



Staff Report
City of Richmond, Virginia



Commission of Architectural Review

2. COA-121995-2022	Final Review	Meeting Date: 2/28/2023
Applicant/Petitioner	Barbara and Lawrence Hollister	
Project Description	Replace a barrel tile roof with faux slate.	
Project Location		
Address: 12 North Arthur Ashe Boulevard		
Historic District: Boulevard		
High-Level Details: Replace a barrel tile roof with faux slate. This replacement has already been made, this is a result of a violation that was issued October 18, 2022.		
Staff Recommendation	Approval	
Staff Contact	Samantha Lewis, 804-646-5207, Samantha.lewis@rva.gov	
Previous Reviews	This application was deferred by the Commission at the December 20, 2022 meeting to allow the applicant additional time to provide documentation that the roof did not originally feature barrel tile.	
Conditions for Approval	<ul style="list-style-type: none"> • None. 	

Staff Analysis

Guideline Reference	Reference Text	Analysis
Building Elements, p. 66, #3	<i>Substitute materials may be used if the same kind of material is not technically feasible because the material is no longer being made. Substitute materials should match the</i>	The original material of 12 North Arthur Ashe Boulevard is slate. Staff has provided documented evidence for this below.

	<p><i>original style and form as much as possible.</i></p>	<p>Natural slate is an available material today, and the mansard roof is a character defining feature of the property with visible roof material.</p>
<p>Substitute Materials, p. 60-61, #1, #2, #3</p>	<p><i>When and where to use substitute materials is a decision to be reached only after careful consideration for the consequences to an historic structure and not before more appropriate preservation options have been explored. As with other proposed exterior changes, the use of substitute materials within a designated Old and Historic District is subject to Commission review.</i></p> <p><i>#1. Unavailability of Historic Materials. ...If that source cannot produce an appropriate match, substitute materials such as dry-tamp cast stone or textured pre-cast concrete may be appropriate alternatives as long as the detail, color and texture of the original stone are matched as closely as possible.</i></p>	<p>All preservation options should be explored thoroughly before substitute materials are used. The use of substitute material may be appropriate in the following circumstances: 1. The unavailability of historic material, 2. unavailability of skilled craftsman, and 3. replacement of poor-quality materials. Natural slate is an available historic material, and installers exist in the Richmond, Virginia area. The appropriate procedure for the employment of substitute materials was not followed for this property.</p> <p>While the original material of the building turned out to be slate, the Commission was never given the chance to approve a color, dimension, brand, or pattern of the substitute material that would have reflected an historic look and feel.</p> <p>There are several additional items to consider in this case; the damage that the structure has already sustained, particularly on the roof; the weight of natural slate on a structure that is already compromised; and to a lesser degree, the lengthy time to procure and install original material in what may be considered an emergency situation. Considering all factors outlined above, <u>staff recommends approval of the substitute synthetic slate material.</u></p>

Figures

Figure 1. Original Assessor Card

14 SIDE OF Boulevard ST. BET. Floyd AND Ellwood

KIND OF BLD'G. *Brick* BUILDING VALUAT

SPECIFICATIONS		BUILDING VALUAT		SKETCH	
Use <i>Residence</i>	Gen'l Av. Class <i>Good 2</i>	Sty. <i>2</i>	YES		
Occupancy <i>Occant</i>	F	Race <i>White</i>	121		④
Date Built <i>12/16</i>	Est'd <i>2/16/12</i>	Rm'd <i>14</i>	246		⑤
Gen'l. CHAR: Pd'n <i>Brick</i>	No. of Baths <i>4</i>		216		⑥
Ext. Walls <i>Brick</i>	Roof <i>Wood Tin</i>		101		
	Ext. Trim <i>Wood Plain</i>				

Figure 2. Original Assessor Card photo



Figure 3. 1924-1925 Sanborn map

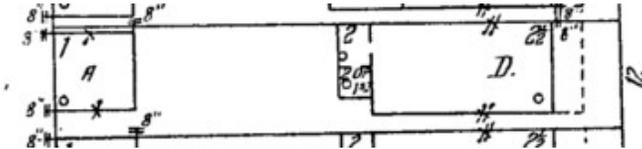


Figure 4. roof view (current)

