing commercial unit. At adjacent vacant lot (2209 Jefferson, construct a new townhouse. Townhouse to be zoned commercial at First Floor and residential above,

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Joshua Bilder

Date 09/30/2021

SEBASTIAN QUINN BUILDING WORKSHOP

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

September 30, 2021

Commission of Architectural Review
900 E. Broad St. Room 510
Richmond, VA 23219
T 804.646.7550
Emily.Routman@richmondgov.com

Re: 2209 and 2211 JEFFERSON AVENUE, RICHMOND, VA

Dear CAR Commissioners and Staff,

Thank you for your review of this application at your recent August meeting. Sebastian Quinn Building Workshop (SQBW) is pleased to share this revised application for a Certificate of Appropriateness for 2209 and 2211 Jefferson Avenue. Please find a project narrative below, and revised supporting drawings attached for your review.

Following the your August meeting, we met with CAR staff and have now incorporated suggestions from the Commissioners and Staff. At 2211 Jefferson, we continue to propose the rehabilitation of the derelict, existing, non-contributing, corner commercial structure, and the provision of a second floor addition. At 2209 Jefferson, a vacant lot, we continue to propose a new of a 2.5 story townhouse with commercial use at the First Floor as required by Richmond Zoning. All work is proposed as-of-right under current zoning.

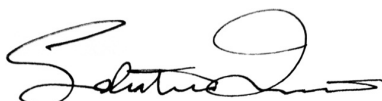
In configuring the proposed design, we have sought a form that is compatible with existing structures in the district, and usage of visually compatible materials. At the existing commercial structure, we are seeking to maintain the original roof fascia and brackets, and entry door/ fenestration pattern at the storefront, while providing additional windows both to 'enhance the streetscape to provide visual interest for passersby', and to provide adequate daylight, which is tied to improved health and wellness of building occupants.

Notable updates to the most recent submission include the following incorporated CAR suggestions:

1. At 2211, the new second floor is now setback from the first by 1.5'.
2. At 2211, the new second floor is differentiated from the first floor both siding width and color.
3. At 2211, the historic storefront fenestration is now proposed to be protected and retained, creating additional differentiation with the second floor.
4. At 2209 an additional 1' setback between the 2nd and 3rd floor (now 8' total, 15' total from the sidewalk) is proposed
5. At 2209 a cornice at both the 2nd and 3rd floors is proposed
6. At 2209 the sloped roof between 2nd and 3rd floors is eliminated in favor of a flat roof.
7. At 2209 enlarged columns and additional railings are proposed at the first floor porch.

Please find additional information in the attached drawings, including specifications for siding, trim, roofing, fenestration, porch details, et al.

Respectfully Submitted,



Sebastian Quinn,
NCARB, LEED AP

SEBASTIAN QUINN BUILDING WORKSHOP

Principal,
Sebastian Quinn Building Workshop
VA State Architect License # 0401016574



VIEW FROM JEFFERSON AVENUE




VIEW FROM EAST CLAY STREET



VIEW FROM JEFFERSON AVENUE

NOT TO SCALE

Note: Bearings protracted from City
baseline sheet 9 NE.



Edwards, Kretz, Lohr & Associates, Inc.
Land Surveyors-Planners
Virginia-North Carolina
1900 Byrd Avenue, Suite 203
Richmond, Virginia, 23230
Phone (804) 673-9666
Fax (804) 673-9990

