



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**BOARD OF
ZONING APPEALS**

July 7, 2026

Susan Ganch
520 South Sheppard Street
Richmond, VA 23221

Patrick Zampetti
3020 Sandy Bluff Place
Henrico, VA 23233

To Whom It May Concern:

RE: BZA 24-2026

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, August 5, 2026 at 1:00 PM** in the 5th Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a building permit to construct a second-story addition to an existing accessory structure to an existing single-family (attached) dwelling at 520 SOUTH SHEPPARD STREET (Tax Parcel Number W000-1348/028), located in an R-6 (Single-Family Attached Residential) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **804 768 629#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2026 drop-down, click meeting details for August 5, 2026 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at Chuck.Davidson@rva.gov for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 24-2026
Page 2
July 7, 2026

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in dark ink, reading "Roy W. Benbow". The signature is fluid and cursive, with the first letters of each word being capitalized and prominent.

Roy W. Benbow, Secretary
Phone: (804) 240-2124
E-mail: Roy.Benbow@rva.gov

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

City Of Richmond Recreation & Parks
1209 Admiral St
Richmond, VA 23220

City Of Richmond School Board
301 N 9th St 17th Fl
Richmond, VA 23219

Collier Daniel L
516 S Sheppard St
Richmond, VA 23221

Everson Christine A
512 S Sheppard St
Richmond, VA 23221

France Amanda
506 S Sheppard St
Richmond, VA 23221

Henry Christopher And Jennifer
3018 Maplewood Ave
Richmond, VA 23221

Hyder Naureen F
508 Sheppard Street
Richmond, VA 23221

Lindsay William E E
3016 Maplewood Ave
Richmond, VA 23221

Martin Cecil B li And Lisa D
8716 September Dr
Richmond, VA 23229

Melfa Matthew And Kami T
524 S Sheppard St
Richmond, VA 23221

Perschbacher Michael And Michelle
3010 Maplewood Ave
Richmond, VA 23221

Pleasants Madeline E
3012 Maplewood Ave
Richmond, VA 23221

Reeves Alfonso J & Delores R
528 S Sheppard St
Richmond, VA 23221

Richardson Dustin T And Andrea S
518 S Sheppard St
Richmond, VA 23221

Roellke Robert Lee & Zoe Addis
514 S Sheppard St
Richmond, VA 23221

Runia Erik And Mereand Maggie F
3020 Maplewood Ave
Richmond, VA 23221

Taylor Jerrell And Lamont And Tara
2306 Talon Dr
Mcleansville, NC 27301

Warren Tracy A
522 S Sheppard St
Richmond, VA 23221

Williams Shirley
526 S Sheppard St
Richmond, VA 23221

City of Richmond, VA Report

Property Owner	
Name:	GANCH SUSAN
Mailing Address:	520 S SHEPPARD ST RICHMOND, VA 23221
Parcel Use:	R Two Story
Neighborhood:	230

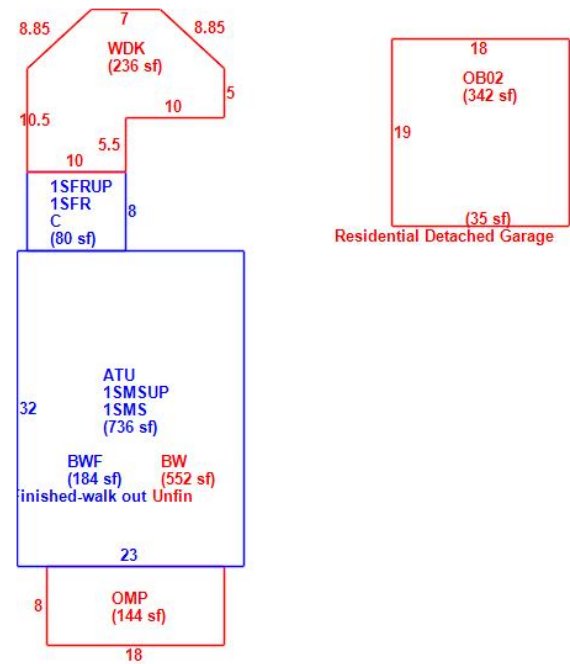
Property Information	
Property Address:	520 S Sheppard St
PIN	W0001348028
Size:	0.066 Acres, 2889.360 Square Feet
Property Description:	0021.25X0135.97 0000.000

Current Assessment			
Year	Land	Improvements	Total
2026	\$122,000	\$353,000	\$475,000

Deed Transfers					
Recordation Date	Book	Page	Deed Type	Consideration	Grantee ⓘ
7/1/2013	ID2013	14659	BS	\$268,700	GANCH SUSAN
10/14/2005	ID2005	35813	BS	\$273,500	SHOEMAKER RICHARDSON V
10/28/2002	ID2002	34705	BS	\$140,000	BARNHOUSE R KELLY
10/16/2000	ID2000	24544	BS	\$108,000	KARPF ARIANE S
7/24/2000	ID2000	17428	BS	\$47,500	REGISTER JOHN D JR & CYNTHIA L
3/13/1970	00663	B0251	N/A	\$16,000	ROBINSON DOUGLAS F SR & MAZIE S
1/1/1900	00663	B0251	N/A	\$16,000	Not Available

Residential Card 1 Details			
Story	Style	Total Liv	Year Built
2.0	2sty Oldest	1,816	1924

Model:	RESIDENTIAL	Rooms:	Beds: 3
Interior Wall:	Plaster	Bathrooms:	Full: 1 Half: 0
Interior Wall 2:	Drywall	Central AC:	Central air
Exterior Wall:	Common Brick	Heat/Cool:	Hot Water Or Steam
Exterior Wall 2:	Wood Siding	Floor Cover:	Hardwood
Roof Type:	Flat or Shed	Floor Cover 2:	Tile, ceramic or quarry
Roof Cover:	Metal, preformed corrugate	Floor Cover 3:	N/A



Building Sub-Areas (sq ft)

Code	Description	Gross Area	Living Area
1SFR	1 Story Frame - Fin	80	80
1SFRUP	1 Story Frame - Upper - Fin	80	80
1SMS	1 Story Masonry - Fin	736	736
1SMSUP	1 Story Masonry - Upper - Fin	736	736
ATU	Attic - Unfin	243	0
BW	Bsmt-Wo	552	0
BWF	Bsmt-Wo - Fin	184	184
C	Crawl Space	80	0
OB02	Outbuilding	342	0
OMP	Porch - Open - Masonry	144	0
WDK	Deck - Wood	236	0
Totals		3,413	1,816

Outbuildings

Code	Description	Sub Code-Description	Size
DETGAR	Residential Detached Garage	Wood Frame	342.00 SF

Assessment History			
Year	Land	Improvements	Total
2025	\$122,000	\$342,000	\$464,000
2024	\$122,000	\$329,000	\$451,000
2023	\$122,000	\$329,000	\$451,000
2022	\$122,000	\$305,000	\$427,000
2021	\$108,000	\$289,000	\$397,000
2020	\$96,000	\$275,000	\$371,000
2019	\$88,000	\$243,000	\$331,000
2018	\$56,000	\$223,000	\$279,000
2017	\$56,000	\$214,000	\$270,000
2016	\$45,000	\$221,000	\$266,000
2015	\$45,000	\$217,000	\$262,000
2014	\$45,000	\$217,000	\$262,000
2013	\$45,000	\$217,000	\$262,000
2012	\$45,000	\$247,000	\$292,000
2011	\$40,000	\$252,000	\$292,000
2010	\$40,000	\$252,000	\$292,000
2009	\$40,000	\$252,000	\$292,000
2008	\$40,000	\$252,000	\$292,000
2007	\$40,000	\$221,400	\$261,400
2006	\$38,600	\$221,400	\$260,000
2005	\$35,100	\$123,300	\$158,400

Map

Not a Legal Document

Subject to terms and conditions
www.actDataScout.com

RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

TO BE COMPLETED BY THE APPLICANT

PROPERTY Susan Ganch PHONE: (Home) () (Mobile) (415) 706-0576
OWNER: 520 S Sheppard Street FAX: () (Work) ()
(Name/Address) Richmond, VA, 23221 E-mail Address: _____

OWNER'S REPRESENTATIVE:

(Name/Address) Patrick Zampetti PHONE: (Home) () (Mobile) (804) 304-2751
3020 Sandy Bluff Pl FAX: () (Work) ()
Henrico, VA 23233 E-mail Address: _____

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS(ES): 520 S Sheppard Street

TYPE OF APPLICATION: ☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHER _____

ZONING ORDINANCE SECTION NUMBERS(S): 30-300, 30-412.5

APPLICATION REQUIRED FOR: A residential building permit to construct a second story addition to an existing accessory building.

TAX PARCEL NUMBER: W000-1348/028 ZONING DISTRICT: R-6 Single Family Attached Residential

REQUEST DISAPPROVED FOR THE REASON THAT: The side yard requirement and rear yard requirements are not met. A side yard of 3 feet is required; 0.08 feet is proposed. A rear yard of 5 feet is required; 4.99 feet is proposed.

DATE REQUEST DISAPPROVED: October 21, 2025 FEE WAIVER: YES ☐ NO: ☒

DATE FILED: April 23, 2026 TIME FILED: 1:56 p.m. PREPARED BY: Thomas McGalliard RECEIPT NO. BZAR-185331-2026

AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:

SECTION 17.20 PARAGRAPH(S) _____ OF THE CHARTER OF THE CITY OF RICHMOND
SECTION 15.2 -2309.2 ☐ OF THE CODE OF VIRGINIA [OR]
SECTION 1040.3 PARAGRAPH 1 OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter* ☐

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] DATE: 5/14/26

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 24-2026 HEARING DATE: August 5, 2026 AT 1:00 P.M.

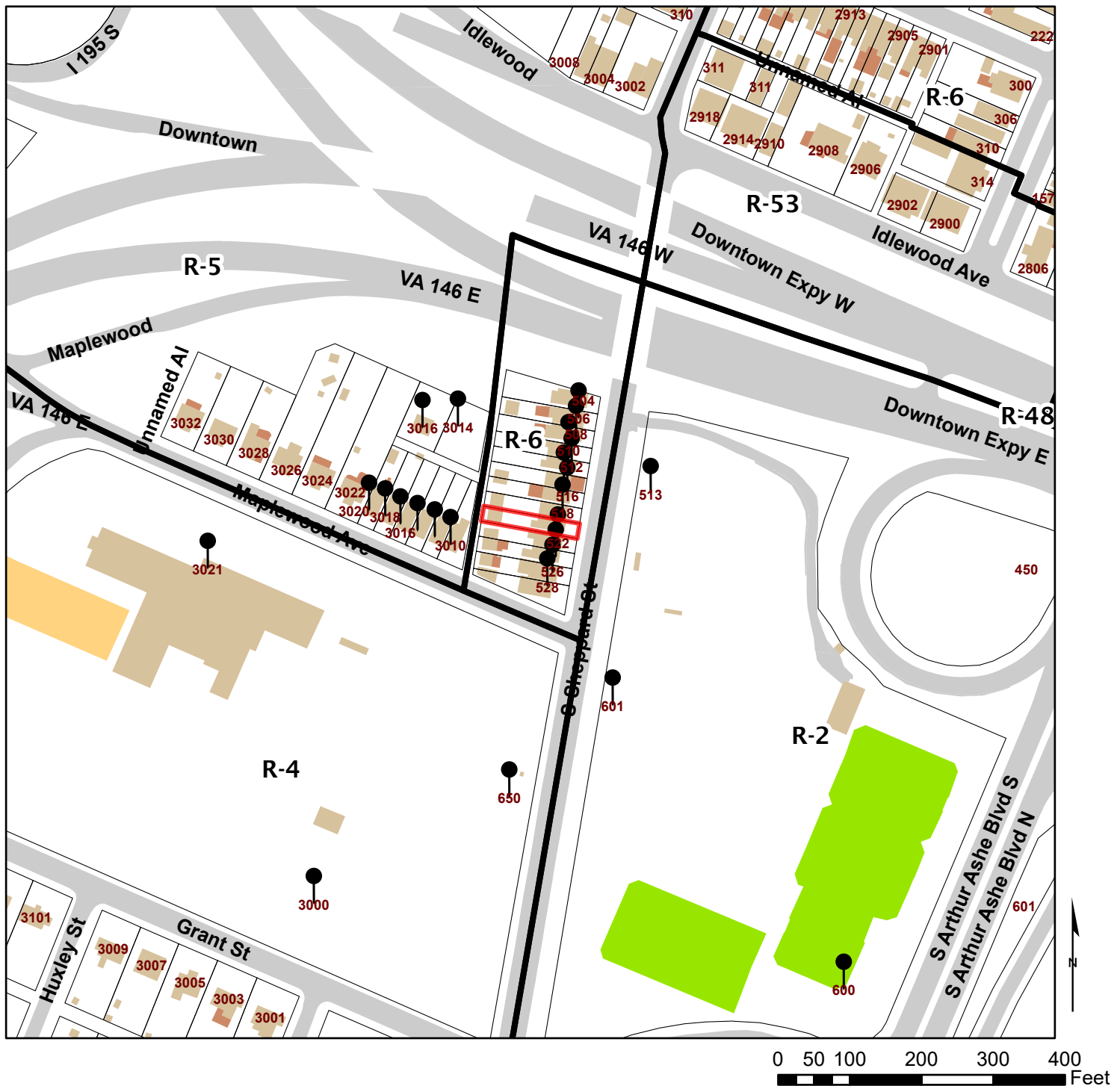
BOARD OF ZONING APPEALS CASE BZA 24-2026
150' Buffer

APPLICANT(S): Susan Ganch

PREMISES: 520 South Sheppard Street
(Tax Parcel Number W000-1348/028)

SUBJECT: A building permit to construct a second-story addition to an existing accessory structure to an existing single-family (attached) dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300, 30-412.5(2)b & 30-412.5(2)c of the Zoning Ordinance for the reason that:
The side yard and rear yard (setback) requirements are not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

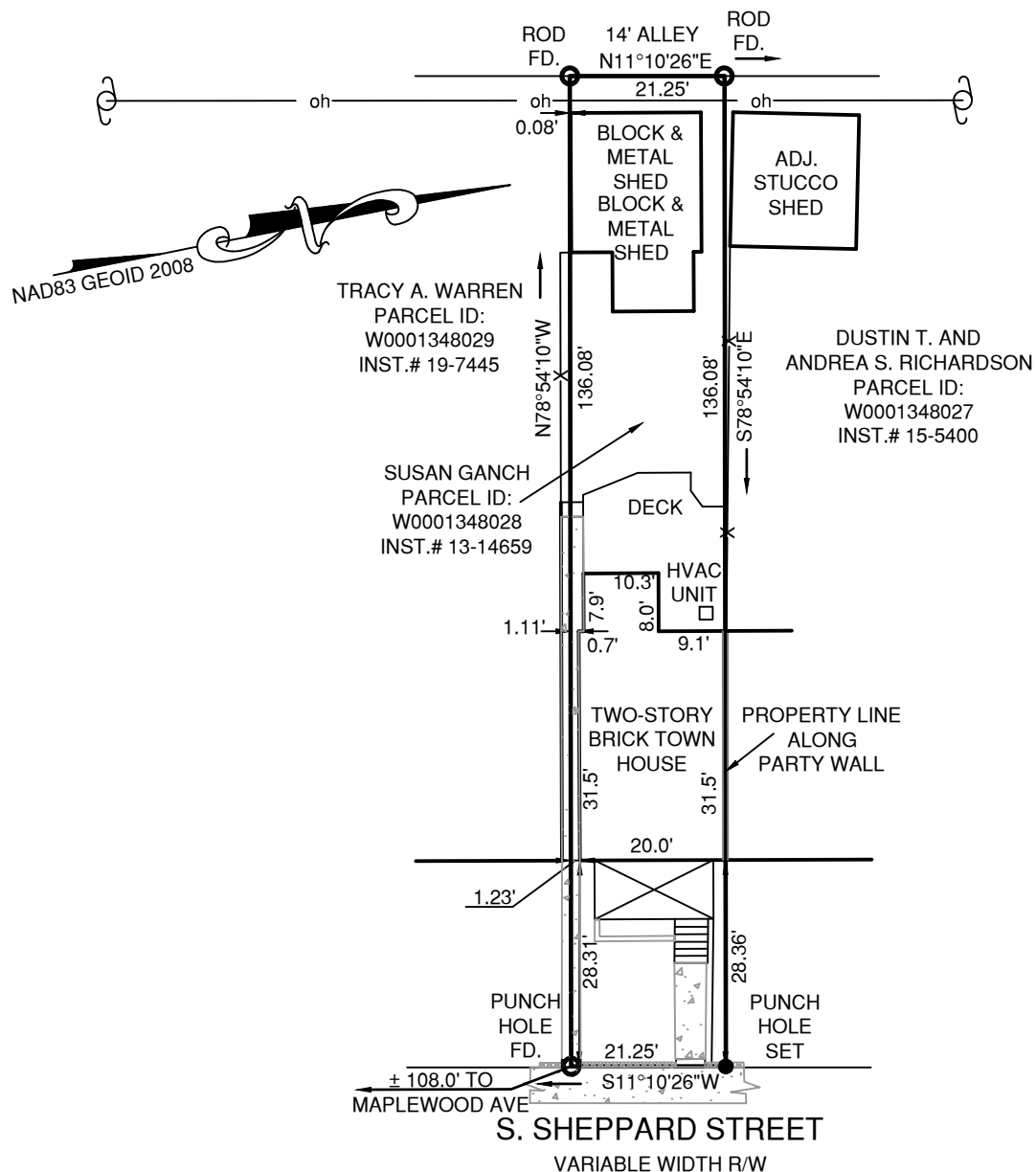
4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing. The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: _____

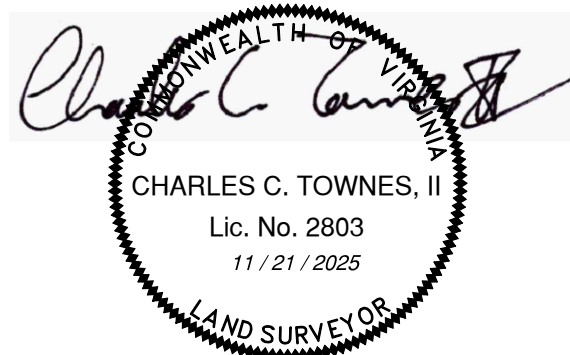
A handwritten signature in black ink, appearing to be "Roy Benbow", is written over a horizontal line.

