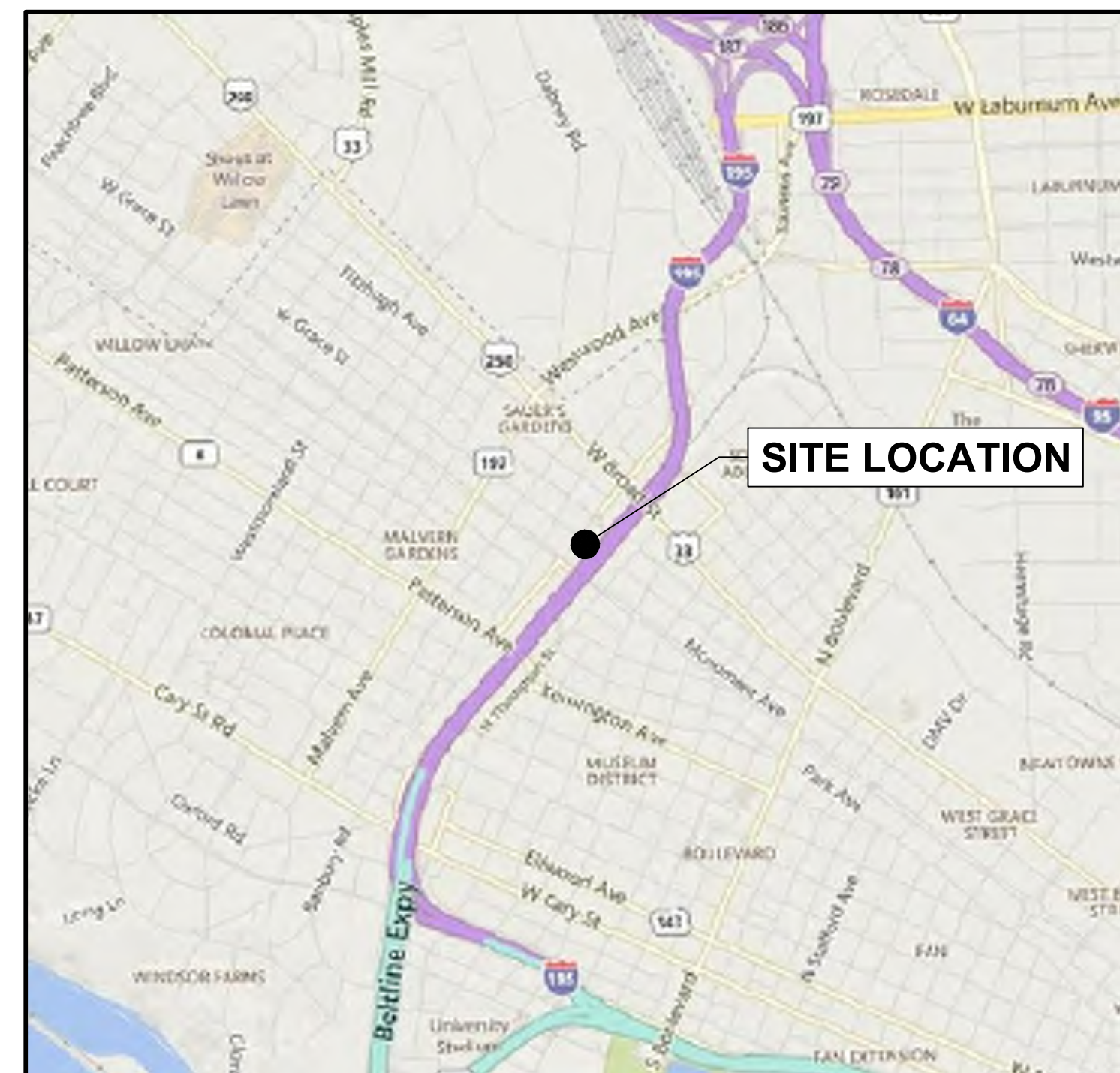


3700 MONUMENT AVENUE

3700 MONUMENT AVENUE
RICHMOND, VIRGINIA



VICINITY MAP

SCALE: 1" = 2000'

SPECIAL USE PERMIT SUBMITTAL
FIRST SUBMITTAL DATE: NOVEMBER 18, 2020

OWNER/DEVELOPER
SILVER HILLS DEVELOPMENT
72 Wychwood Dr.
Moreland Hills, OH 44022
CONTACT: Seth Mendelsohn
TELEPHONE: 312.502.8222
EMAIL: sm.silverhills@gmail.com

ARCHITECT
DIMIT ARCHITECTS
14414 Detroit Ave., #306
Lakewood, OH 44107
CONTACT: Matthew Sommer
TELEPHONE: 216.221.9021 (x224)
EMAIL: msommer@dimitarchitects.com

ENGINEER
TIMMONS GROUP
1001 Boulders Pkwy., Suite 300
Richmond, VA 23225
CONTACT: Amelia Wehunt, PE
TELEPHONE: 804.200.6544
EMAIL: amelia.wehunt@timmons.com

LANDSCAPE ARCHITECT
TIMMONS GROUP
608 Preston Ave., Suite 200
Charlottesville, VA 22903
CONTACT: Frank Hancock, PLA
TELEPHONE: 434.327.1686
EMAIL: frank.hancock@timmons.com

REVISIONS		
TAG	DATE	COMMENTS
1	01/29/2021	2nd SUP SUBMITTAL - REVISED PER CITY COMMENTS
2	03/09/2021	3rd SUP SUBMITTAL - REVISED PER CITY COMMENTS

PROJECT SUMMARY

ADDRESSES: 3700 MONUMENT AVENUE, 3750 MONUMENT AVENUE, 1301A N HAMILTON STREET
PARCEL ID'S: W0001663002, W0001663004, W0001663010
ZONING: R-73 RESIDENTIAL (MULTI-FAMILY)
DISTRICT: FAR WEST
EXISTING USE: PARKING LOT, VACANT, OFFICE SPACE
COMBINED SITE / LOT AREA: 2.80 ACRES (126,518 SQ. FT.)
PROPOSED USE: MULTI-FAMILY RESIDENTIAL (263 UNITS), PARKING GARAGE
REQUIRED PERMITS: RSMP, ROW/WSP, STATE GENERAL CONSTRUCTION PERMIT
LAND AREA COVERED BY BUILDINGS: EXISTING BUILDING = 0.20 ACRES (8,741 SQ. FT.)
PROPOSED BUILDING = 1.59 ACRES (69,463 SQ. FT.)
EXISTING CONDITIONS: CITY OF RICHMOND UTILITY MAPS; CITY OF RICHMOND GIS; ALTANSPS SURVEY BY TIMMONS GROUP DATED OCTOBER 27, 2020.
BICYCLE REQUIREMENTS: **SHORT TERM:** (2 SPACES/50 UNITS)³ x (263 UNITS) = 11 SPACES
LONG TERM: (1 SPACE/4 UNITS)⁴ x (263 UNITS) = 66 SPACES
³BASED ON CITY OF RICHMOND ZONING ORDINANCE Sec. 30-730.2(1)
⁴BASED ON CITY OF RICHMOND ZONING ORDINANCE Sec. 30-730.2(1)
PARKING REQUIREMENTS: 1 SPACE PER DWELLING UNIT⁵
⁵BASED ON CITY OF RICHMOND ZONING ORDINANCE Sec. 30-710.1.(4)(a)

3700 MONUMENT AVENUE - TRIP GENERATION ANALYSIS

Building	Land Use	Sq. Ft.	Units	Code	AM Peak Hour			PM Peak Hour			Average Daily Trips
					In	Out	Total	In	Out	Total	
Existing Development											
Office		26,416	31F	710	44	7	51	5	27	32	292
Existing Development Trips					44	7	51	5	27	32	292
Proposed Development											
Apartments		263	U.U.	221	23	65	88	68	44	112	1,432
Proposed Development Trips					23	65	88	68	44	112	1,432
Comparison											
Proposed vs Existing Difference					(21)	58	37	63	17	80	1,140

Notes: (1) Based on the Institute of Transportation Engineers Trip Generation, 10th Edition. Assumes General Urban/Urban land use category.

SHEET LIST TABLE	
SHEET ID	SHEET TITLE
CIVIL SHEETS	
C0.00	COVER
C1.00	EXISTING CONDITIONS PLAN
C2.00	SITE DEMOLITION PLAN
C2.10	UTILITY DEMOLITION PLAN
C4.00	SITE LAYOUT PLAN
C4.20	LAYOUT NOTES & DETAILS
C7.00	UTILITY PLAN
WM1.0	WATER SYSTEM HYDRAULIC ANALYSIS - LAYOUT
L1.00	PRELIMINARY LANDSCAPE AND LIGHTING PLAN
ARCHITECTURAL SHEETS	
A1.0	FLOOR PLAN - GROUND LEVEL
A1.1	FLOOR PLAN - TYPICAL LEVEL 2-5
A2.0	ELEVATIONS - MONUMENT & HAMILTON
A2.1	ELEVATIONS - I-195
A2.2	ELEVATIONS - NORTH COURTYARD
A2.3	ELEVATIONS - SOUTH COURTYARD

SUP SUBMITTAL NOT FOR CONSTRUCTION

PLAN DATE: 03/25/2021

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DATE: 11/18/2020
DRAWN BY: C. JOHNSON
DESIGNED BY: C. NELSON
CHECKED BY: A. WEHUNT

SCALE: 1" = 2,000'

TIMMONS GROUP

3700 MONUMENT AVENUE
FAR WEST DISTRICT - CITY OF RICHMOND - VIRGINIA

COVER

JOB NO. 46889
SHEET NO. C0.00

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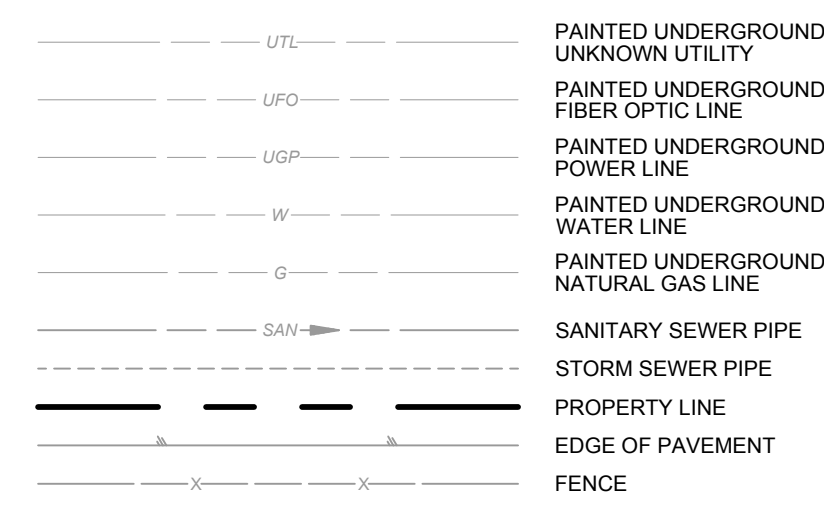
SAN. SEWER STRUCTURES

- S1 SANITARY MH
RIM = 205.74'
INV. IN = 188.38' (SW)
INV. OUT = 188.34' (NW)
- S2 SANITARY MH
RIM = 206.13'
C/L FLOW = 193.13'
- S3 SANITARY MH
RIM = 206.15'
C/L FLOW = 193.10'
- S4 SANITARY MH
RIM = 206.46'
INV. IN = 192.16' (SW)
INV. OUT = 192.05' (NE)
- S5 SANITARY MH
RIM = 207.23'
C/L FLOW = 192.97'
- S6 SANITARY MH
RIM = 204.47'
RIM = 183.97' (NW)
INV. OUT = 183.70' (SE)
- S7 SANITARY MH
RIM = 203.80'
(COULD NOT MEASURE INVERTS;
OFFSET TOO FAR INTO JUNCTION BOX)

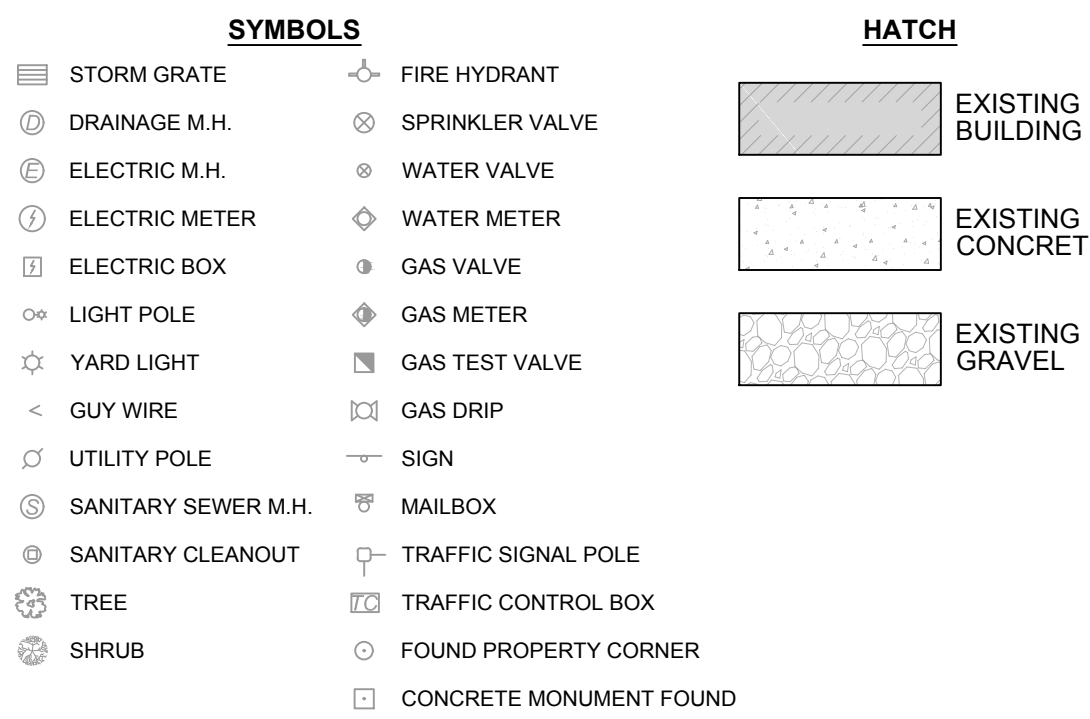
STORM SEWER STRUCTURES

- D1 STORM DI
RIM = 205.79'
INV. = [FULL OF TRASH]
- D2 1.5' X 2.5' STORM GI
TOP = 206.15'
INV. IN = 203.20' (NW)
- D3 STORM DI
RIM = 206.02'
INV. = [FULL OF TRASH]
- D4 STORM MH
RIM = 206.25'
TOP = 206.15'
INV. IN = 201.35' (SE)
INV. IN = 200.65' (NE)
INV. OUT = 200.05' (NW)
- D5 STORM DI
RIM = 204.27'
INV. OUT = 199.41' (N)
- D6 STORM MH
RIM = 204.58'
INV. IN = 197.50' (SW)
INV. IN = 197.58' (NE)
INV. OUT = 196.95' (NW)
- D7 STORM DI
RIM = 204.93'
INV. OUT = 199.31' (SW)
- D8 STORM MH
RIM = 201.40'
INV. IN = 196.50' (SE)
BOTTOM = 193.55'
- D9 STORM MH
TOP = 202.12'
INV. IN = 195.50' (SE)

LINETYPES

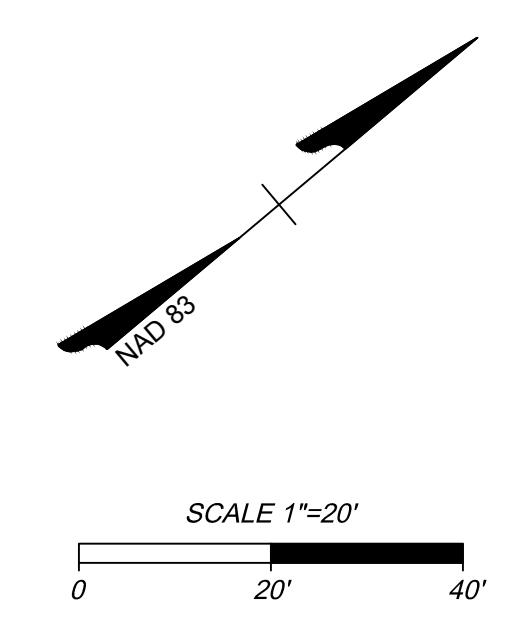


EXISTING CONDITIONS LEGEND



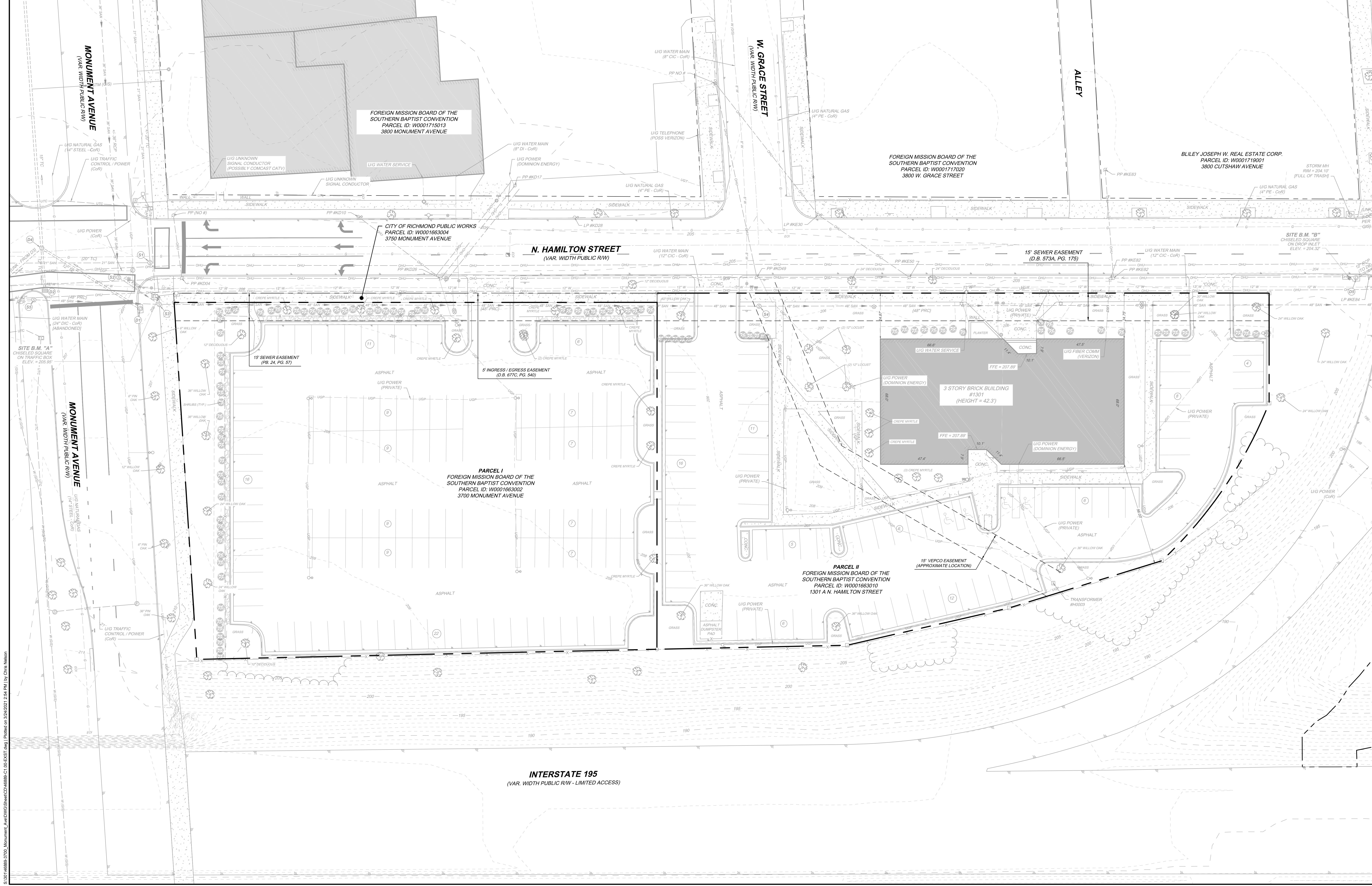
SURVEY NOTES:

- THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF WILLIAM R. HERX, L.S. FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION. THAT THE ORIGINAL DATA WAS OBTAINED ON THE FOLLOWING DATES: OCT 23-27, 2020. THIS PLAT, MAP AND DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED
 - HORIZONTAL DATUM:** NAD83 (VA-SOUTH ZONE)
 - VERTICAL DATUM:** NAVD88
- UNDERGROUND UTILITY DESIGNATION (S.U.E.) NOTES:**
- UNDERGROUND UTILITY SURVEY COMPLETED IN NOVEMBER OF 2020.
 - THERE MAY BE UNDERGROUND UTILITY LINES IN PROJECT LIMITS.
 - ALL SIZES & TYPES OF UNDERGROUND UTILITY LINES ARE TAKEN FROM REFERENCE MAPPING OR PRE-EXISTING MISS UTILITY MARKINGS.
 - ALL UNDERGROUND UTILITIES LOCATED / DEPICTED AS "QUB" UNLESS OTHERWISE NOTED.
 - "EO" = END OF INFORMATION FOR UNDERGROUND UTILITY LINE (SIGNAL ENDED AT THIS LOCATION)
- UTILITY OWNERS:**
- COMMUNICATION - VERIZON, COMCAST
 - POWER - DOMINION POWER, CITY OF RICHMOND
 - GAS - CITY OF RICHMOND
 - WATER - CITY OF RICHMOND



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PLAN DATE: 03/25/2021



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03/25/2021	4th SUP SUBMITTAL - REVISED PER CITY COMMENTS

DATE: 11/18/2020
DRAWN BY: C. JOHNSON
DESIGNED BY: C. NELSON
CHECKED BY: A. WEHUNT
SCALE: 1" = 20'

TIMMONS GROUP

3700 MONUMENT AVENUE
FAR WEST DISTRICT - CITY OF RICHMOND - VIRGINIA

EXISTING CONDITIONS PLAN

JOB NO. 46889
SHEET NO. C1.00

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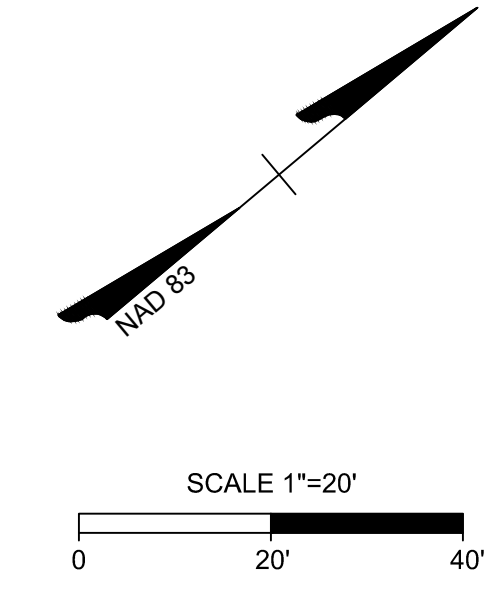
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DEMOLITION LEGEND

- DEMOLISH CONCRETE SECTION
- DEMOLISH BUILDING
- DEMOLISH ASPHALT SECTION
- MILL & OVERLAY ASPHALT SECTION
- REMOVE GRAVEL SECTION
- DEMOLISH SITE FEATURE
- DEMOLISH FENCE/WALL
- SAWCUT PAVEMENT / CONCRETE

DEMOLITION PLAN NOTES:

1. A PRE-CONSTRUCTION MEETING IS MANDATORY BEFORE ANY WORK IS DONE AT THE SITE. CONTACT THE CITY OF RICHMOND INSPECTOR, AS WELL AS THE PROJECT ENGINEER, COORDINATE WITH THE EROSION AND SEDIMENT CONTROL PLAN AND ITS RESPECTIVE SEQUENCING.
2. THE CONTRACTOR MUST VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. NOTIFY "MISS UTILITY" AT 1-800-552-7001 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION ACTIVITIES. ALSO NOTIFY THE ENGINEER IF THERE IS A CONFLICT.
3. CONTRACTOR TO COORDINATE WORK AROUND EXISTING UTILITIES; CONTRACTOR TO COORDINATE WITH THE CORRESPONDING UTILITY PROVIDER.
4. CONTRACTOR TO COORDINATE OVERHEAD UTILITY POLE AND LINE RELOCATIONS WITH THE APPROPRIATE UTILITY PROVIDER.
5. ANY EXISTING GAS, SANITARY SEWER, AND WATER LATERALS TO BE ABANDONED SHALL BE DONE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
6. NO LAND DISTURBANCE OUTSIDE THE LIMITS OF CONSTRUCTION IS TO TAKE PLACE UNTIL AUTHORIZED BY THE CITY OF RICHMOND INSPECTOR.
7. EXISTING FEATURES TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE RESTORED / REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
8. IF EXISTING GAS AND WATER METERS ARE DISCOVERED THAT ARE NOT TO BE RE-USED, CONTACT DPU TO COORDINATE THE ABANDONMENT OF THE METER AND / OR VAULT.
9. EXISTING HYDRANTS SCHEDULED FOR REMOVAL ARE TO BE SALVAGED AND RETURNED TO CITY DPU. COORDINATE WITH CITY DPU.
10. IF EXISTING SEWER LATERALS ARE DISCOVERED WHICH ARE NOT TO BE RE-USED, THE LATERAL SHALL BE PLUGGED AT BOTH ENDS USING A TRENCHLESS METHOD AND THEN FILLED.
11. IF EXISTING GAS AND WATER SERVICE LINES ARE DISCOVERED WHICH ARE NOT TO BE RE-USED, THE PIPES SHALL BE PLUGGED AT BOTH ENDS USING A TRENCHLESS METHOD AND THEN FILLED. COORDINATE WITH CITY DPU.
12. CONTRACTOR SHALL TAKE SPECIAL CARE WHEN WORKING AROUND SEWERS THAT ARE TO REMAIN TO AVOID DAMAGING THE UTILITY.
13. WHEN CURBING IS DEMOLISHED, THE EXISTING ASPHALT WITHIN THE WHOLE ADJACENT STREET LANE SHALL BE MILLED AND OVERLAYED.
14. A WISP/SEWER PERMIT WILL BE REQUIRED FOR SEWER LATERAL ABANDONMENT TO ENSURE DPU INSPECTION.
15. IF ANY UTILITIES ARE DISCOVERED THAT ARE NOT SHOWN ON THE DRAWINGS, CONFIRM THE UTILITY IS NOT ACTIVE PRIOR TO ABANDONMENT / REMOVAL. NOTIFY THE ENGINEER IF THERE IS A CONFLICT.



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03/25/2021	4th SUP SUBMITTAL - REVISED PER CITY COMMENTS

DATE: 11/18/2020
DRAWN BY: C. JOHNSON
DESIGNED BY: C. NELSON
CHECKED BY: A. WEHUNT

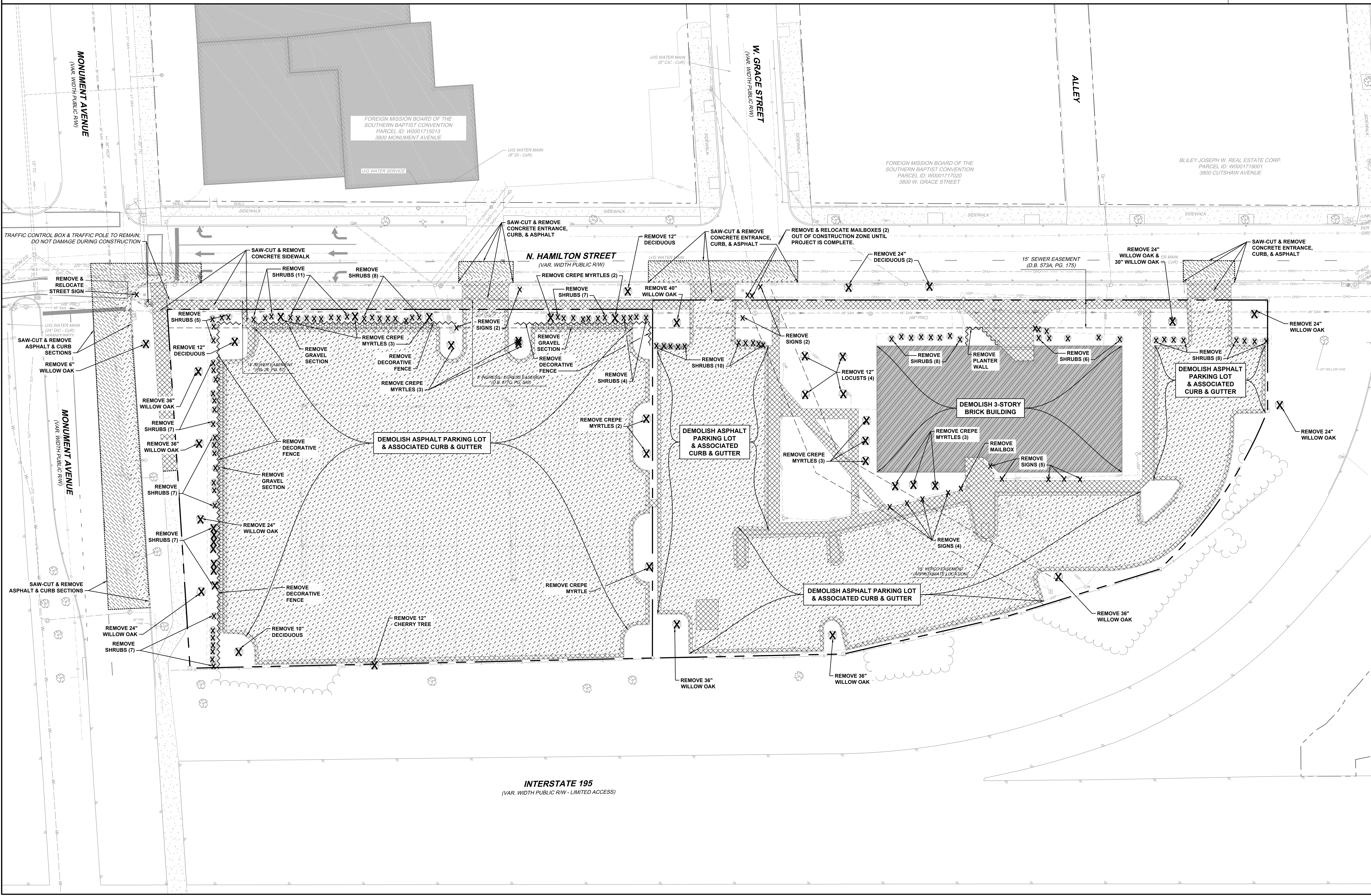
SCALE: 1" = 20'

TIMMONS GROUP

3700 MONUMENT AVENUE
FAR WEST DISTRICT - CITY OF RICHMOND - VIRGINIA

SITE DEMOLITION PLAN

JOB NO. 46889
SHEET NO. C2.00



INTERSTATE 195
(VAR. WIDTH PUBLIC RW - LIMITED ACCESS)

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DEMOLITION LEGEND

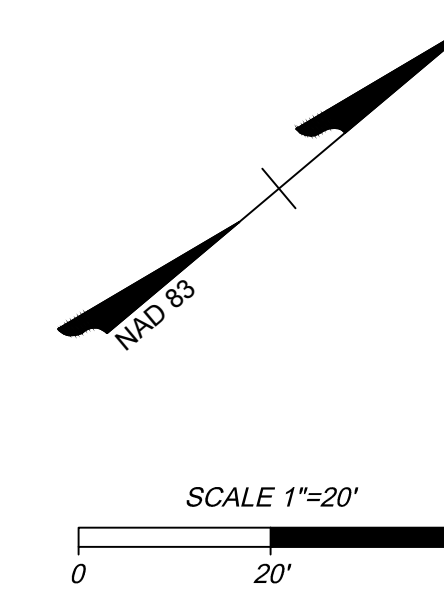
- ⊗ DEMOLISH UTILITY STRUCTURES
- REMOVE OVERHEAD UTILITY LINES
- CAP / PLUG UTILITY LINE w/MECH. JOINT
- DEMOLISH UNDERGROUND UTILITY LINE / PIPE
- ABANDON & FILL UTILITY PIPE w/CONTROLLED LOW STRENGTH MATERIAL (CLSM)

UTILITY DEMOLITION NOTE KEY:

- 1 UTILITY POLE REMOVAL WORK TO BE PERFORMED IN ACCORDANCE w/THE UTILITY PROS RELOCATION DRAWINGS, COORDINATED w/UTILITY PROS & THE APPROPRIATE UTILITY PROVIDER.
- 2 UTILITY POLE TO REMAIN IN ACCORDANCE w/THE UTILITY PROS RELOCATION DRAWINGS, COORDINATED w/UTILITY PROS & THE APPROPRIATE UTILITY PROVIDER.
- 3 CAP & ABANDON GAS / WATER SERVICE LINES AT MAIN UPSTREAM OF EXISTING TIE IN POINT. COORDINATE w/CITY OF RICHMOND DPU.

DEMOLITION PLAN NOTES:

1. A PRE-CONSTRUCTION MEETING IS MANDATORY BEFORE ANY WORK IS DONE AT THE SITE. CONTACT THE CITY OF RICHMOND INSPECTOR, AS WELL AS THE PROJECT ENGINEER, COORDINATE WITH THE EROSION AND SEDIMENT CONTROL PLAN AND ITS RESPECTIVE SEQUENCING.
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12. CONTRACTOR SHALL TAKE SPECIAL CARE WHEN WORKING AROUND SEWERS THAT ARE TO REMAIN TO AVOID DAMAGING THE UTILITY.
13. WHEN CURBING IS DEMOLISHED, THE EXISTING ASPHALT WITHIN THE WHOLE ADJACENT STREET LANE SHALL BE MILLED AND OVERLAYED.
14. A WISPSSEWER PERMIT WILL BE REQUIRED FOR SEWER LATERAL ABANDONMENT TO ENSURE DPU INSPECTION.
15. IF ANY UTILITIES ARE DISCOVERED THAT ARE NOT SHOWN ON THE DRAWINGS, CONFIRM THE UTILITY IS NOT ACTIVE PRIOR TO ABANDONMENT / REMOVAL. NOTIFY THE ENGINEER IF THERE IS A CONFLICT.