Scale: 1"=25'
Drawn: TCJ
Job: 1419-08

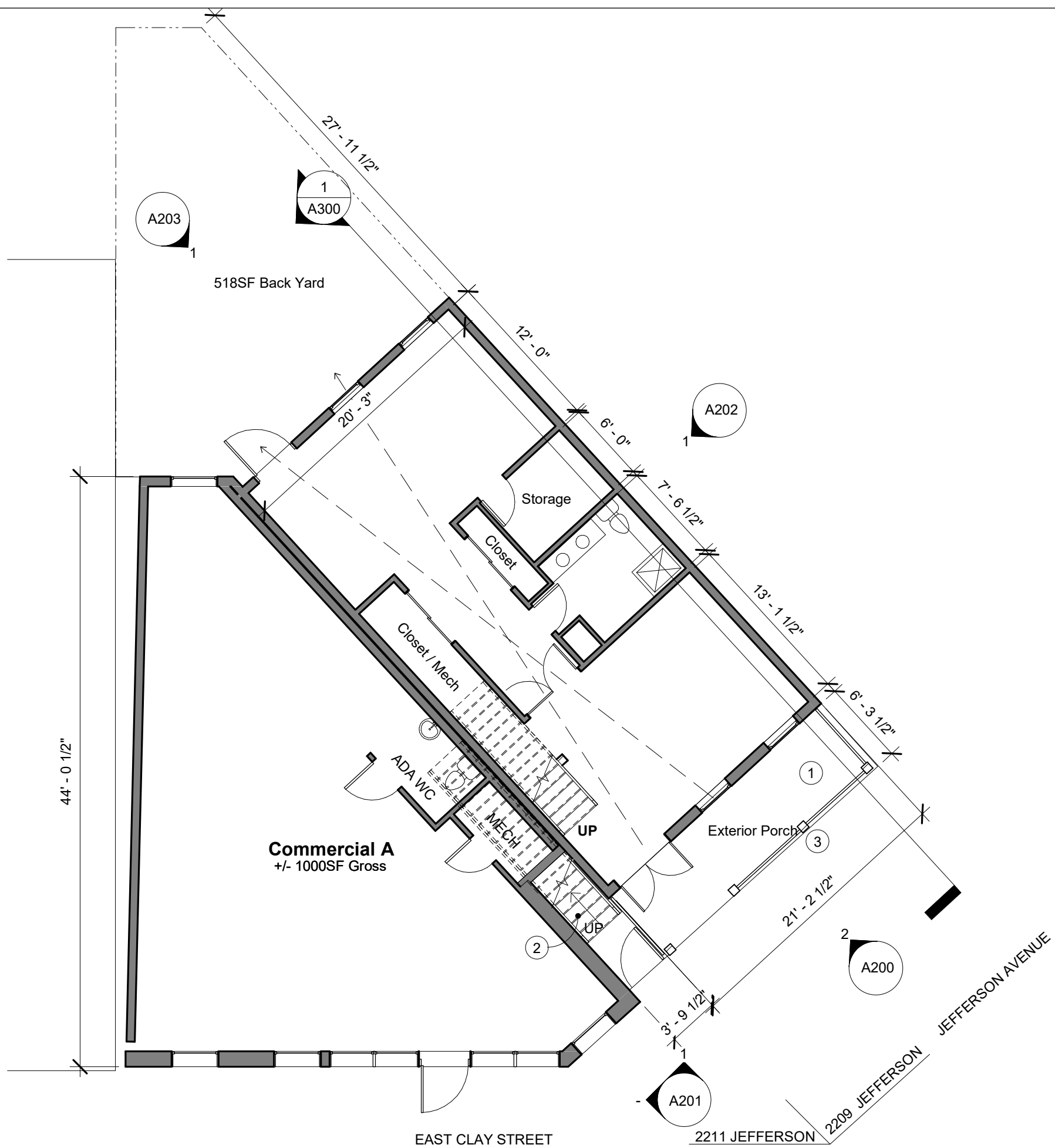
Date: 07/25/08
Checked: JAL

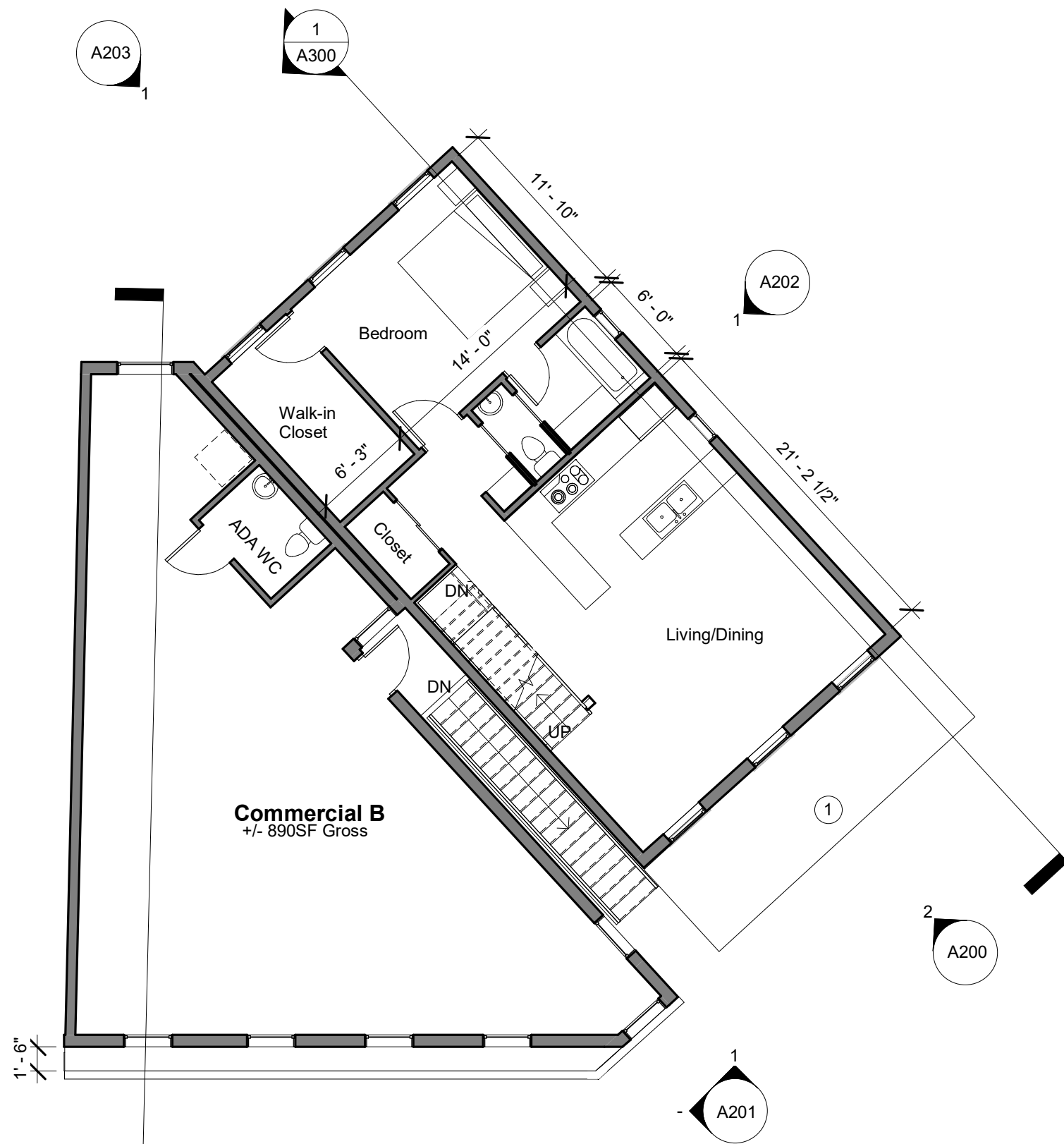
9/28/2021
A002

FIRST FLOOR PLAN KEYNOTES:

- ① EXTERIOR PORCH DECK - 5/4 x 5 RED CEDAR
- ② EXTERIOR STAIR TREADS - 5/4 x 5 RED CEDAR
- ③ TYPICAL COLUMNS- 7" SQUARE INCLUDING GRIM WRAP - TRIM TO MATCH TYPICAL TRIM, SEE ELEVATIONS FOR CAR APPROVED COLOR NOTES