THIS SURVEY WAS MADE FOR THE PURPOSE OF IDENTIFYING
LEGAL BOUNDARIES AND DOES NOT PURPORT TO IDENTIFY
ENVIRONMENTAL FEATURES THAT AN ENVIRONMENTAL
ASSESSMENT MIGHT IDENTIFY.

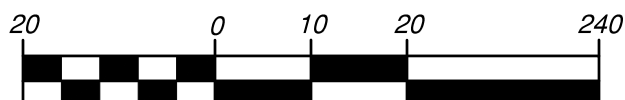
THIS SURVEY IS SUBJECT TO ANY EASEMENT OF RECORD OR OTHER PERTINENT FACTS THAT A CURRENT TITLE REPORT MIGHT IDENTIFY. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.



THIS IS TO CERTIFY THAT I MADE AN ACCURATE
FIELD SURVEY ON NOVEMBER 13, 2025. ALL VISIBLE
IMPROVEMENTS ARE AS SHOWN HEREON AND THAT
THERE ARE NO VISIBLE ENCROACHMENTS OTHER
THAN SHOWN



GRAPHIC SCALE


$$1 \text{ inch} = 20 \text{ feet}$$

PLAT
SHOWING
PHYSICAL IMPROVEMENTS OF
520 S. SHEPPARD STREET
FOR
SUSIE GANCH

CITY OF RICHMOND, VIRGINIA

DATE: NOVEMBER 21, 2025 SCALE: 1" = 20'



townes

consulting engineers, planners, and land surveyors

DRAWN BY: J.S.I.

CHECKED BY:

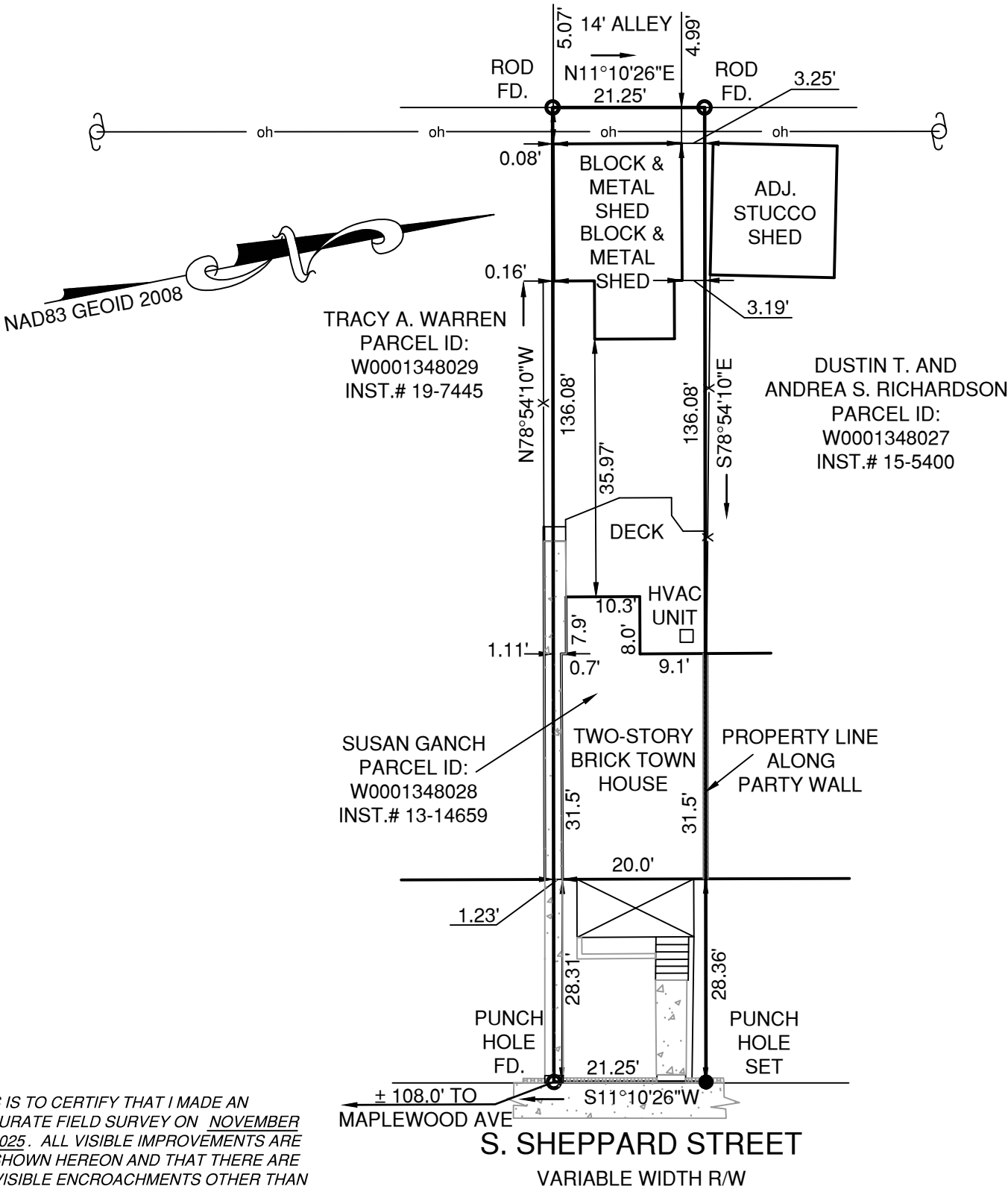
2463 boulevard
colonial heights, va 23834
telephone: 804.520.9015
facsimile: 804.520.9016

ATTN: SUSIE GANCH

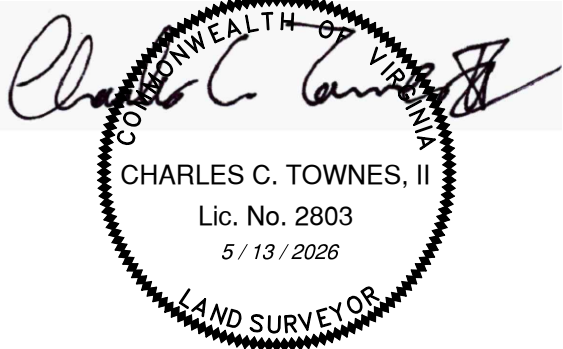
THIS PROPERTY IS LOCATED IN ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL # 5101290036E, EFFECTIVE DATE: JULY 8, 2025

THIS SURVEY IS SUBJECT TO ANY EASEMENT OF RECORD OR OTHER PERTINENT FACTS THAT A CURRENT TITLE REPORT MIGHT IDENTIFY. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

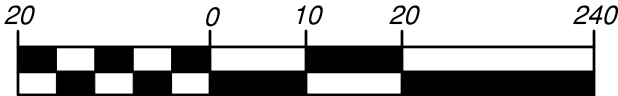
THIS SURVEY WAS MADE FOR THE PURPOSE OF IDENTIFYING LEGAL BOUNDARIES AND DOES NOT PURPORT TO IDENTIFY ENVIRONMENTAL FEATURES THAT AN ENVIRONMENTAL ASSESSMENT MIGHT IDENTIFY.



THIS IS TO CERTIFY THAT I MADE AN ACCURATE FIELD SURVEY ON NOVEMBER 13, 2025. ALL VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON AND THAT THERE ARE NO VISIBLE ENCROACHMENTS OTHER THAN SHOWN.



GRAPHIC SCALE



1 inch = 20 feet

PLAT
SHOWING
PHYSICAL IMPROVEMENTS OF
520 S. SHEPPARD STREET
FOR
SUSIE GANCH

CITY OF RICHMOND, VIRGINIA
DATE: NOVEMBER 21, 2025 SCALE: 1" = 20'



townes

consulting engineers, planners, and land surveyors

DRAWN BY: J.S.I.

CHECKED BY:

2463 boulevard
colonial heights, va 23834
telephone: 804.520.9015
facsimile: 804.520.9016

LIST OF DRAWINGS	
Sheet Number	Sheet Name
A001	PROJECT REFERENCE
A100	DEMOLITION PLAN
A101	FLOOR PLANS
A201	ELEVATIONS
A203	WALL SECTIONS
A205	SCHEDULES
A301	3D VIEWS
S101	FRAMING PLANS
S102	BRACED WALL DETAILS

ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, FIRE CODES AND RELATED PROVISIONS.

CODE DATA

CODE:	2021 VIRGINIA RESIDENTIAL CODE
USE GROUP:	R-3, SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE:	5B
NEW PROPOSED BUILDING AREA:	978 SF

ZONING INFORMATION

ZONE:	R-6
MAGISTERIAL DISTRICT:	RICHMOND
MINIMUM LOT AREA:	2,200 SF
MINIMUM LOT (UNIT) WIDTH:	20'
MINIMUM FRONT YARD SETBACK:	15'
MINIMUM REAR YARD SETBACK:	5'
MINIMUM SIDE YARD SETBACK:	3'

MINIMUM INSULATION R-VALUE PER V.R.C. 2021

CLIMATE ZONE:	4A
FENESTRATION U-FACTOR:	0.30
CEILING R-VALUE*:	60 OR 49 OVER 100% OF THE CEILING OR ATTIC IN CEILINGS WITH ATTICS PER VRC
WOOD FRAME R-VALUE:	15 OR 13+1 (R-13 CAVITY INSULATION PLUS R-1 CONTINUOUS INSULATION)
FLOOR R-VALUE:	19
SLAB R-VALUE:	10 (CONTINUOUS INSULATION), 49" DEPTH
CRAWL SPACE WALL R-VALUE:	10 (CONTINUOUS INSULATION)/13

*USE SPRAY FOAM OR BOARD INSULATION IN AREAS WHERE FRAMING DEPTH IS INADEQUATE TO PROVIDE REQUIRED R-VALUES USING BATT OR BLOWN IN INSULATION. MAINTAIN VENTILATION AIRWAY AT EAVES USING BAFFLES AS REQUIRED

STRUCTURAL INFORMATION

- ALL STRUCTURAL DESIGN TO BE IN CONFORMANCE WITH V.R.C. 2021
- EXTERIOR WALLS AND ROOF ARE CONSTRUCTED USING CONVENTIONAL WOOD FRAMING. NEW EXTERIOR WALLS SHALL USE THE CONTINUOUS SHEATHING, WOOD STRUCTURAL PANEL (CS-WSP) METHOD FOR BRACING IN FULL COMPLIANCE WITH R602.10 OF THE IRC.
- LVL CONNECTORS AND CAP CONNECTORS, JOIST HANGERS AND OTHER ENGINEERED STEEL CONNECTORS REQUIRED SHALL BE AS MANUFACTURED BY SIMPSON OR APPROVED EQUAL.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

FROST DEPTH -	18" (24" IN NORTHERN AND WESTERN VIRGINIA)
GROUND SNOW LOAD -	25 PSF
ULTIMATE WIND SPEED -	115 MPH
WIND EXPOSURE -	B

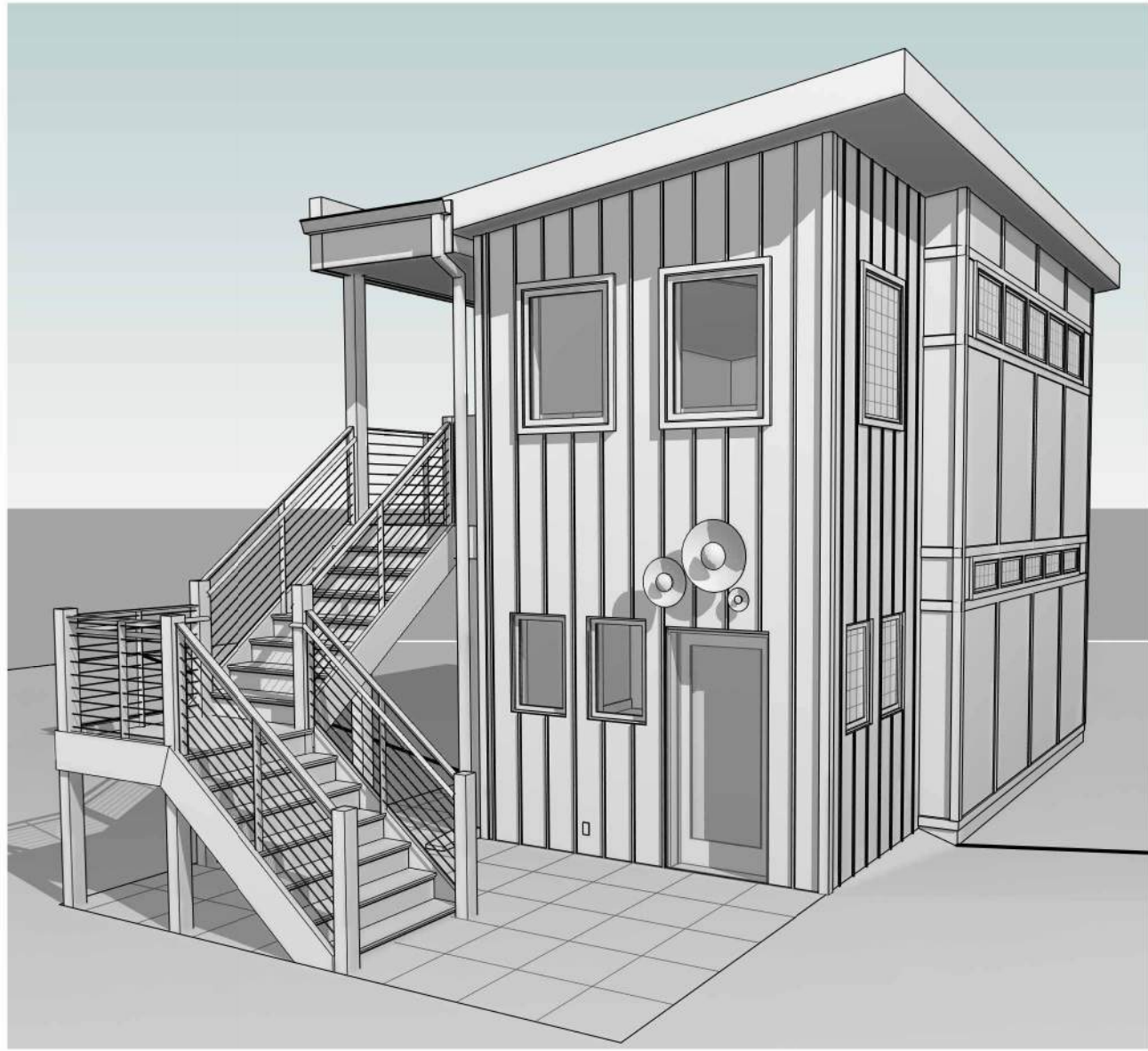
WOOD STRUCTURAL PANEL FASTENER SCHEDULE
NO. 8 WOOD SCREWS, NO. 10 WOOD SCREWS, OR 1/4" LAG SCREWS, 8" TO 16" O.C. AS DETERMINED BY TABLE R301.2.1.2