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DATE
11/18/2020

DRAWN BY
C. JOHNSON

DESIGNED BY
C. NELSON

CHECKED BY
A. WEHUNT

SCALE
1" = 20'

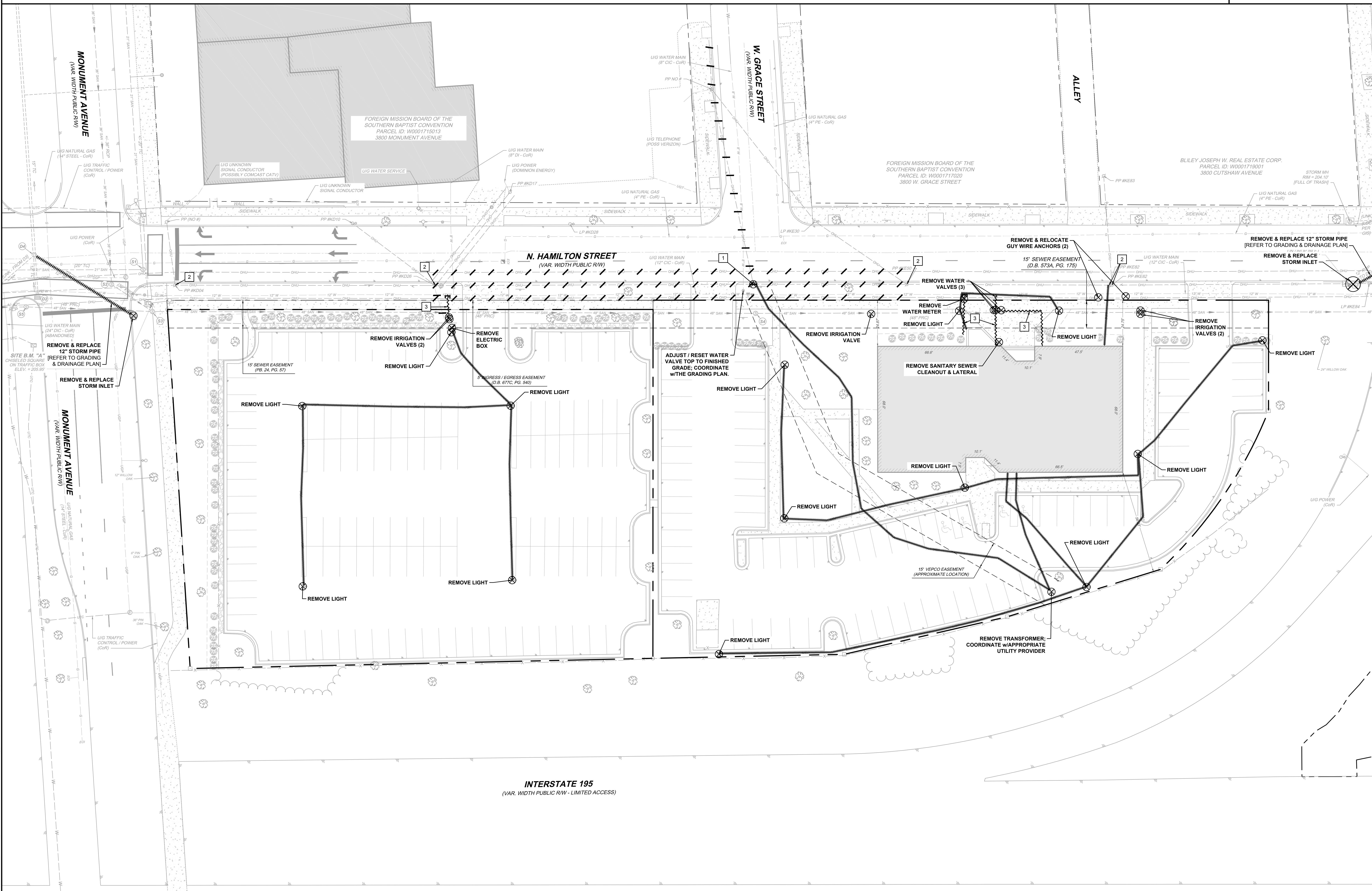
TIMMONS GROUP

3700 MONUMENT AVENUE
FAR WEST DISTRICT - CITY OF RICHMOND - VIRGINIA
UTILITY DEMOLITION PLAN

JOB NO.
46889

SHEET NO.
C2.10

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INTERSTATE 195
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SITE LAYOUT NOTES:

- REFER TO LANDSCAPE SHEETS FOR LANDSCAPING & LIGHTING PLANS & DETAILS.
- ALL DIMENSIONS ARE FROM THE FACE OF CURB, UNLESS NOTED OTHERWISE.

ARCHITECTURAL BUILDING BACKGROUND DATE: 3/24/2021

PAVEMENT MARKING NOTES:

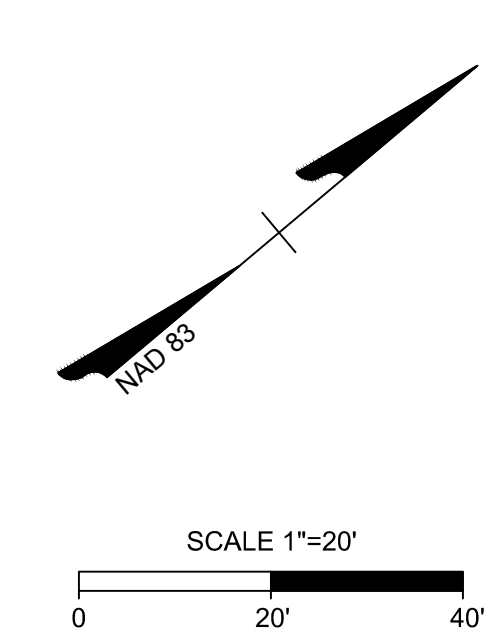
- ALL PERMANENT MARKINGS SHALL BE TYPE B, CLASS I UNLESS OTHERWISE DIRECTED BY VDOT TRAFFIC ENGINEERING.
- ALL PAVEMENT MARKINGS MUST HAVE A PERSON w/A PAVEMENT MARKING CERTIFICATION, ISSUED BY THE VDOT MATERIALS DIVISION, ON SITE DURING PAVEMENT MARKING OPERATIONS. A COMPLETED CERTIFIED DELIVERY TICKET & A C-85 MUST BE SUBMITTED TO THE VDOT RESIDENCY PERMIT INSPECTOR.

SITE LAYOUT NOTE KEY

- | | |
|----|-------------------------------------------------------------------------|
| 1 | 8" CONCRETE CURB (CoR STD. RGM-CD-01) |
| 2 | CoR CONCRETE SIDEWALK (CoR STD. RGM-CD-04) |
| 3 | OVER-THE-SIDEWALK URBAN STYLE ENTRANCE APRON (VDOT MOD. CG-8D) |
| 4 | BIKE RACK FOR SHORT TERM BICYCLE STORAGE (N = # OF RACKS) |
| 5 | 24" STOP BAR |
| 6 | STOP SIGN (MUTCD STD. R1-1) |
| 7 | LEFT TURN ONLY (MUTCD STD. R3-1) |
| 8 | ADA ACCESS RAMP w/TRUNCATED DOME WARNING SURFACE (VDOT CG-12, TYPE "A") |
| 9 | PET WASTE STATION |
| 10 | DECORATIVE FENCING / GATE |
| 11 | BRICK PILLAR |

LAYOUT HATCH LEGEND

- | | | | |
|-----------------|-----------------------------------------------------|-----------------|----------------------------------------------------------------|
| [Hatch Pattern] | EXTENTS OF BUILDING AT GRADE (REFER TO ARCH. PLANS) | [Hatch Pattern] | CONCRETE SIDEWALK PAVEMENT SECTION |
| [Hatch Pattern] | EXTENTS OF BUILDING OVERHEAD (REFER TO ARCH. PLANS) | [Hatch Pattern] | HEAVY DUTY CONCRETE PAVEMENT SECTION |
| [Hatch Pattern] | BUILDING PORCH / BALCONY (REFER TO ARCH. PLANS) | [Hatch Pattern] | MILL & OVERLAY PAVEMENT SECTION |
| [Hatch Pattern] | HEAVY DUTY ASPHALT PAVEMENT SECTION | [Hatch Pattern] | TRENCH CUT RESTORATION FOR GENERAL UTILITY STREET WORK SECTION |



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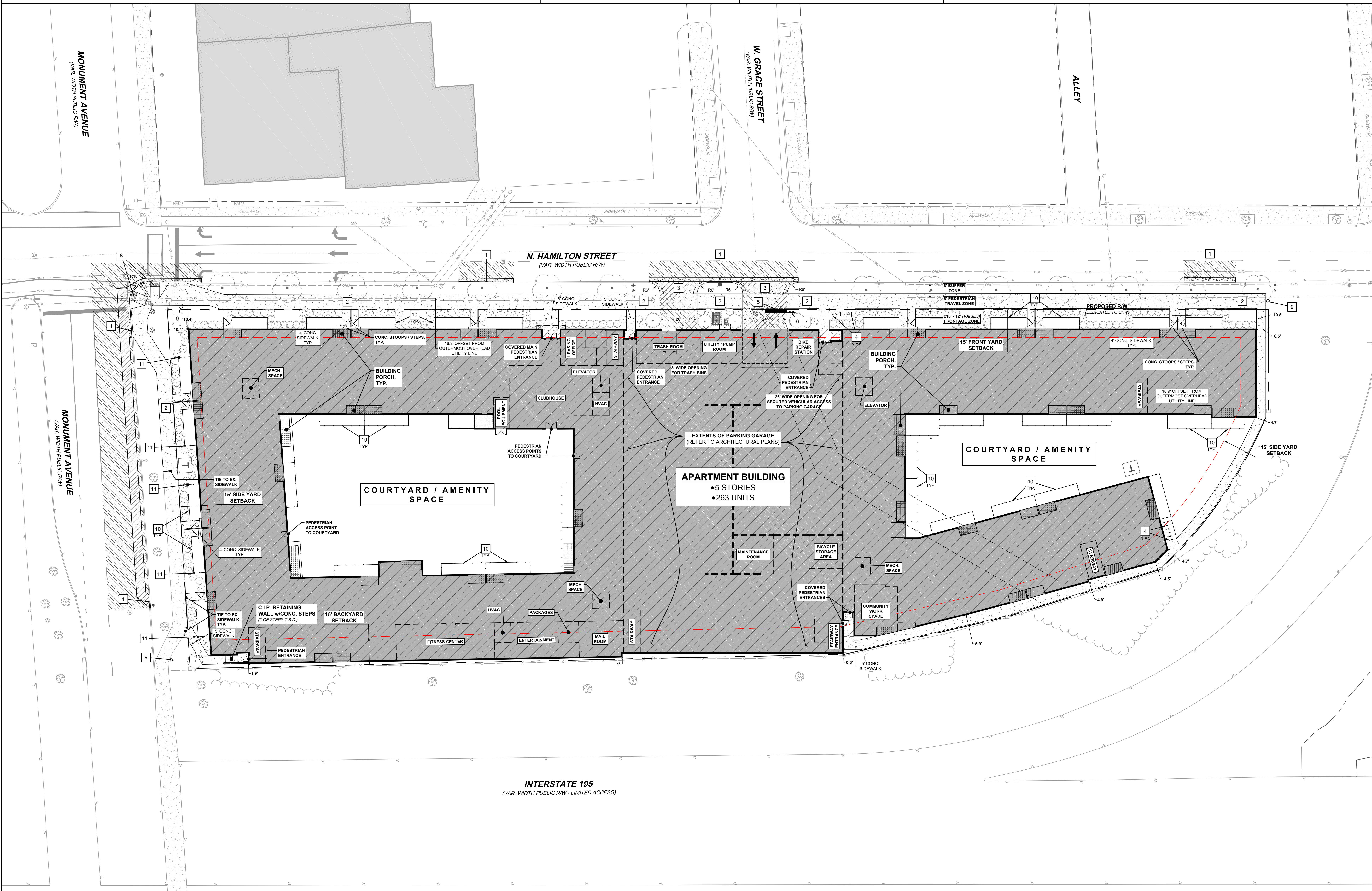
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3700 MONUMENT AVENUE
FAR WEST DISTRICT - CITY OF RICHMOND - VIRGINIA