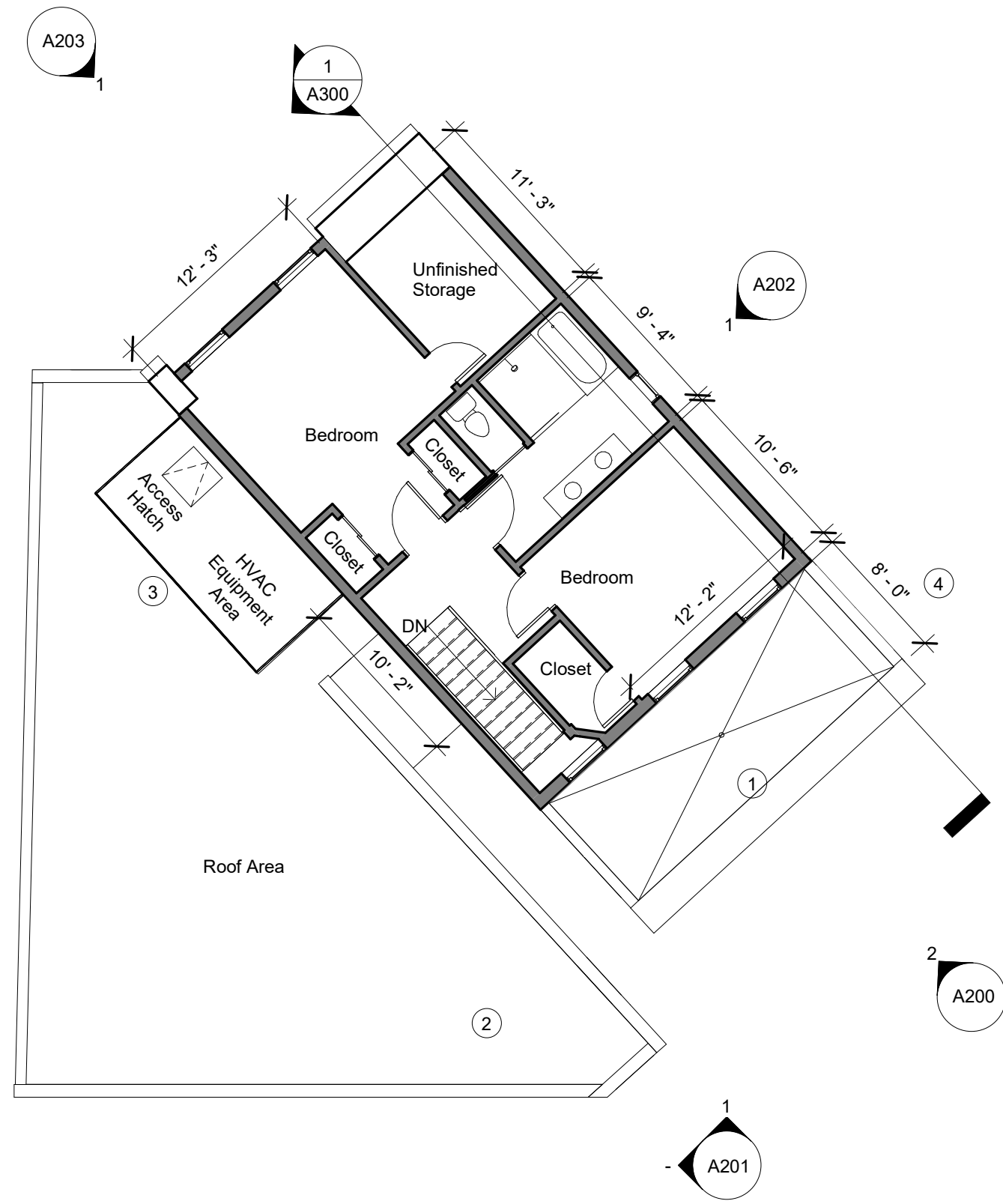
NOTES:
1) 2209 JEFFERSON PROPOSED PER RVA ZONING AS (2) RESIDENTIAL FLOORS OVER COMMERCIAL AT GROUND FLOOR.
2) 2211 JEFFERSON PROPOSED AS (2) SEPARATE COMMERCIAL TENANT SPACES - (1) AT THE FIRST FLOOR AND (1) AT THE SECOND FLOOR. NO ACCESSIBLE ENTRY TO THE SECOND FLOOR REQUIRED PER VA BC 1104.4 EX 1





SECOND FLOOR PLAN KEYNOTES:

- ① PORCH ROOF - STANDING SEAM METAL
ROOF COLOR TBD FROM CAR
APPROVED PALLATE



- THIRD FLOOR PLAN KEYNOTES:**
- ① LOW SLOPE ROOF - NOT VISIBLE FROM THE PUBLIC WAY. ALL TRIM/ FACIA FROM CAR APPROVED PALLATE W/ STAFF APPROVAL
 - ② LOW SLOPE ROOF AT COMMERCIAL/ 2211 - WHITE EPDM OR TPO ROOFING - NOT VISIBLE FROM PUBLIC WAY
 - ③ CODE MANDATED GUARD RAIL AT MECHANICAL EQUIPMENT/ ROOF HATCH - SEE 3D VIEWS FOR VISIBILITY FROM PUBLIC WAY
 - ④ 8' OFFSET FROM FACE OF SECOND FLOOR EXTERIOR WALL TO FACE OF THIRD FLOOR WALL

ELEVATION NOTES:

- 1. ALL COLORS LISTED AS TBD ARE TO BE SELECTED FROM THE CAR APPROVED PALLATE AND REVIEWED WITH STAFF BEFORE MATERIAL IS PURCHASED OR INSTALLED. COLORS SHOWN ARE FROM THE JAMES HARDIE PRODUCT LINE - WHILE COLORS REMAIN TBD AND SUBJECT TO THE CAR AS NOTED ABOVE, THE DRAWING BELOW ILLUSTRATES AREAS OF PROPSD COLOR VARIATION FOR CAR CONSIDERATION
- 2. NO VINYL WINDOWS OR DOORS TYPICAL
- 3. ROOFTOP MECHAICAL EQUIPMENT TO BE ENTIRELY WITHIN THE GUARDRAIL SHOWN - NOT TO EXCEED HEIGHT OF GUARDRAIL (42" ABOVE ROOF)

ELEVATION KEYNOTES:

- 1 SIDING/TRIM
TYPICAL SIDING AT COMMERCIAL: HARDIE LAP W/ 6" REVEAL. COLOR TBD
- 2 TYPICAL TRIM AND SOFFIT: HARDIE TRIM, SIZES AS SHOWN (2.5" CORNER BOARDS) COLOR TBD
- 3 TYPICAL SIDING AT TOWNHOUSE: HARDIE PLANK LAP W/ 6" REVEAL. COLOR TBD
- 4 TYPICAL SIDING AT COMMERCIAL/ FIRST FLOOR: HARDIE LAP W/ 10.75" REVEAL. COLOR TBD
- WINDOWS + DOORS
- 5 2209 JEFFERSON TYPICAL WINDOWS: TWO-OVER-TWO DOUBLE HUNG WINDOWS COLOR TBD
- 6 2209 JEFFERSON LOT-LINE WINDOWS (RECOGNIZED BY BC AS WALL ASSEMBLY): 1-HOUR RATED FIXED PICTURE WINDOWS COLOR TBD
- 7 2209 EXTERIOR ENTRY DOOR: PAIR OF DOORS W/ 2 ACTIVE PANELS, SIZE AND DIVIDED LITE AS SHOWN. COLOR TBD
- 8 2211 JEFFERSON WINDOWS: ALUMINUM CASEMENT WIDOWS, SIZES AS SHOWN, COLOR TBD
- 9 2211 JEFFERSON EXTERIOR ENTRY DOORS: ALUMINUM CASEMENT WIDOWS, SIZES AS SHOWN, COLOR TBD
- OTHER
- 10 CODE MANDATED GUARD RAIL AT MECHANICAL EQUIPMENT/ ROOF HATCH- SEE 3D VIEWS FOR VISIBILITY FROM PUBLIC WAY
- 11 ROOF AT TOWNHOUSE FRONT AREAS: STANDING SEAM METAL, COLOR TBD
- 12 TYPICAL ROOF AT TOWNHOUSE: ASPAHALT
- 13 COLUMNS AT TOWNHOUSE PORCH: +/- 7"x7" FINISH DIMENSION AS SHOWN, INCLUDING HARDIE TRIM WRAP IN COLOR TO MATCH TYPICAL TRIM TBD
- 14 EXTERIOR STAIRS: RED CEDAR TREADS AND HARDI TRIM RISERS COLOR TBD
- 15 TYPICAL EXTERIOR GUARD RAILS AND BALLUSTRADES: SEE SKETCH PROVIDED AT A301
- 16 EXISTING DECORATIVE BRACKETS AND FACIA- PROTECT AND RETAIN IF VIABLE. ARCHITECT TO UPDATE CAR STAFF ONCE PROBES ARE COMPLETE.
- 17 GUTTER SYSTEM: 6" HALF ROUND GUTTERS IN GALVALUME, 4" ROUND RAIN LEADERS IN GALVALUME
- 18 CORNICE - SEE A202 FOR PROJECTION, 21" H FACIA AT UPPER CORNICE, 14" H AT LOWER CORNICE, WITH 6" W BRACKETS AT 45-DEGREE ANGLE AS SHOWN.