STORY HEIGHT - -- STORIES

LOADING REQUIREMENTS

- LIVE LOADS
- DWELLINGS: 40 PSF
- SLEEPING ROOMS: 30 PSF
- STAIRS AND LANDING: 40 PSF UNIFORMLY DISTRIBUTED LIVE LOAD. CONCENTRATED LOAD DESIGN SHALL BE 300 POUNDS ACTING ON AN AREA OF 4 SQUARE INCHES OF TREAD.
- GUARDRAILS AND HANDRAILS: 200 PSF SINGLE CONCENTRATED LOAD APPLIED NORMAL LOAD IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
- GUARDRAIL IN-FILL COMPONENTS: 50 PSF HORIZONTALLY APPLIED NORMAL LOAD ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.
- ATTICS WITHOUT STORAGE: 10 PSF UNIFORMLY DISTRIBUTED LIVE LOAD
- ATTICS WITH LIMITED STORAGE: 20 PSF UNIFORMLY DISTRIBUTED LIVE LOAD
- HABITABLE ATTICS & ATTICS WITH FIXED STAIRS: 30 PSF UNIFORMLY DISTRIBUTED LIVE LOAD
- DECKS: 40 PSF LIVE LOAD, 10 PSF DEAD LOAD

Susie Ganch Art Studio



GENERAL NOTES

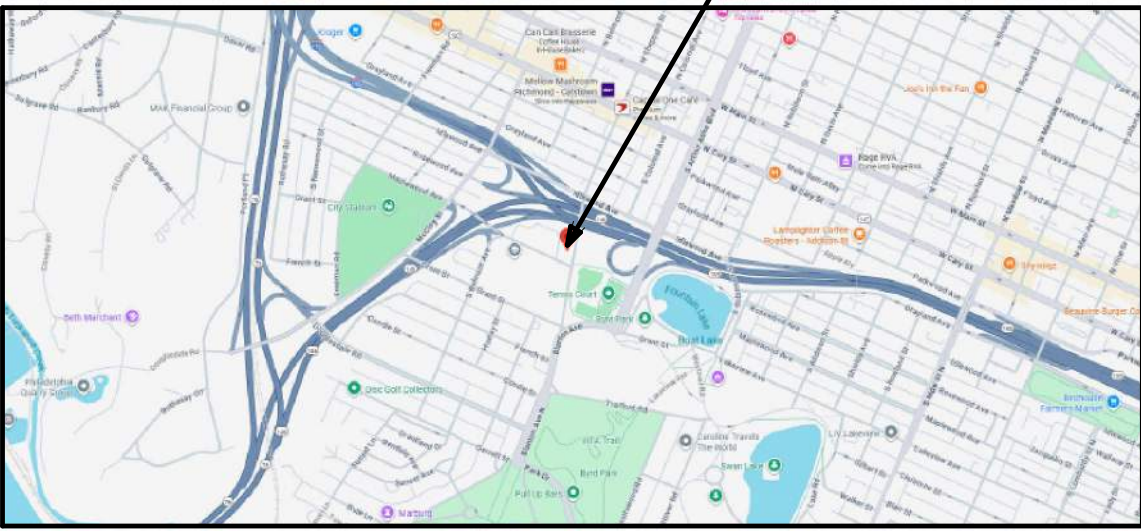
- THE PROJECT CONSISTS OF ADDING A SECOND LEVEL OVER THE OWNER'S EXISTING ART STUDIO LOCATED IN A CONVERTED GARAGE. PROJECT IS THE OWNER'S PRIVATE ART STUDIO.
- THESE PLANS ARE SUBMITTED FOR BUILDING PERMIT ONLY. SUBCONTRACTORS SCHEDULED TO PERFORM CIVIL, UTILITY, SITEWORK/LANDSCAPING, MECHANICAL, ELECTRICAL, AND PLUMBING WORK WILL BE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS FOR THEIR RESPECTIVE TRADES.
- THE GENERAL CONTRACTOR AND EACH SUB-TRADE CONTRACTOR SHALL BE REQUIRED TO CHECK AND BE RESPONSIBLE FOR CONFORMANCE OF THESE PLANS WITH ALL REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE STATE OF VIRGINIA, LOCAL ORDINANCES, BUILDING CODES AND MANUFACTURERS RECOMMENDATIONS PRIOR TO BEGINNING WORK AND DURING CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, FIRE CODES AND RELATED PROVISIONS.
- ALL DIMENSIONS ARE TO THE FACE OF THE WALL, UNLESS NOTED OTHERWISE.
- SUBMIT FOR REVIEW AND APPROVAL ALL FINISH ITEMS (FLOORS, COUNTERTOPS, ETC.) , DOORS, HARDWARE, WINDOWS, ROOFING, DECK MATERIAL, SIDING, COLORS, CASEWORK/MILLWORK, PLUMBING FIXTURES AND TRIM AND OTHER VISIBLE ITEMS THAT REQUIRE OWNER/ARCHITECT INPUT AND/OR SELECTION.
- DRAWINGS SHOW INTENT, ARRANGEMENT AND EXTENT OF WORK TO BE PERFORMED TO OBTAIN A BUILDING PERMIT. ACTUAL CONSTRUCTION MAY BE SUBJECT TO MODIFICATIONS BY THE BUILDING INSPECTOR AND/OR TO MEET FIELD AND DESIGN CONDITIONS.
- ALL DESIGN IN CONFORMANCE WITH VIRGINIA RESIDENTIAL CODE AS ADOPTED BY THE LOCAL BUILDING DEPARTMENT.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO BEGINNING THIS PROJECT, AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE STARTING WORK.
- THE ARCHITECT IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE PROJECT.
- THE OWNER IS RESPONSIBLE FOR OBTAINING A SOILS REPORT FROM A LICENSED SOILS ENGINEER. FOUNDATION ARE DESIGNED FOR A MINIMUM GROSS SOIL BEARING CAPACITY OF 2,500 P.S.F. NOTIFY ARCHITECT FOR REDESIGN IF ACTUAL CAPACITY IS LESS.
- FOUNDATION SHALL REST ON UNDISTURBED SOIL OR COMPACTED GRAVEL BACKFILL BELOW THE PUBLISHED FROST DEPTH ADOPTED BY THE LOCAL BUILDING DEPARTMENT.
- FOUNDATION CONCRETE SHALL TEST AT A MINIMUM OF 3,000 P.S.F. AT 28 DAYS. CONCRETE WALKS, PADs, PATIOS AND GARAGE SLAB SHALL BE 3,500 P.S.I. CONCRETE. EXPOSED CONCRETE TO BE AIR ENTRAINED AS SPECIFIED BY A.C.I.
- ALL MASONRY WORK TO CONFORM TO THE LATEST EDITION OF AMERICAN STANDARD BUILDING CODE REQUIREMENTS FOR MASONRY. LOAD BEARING MASONRY SHALL BE ASTM C-90. MINIMUM WALL BEARING AT BEAMS AND LINTELS SHALL BE SHOWN ON ENGINEERED SHOP DRAWINGS.
- NO BACKFILL SHALL BE PLACED AGAINST ANY FOUNDATION UNTIL WALLS ARE PROPERLY BRACED OR FLOORS ARE ERECTED AND ANCHORED IN PLACE.
- ALL DIMENSIONAL STRUCTURAL LUMBER SHALL BE SOUTHERN YELLOW PINE, UNLESS OTHERWISE NOTED.
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY OR EXPOSED TO WEATHER SHALL BE TREATED LUMBER. WALL SILL PLATES SHALL REST ON CONTINUOUS SILL SEAL FOAM.
- PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS WHEN PARALLEL TO JOIST SPAN.
- PROVIDE SOLID BRIDGING AT ALL JOISTS AT A MAXIMUM OF 8'-0" O.C. AND WHEN BEARING ON WALLS AND BEAMS.
- ALL STRUCTURAL STEEL BEAMS, COLUMNS, ANGLES, AND PLATES, IF REQUIRED, SHALL MEET ASTM-36, SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS LATEST EDITION.
- ALL WINDOWS AND EXTERIOR DOORS SHALL BE FLASHED AT HEADS AND SILLS. FLASHING S HALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. PROVIDE SEALANT JOINTS AT ALL SIDES. WINDOWS TO BE PREMIUM VINYL INSULATED AWNING, CASEMENT AND DOUBLE HUNG WINDOWS, APPROVED BY ARCHITECT. SILL PAN FLASHING SHOULD BE CONTINUOUS. FIELD CUT AND DRAIN WATER TO THE EXTERIOR FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
- THE SELECTION OF ALL INTERIOR FINISHES AND COLORS ARE THE RESPONSIBILITY OF THE OWNER AND SHALL BE COORDINATED BY THE GENERAL CONTRACTOR.
- ALL EXTERIOR AND INTERIOR FINISHES SHALL COMPLY WITH CODES FOR FLAME SPREAD RATINGS AND SMOKE GENERATION FACTORS.
- ALL ACCESSORIES NOT SHOWN ON DRAWINGS OR SPECIFICALLY CALLED FOR SUCH AS SOFFITS, BLOCKING, BULKHEADS, FASTENERS, FLASHING, MISC. TRIM, SEALANT, ETC. REQUIRED AND CONSIDERED GENERAL BUILDING PRACTICE FOR HOME CONSTRUCTION INCLUDING TRASH REMOVAL SHALL BE CONSIDERED PART OF THE BUILDING CONTRACT.
- ALL DUCTWORK, WIRING AND PLUMBING SHALL BE CONCEALED IN WALLS AND/OR CEILINGS IN FINISHED SPACES. USE INSULATION WRAP ON ALL HOT AND COLD LINES LOCATED IN EXTERIOR WALLS
- PROVIDE JOIST HANGERS AT THE END OF ALL FLUSH FRAMED WOOD CONSTRUCTION.

PROJECT DIRECTORY

ARCHITECT
STUDIO Z ARCHITECTURE, INC.
3020 SANDY BLUFF PLACE
RICHMOND, VA 23233
804-304-2751

OWNER
SUSIE GANCH
520 S SHEPPARD STREET
RICHMOND, VA 23221

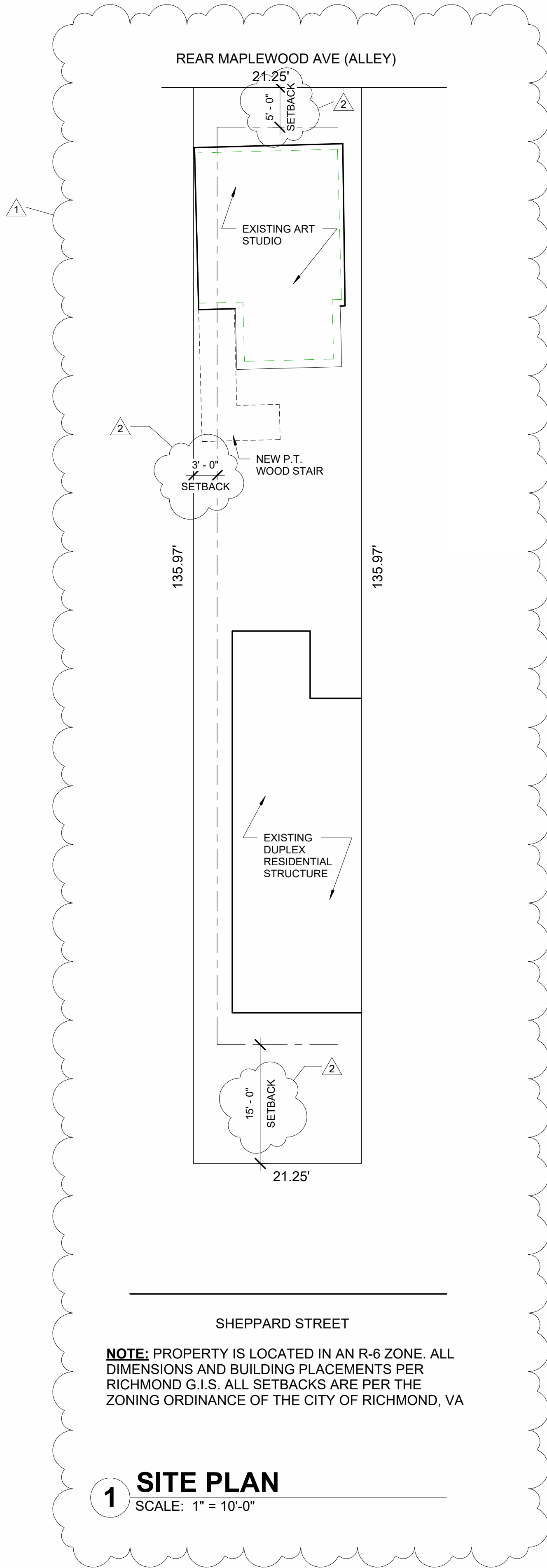
LOCATION MAP



- ALL WALLS AND CEILINGS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD NAILED AT PERIMETER AND SCREWED AT FIELD LOCATIONS, TAPED, SPACKLED AND PAINTED WITH ONE COAT OF PRIMER AND TWO FINISH COATS.
- FLOORING: SUB-FLOOR TO BE 3/4" T&G PLYWOOD OR "ADVANTECH", GLUED AND NAILED TO FLOOR JOISTS WITH PL-400 ADHESIVE.
- STAIR TREAD AND RISERS TO BE FINISHED WOOD AS SELECTED BY OWNER.
- PER VRC R301.5, GUARDRAIL AND HANDRAIL SYSTEM SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH SECTION 4.5.1.1 OF ASCE 7
- RAILING BALUSTER SYSTEM SHALL COMPLY WITH THE MAXIMUM OPENING, NOT ALLOWING A 4" DIAMETER SPHERE TO PASS THROUGH.
- PROVIDE FLASHING AT ALL ROOF PENETRATIONS VALLEYS AND WHERE ROOFS ABUT ADJACENT CONSTRUCTION. PROVIDE SEAMLESS GUTTERS AND DOWNSPOUTS AT ROOF FASCIA
- ALL DOORS SHALL BE SOLID WOOD, SIZE AND STYLE AS INDICATED ON SCHEDULE AND STAINED OR PAINTED AS DIRECTED BY OWNER. DOOR HARDWARE SHALL BE SHOWN ON THE HARDWARE SCHEDULE.
- ALL SMOKE DETECTORS TO BE HARD WIRED AND INTER-CONNECTED.
- IN ADDITION TO MEETING VIRGINIA RESIDENTIAL CODE REQUIREMENTS FOR THE PLACEMENT OF ELECTRICAL OUTLETS, THE BUILDER SHALL PERFORM A WALK-THROUGH TO COORDINATE FINAL PLACEMENT AND QUANTITIES WITH OWNER.
- THE OWNER SHALL PROVIDE A LOT SURVEY WHEN REQUIRED BY THE LOCAL CODE OFFICIAL.
- GENERAL CONTRACTOR SHALL PROTECT ALL NEIGHBORING PROPERTIES FROM SOIL RUN-OFF AND PROVIDE PERIMETER SILT FENCES AS REQUIRED.
- CABINET DESIGN IS FOR DESIGN INTENT ONLY. SHOP DRAWING LAYOUT SHALL BE PROVIDED BY GENERAL CONTRACTOR OR CABINET SUPPLIER SHOWING ALL BASE CABINETS, WALL CABINETS, COUNTERTOPS AND BUILT-INS AND SHALL INCLUDE STYLES AND FINISHES. THE OWNER SHALL APPROVE THE FINAL DESIGN. GENERAL CONTRACTOR SHALL COORDINATE ALL MILLWORK DESIGN AND APPLIANCE SELECTIONS WITH THE OWNER.
- PER VRC 408.1, THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH EXTERNAL CORNER OF THE UNDER-FLOOR SPACE.
- PER VRC 806.1, ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH (6.4 MM) SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR AND SHALL BE PROTECTED TO PREVENT THE ENTRY OF BIRDS, RODENTS, SNAKES AND OTHER SIMILAR CREATURES
- STUDIO Z ARCHITECTURE IS NOT RESPONSIBLE FOR THE IDENTIFICATION, REMOVAL DISPOSAL OR ANY OTHER ASPECT OF DESIGN, DEMOLITION, DISPOSAL OR CONSTRUCTION INVOLVING ANY TYPE OF HAZARDOUS WASTE MATERIALS.
- THE BUILDER SHALL REMOVE AND LEGALLY DISPOSE OF ALL CONSTRUCTION DEBRIS AND RETURN DISTURBED PORTIONS OF THE SITE TO THEIR ORIGINAL CONDITION AND PROVIDE SUITABLE SOIL/TOPSOIL FOR GRASS AND VEGETATION AS REQUIRED.
- SPRAY FOAM INSULATION WILL BE REQUIRED WHERE FRAMING DEPTH IS INSUFFICIENT.
- FINAL CONSTRUCTION COST TO BE BASED ON FINAL BUILDING DEPARTMENT APPROVED DRAWINGS.