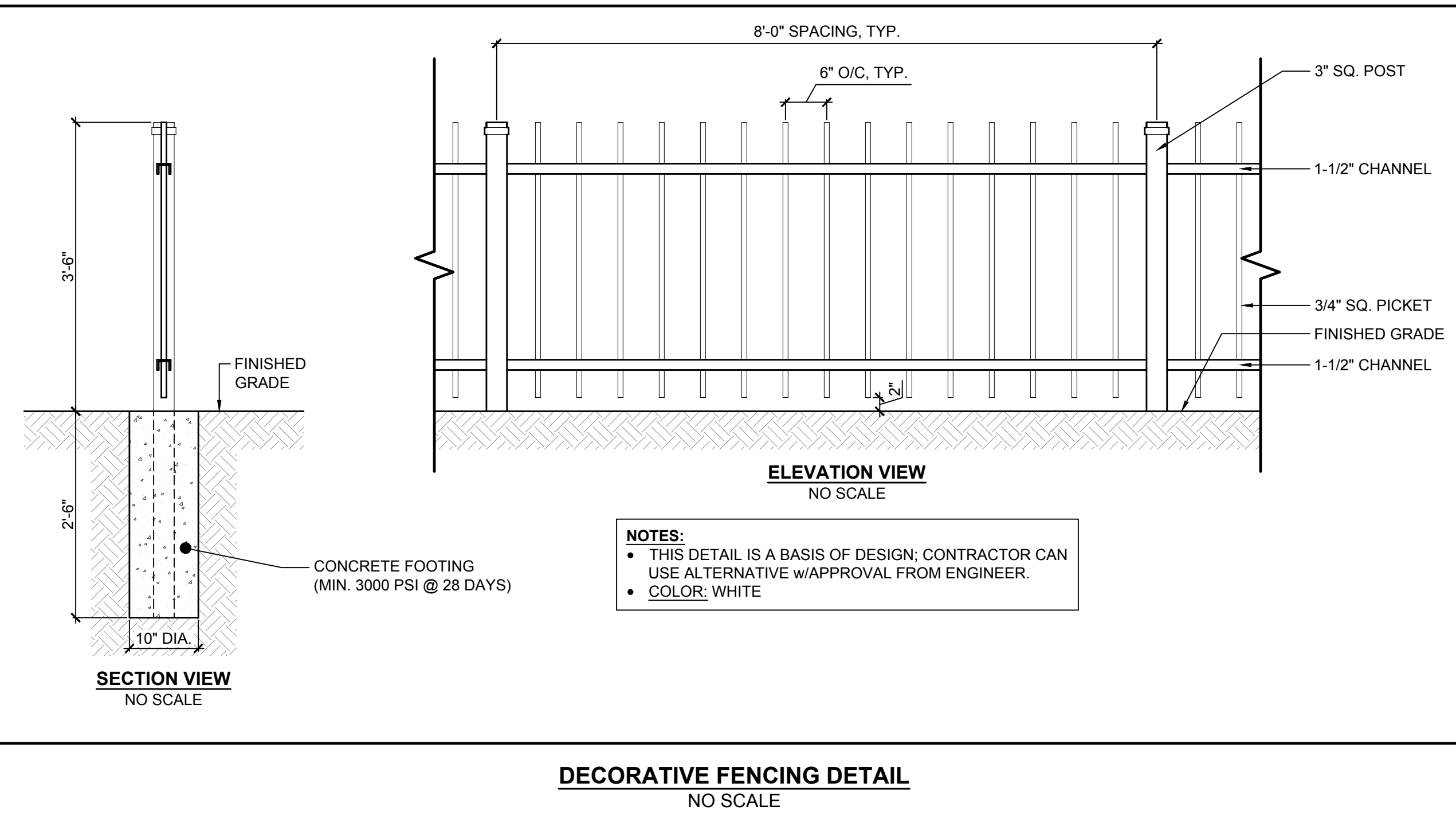
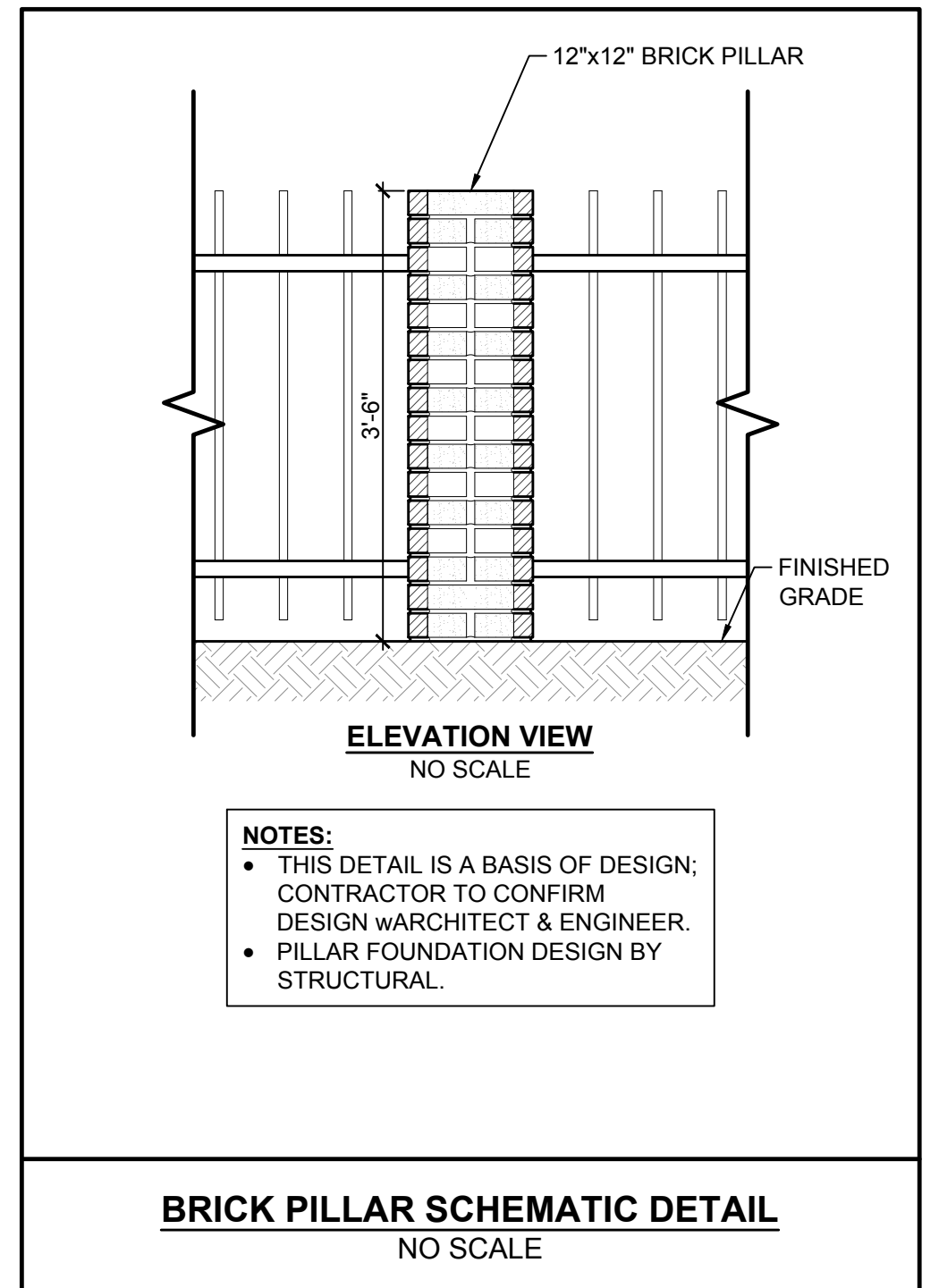
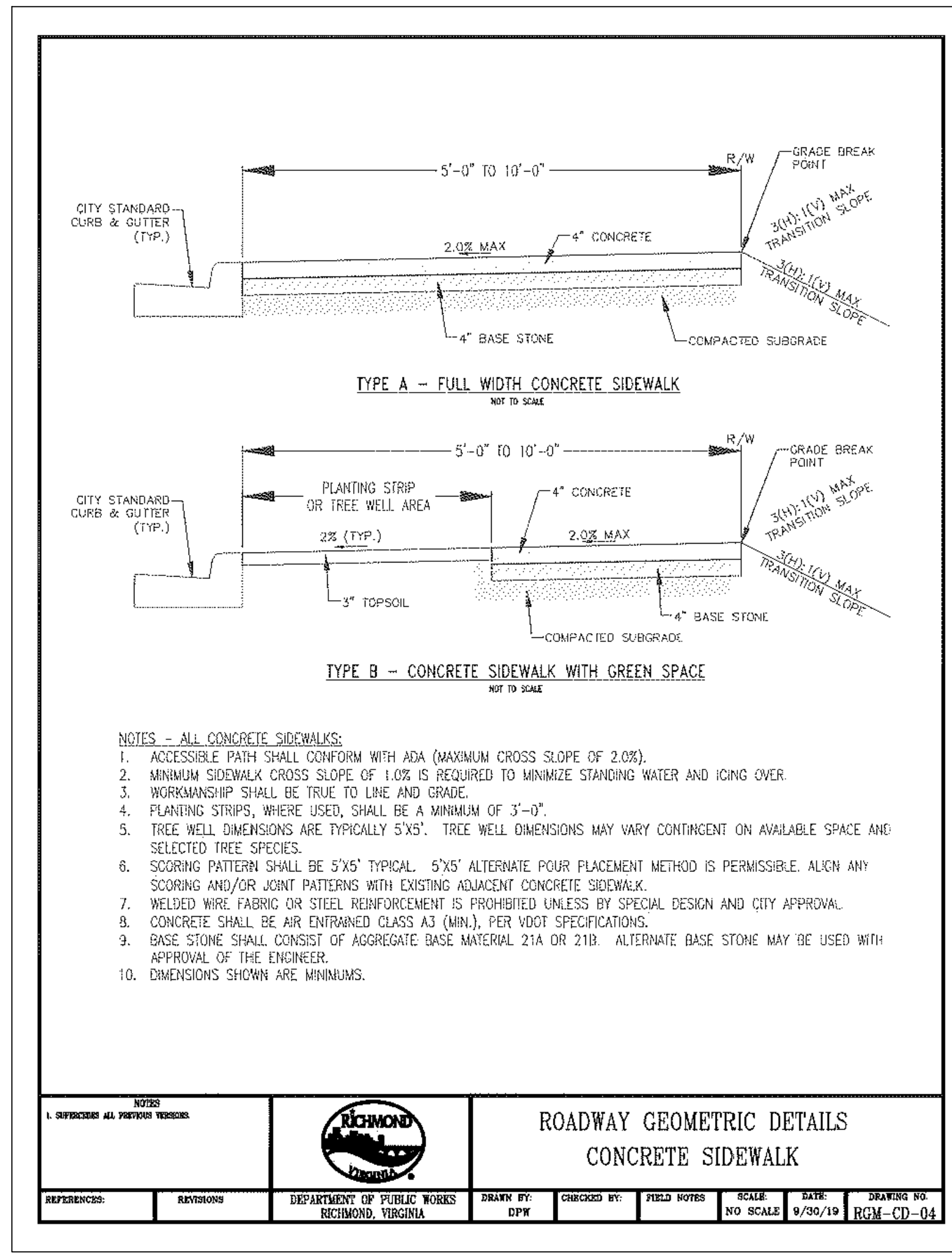
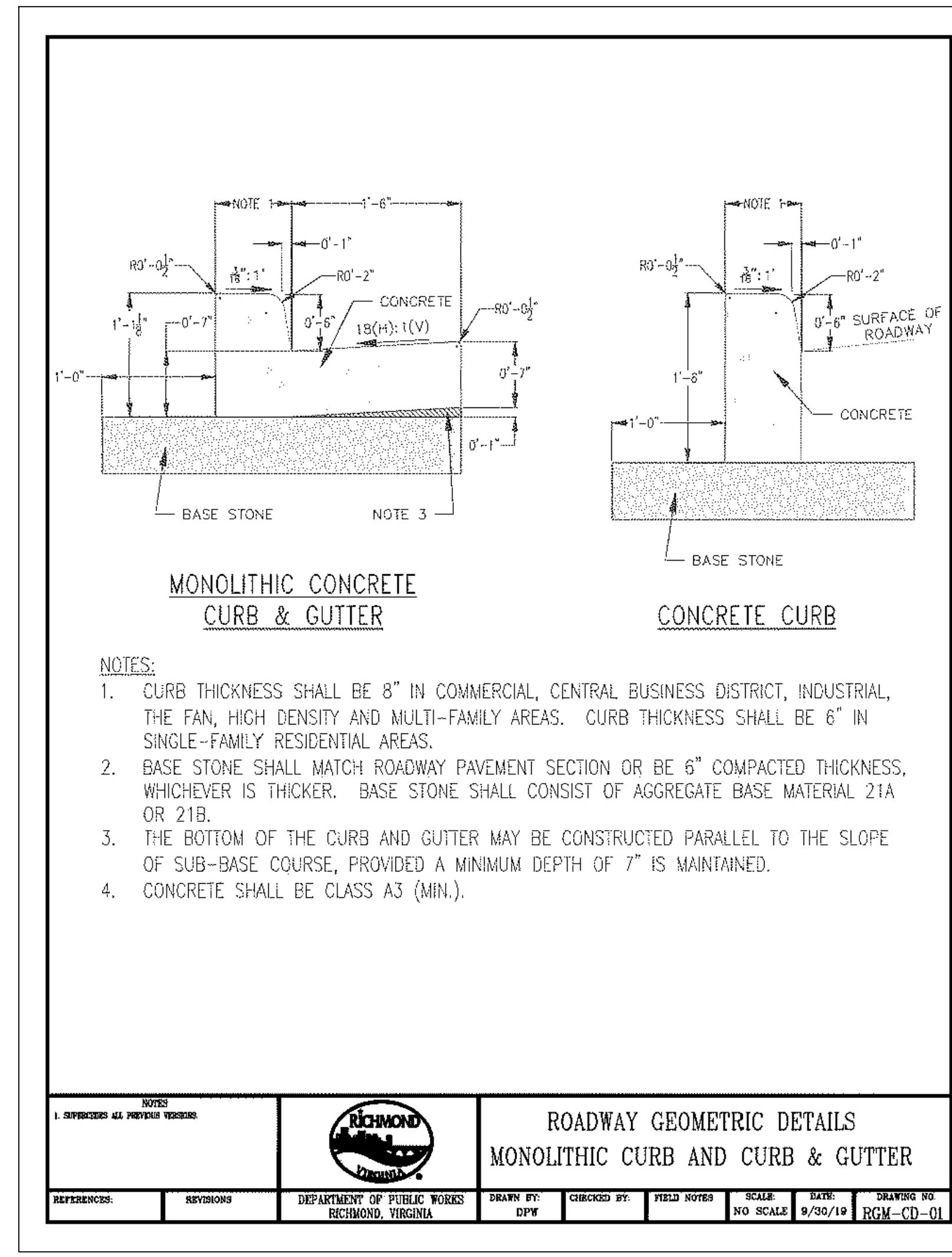
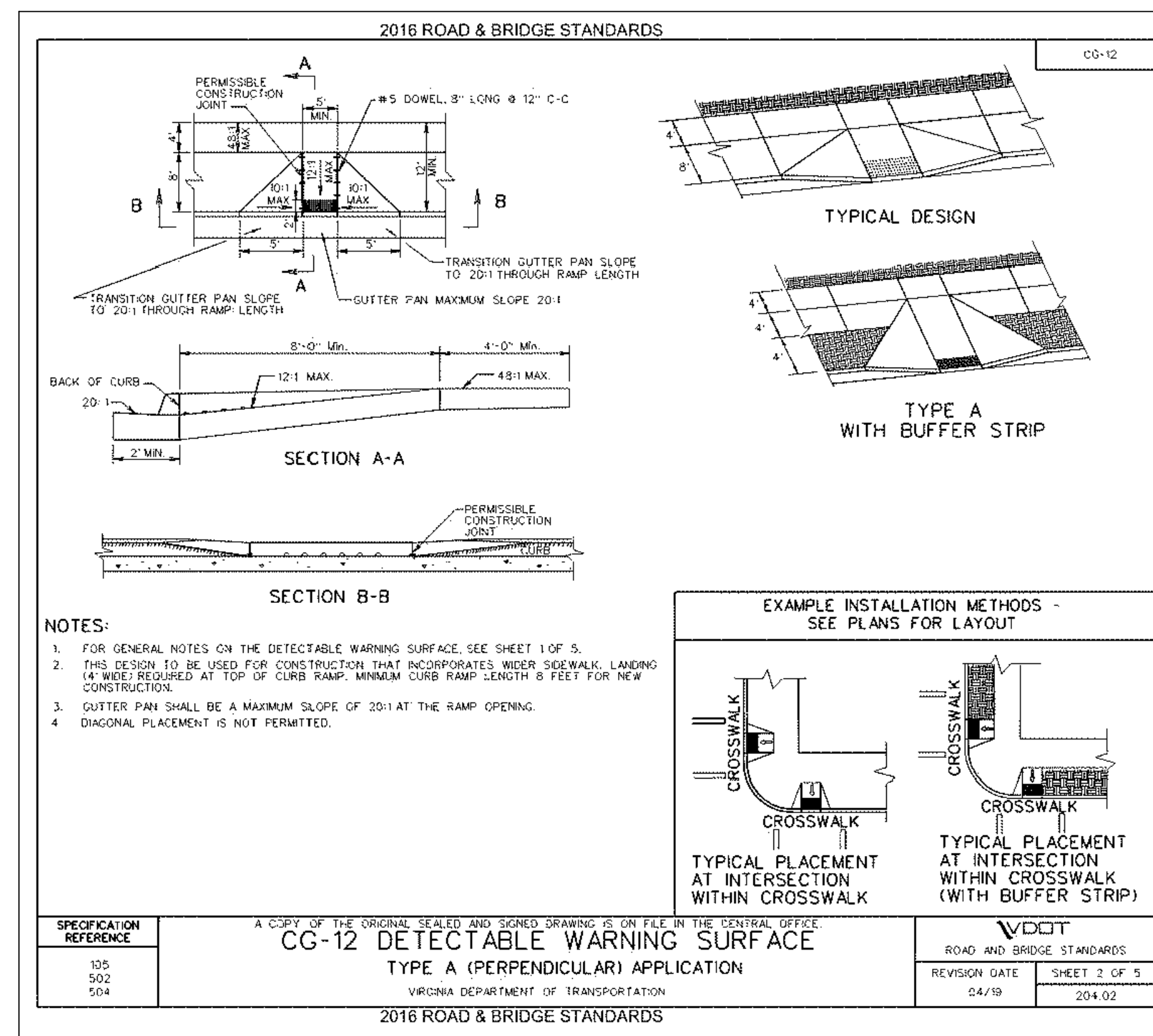
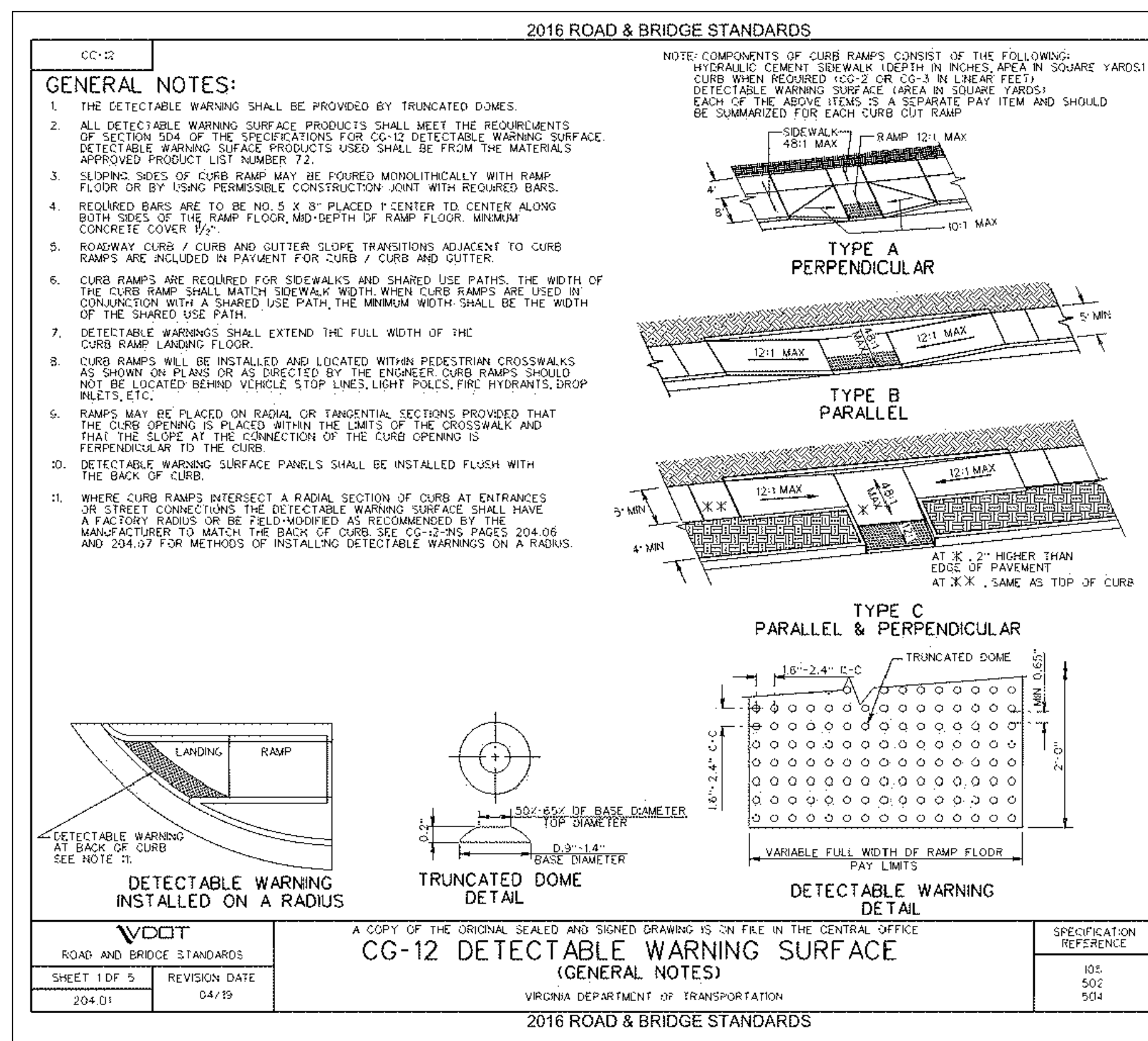
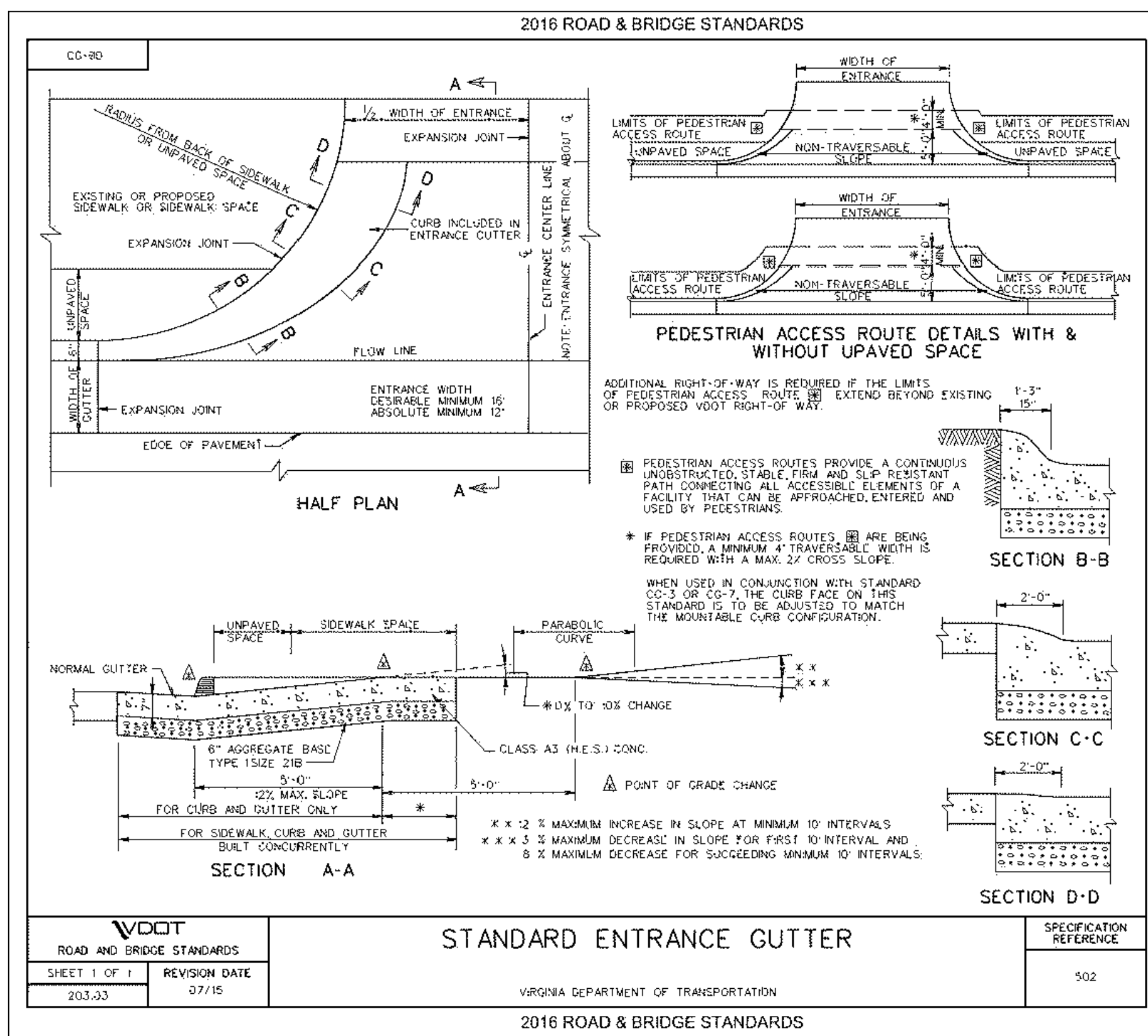
SITE LAYOUT PLAN