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- 19 REPAIR EXISTING STOREFRONT WINDOWS TYPICAL

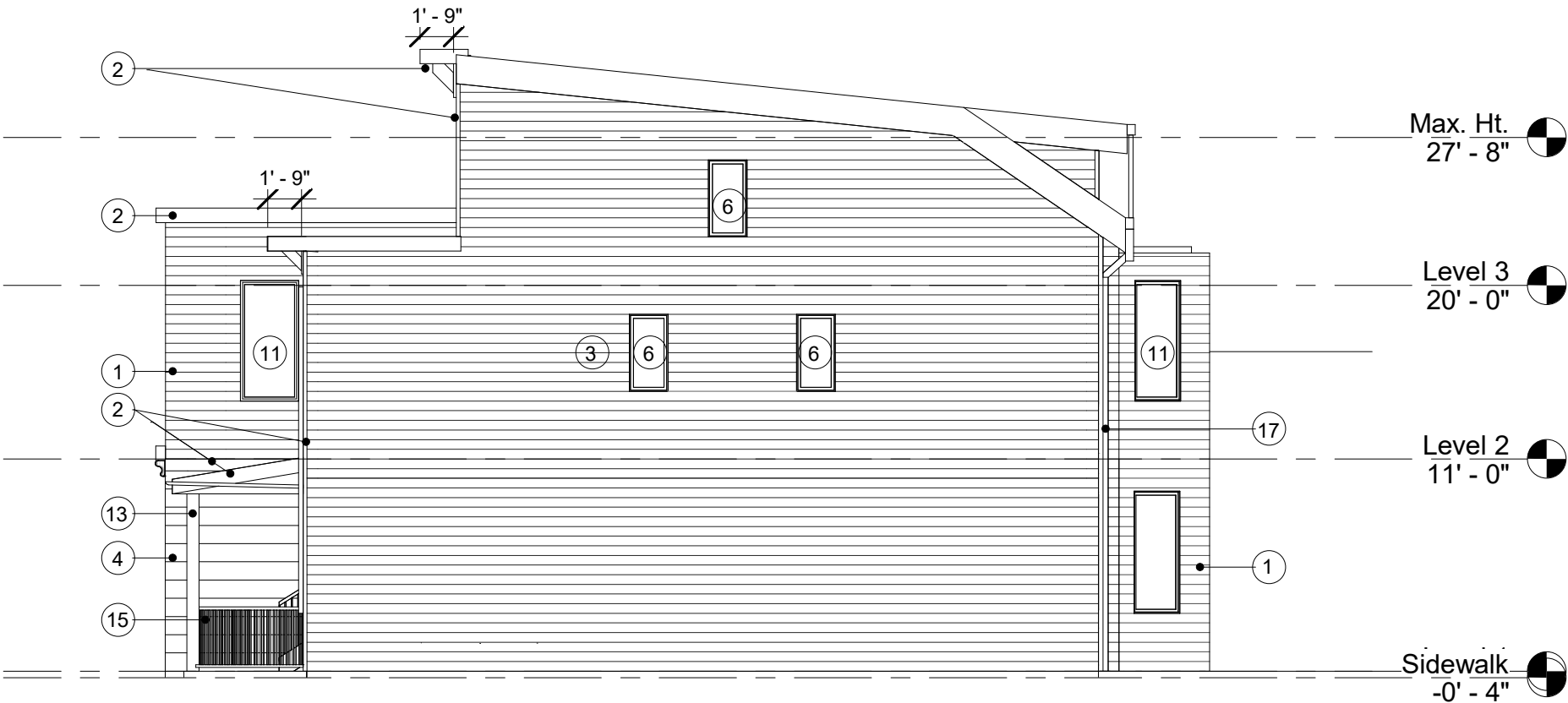


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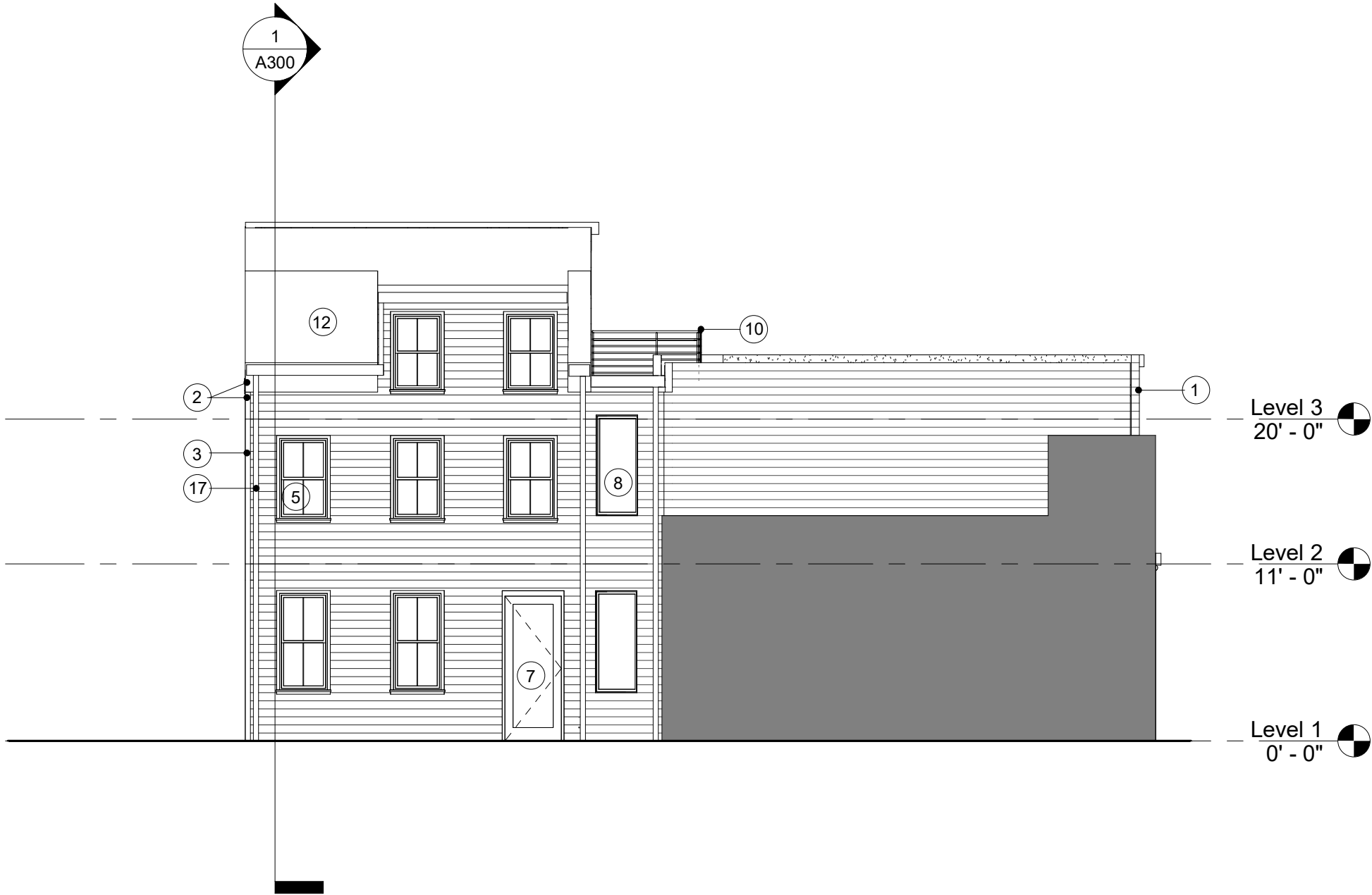