PROJECT NOTE

THE PROPOSED STUDIO EXPANSION MAKES THE MOST OF THE LIMITED SPACE. THE SECOND-FLOOR NORTH WALL IS ESPECIALLY IMPORTANT FOR CREATING LARGE RELIEF PIECES, WHICH ARE CENTRAL TO THE ARTIST'S WORK. A SHED-STYLE ROOF SLOPING FROM NORTH TO SOUTH WILL CREATE A LARGE, UNINTERRUPTED WALL SURFACE TO WORK ON. HIGH WINDOWS WILL BRING IN SOFT, INDIRECT LIGHT FROM THE NORTH. WITHOUT THIS NORTH WALL, THE PROJECT WON'T WORK FOR THE ARTIST.



1 SITE PLAN

SCALE: 1" = 10'-0"

studio z
ARCHITECTURE

3020 SANDY BLUFF PLACE • RICHMOND • VA • 23233-8703
PHONE: 804.304.2751 • WWW.STUDIOZONLINE.COM



REVISIONS:

#	DATE	DESCRIPTION
1	23 SEP 25	ADDED SITE PLAN
2	27 OCT 25	BLDG DEPT REVISIONS
4	21 APR 26	DESIGN REVISION

PROJECT NAME:
Ganch Art Studio

OWNER:
Susie Ganch
520 S SHEPPARD STREET
RICHMOND, VA 23221

DRAWING NAME:
PROJECT REFERENCE

PERMIT SUBMISSION SET

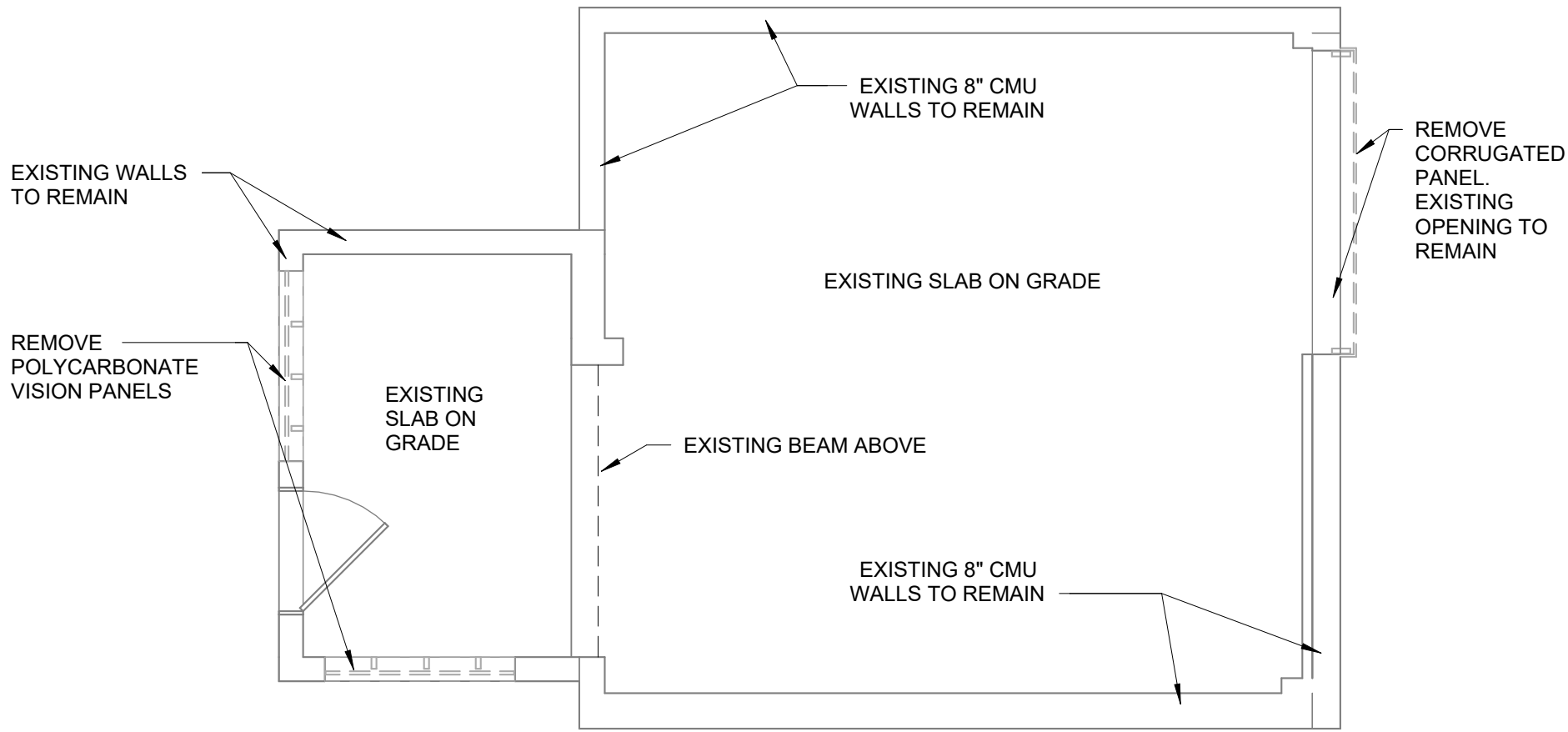
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PROJECT NUM: N/A

Date: 23 SEPT 2025

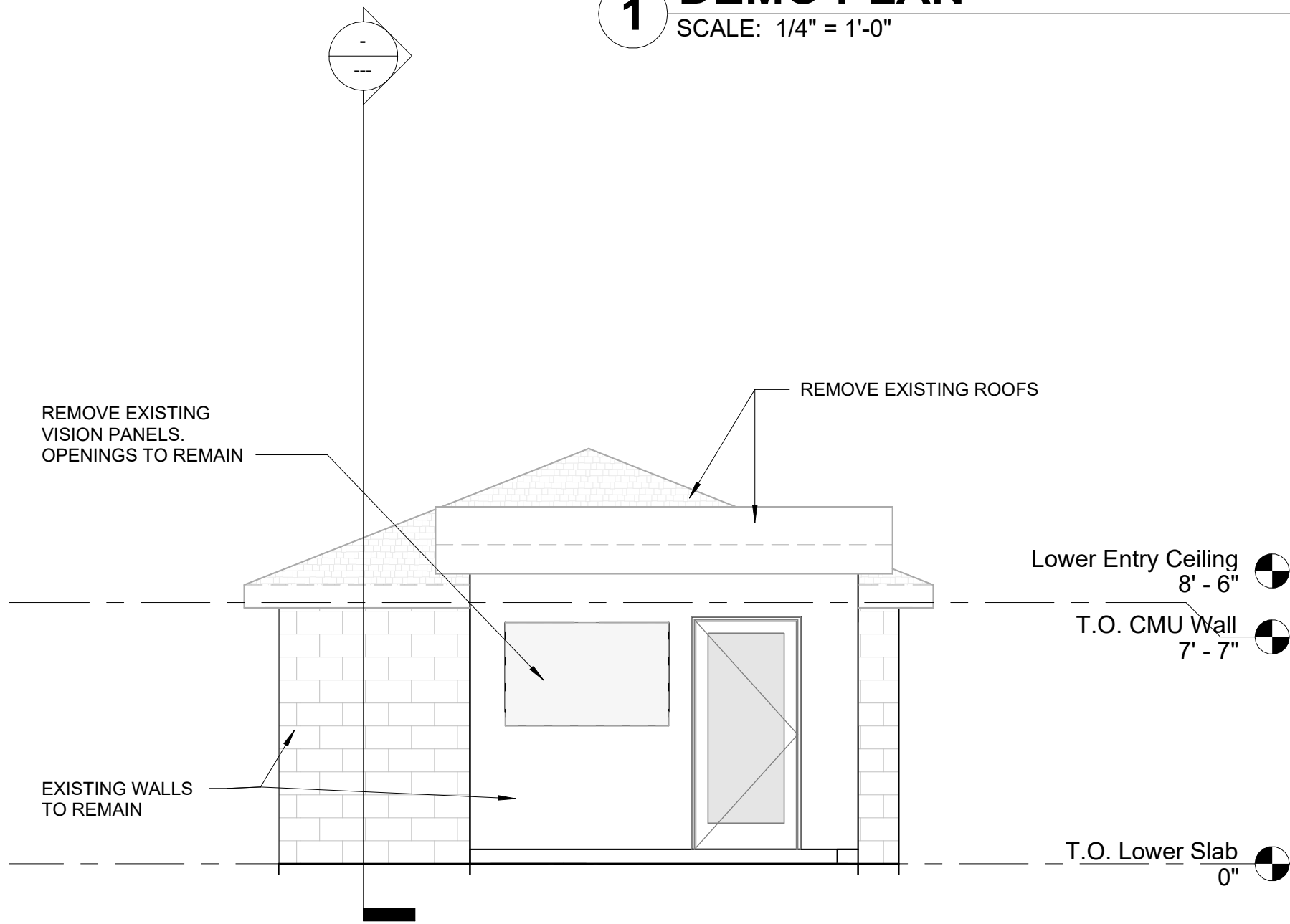
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GENERAL CONSTRUCTION / DEMOLITION NOTES

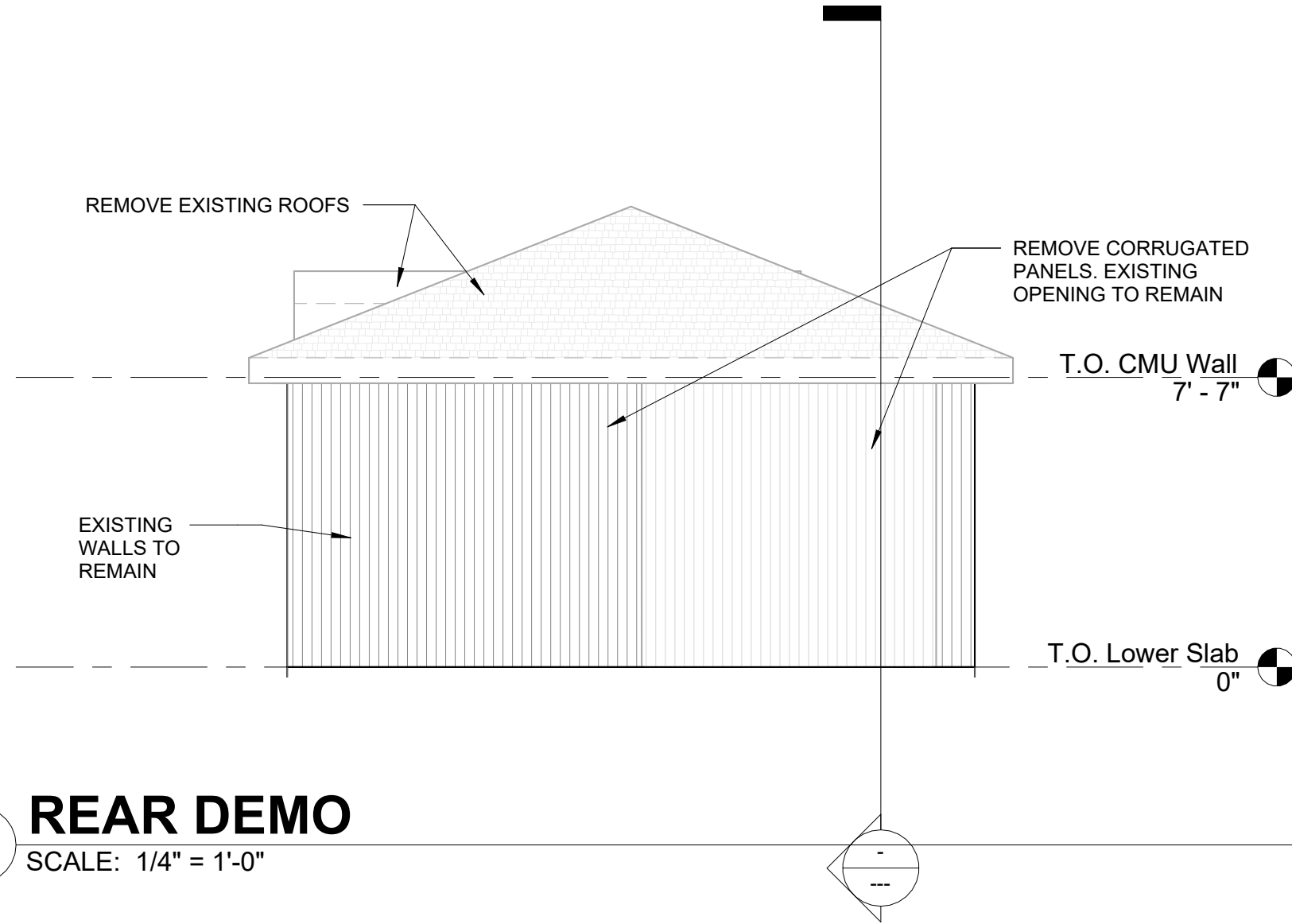
1. CONTRACTOR SHALL COORDINATE ALL DEMOLITION AND CONSTRUCTION WITH OWNER'S SCHEDULE
2. WHERE APPLICABLE, SEE MEP ENGINEERING DRAWINGS FOR SCOPE OF DEMOLITION RELATED TO MECHANICAL, ELECTRICAL, AND PLUMBING.
3. COORDINATE ROOF PENETRATION AND FLASHING WORK WITH THE SIZE AND PLACEMENT OF NEW VENT STACKS, IF REQUIRED.
4. CONTRACTORS SHALL CLEAN UP AND REMOVE CONSTRUCTION AND DEMOLITION DEBRIS CREATED BY THEIR RESPECTIVE TRADES ON A DAILY BASIS.
5. ALL CONSTRUCTION AND DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES.
6. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS PRIOR TO START OF WORK.
7. CONTRACTORS SHALL PROVIDE PROTECTION FOR ALL EXISTING ITEMS AND FINISHES SCHEDULED TO REMAIN
8. THE DEMOLITION PLANS CALL FOR THE REMOVAL OF VARIOUS NON-STRUCTURAL WALLS. THE BUILDER SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION SCOPE, OPERATIONS, AND METHODS. TEMPORARY SHORING AND LATERAL/ POINT LOAD CONSIDERATIONS SHALL BE CAREFULLY COORDINATED.
9. STUDIO Z ARCHITECTURE IS NOT RESPONSIBLE FOR THE IDENTIFICATION, REMOVAL, DISPOSAL OR ANY OTHER ASPECT OF DESIGN, DEMOLITION, DISPOSAL OR CONSTRUCTION INVOLVING ANY TYPE OF HAZARDOUS WASTE MATERIALS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND MAINTAIN IN A SECURE AND SAFE MANNER, ALL STAGING AREAS AND MATERIAL/EQUIPMENT STORAGE AREAS. CONTRACTOR SHALL PROVIDE FLAG PERSONS OR OTHER TRAFFIC SAFETY ACCOMMODATIONS TO PROTECT THE SAFETY OF WORKERS AND OTHER VEHICULAR AND PEDESTRIAN TRAFFIC.
11. PROVIDE PROTECTIVE HEADGEAR, PROPER WARNING SIGNS AND ALL OTHER WORKER PROTECTION MEASURES AS PRESCRIBED BY FEDERAL STATE AND LOCAL CODES.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF PROTECTIVE CONSTRUCTION, DUST PARTITIONS AND SILT FENCING AND ALL OTHER SAFETY AND ENVIRONMENTAL CONTROLS FOR THE DURATION OF THE PROJECT.
13. WHERE DEMOLITION AFFECTS EXISTING FINISHES, THOSE AREAS SHALL BE REFINISHED TO MATCH THE SURROUNDING AREAS. IF A MATCH IS NOT POSSIBLE, THE ENTIRE AREA SHALL BE REFINISHED.