JOB NO. 46889
SHEET NO. C4.00



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STANDARD REQUIREMENTS FOR REPAVING UTILITY REPAIRS

1. Street cuts in City right away are required to follow the following steps to repair all patches in accordance with the following requirements and as shown in attachment PAV-2, PAV-2-A, PAV-2-B, and PAV-2-C for the following utility cuts: water/wastewater/sewer/gas/communication electrical trenches.

a. All sides shall be saw cut to neat straight line and approved tack coat shall be applied at a rate of 0.1 gallon per square yard before placing the plant mix.

b. PAV-2 requirements are as follows (See Attached)

c. Install PB-1 Pipe Bedding No. 25, 26, or 57 stone per VDOT standard or an approved equal.

d. Backfill remaining trench with Type 1, Size 21-A or 21-B stone compacted to 95% theoretical maximum density (Standard Proctor).

e. Eight (8") inches BM-25 minimum or install per typical road section if greater, with a minimum of a one (1) foot bench on each side of trench. The 21-A stone sub-base shall be installed from the bottom of the repair to within 10" of final restoration. If an existing road surface has less than two (2") inches with no sub-base, the standard for restoring the roadway shall apply to all city streets.

f. For Transverse Cuts, for Arterial Street mill two (2) inches in depth from center line of trench twenty five (25) feet in both directions and overlay area with two (2) inches of SM-9.5D type asphalt to match existing cross section. For Local and Collector Streets mill a coat of fifteen (15") feet with the trench located in the middle of the milled area.

g. The 25' in both directions of the trench for Arterial Streets and the fifteen (15') feet for Local and Collector Streets allows the City to create a smooth transition along the roadway. The 3000 ADT (Average Daily Traffic) is a VDOT standard for their roadways and 25% of the City of Richmond roadways meet these VDOT standards. This requirement shall apply to all of City of Richmond roadways to insure a smooth riding surface.

h. In the event of multiple cuts and the distance between milled areas being twenty (20) feet or less, this area is to be included with restoration of the utility repair.

i. For Longitudinal Cuts, mill two (2) inches in depth from edge of pavement or edge of travel lane to center line of roadway and overlay with two (2) inches of SM-9.5D for the entire length of cut. (This is referencing the travel lane that the cut was made in)

j. When Longitudinal cuts are within two (2) feet of center line of roadway, entire roadway will be milled two (2) inches in depth from edge of pavement to edge of pavement and overlay with two (2) inches of SM-9.5D. (This is referencing the travel lane that the cut was made in.)

k. In the event when the 2" milling is performed to create the smooth transition on the existing roadway and the roadway has insufficient asphalt depth, the segment with insufficient asphalt depth will be milled a total of 14" four inches and install (2.5") two and half inches of BM-25 asphalt and 1 1/2" one and half inches of SM-9.5D asphalt. This would apply in all insufficient areas including all transverse cuts and longitudinal cuts.

l. Attachment 1A : Shows in detail what is to be expected for the repair of Transverse Utility Cuts and Longitudinal Utility Cuts

All asphalt repairs will be checked with a twelve (12) foot straight edge to assure a smooth transition from existing pavement to new pavement.

c. All backfilling, compacting, and inspection reporting shall comply with the SOP labeled Backfill and Compaction of Utility Trenches within the Public Right of Way.

d. The responsible party for any street cuts in City right away will be responsible for any depression greater than 1/4" that occurs within the one (1) to three (3) year of completion of patching. Correction shall consist of milling and replacing two (2") inches of surface course mix (SM) for the entire area of repair. In the event any depression is greater than one and half inches, the failure will be evaluated by the Paving Engineer for the proper repair.

(The City streets that have documented compaction testing performed would have the one-year warranty period requirement, and the City streets without documented compaction test would require a three-year warranty period.)

If the depression occurs, the entire area will have to be repaired and repaved to provide a smooth riding surface.

e. Replacement of all asphalt shall be rolled where possible, with a vibratory roller having a manufacturer's rating of five (5) tons and rolled until the aggregate is keyed into the bituminous layer. Where rolling is not possible, a mechanical tamper will be used. If the application of the bituminous layer is delayed for adverse weather conditions, the contractor shall provide and maintain a base course that is acceptable to the City of Richmond, Department of Public Works, until such time as the appropriate pavement patch can be applied and completion of the installation of the gas, water, sewer, electric, and communication lines. Contractor shall restore pavement in the manner prescribed within 10 calendar days, weather permitting.

f. When final two (2) inch layer of SM-9.5D is to be placed on roadway which has been milled, the contractor shall use a bituminous paver with electronically controlled screed to insure a smooth riding surface. Once final surface is installed, the grade will be checked with a twelve (12) foot straight edge on the finished paved surface. When grade is out of tolerance one quarter (1/4) of an inch or more, the final surface will be corrected to meet Department of Public Works' Paving and Restoration Standards for all underground utility cuts.

g. Final compaction of the top two (2) inches of SM-9.5D will be performed using a five (5) ton vibratory roller at a minimum.

h. All damages to existing road(s) caused by the responsible party will be restored to the satisfaction of the City of Richmond's Paving Engineer.

i. Permitting shall notify the City of Richmond, DPW Inspector, a minimum of 72 hours prior to open cutting any streets in the City of Richmond. (This does not apply to emergency repairs; Department of Public Works needs to be notified within 24 hours of the location of all emergency utility repairs)

j. At no time shall the contractor park equipment to protect the excavation. Protection of an excavation is either by backfilling the hole or the use of steel plates.

k. All Excavations or Open Cuts shall comply with OSHA Technical Manual, Chapter 2, Titled Excavations: Hazard Recognition in Trenching and Shoring.

2. Cuts for manhole adjustment

a. Minimum cut for Manhole Casting adjustment will be five (5) foot by five (5) foot cut and adjust manhole to +/- one quarter (1/4) inch of final pavement grade.

b. Eight (6) inches BM-25 minimum or install per typical road section if greater, with a minimum of a one (1) foot bench on each side of trench with two (2) inches of SM material to meet existing final grade. Once final course is installed, grade will be checked with a twelve foot straight edge for smoothness. (The 1 foot bench is referencing milling around the street cut one (1) foot on the outside edge of the street cut to prevent the infiltration of water at the joint)

3. Cuts for valve boxes

a. Minimum cut for Valve Box adjustment will be a three (3) foot by three (3) foot cut and adjust valve box to +/- one quarter (1/4) inch of final pavement grade.

b. Six (6) inches BM-25 minimum or install per typical road section if greater, with a minimum of a one (1) foot bench on each side of trench with two (2) inches of SM material to meet existing final grade. Once final course is installed, grade will be checked with a twelve foot straight edge for smoothness.

SUP SUBMITTAL NOT FOR CONSTRUCTION

PLAN DATE: 03/25/2021

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03/09/2021	3rd SUP SUBMITTAL - REVISED PER CITY COMMENTS
03/25/2021	4th SUP SUBMITTAL - REVISED PER CITY COMMENTS

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DATE 11/18/2020
DRAWN BY C. JOHNSON
DESIGNED BY C. NELSON
CHECKED BY A. WEHUNT
SCALE N.T.S.

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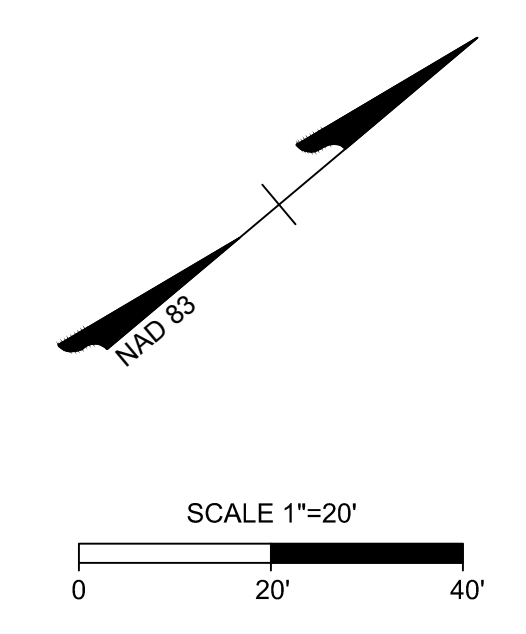
3700 MONUMENT AVENUE
FAR WEST DISTRICT - CITY OF RICHMOND - VIRGINIA

LAYOUT NOTES & DETAILS

JOB NO. 46889
SHEET NO. C4.20

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GENERAL UTILITY NOTES:

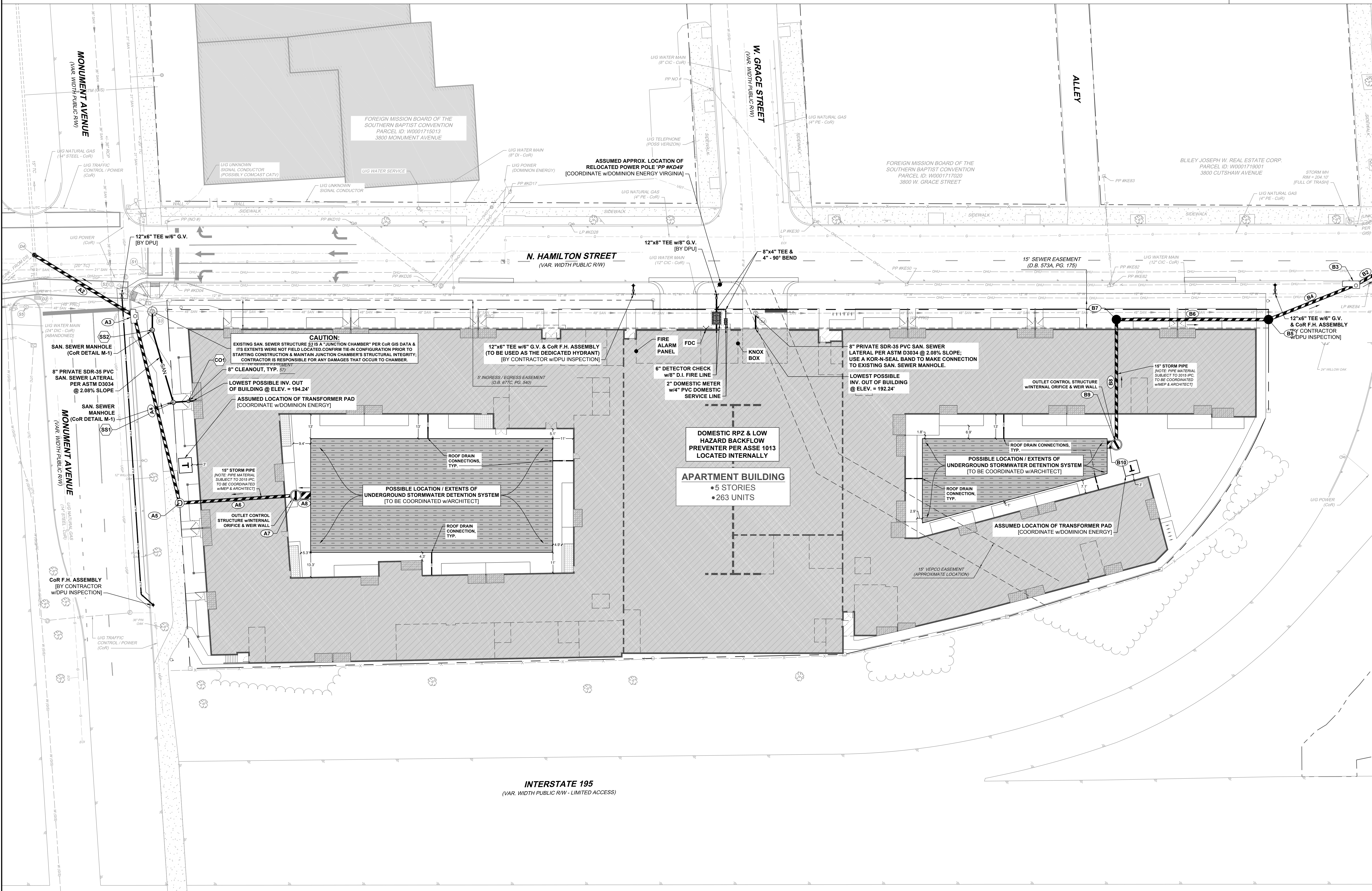
1. ALL WORK IN THE RIGHT-OF-WAY IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT CITY OF RICHMOND STANDARDS FOR EXCAVATION AND RESTORATION.
2. CONTRACTOR SHALL NOTIFY THE DPU INSPECTOR A MINIMUM OF 48 HOURS PRIOR TO THE START OF WORK.
3. ALL UTILITY INSTALLATIONS IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE TO THE MOST RECENT CITY OF RICHMOND WATER DISTRIBUTION SYSTEM AND SANITARY SEWER SYSTEM DESIGN GUIDELINES AND STANDARD SPECIFICATIONS AND DETAILS.
4. ALL UTILITY INSTALLATION ON PRIVATE PROPERTY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE.
5. CONTRACTOR MUST MAINTAIN GOOD EROSION CONTROL AND FLUSHING PROCEDURES.
6. CONTRACTOR IS RESPONSIBLE FOR DAMAGES TO ANY EXISTING UTILITIES THAT ARE TO REMAIN.
7. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF THERE IS A CONFLICT.
8. CONTACT "MISS UTILITY" OF CENTRAL VIRGINIA PRIOR TO THE START OF ANY EXCAVATION TO LOCATE EXISTING UTILITIES. 1-800-552-3120.
9. WATER SERVICE INSTALLATIONS MUST ADHERE TO THE CITY OF RICHMOND CROSS CONNECTION CONTROL AND BACKFLOW PREVENTION PROGRAM.

PROPOSED UTILITY NOTES:

1. ALL SANITARY SEWER LATERALS ARE TO BE INSTALLED AT 2.08% MINIMUM, UNLESS OTHERWISE NOTED.
2. ALL BUILDING FIRE CONNECTIONS SHALL BE DUCTILE IRON PIPE.
3. ALL BUILDING DOMESTIC WATER CONNECTIONS SHALL BE PVC PIPE ASTM D2241/SDR-21 PRESSURE RATED OR APPROVED LISTED IN THE INTERNATIONAL PLUMBING CODE (IPC 2015) TABLE 605.3.
4. ALL DOMESTIC WATER SERVICE LINES SHALL BE PVC PIPE ASTM D2241/SDR-21 PRESSURE RATED OR APPROVED LISTED IN THE INTERNATIONAL PLUMBING CODE (IPC 2015) TABLE 605.3.
5. ALL PROPOSED HYDRANTS SHALL BE A MINIMUM OF 18" ABOVE EXISTING AND PROPOSED CURBING.
10. A BACKWATER VALVE SHALL BE INSTALLED ON FIXTURES LOCATED ON A FLOOR LEVEL BELOW THE TOP OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER. IF A FLOOR LEVEL IS ABOVE THE TOP OF THE NEXT UPSTREAM MANHOLE, A BACKWATER VALVE IS NOT REQUIRED. A BACKWATER VALVE SHALL NOT BE INSTALLED ON THE LATERAL UNLESS ALL FLOORS IN THE BUILDING ARE BELOW THE TOP OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER.
11. BACKFLOW PREVENTION ADEQUATE TO PROTECT THE PROPOSED IMPROVEMENTS SHALL BE PROVIDED ON ALL CONNECTIONS TO THE EXISTING PUBLIC SEWER SYSTEMS.
12. EXISTING WATER MAIN MUST REMAIN IN SERVICE TO SERVE ALL EXISTING CITY WATER CUSTOMERS.
13. IF EXISTING WATER OR SEWER LATERALS ARE DISCOVERED DURING CONSTRUCTION THEY MUST BE REMOVED.
14. WATER TAP, SERVICE LATERAL, METER AND VAULT TO BE INSTALLED BY CITY DPU.
15. MAINTAIN A MINIMUM OF 3.5' COVER ON ALL WATER SERVICE AND 5.5' MINIMUM ON SANITARY SERVICE LATERALS IN THE RIGHT OF WAY.
16. EXISTING SEWER MAIN MUST BE FREE OF CRACKS, MAJOR DEFECTS, CLOGS OR SEDIMENT BUILDUP AND BE FREE FLOWING PRIOR TO LATERAL TAPS. VERIFY PRIOR TO CONSTRUCTION.