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NOTES:

1. PER RVA ZONING, BUILDING HEIGHT IS DEFINED AS THE AVERAGE OF THE HIGHEST AND LOWEST EXTENTS OF THE ROOF. MAXIMUM ALLOWABLE BUILDING HEIGHT = 28'-0" **COMPLIES**

2. RELATED ZONING TEXT IS AS FOLLOWS:
CHAPTER 30, ZONING, OF THE CODE OF ORDINANCES OF THE CITY OF RICHMOND, VIRGINIA (ADOPTED NOVEMBER 9, 2015)
Plus ALL ZONING AMENDMENTS (through January 13, 2020)
Sec. 30-1220. Definitions
.19 *Building, height of, means the vertical distance from mean grade level to the highest point of a flat roof; to the deck line or highest point of the coping of a mansard roof; or to the mean height level between the eaves and the ridge of a gable, hip, shed or gambrel roof.*

3. SEE ADJACENT DIAGRAM PUBLISHED BY ZONING ADMINISTRATION DIVISION ZONING DEPARTMENT OF COMMUNITY DEVELOPMENT, ENTITLED:
"CITIZENS GUIDE TO RESIDENTIAL ZONING DISTRICTS & REGULATIONS"

Building Height

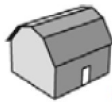
(Roof Types)



Hip Roof: A roof containing sloping planes of the same pitch on each of four sides. A hip roof contains no gables.



Gable Roof: A roof containing sloping planes of the same pitch on each side of the ridge. A gable roof typically contains a gable at each end.



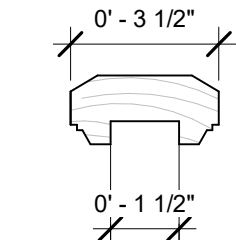
Gambrel roof: A roof containing two sloping planes of different pitch on each side of the ridge. The lower plane has a steeper slope than the upper. A gambrel roof usually contains a gable at each end, just like a standard gable roof.



Mansard roof: A roof containing two sloping planes of different pitch on each of four sides. The lower plane has a much steeper pitch than the upper, often approaching vertical. It contains no gables.