1 DEMO PLAN
SCALE: 1/4" = 1'-0"



2 EAST/FRONT DEMO
SCALE: 1/4" = 1'-0"



3 REAR DEMO
SCALE: 1/4" = 1'-0"



REVISIONS:

#	DATE	DESCRIPTION
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PROJECT NAME:
Ganch Art Studio

OWNER:
Susie Ganch
520 S SHEPPARD STREET
RICHMOND, VA 23221

DRAWING NAME:
DEMOLITION PLAN

DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ/DB
PROJECT NUM: N/A

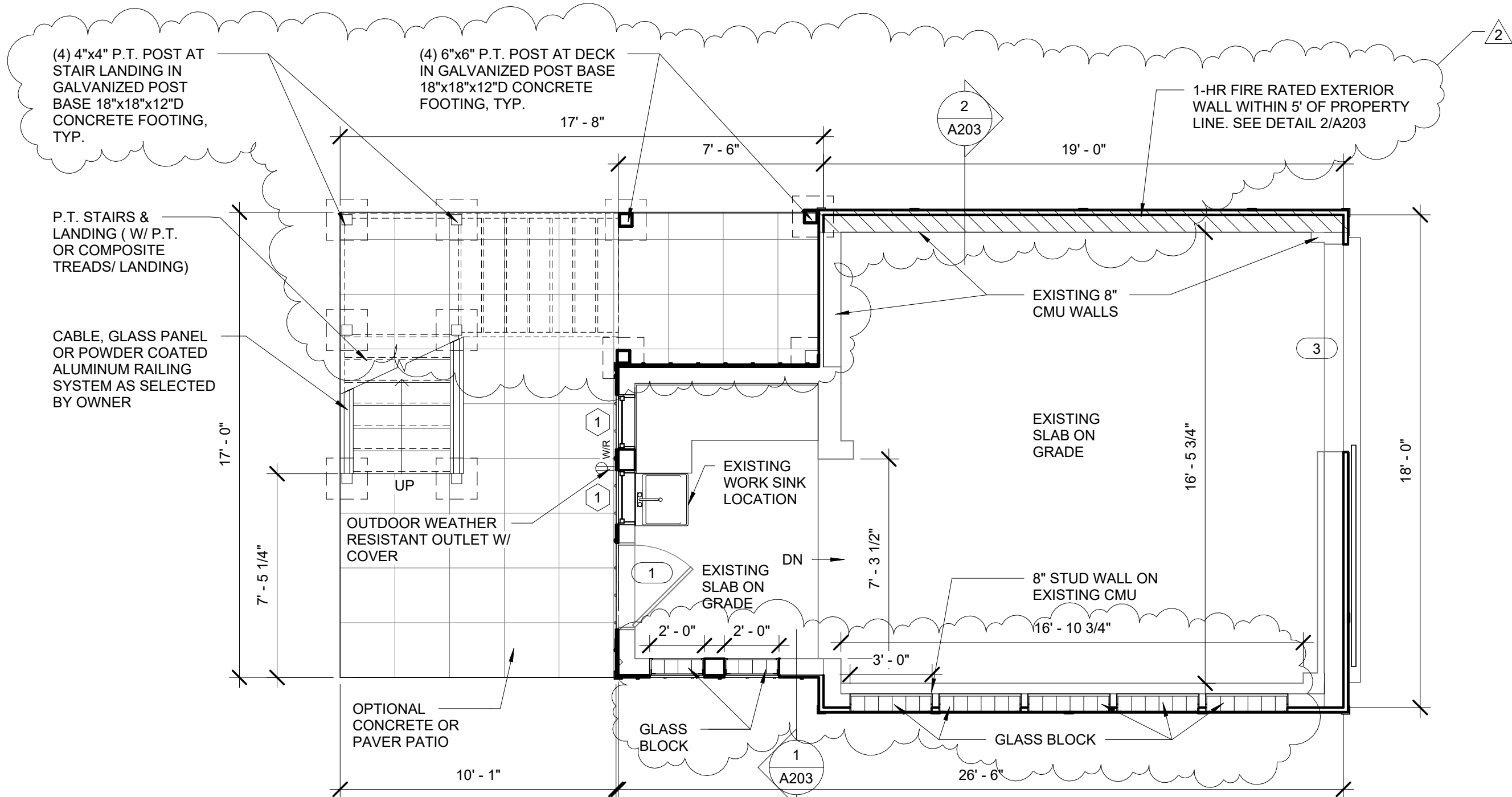
Date: 23 SEPT 2025

PERMIT SUBMISSION SET

WALL LEGEND

- EXISTING
- DEMOLISHED
- NEW CONSTRUCTION

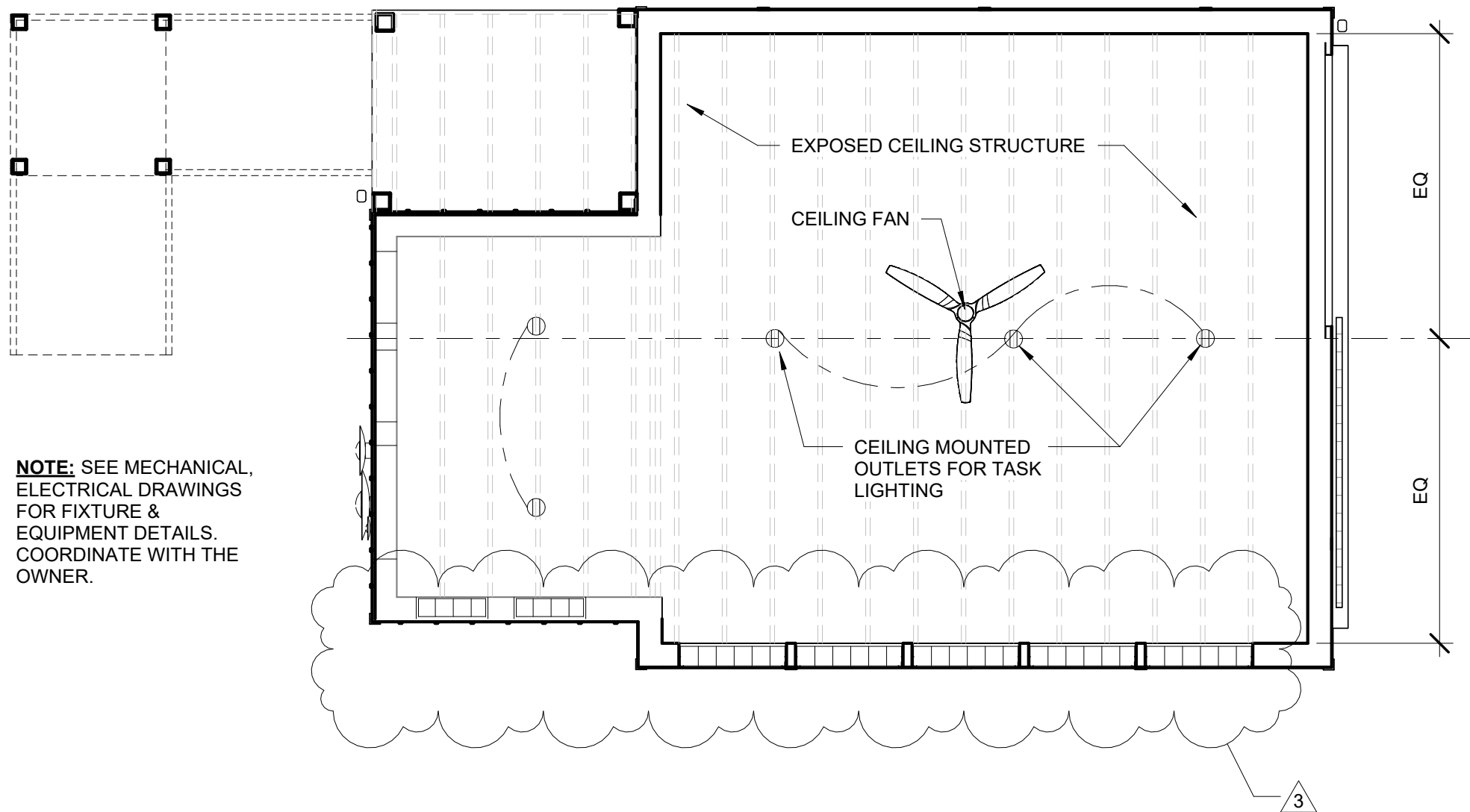
NOTE: SEE MECHANICAL, ELECTRICAL & PLUMBING DRAWINGS FOR LIGHTING, OUTLETS, SINK & VENTILATION DETAILS



1 Level 1
SCALE: 1/4" = 1'-0"

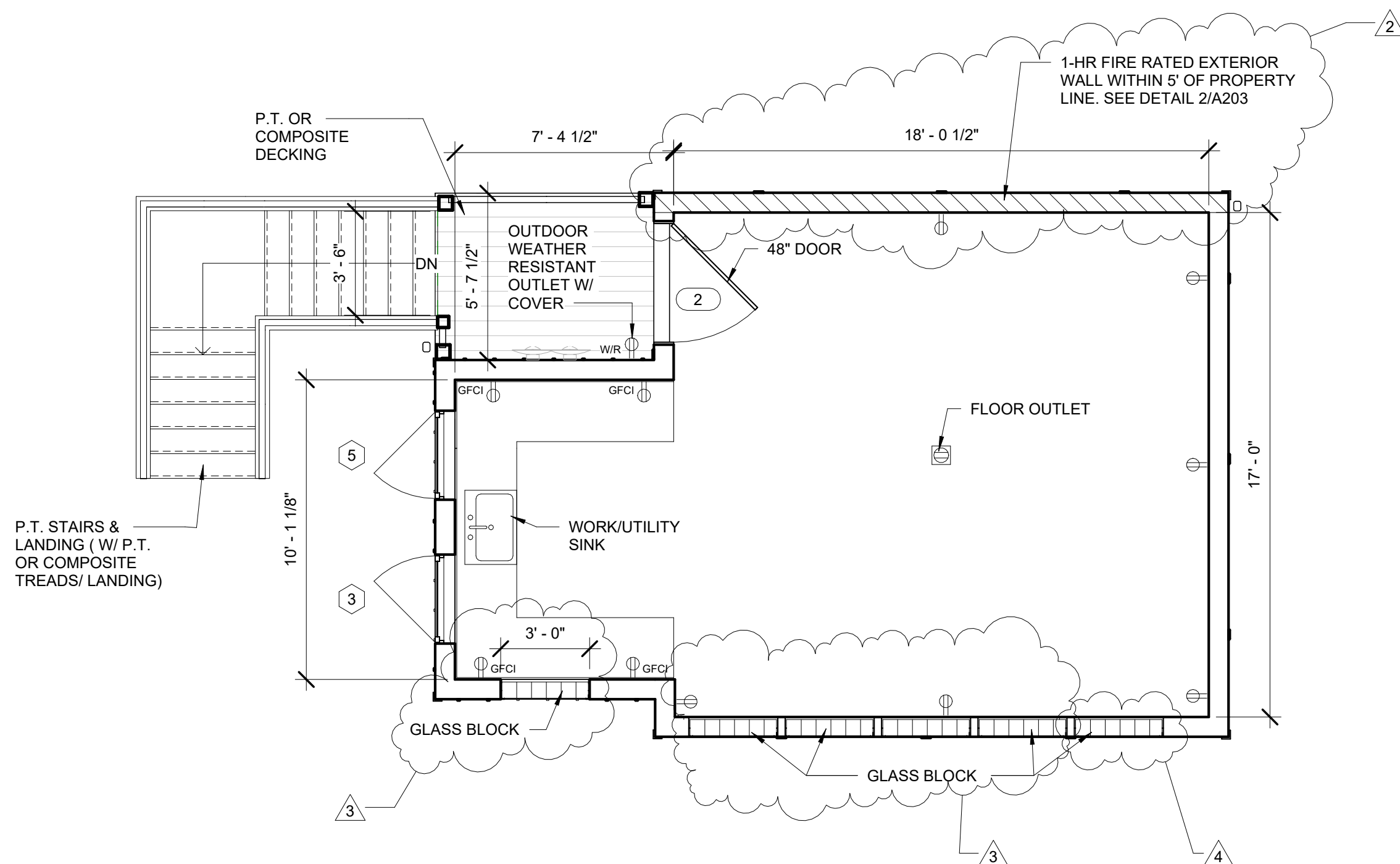
LIGHT FIXTURE LEGEND

- FAN LIGHT
- RECESSED L.E.D. LIGHT
- OUTDOOR SCONCE LIGHT

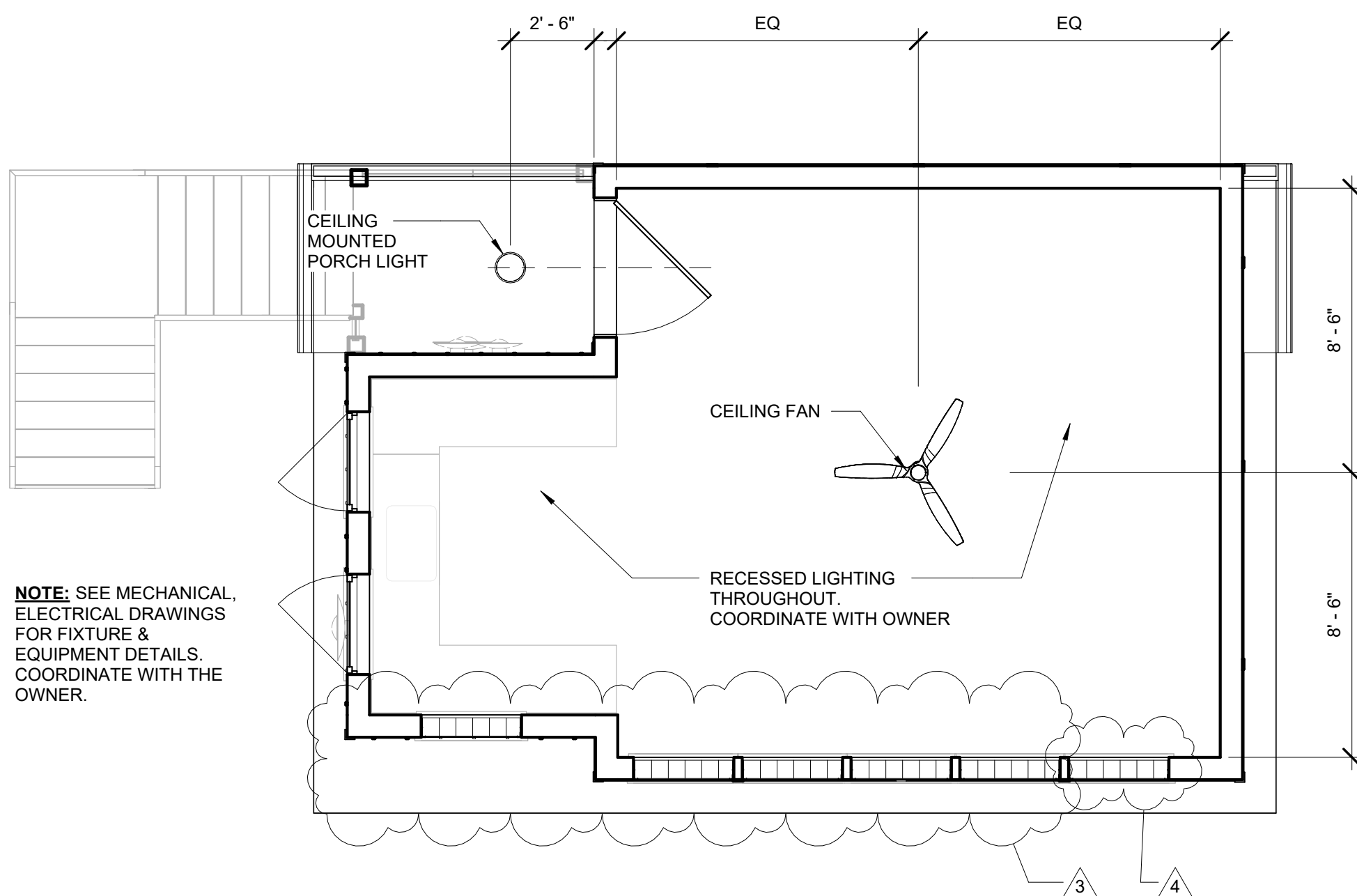


NOTE: SEE MECHANICAL, ELECTRICAL DRAWINGS FOR FIXTURE & EQUIPMENT DETAILS. COORDINATE WITH THE OWNER.