PROPOSED UTILITY NOTES:

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03/25/2021	4th SUP SUBMITTAL - REVISED PER CITY COMMENTS

DATE	11/18/2020
DRAWN BY	C. JOHNSON
DESIGNED BY	C. NELSON
CHECKED BY	A. WEHUNT
SCALE	1" = 20'

TIMMONS GROUP

3700 MONUMENT AVENUE
FAR WEST DISTRICT - CITY OF RICHMOND - VIRGINIA

UTILITY PLAN

JOB NO.	46889
SHEET NO.	C7.00

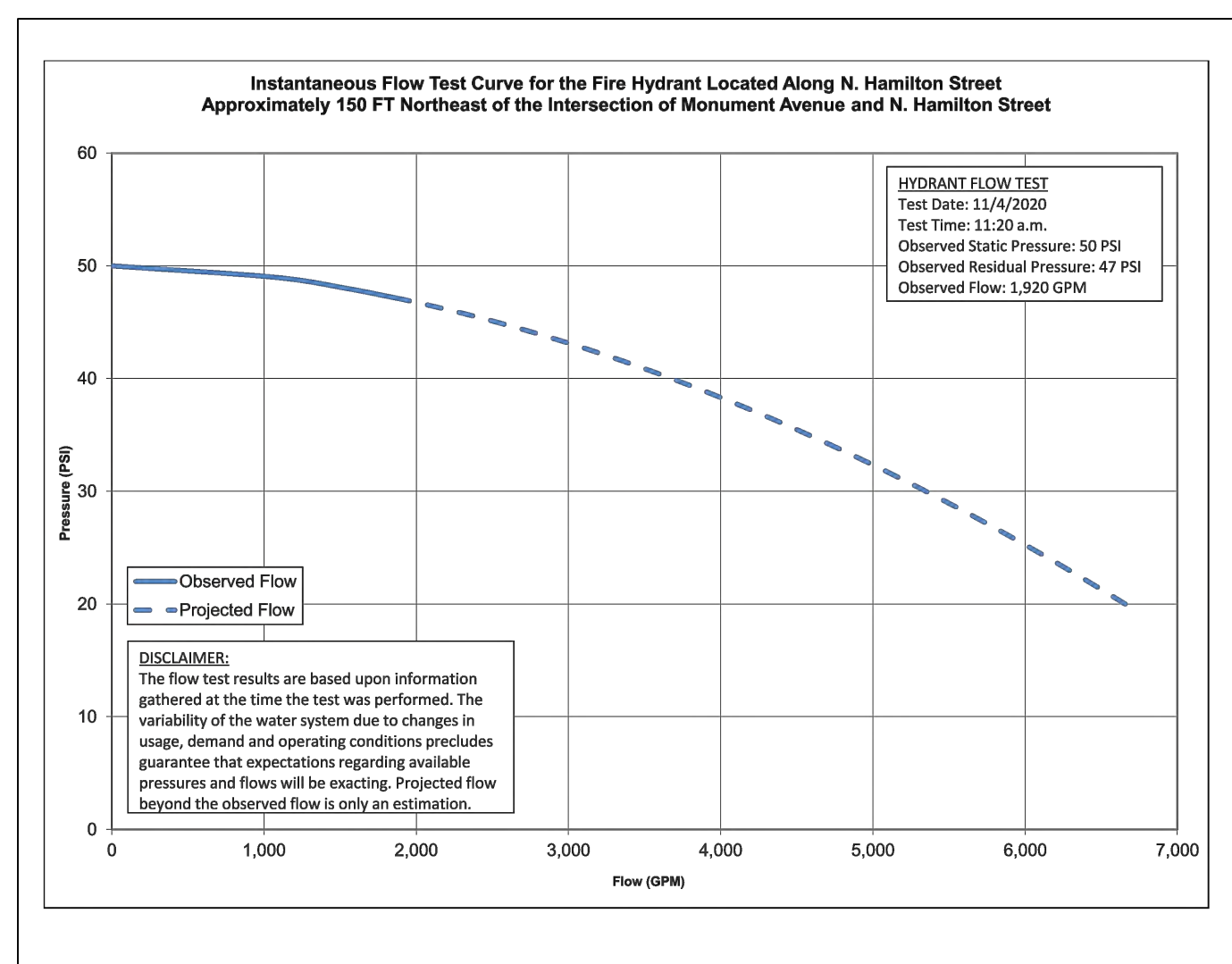
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DESIGN CRITERIA

- FLOW INFORMATION WAS OBTAINED FROM A FLOW TEST PERFORMED BY TIMMONS GROUP AND THE CITY OF RICHMOND DEPARTMENT OF PUBLIC UTILITIES ON 11/4/2020. THE FLOW TEST NODE IS THE EXISTING HYDRANT LOCATED ALONG N. HAMILTON STREET APPROXIMATELY 150 FT NORTHEAST OF THE INTERSECTION OF MONUMENT AVENUE AND N. HAMILTON STREET. THE AVAILABLE FLOW CURVE IS SHOWN ON THIS SHEET.
- SYSTEM FLOW IS REPRESENTED AT H-1 IN THE INCLUDED WATER MODEL LAYOUT.
- THIS WATER MODEL WAS PERFORMED TO EVALUATE AVAILABLE PRESSURE AND FLOW BASED ON THE INCLUDED WATER MODEL LAYOUT AND FLOW DEMAND CRITERIA.
- ALL WATERLINES WERE MODELED WITH THE FOLLOWING HAZEN-WILLIAMS ROUGHNESS COEFFICIENTS.
 - EXISTING PIPES < 12" = 100
 - EXISTING PIPES ≥ 12" = 110
 - NEW PIPES = 120
- THE WATER MODEL LAYOUT IS BASED ON INFORMATION (SURVEY AND SITE LAYOUT) PROVIDED BY TIMMONS GROUP.
- THE PROPOSED SYSTEM MUST MAINTAIN A MINIMUM RESIDUAL PRESSURE OF 35 PSI FOR ALL DOMESTIC SCENARIOS AND A MINIMUM RESIDUAL PRESSURE OF 20 PSI FOR ALL FIRE SCENARIOS.
- GENERAL PURPOSE VALVES:
 - GPV-1 = 2" BADGER M170 DISK METER
 - GPV-2 = 6" MUELLER EDCIV SINGLE CHECK DETECTOR ASSEMBLY (SCDA)

AVAILABLE FLOW CURVE



FLOW DEMAND CRITERIA

- AVERAGE DAILY DEMAND:
 - APARTMENT BUILDING:
 - TOTAL UNITS = 268
 - FLOW FACTOR = 300 GPD / UNIT
 - TOTAL DEMAND = 80,400 GPD
 - DURATION = 24 HOURS
 - AVERAGE DAILY DEMAND = 55.8 GPM AT J-4
- MAXIMUM DAILY DEMAND = AVERAGE DAILY DEMAND X 1.75
- MAXIMUM HOURLY DEMAND = AVERAGE DAILY DEMAND X 2.75
- SPRINKLER DEMAND = 800 GPM (ASSUMED) AT J-5
- SPRINKLER DEMAND WAS NOT AVAILABLE AT THE TIME OF THIS ANALYSIS. PIPE AND APPURTENANCE SIZING IS BASED ON THE ASSUMED DEMAND. PIPE SIZING, APPURTENANCE SIZING AND RESIDUAL PRESSURE RESULTS MUST BE REEVALUATED WHEN THE DEMAND REQUIREMENTS ARE KNOWN.
- ISO DEMAND = 3,500 GPM
- HYDRANTS SELECTED BASED ON LOWEST RESIDUAL PRESSURES DURING FIRE FLOW SCENARIO.
 - SEE ISO FIRE FLOW FORM SUBMITTED UNDER SEPARATE COVER.
 - H-2 = 875 GPM
 - H-3 = 875 GPM
 - H-4 = 875 GPM
 - H-5 = 875 GPM

CONCLUSION

- BASED ON THE INFORMATION PROVIDED, THE PROPOSED SYSTEM IS ADEQUATE TO MEET THE MINIMUM RESIDUAL PRESSURE REQUIREMENTS WHILE PROVIDING THE REQUIRED FLOWS FOR DOMESTIC AND FIRE SCENARIOS.
- THE RESULTS PRESENTED ARE BASED UPON INFORMATION GATHERED AT THE TIME OF THIS ANALYSIS. THE VARIABILITY OF THE WATER SYSTEM DUE TO CHANGES IN USAGE, DEMAND, OPERATING CONDITIONS, AND LAYOUT PRECLUDES GUARANTEE THAT EXPECTATIONS REGARDING AVAILABLE PRESSURES AND FLOWS WILL BE EXACTING.
- IT IS ASSUMED THAT THE OFF-SITE WATER SYSTEM HAS ADEQUATE OPERATIONAL AND PERMIT CAPACITY.

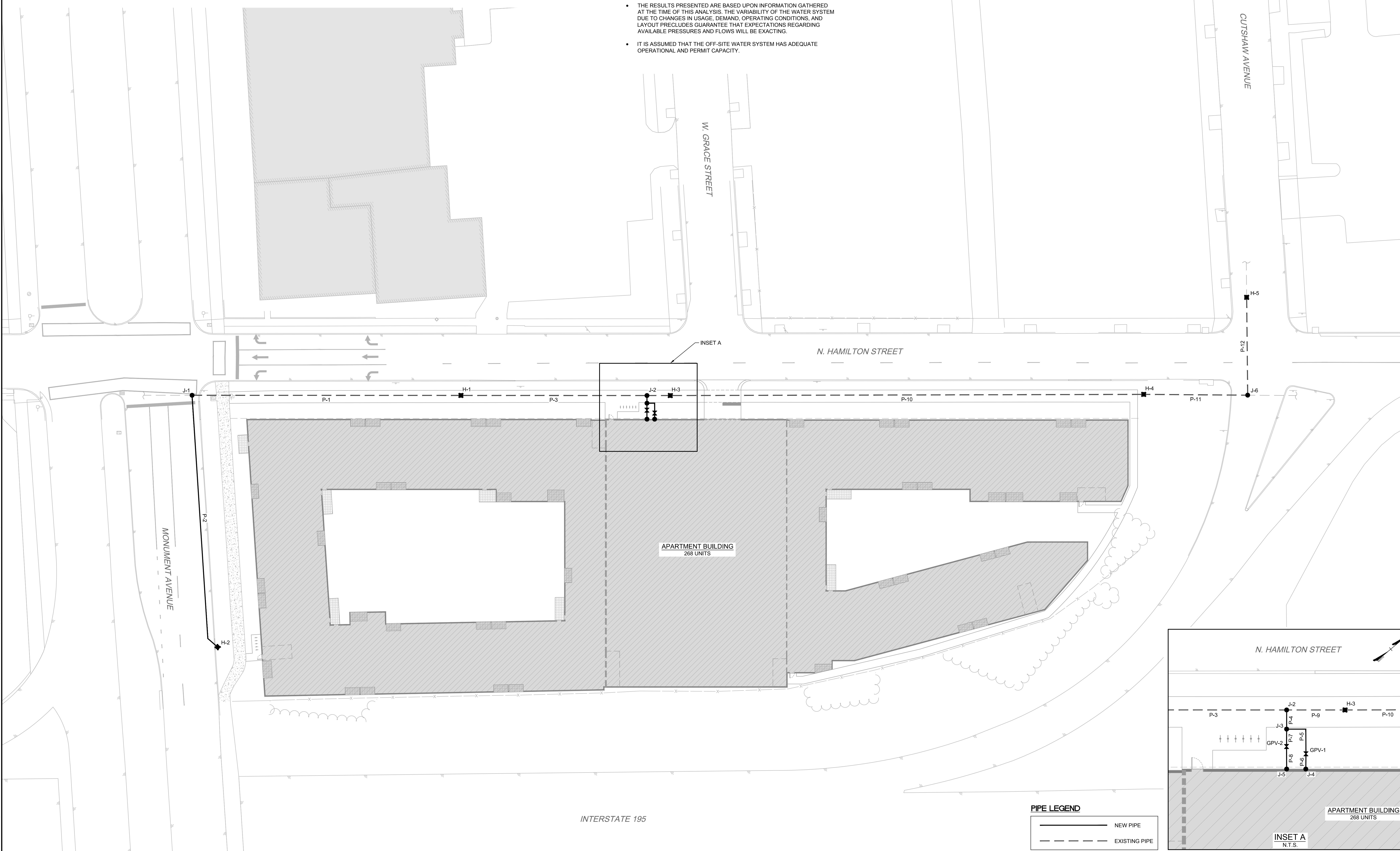
RESIDUAL PRESSURE RESULTS (PSI)

FLOW SCENARIO	JUNCTIONS										HYDRANTS				
	J-1	J-2	J-3	J-4	J-5	J-6	H-1	H-2	H-3	H-4	H-5	H-2	H-3	H-4	H-5
STATIC	205.9	206.0	206.4	206.8	207.4	203.3	205.7	209.6	205.5	204.6	203.4				
AVERAGE DAILY DEMAND (ADD)	49.9	49.8	49.7	49.5	46.6	51.0	50.0	48.3	50.1	50.4	51.0				
MAXIMUM DAILY DEMAND (MDD)	49.9	49.8	49.7	46.5	46.6	51.0	50.0	48.3	50.1	50.4	51.0				
MAXIMUM HOURLY DEMAND (MHD)	49.9	49.8	49.6	41.9	46.6	51.0	49.9	48.3	50.0	50.4	50.9				
MHD + SPRINKLER DEMAND	49.1	48.8	48.6	40.9	45.1	50.0	49.2	47.5	49.1	49.5	50.0				
MHD + ISO DEMAND	39.8	38.8	38.6	30.9	35.6	38.4	40.1	33.4	38.9	37.9	35.8				
MHD + FIRE FLOW*	--	--	--	--	--	--	--	48.8	40.6	48.6	48.6	45.6			
MINIMUM PRESSURE DURING FIRE FLOW	--	--	--	--	--	--	--	40.8	40.6	40.5	40.5	40.5			
NODE OF MINIMUM PRESSURE	--	--	--	--	--	--	--	J-4	H-2	J-4	J-4	J-4			

*FIRE FLOW = 1,000 GPM AT EACH HYDRANT, FLOWED NON-SIMULTANEOUSLY, AT SYSTEM MINIMUM RESIDUAL PRESSURE LIMIT OF 20 PSI.

PIPE REPORT

LABEL	LENGTH (FT)	DIA (IN)
P-1	175	12
P-2	188	6
P-3	121	12
P-4	5	8
P-5	11	4
P-6	4	4
P-7	5	8
P-8	6	8
P-9	15	12
P-10	309	12
P-11	68	12
P-12	64	6



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PLAN DATE: 11/13/2020

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REVISION DESCRIPTION	DATE
	11/13/2020

DRAWN BY
S. HARVEY

DESIGNED BY
S. HARVEY

CHECKED BY
B. STRICKLAND

SCALE
N.T.S.

TIMMONS GROUP

3700 MONUMENT AVENUE
FAR WEST DISTRICT - CITY OF RICHMOND - VIRGINIA

WATER SYSTEM HYDRAULIC ANALYSIS - LAYOUT

JOB NO.
46889

SHEET NO.
WM1.0

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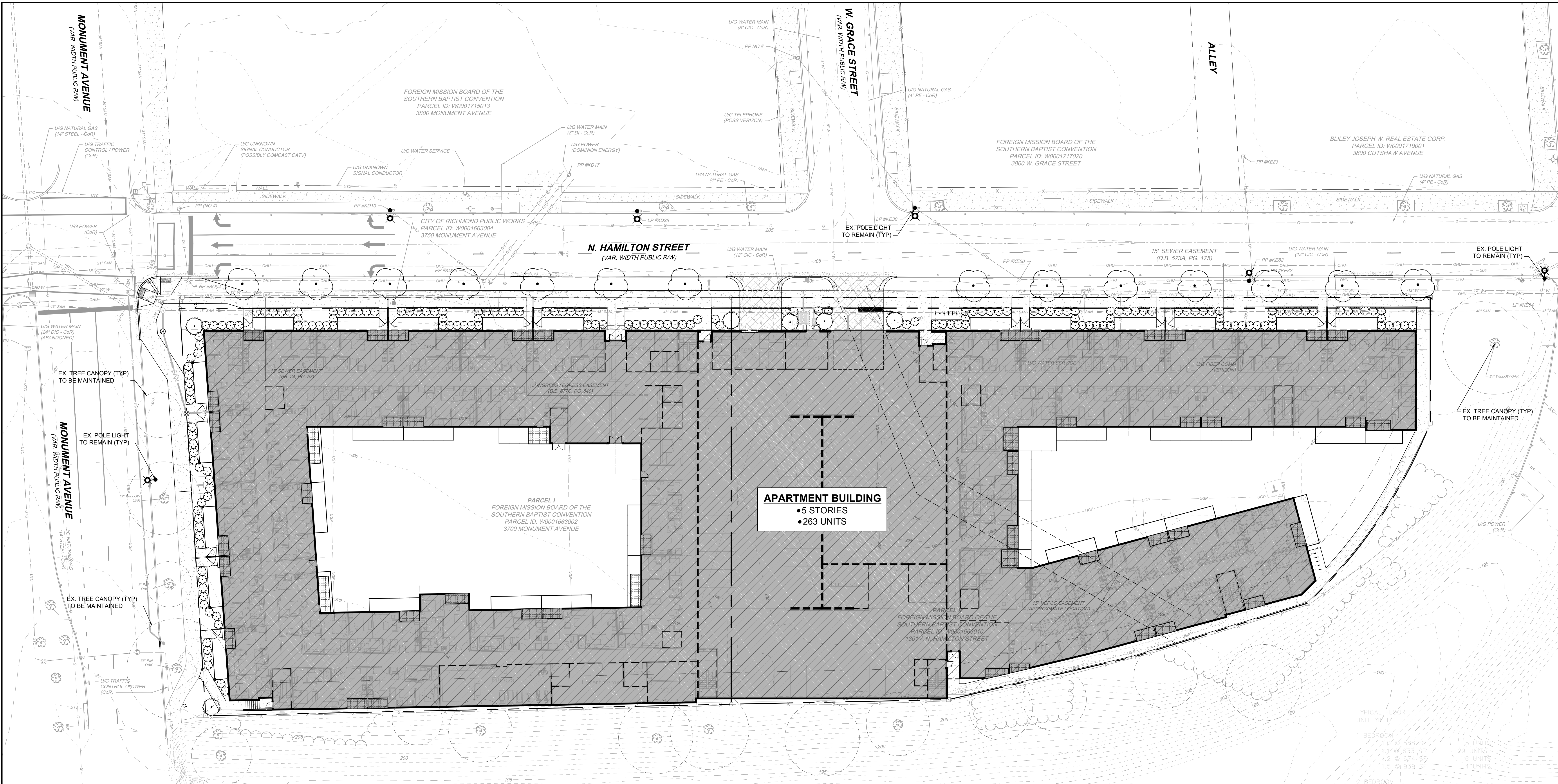
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DESIGNED BY F. HANCOCK
CHECKED BY F. HANCOCK
SCALE 1" = 20'

TIMMONS GROUP

3700 MONUMENT AVENUE
FAR WEST DISTRICT - CITY OF RICHMOND - VIRGINIA

PRELIMINARY LANDSCAPE AND LIGHTING PLAN

JOB NO. 46889
SHEET NO. L1.00



Enclosed Drop Lens

The Enclosed Drop Lens luminaire provides illumination for urban roadways and parking lots.