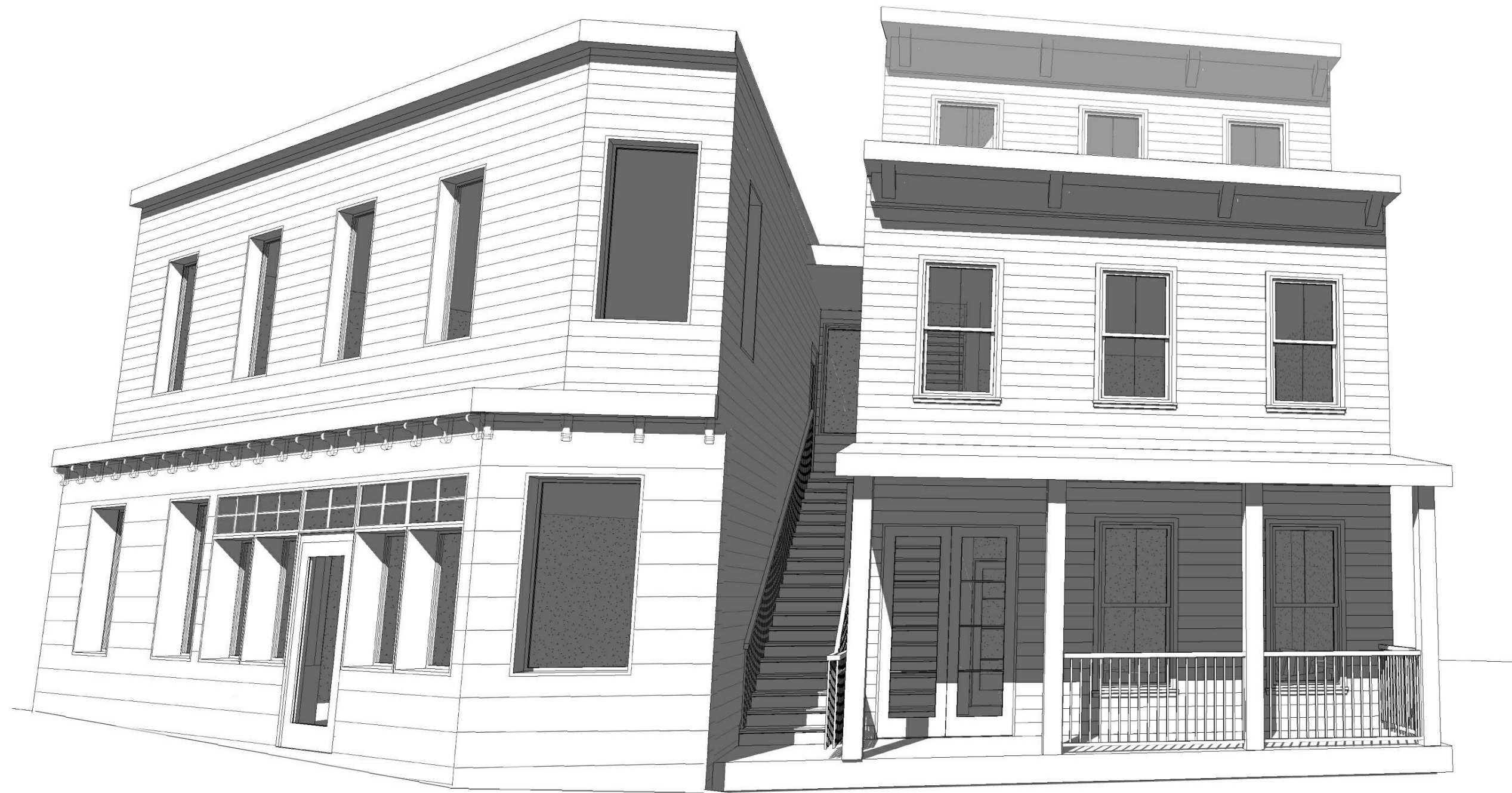


Flat Roof: A roof, either horizontal having no slope, or a slope sufficient only to affect drainage and the pitch being usually less than 10 degrees. It may be surrounded by a parapet or it may extend beyond the exterior walls.



2x2 PICKETS AT 5 1/2" OC
1x4 AT EXTERIOR FACE





PROPOSED 3D VIEW - JEFFERSON AVE - +/- 50' FROM FRONT PROPERTY LINE, 5'-2" EYE LEVEL



2113 JEFFERSON
ESTIMATED HT.
= 19' (86 BRICK
COURSES)

2111 JEFFERSON
PROPOSED ROOF HT.
= 22.0', SOFFIT
HT. = 24.0'.
2ND FL SETBACK = 1.5'

2109 JEFFERSON
PROPOSED HT. = 27.8'
(MAX ROOF HT = 32.1'
MIN HT. 23.5').
1ST FL SETBACK = 7.0'
2ND FL SETBACK = 7.0'
3RD FL SETBACK = 15.0'

2107 JEFFERSON
ESTIMATED SOFFIT
HT. = 22.0'

sebastian quinn
building workshop
office@sebastianquinn.com
telephone (212) 933-9116



2211 - 2209 JEFFERSON AVE
RICHMOND, VA, 23223

BILDER CIRCLE

PROPOSED 3D VIEW - CORNER OR JEFFERSON AND CLAY - +/- 80' FROM FRONT PROPERTY LINE, 6'-0" EYE LEVEL

9/28/2021
A501