3 Level 1 RCP
SCALE: 1/4" = 1'-0"

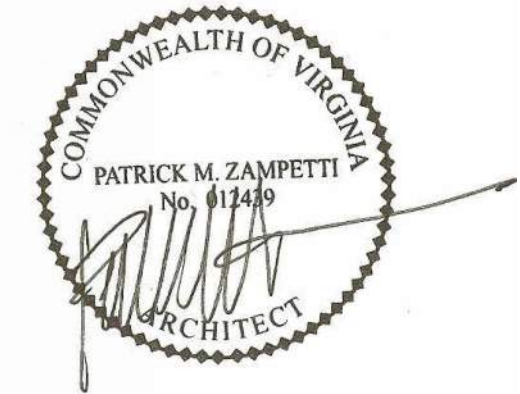


2 Level 2
SCALE: 1/4" = 1'-0"



NOTE: SEE MECHANICAL, ELECTRICAL DRAWINGS FOR FIXTURE & EQUIPMENT DETAILS. COORDINATE WITH THE OWNER.

4 Level 2 RCP
SCALE: 1/4" = 1'-0"



REVISIONS:		
#	DATE	DESCRIPTION
2	27 OCT 25	BLDG DEPT REVISIONS
3	23 JAN 26	BLDG DEPT COMMENTS
4	21 APR 26	DESIGN REVISION

PROJECT NAME:
Ganch Art Studio

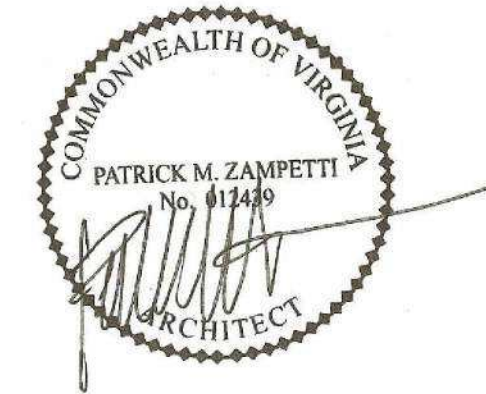
OWNER:
Susie Ganch
520 S SHEPPARD STREET
RICHMOND, VA 23221

DRAWING NAME:
FLOOR PLANS

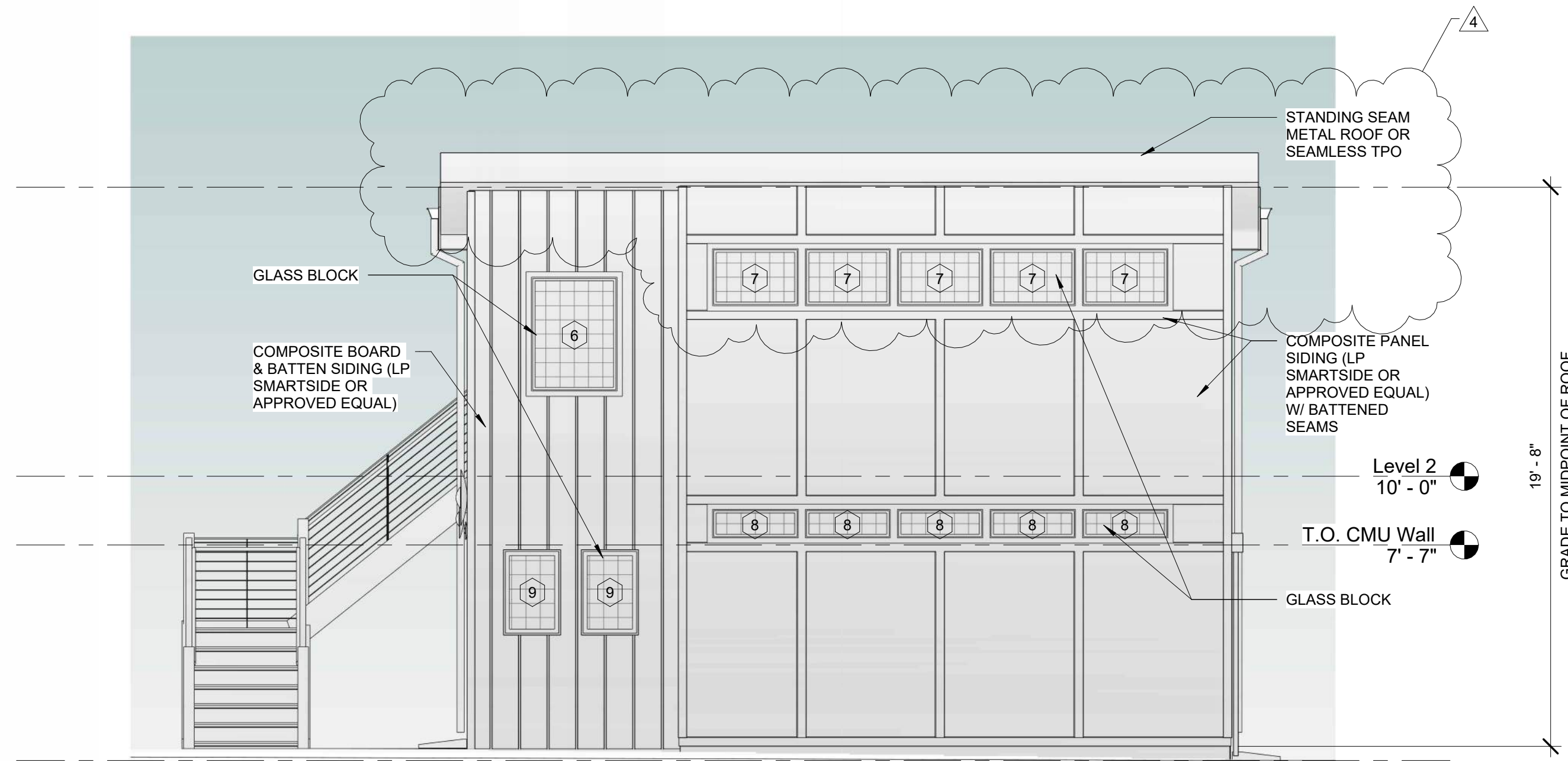
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DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ/DB
PROJECT NUM: N/A

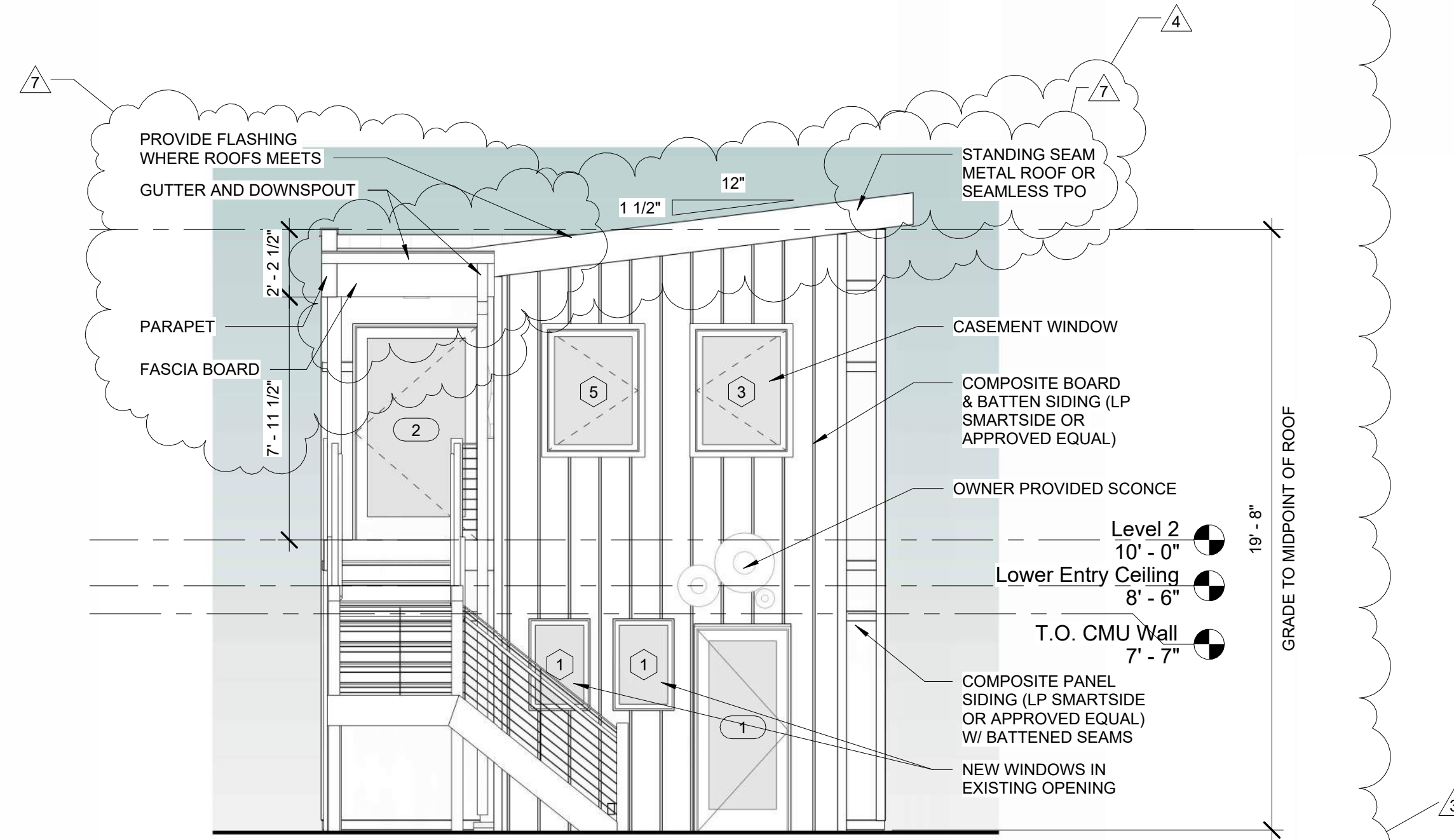
Date: 23 SEPT 2025



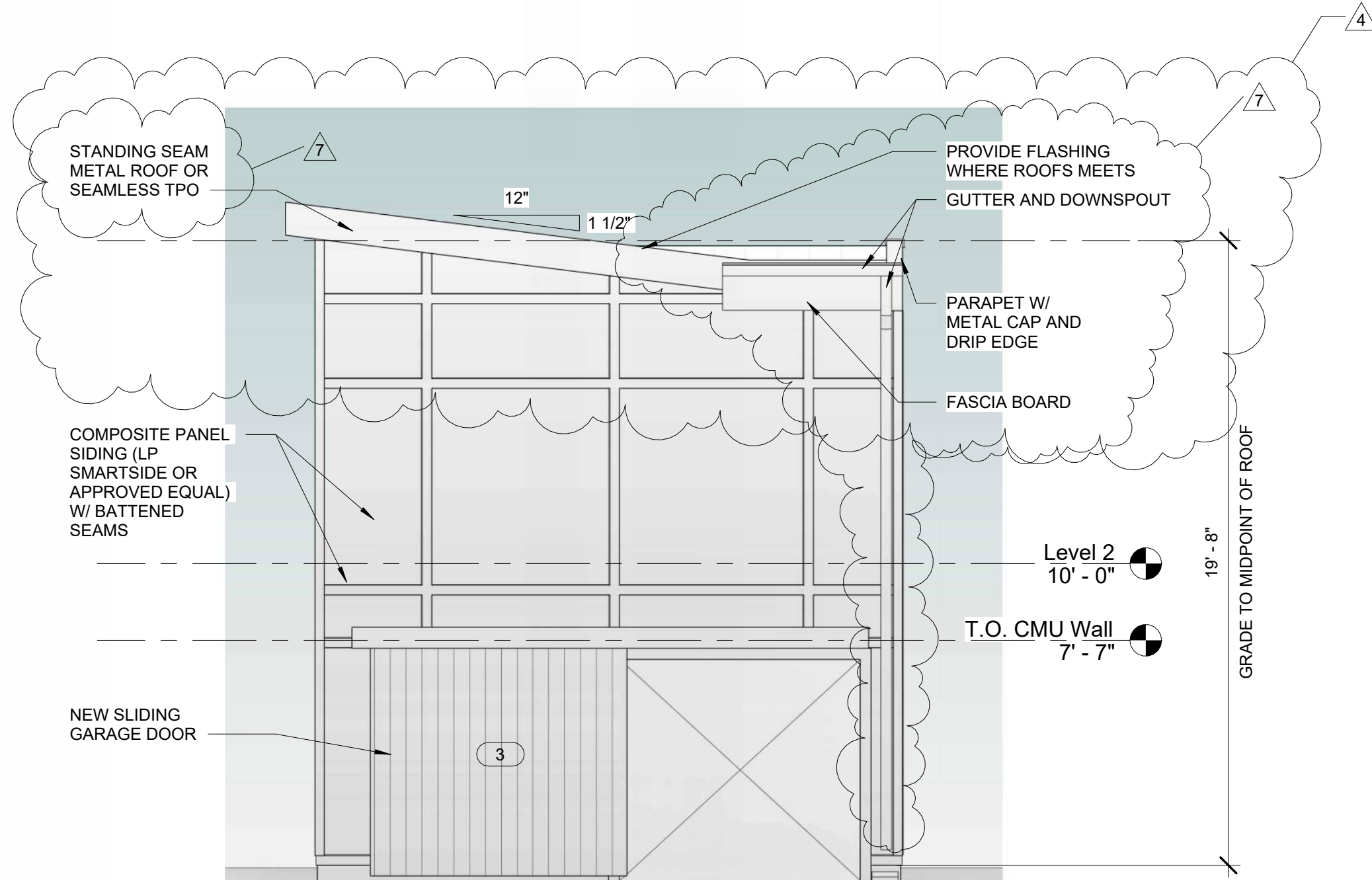
1 NORTH
SCALE: 1/4" = 1'-0"