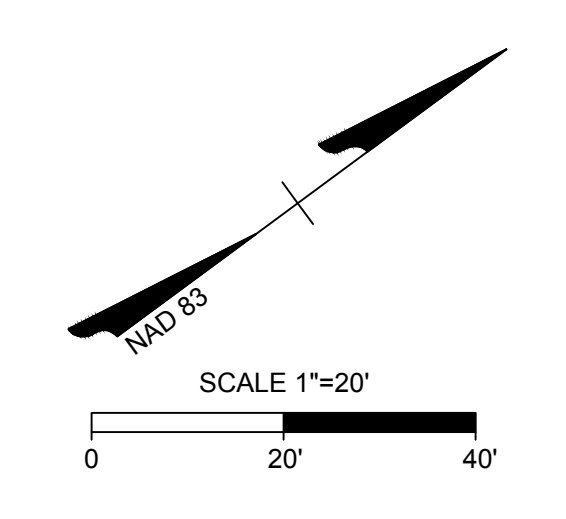
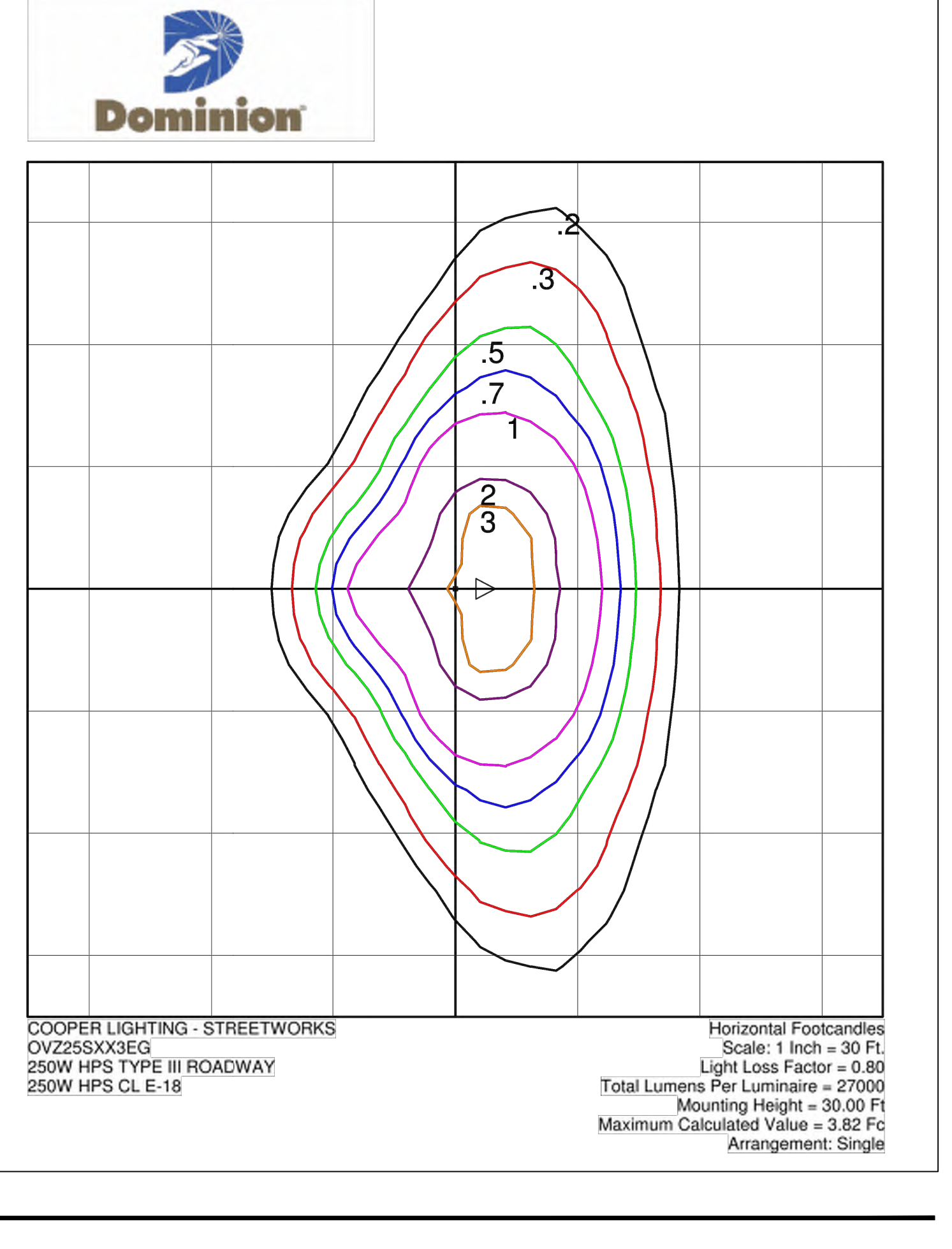
- Cast aluminum housing with a grey paint finish.
- Refractive drop lens with a Type III distribution provides greater uniformity at longer pole spacings.
- High pressure sodium lamping in 70, 100, 150, 250, 400, and 1000 watts.

Luminaire Type	Nominal Lamp HPS	Nominal Mean Lamp Lumens	Finish Color	Initial Lamp Lumens	Input Wattage	Recommended Mounting Height	Percent Light	WMS CU	Luminaire #
HPS	70	4,000	Grey	6,500	82	25 ft.	4.5%	LEN3SV	66390000
HPS	100	8,000	Grey	9,500	120	25 ft.	4.5%	LEN8SV	66397000
HPS	150	14,000	Grey	14,000	202	30 ft.	4.6%	LEN14SV	66398000
HPS	250	23,000	Grey	27,000	410	30 ft.	2.4%	LEN23SV	66399000
HPS	400	42,000	Grey	50,000	490	30 ft.	2.4%	LEN42SV	66400000
HPS	1000	127,000	Grey	140,000	1130	45 ft.	2.4%	LEN127SV	66403000

Poles Available:

- Smooth Round Tapered Concrete - Standard
- Smooth Round Tapered Heavy Duty Concrete - Standard
- Smooth Round Tapered Grey Composite - Standard
- Smooth Round Tapered Aluminum - Standard
- Smooth Round Tapered Aluminum Bridge - Premium
- Standard Wood - Standard

NOTE: EXISTING LIGHT FIXTURES TO BE REPLACED WITH LED FIXTURES



CONCEPT PLANT SCHEDULE

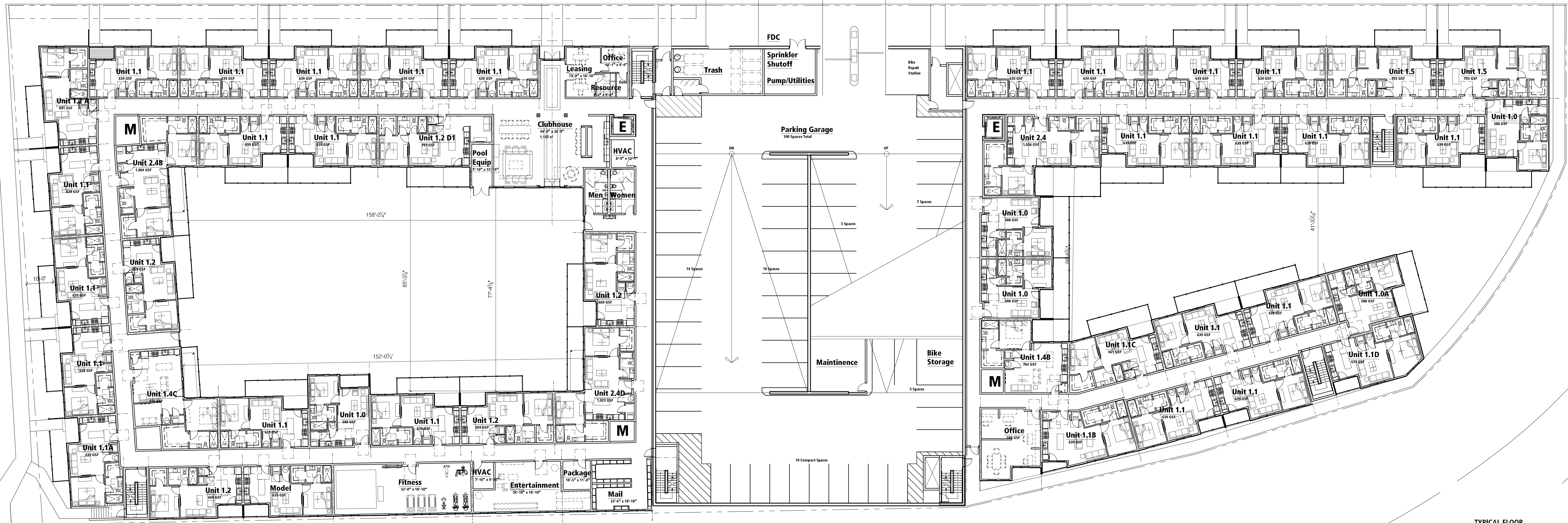
	SMALL FLOWERING TREE CERCIS CANADENSIS 'COVEY' / TM / LAVENDER TWIST REDBUD CERCIS CANADENSIS 'FOREST PANSY' / EASTERN REDBUD CHIONANTHUS VIRGINICUS / WHITE FRINGETREE CHIONANTHUS VIRGINICUS 'SPRING FLEECE' / WHITE FRINGETREE CORNUS FLORIDA 'CHEROKEE PRINCESS' / CHEROKEE PRINCESS DOGWOOD LAGERSTROEMIA X 'NATCHEZ' / WHITE CRAPE MYRTLE MULTI-TRUNK MAGNOLIA STELLATA 'ROYAL STAR' / ROYAL STAR MAGNOLIA PRUNUS X OKAME / OKAME CHERRY	14
	EVERGREEN TREE JUNIPERUS VIRGINIANA / EASTERN RED CEDAR JUNIPERUS VIRGINIANA 'BURKII' / BURK RED CEDAR MAGNOLIA GRANDIFLORA 'LITTLE GEM' / DWARF SOUTHERN MAGNOLIA PINUS TAEDA / LOBLOLLY PINE THUJA OCCIDENTALIS 'HOLMSTRUP' / HOLMSTRUP CEDAR THUJA OCCIDENTALIS 'TECHNY' / TECHNY ARBORVITAE	6
	SHRUBS BUXUS MICROPHYLLA 'WINTER GEM' / GLOBE WINTER GEM BOXWOOD BUXUS X 'GREEN MOUNTAIN' / BOXWOOD BUXUS X 'GREEN VELVET' / BOXWOOD CORNUS SERICEA / RED TWIG DOGWOOD ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY ILEX CORNUTA 'CARISSA' / CARISSA HOLLY ILEX GLABRA / INKBERRY HOLLY ILEX VERTICILLATA / WATERBERRY PRUNUS LAUROCERASUS 'OTTO LUYKEN' / LUYKENS LAUREL PRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA LAUREL THUJA OCCIDENTALIS 'EMERALD' / EMERALD ARBORVITAE THUJA OCCIDENTALIS 'HOLMSTRUP' / HOLMSTRUP CEDAR	178

NOTE: FINAL STREETSCAPE TREE SELECTION TO BE SUITABLE NEAR OVERHEAD UTILITY

S:\2019\3700_Monument_Avenue\DWG\Sheet\CD\46889_L1.dwg | Printed on 3/25/2021 7:17 AM | By Chris Nelson

N. Hamilton Street

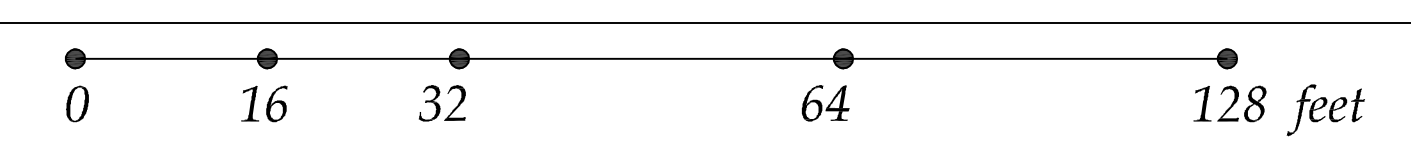
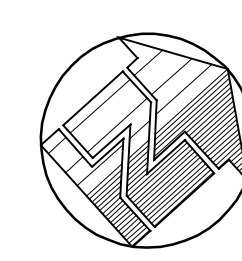
Monument Avenue



I-195

TYPICAL FLOOR UNIT YIELD		
1 BEDROOM		
1.0 @ 588 SF	5 UNITS	
1.1 @ 633 SF	29 UNITS	
1.2 @ 674 SF	6 UNITS	
1.5 @ 939 SF	4 UNITS	
2 BEDROOM		
2.4 @ 1,066 SF	3 UNITS	
TOTAL UNIT COUNT	47 UNITS	
5 STORY TOTAL	263 UNITS	

Ground Level

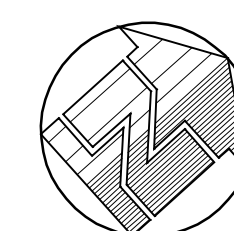


N. Hamilton Street

Monument Avenue

I-195

Typical Level

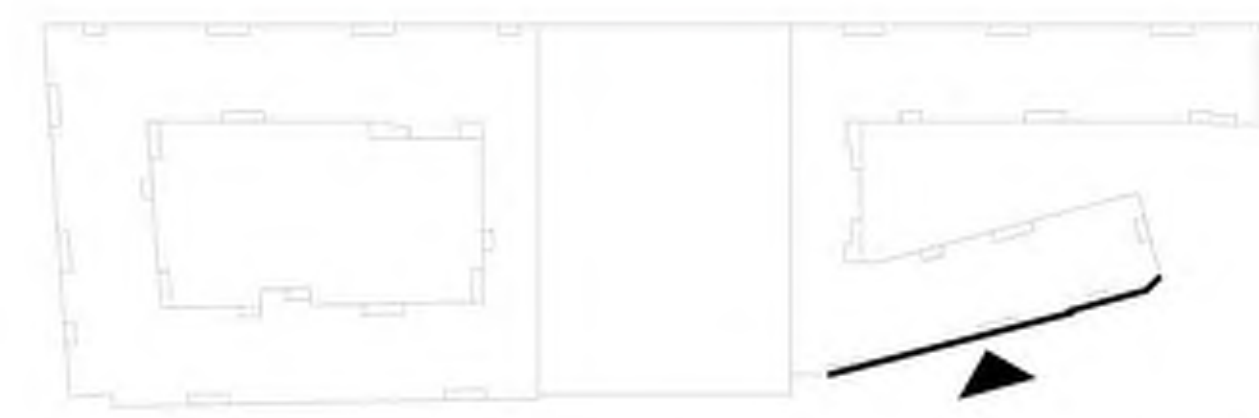


0 16 32 64 128 feet

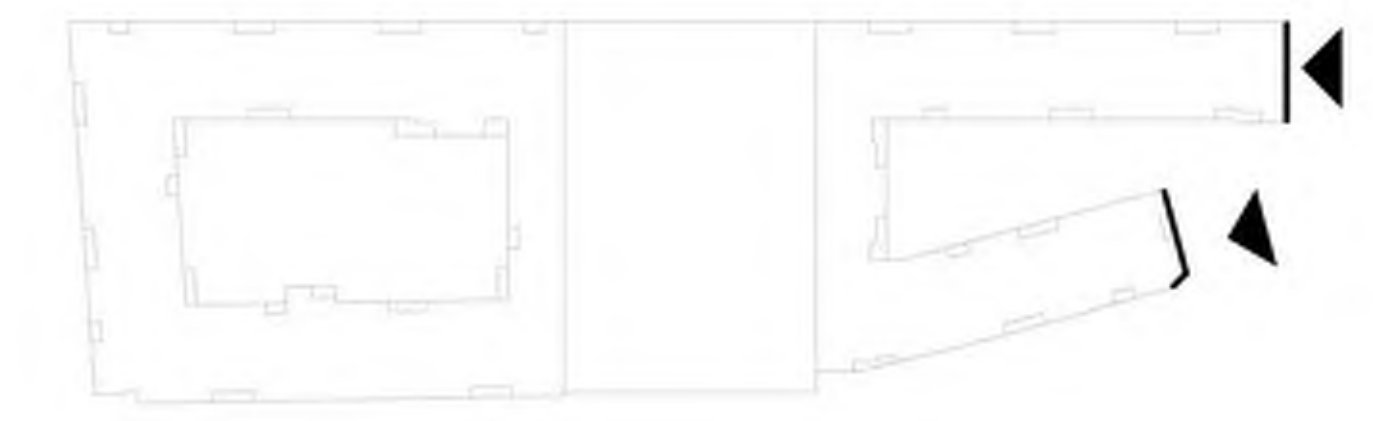
TYPICAL FLOOR UNIT YIELD	
1 BEDROOM	
1.0 @ 588 SF	7 UNITS
1.1 @ 633 SF	32 UNITS
1.2 @ 674 SF	6 UNITS
1.5 @ 939 SF	3 UNITS
2 BEDROOM	
2.1 @ 1,020 SF	1 UNITS
2.4 @ 1,066 SF	5 UNITS
TOTAL UNIT COUNT	54 UNITS
5 STORY TOTAL	263 UNITS