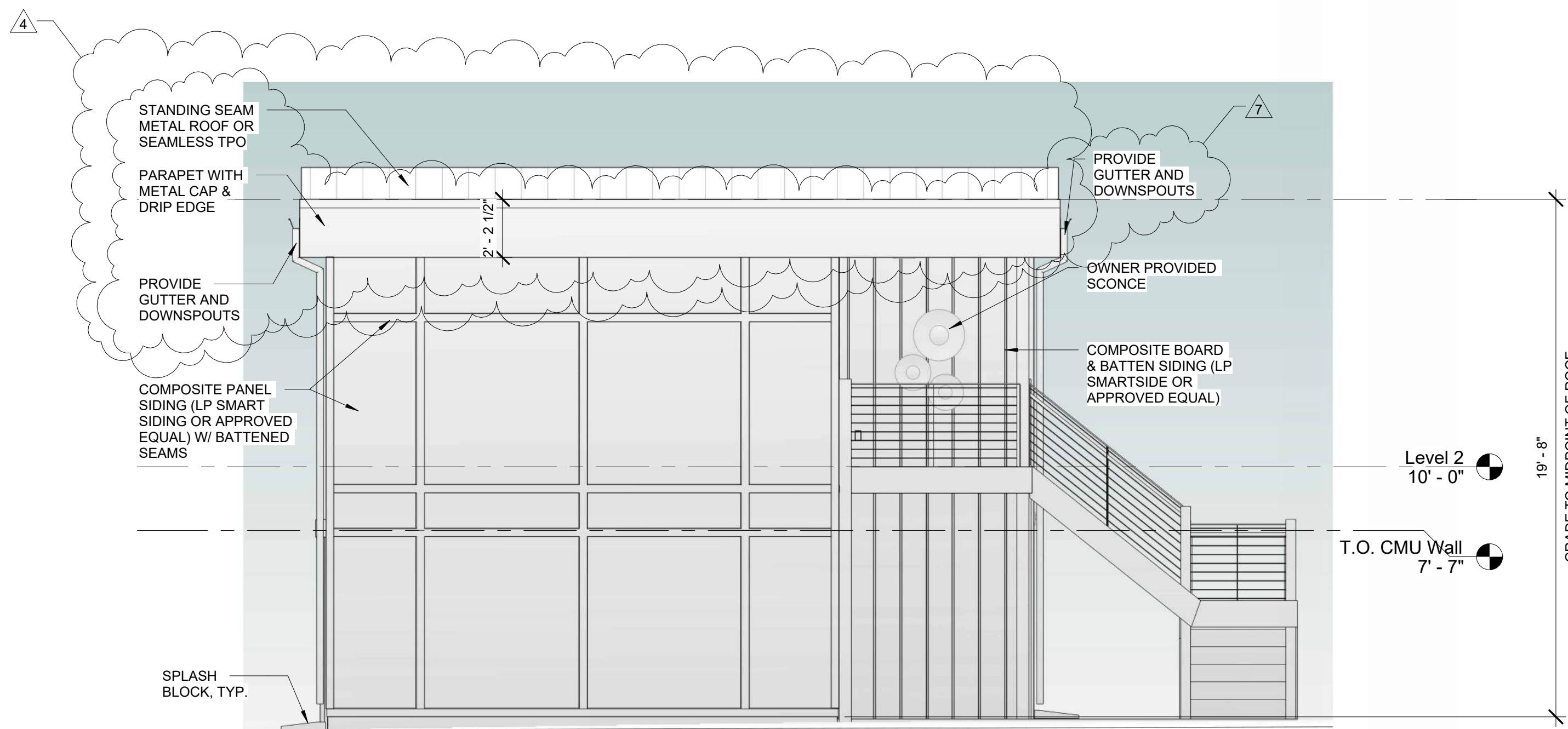
2 EAST/FRONT
SCALE: 1/4" = 1'-0"



3 WEST
SCALE: 1/4" = 1'-0"



4 SOUTH
SCALE: 1/4" = 1'-0"



REVISIONS:		
#	DATE	DESCRIPTION
3	23 JAN 26	BLDG DEPT COMMENTS
4	21 APR 26	DESIGN REVISION
7	16 JUNE 26	ROOF/GUTTER REVISION

PROJECT NAME:
Ganch Art Studio

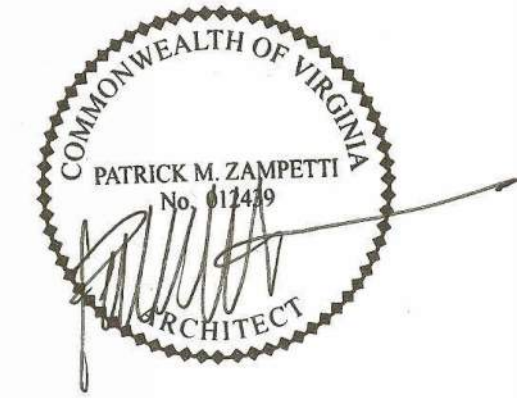
OWNER:
Susie Ganch
520 S SHEPPARD STREET
RICHMOND, VA 23221

DRAWING NAME:
ELEVATIONS

DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ/DB
PROJECT NUM: N/A

Date: 23 SEPT 2025

PERMIT SUBMISSION SET



REVISIONS:		
#	DATE	DESCRIPTION
2	27 OCT 25	BLDG DEPT REVISIONS
3	23 JAN 26	BLDG DEPT COMMENTS
4	21 APR 26	DESIGN REVISION
5	27 MAY 26	ROOF REVISION
7	16 JUNE 26	ROOF/GUTTER REVISION

PROJECT NAME:
Ganch Art Studio

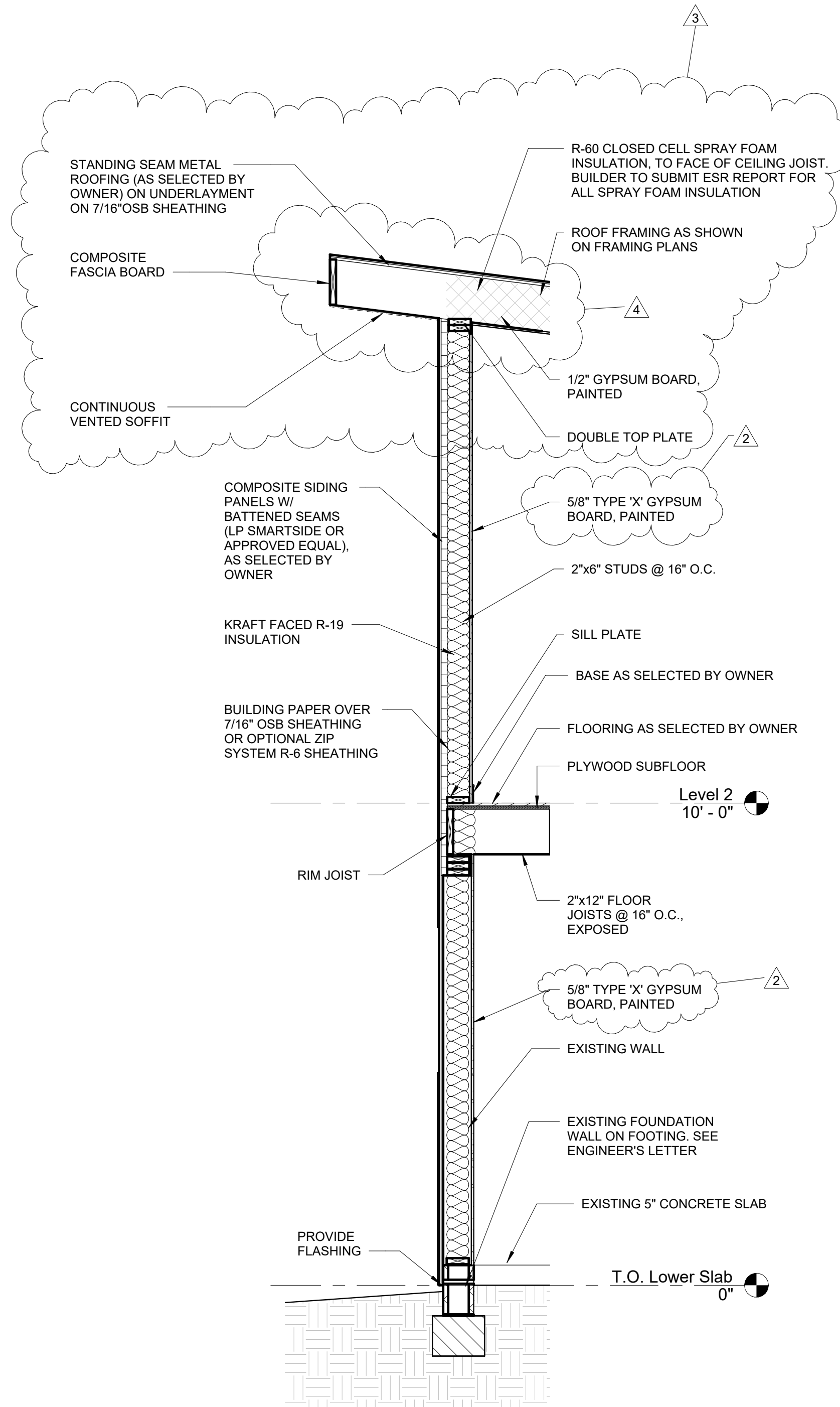
OWNER:
Susie Ganch
520 S SHEPPARD STREET
RICHMOND, VA 23221

DRAWING NAME:
WALL SECTIONS

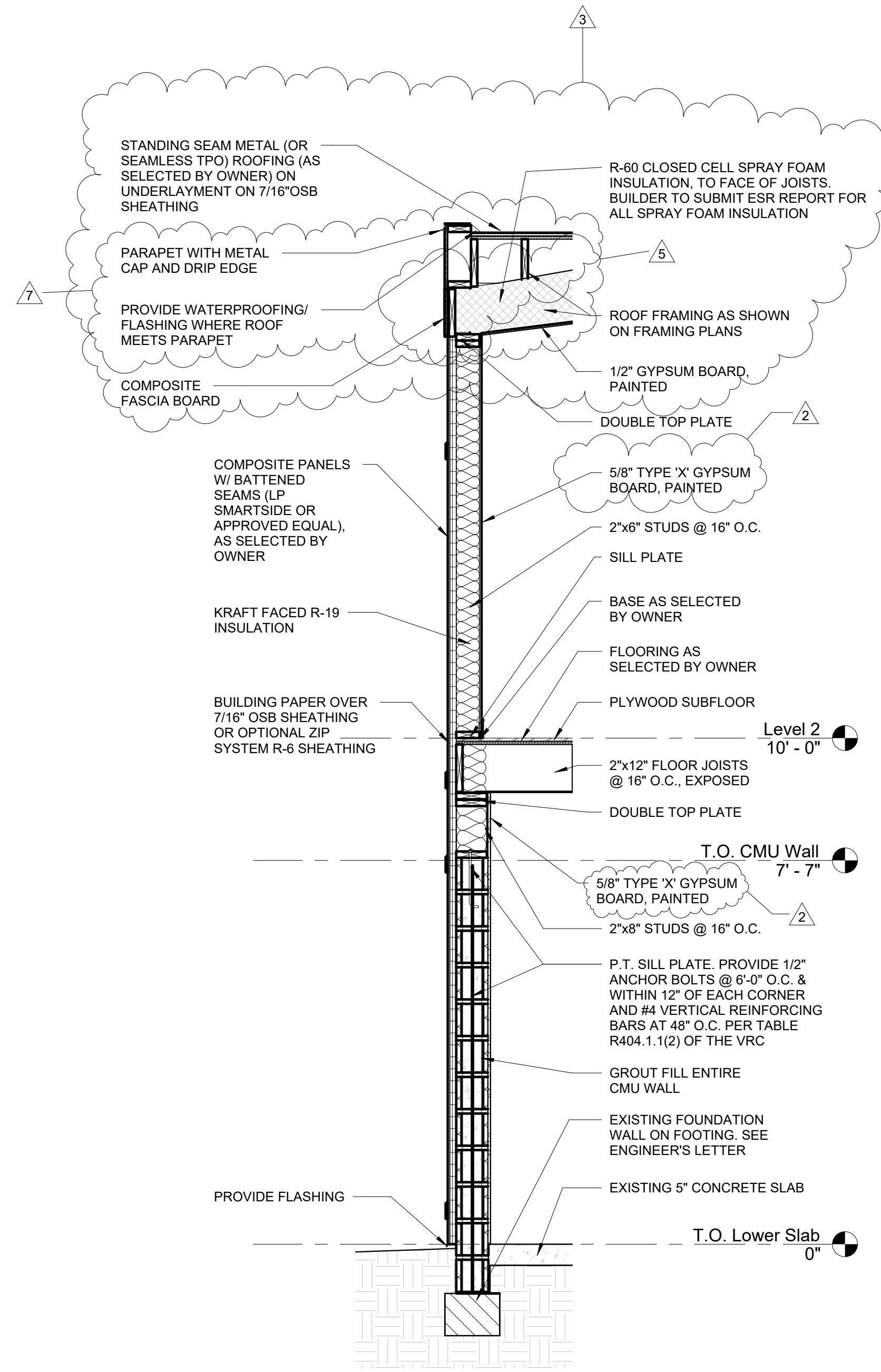
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PROJECT NUM: N/A

Date: 23 SEPT 2025

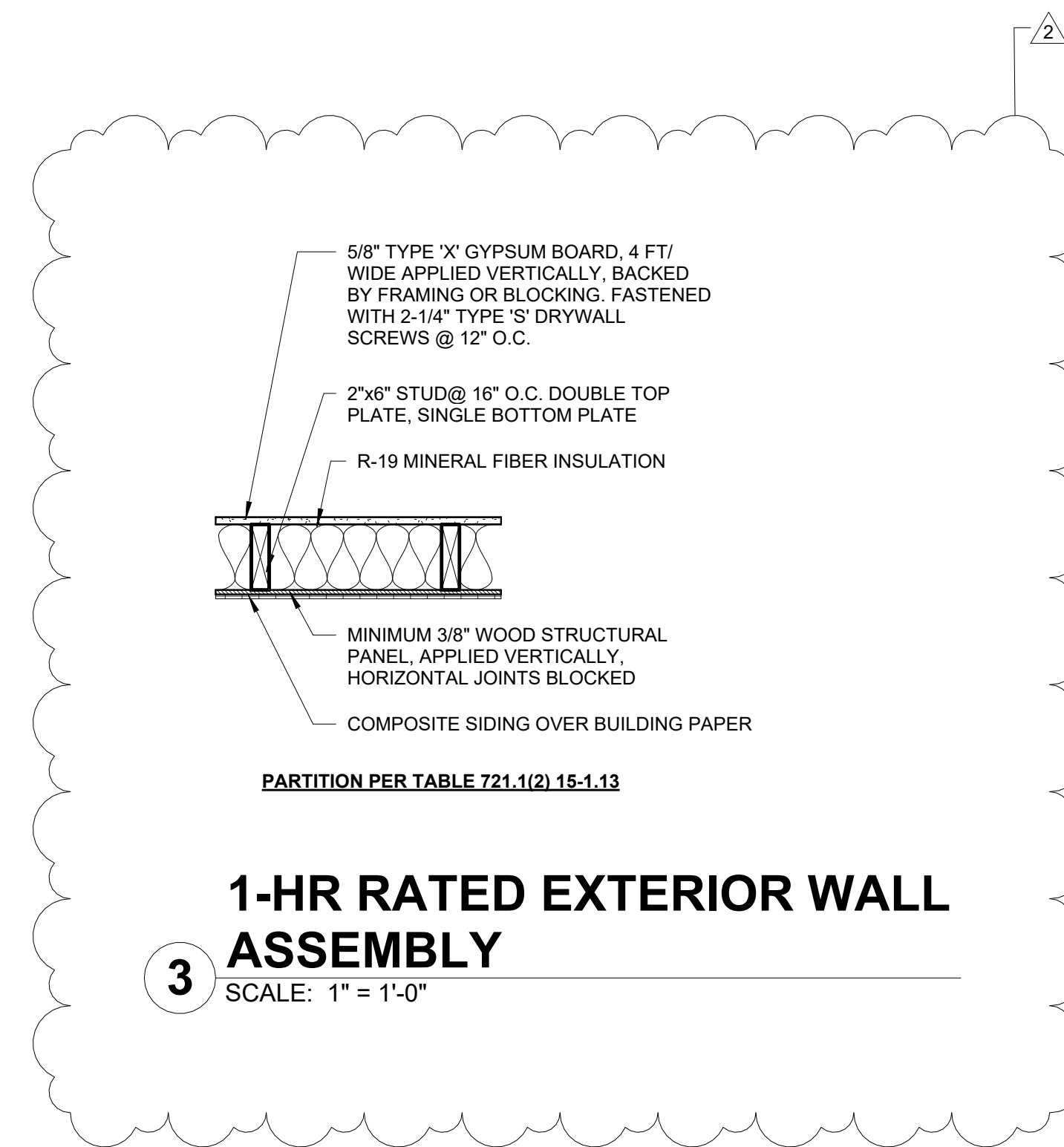
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1 EXTERIOR WALL SECTION OVER EXISTING STUD WALL
SCALE: 1/2" = 1'-0"