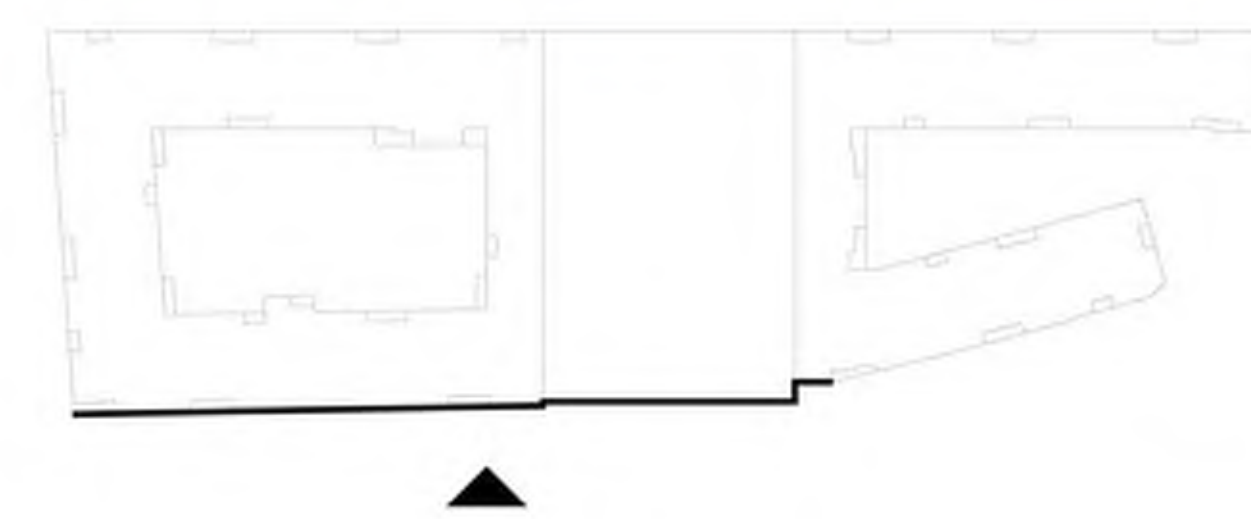
Partial I-195 Elevation



195 Ramp Elevation



Partial I-195 Elevation

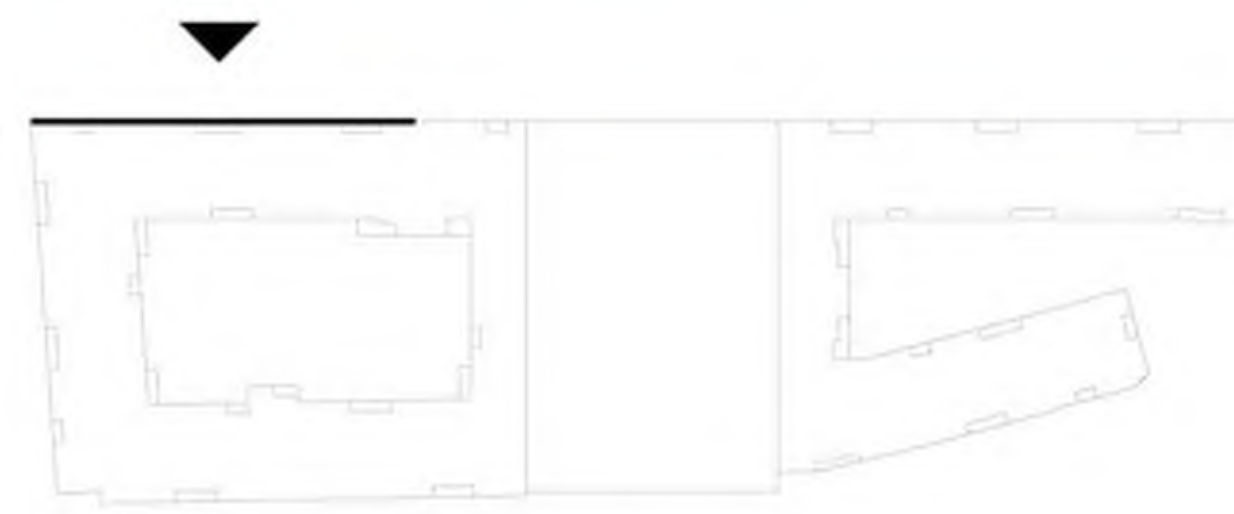


Exterior Elevations

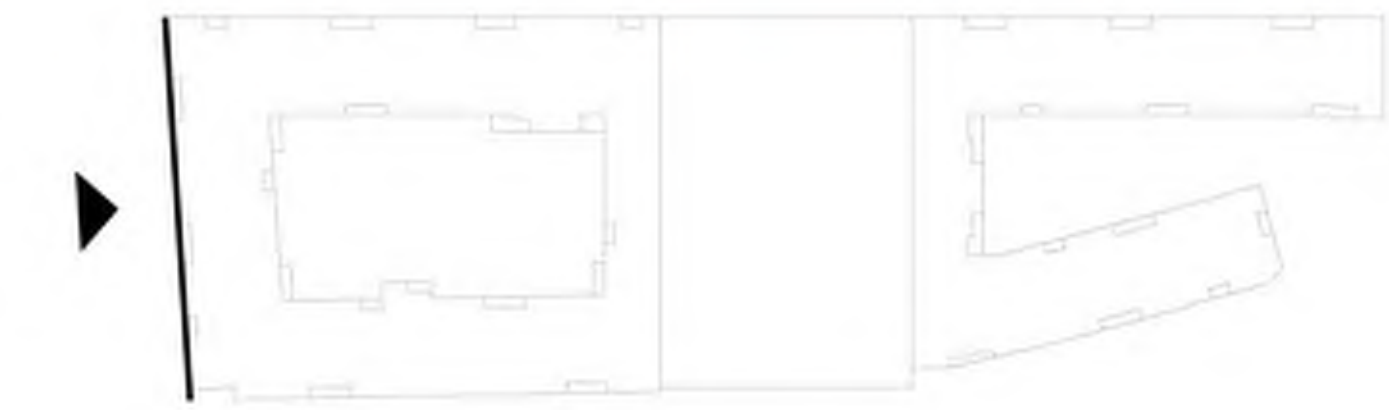




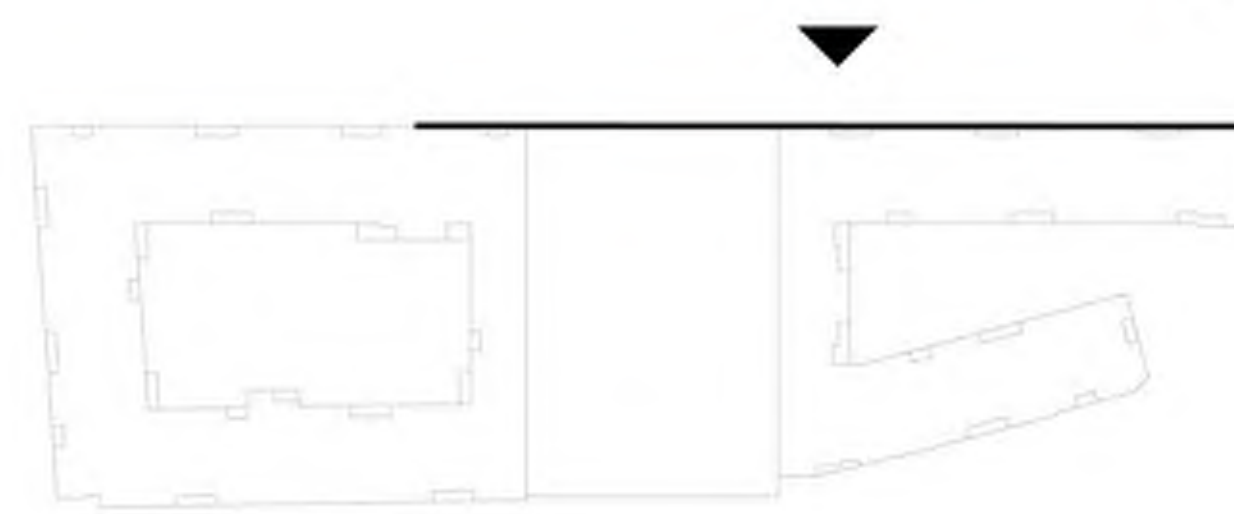
Partial North Hamilton Elevation



Monument Avenue Elevation



Partial North Hamilton Elevation

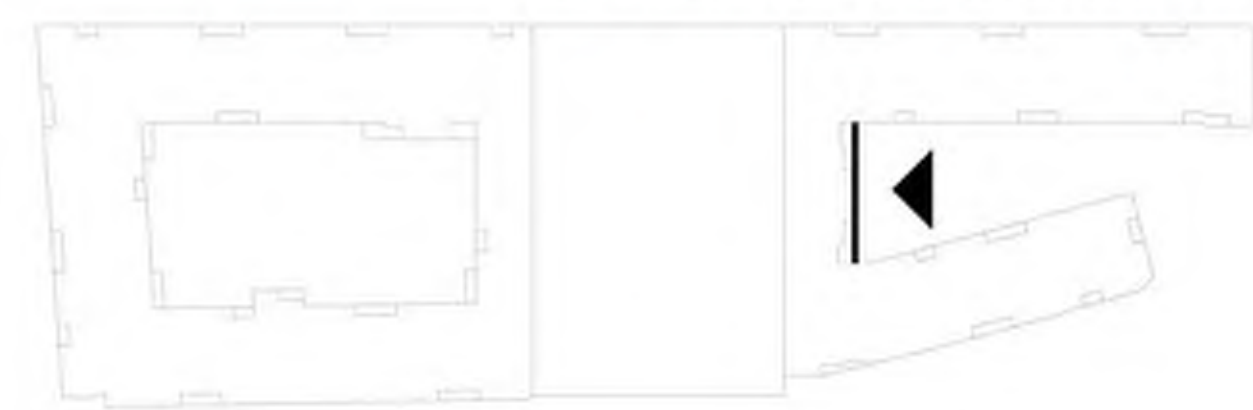


Exterior Elevations

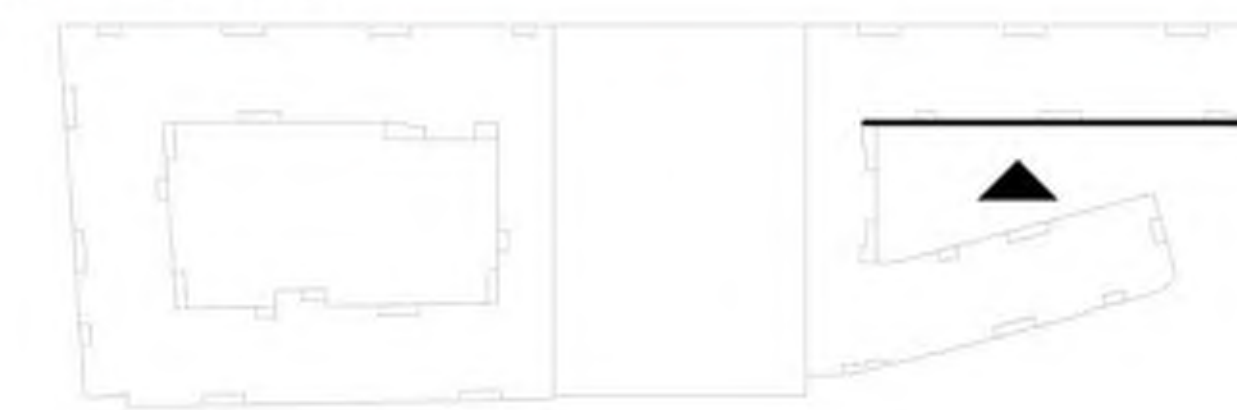
0 10 20 40 60 feet



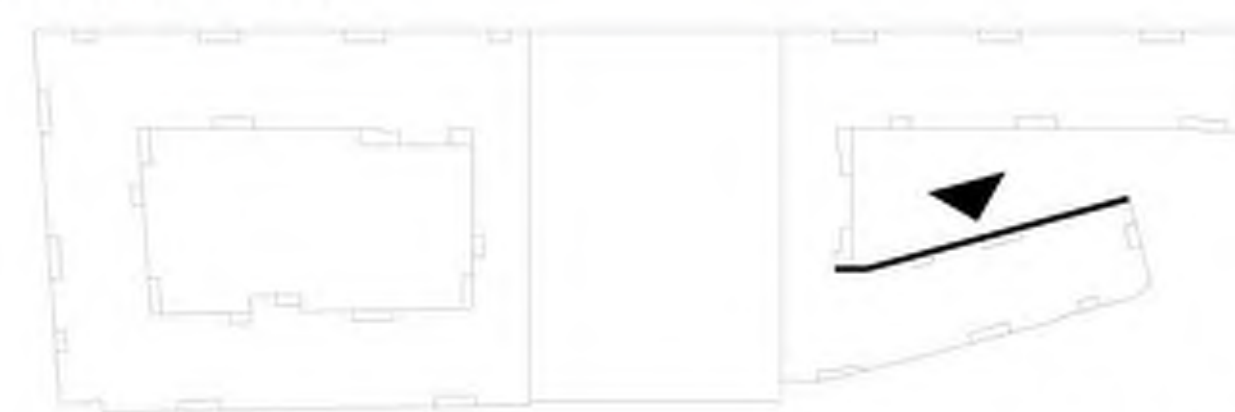
South Elevation



West Elevation



East Elevation

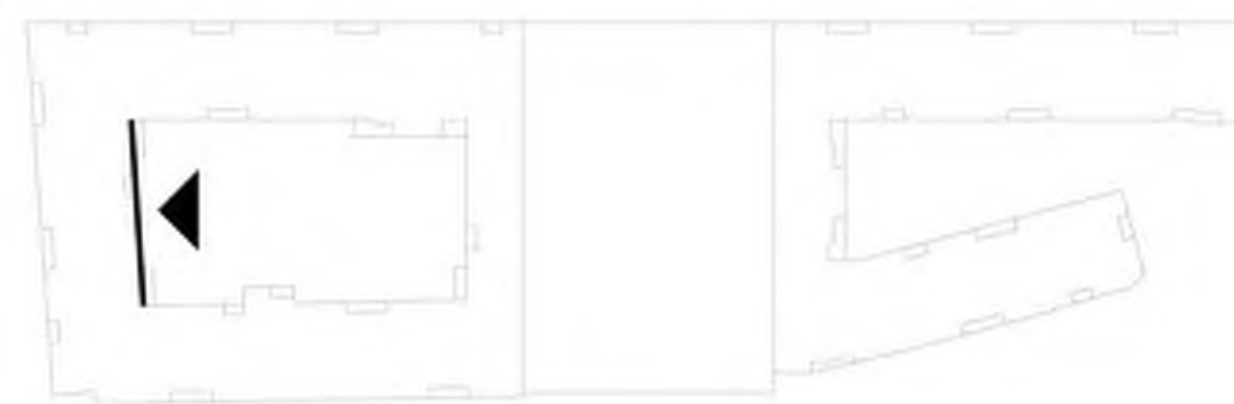


North Courtyard Elevations

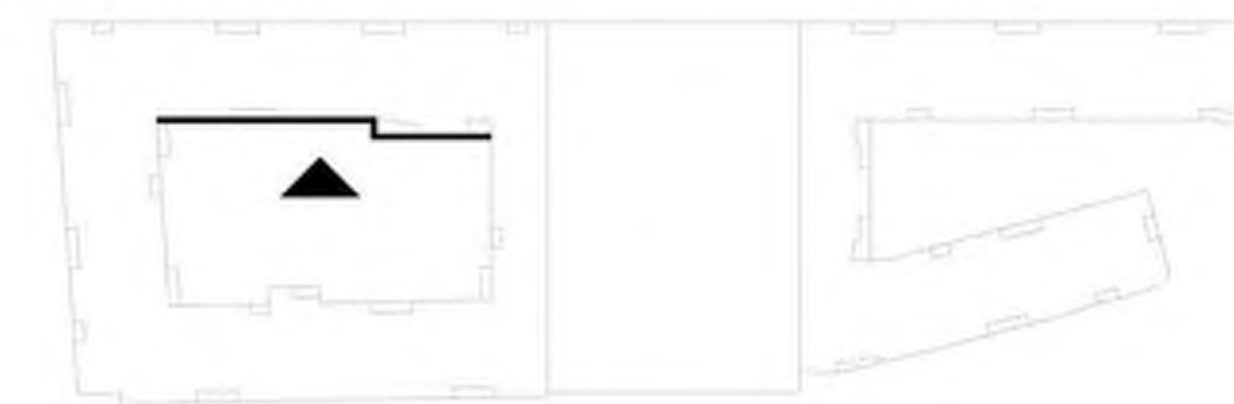




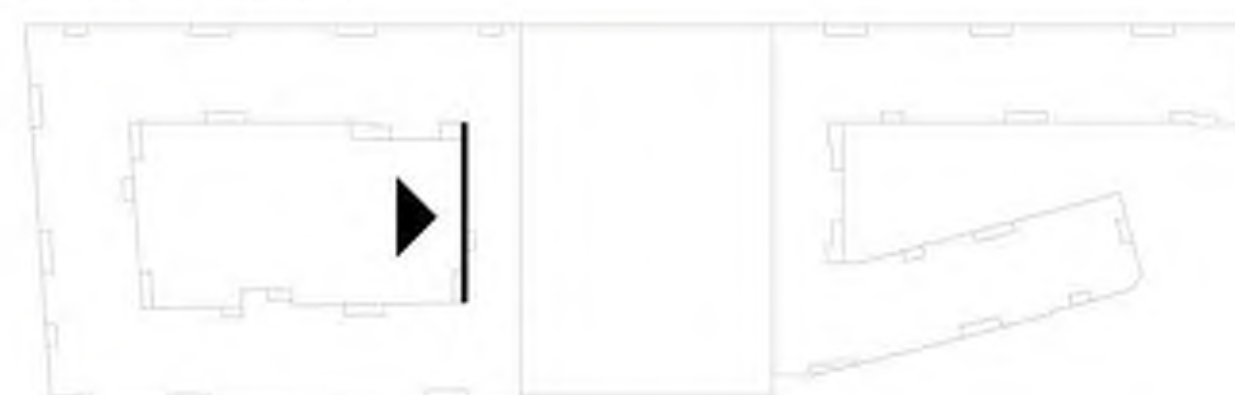
South Elevation



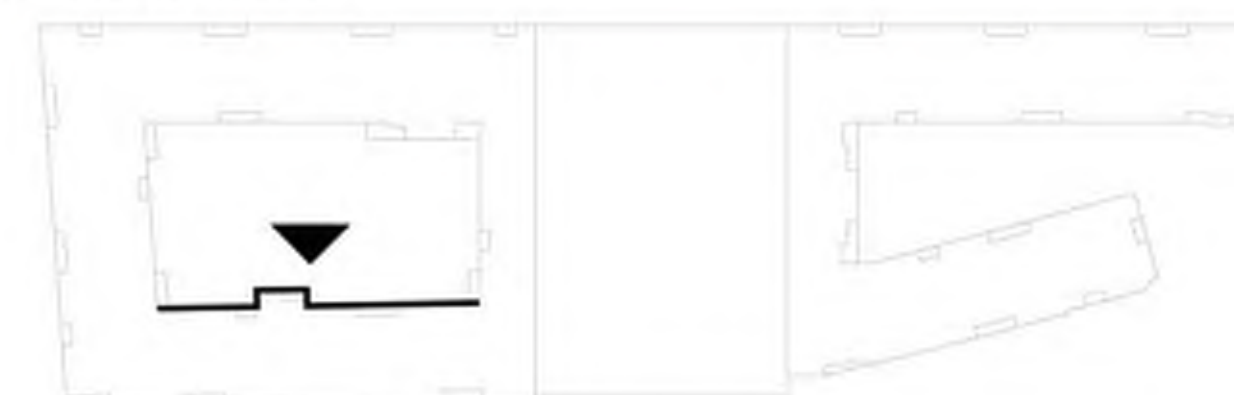
West Elevation



North Elevation



East Elevation



South Courtyard Elevations