2 EXTERIOR WALL SECTION OVER EXISTING CMU
SCALE: 1/2" = 1'-0"



DOOR & HARDWARE SCHEDULE											
Number	Width	Height	Single/Double Leaf	Finish	Lockset	Deadbolt	Passage Set	Privacy Set	Dummy Set	Pocket Hardware	Comments
1	3' - 0"	6' - 8"	SINGLE		Yes						EXISTING
2	4' - 0"	7' - 0"	SINGLE		Yes						FULL LITE
3	7' - 7"	7' - 0"									SLIDING GARAGE DOOR

NOTE: ALL FINAL FINISHES, HARDWARE TO BE SELECTED BY OWNER

ROOM FINISH SCHEDULE					
Room Name	Base Finish	Floor Finish	Wall Finish	Ceiling Finish	Comments
LOWER STUDIO SPACE		EXISTING CONCRETE SLAB	EXISTING PAINTED CMU OR PLYWOOD	EXPOSED CEILING	
UPPER STUDIO SPACE		LVP	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	

NOTE: ALL FINAL FINISH SELECTIONS BY OWNER

WINDOW SCHEDULE				
Number	Width	Height	Count	Comments
1	2' - 0"	3' - 0"	2	FIXED
3	3' - 0"	4' - 0"	1	CASEMENT
5	3' - 0"	4' - 0"	1	CASEMENT
6	3' - 0"	4' - 0"	1	GLASS BLOCK
7	3' - 0"	2' - 0"	5	GLASS BLOCK
8	3' - 0"	1' - 0"	5	GLASS BLOCK
9	2' - 0"	3' - 0"	2	GLASS BLOCK

NOTES:
1. EMERGENCY EGRESS WINDOWS PER IRC 310.2 MINIMUM OF 5.7 SQUARE FEET OF NET CLEAR OPENING AREA, MINIMUM OF 24 INCHES OF NET CLEAR OPENING HEIGHT & MINIMUM OF 20 INCHES OF NET CLEAR OPENING WIDTH. IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

2. ALL FINAL WINDOW SELECTIONS BY OWNER

WINDOW HEADER SCHEDULE	
WINDOW SPAN	HEADER SIZE
2 - 4 FEET	(2) 2"x6" WITH 1/2" PLYWOOD SPACER
4 - 6 FEET	(2) 2"x8" WITH 1/2" PLYWOOD SPACER
6 - 8 FEET	(2) 2"x10" WITH 1/2" PLYWOOD SPACER
UP TO 10 FEET	(2) 2"x12" WITH 1/2" PLYWOOD SPACER
NOTE: PROVIDE ADEQUATE BEARING AT HEADER ENDPOINTS PER IRC	



REVISIONS:		
#	DATE	DESCRIPTION
3	23 JAN 26	BLDG DEPT COMMENTS

PROJECT NAME:
Ganch Art Studio

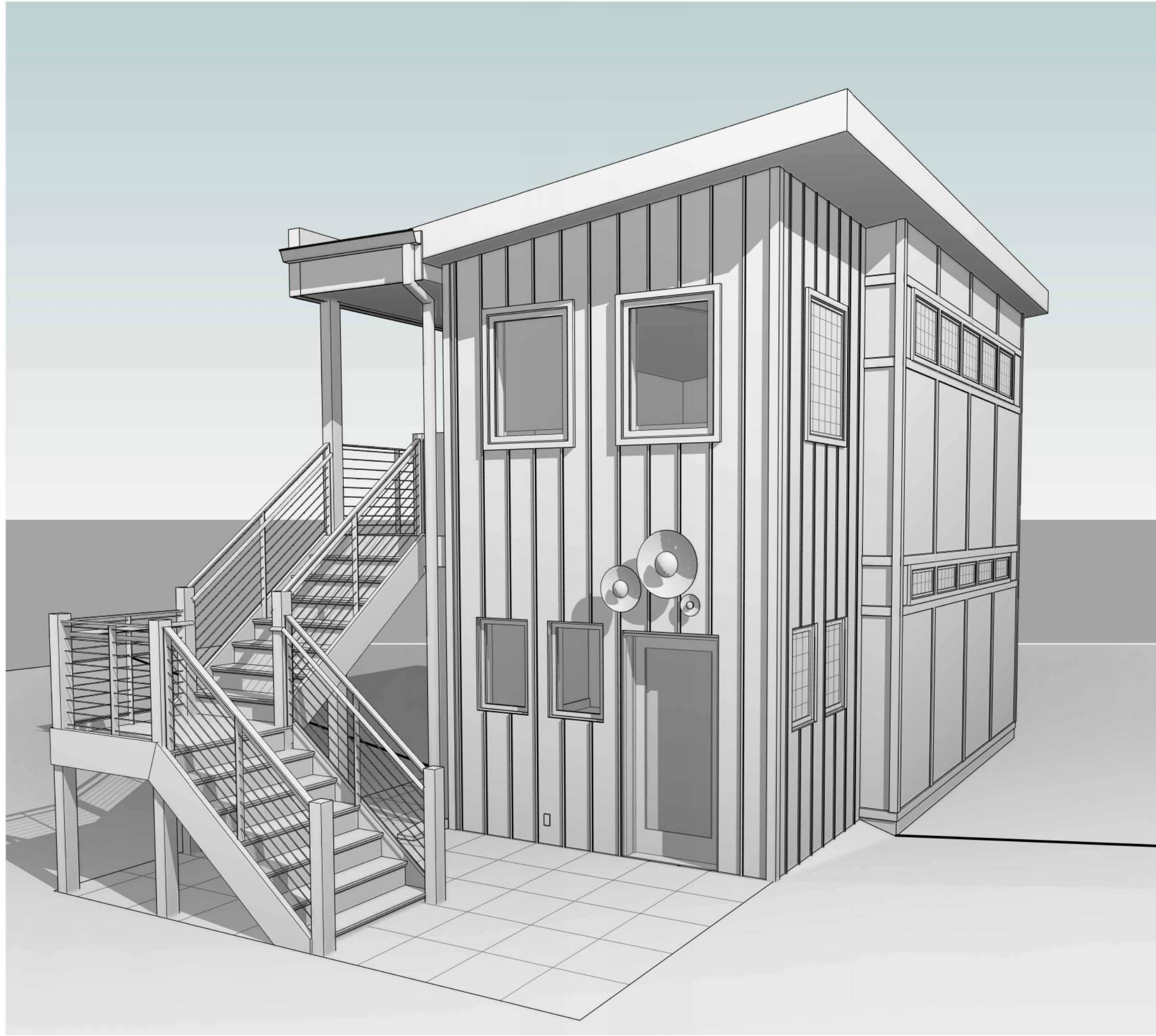
OWNER:
Susie Ganch
520 S SHEPPARD STREET
RICHMOND, VA 23221

DRAWING NAME:
SCHEDULES

DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ/DB
PROJECT NUM: N/A

Date: 23 SEPT 2025

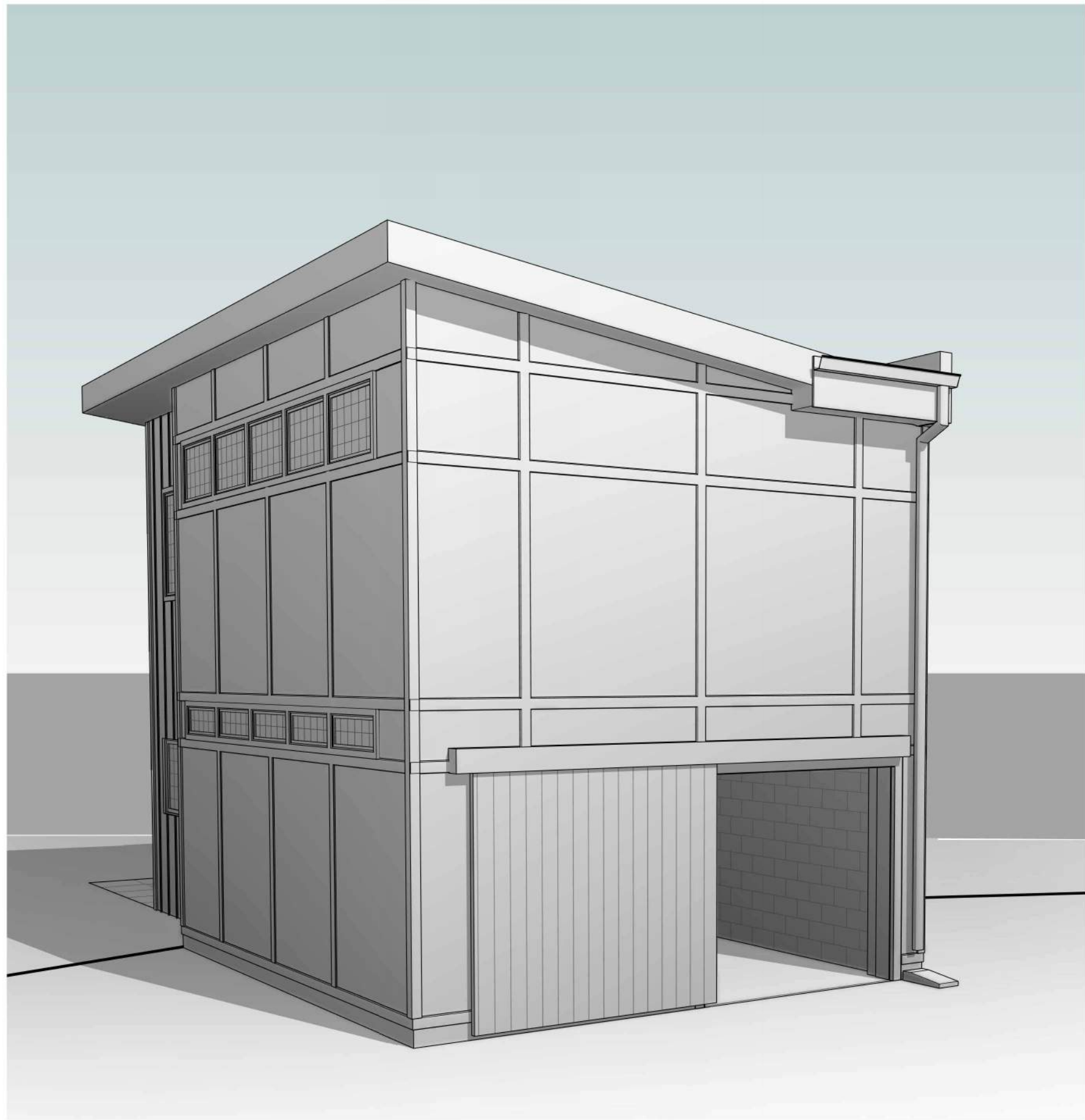
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1 3D View 1
SCALE:



2 3D View 2
SCALE:



3 3D View 3
SCALE:



4 3D View 4
SCALE:



REVISIONS:

#	DATE	DESCRIPTION
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PROJECT NAME:
Ganch Art Studio

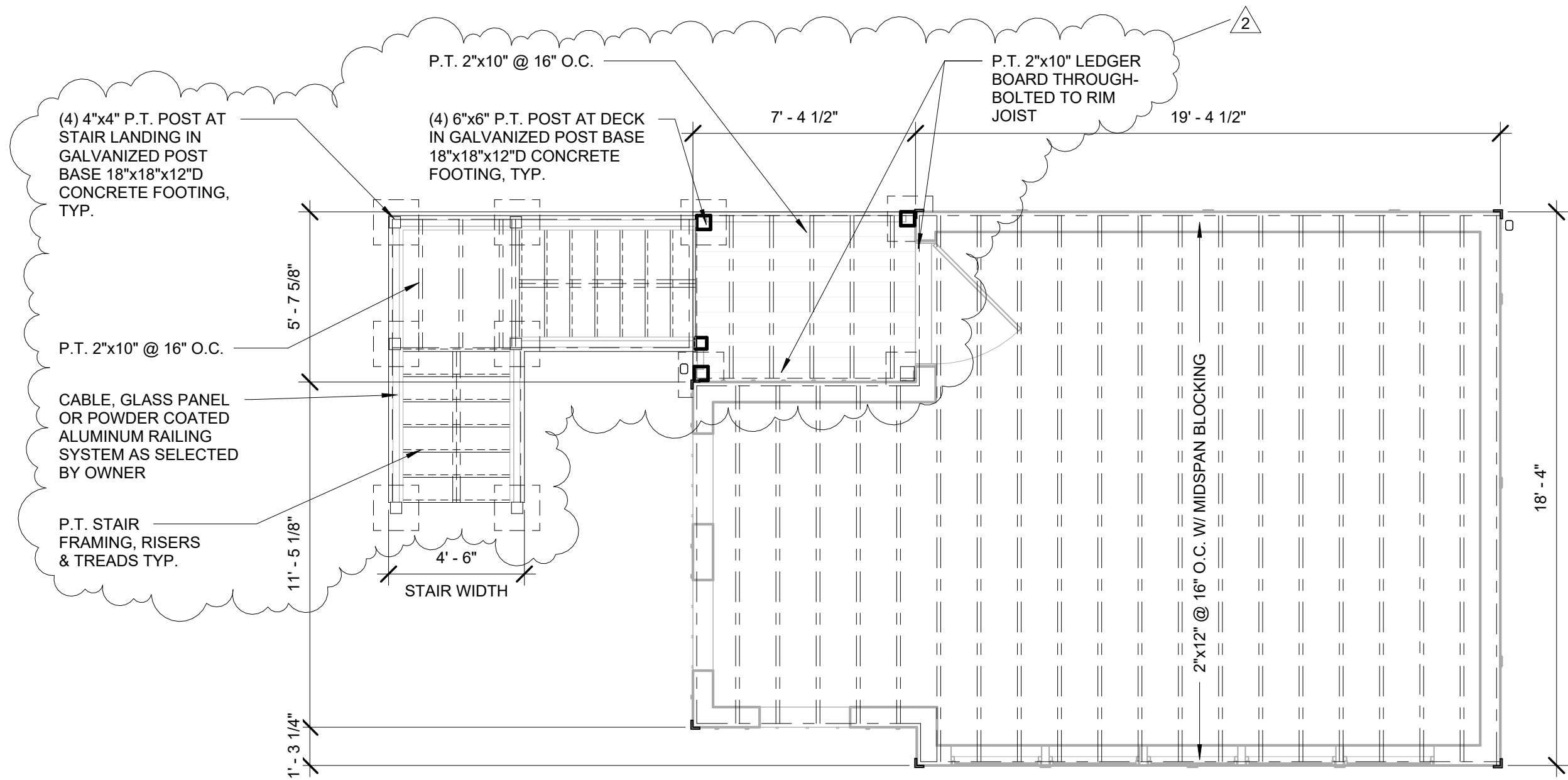
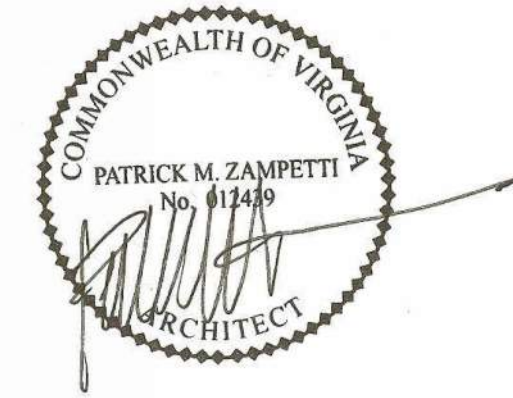
OWNER:
Susie Ganch
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RICHMOND, VA 23221

PERMIT SUBMISSION SET

DRAWING NAME:
3D VIEWS

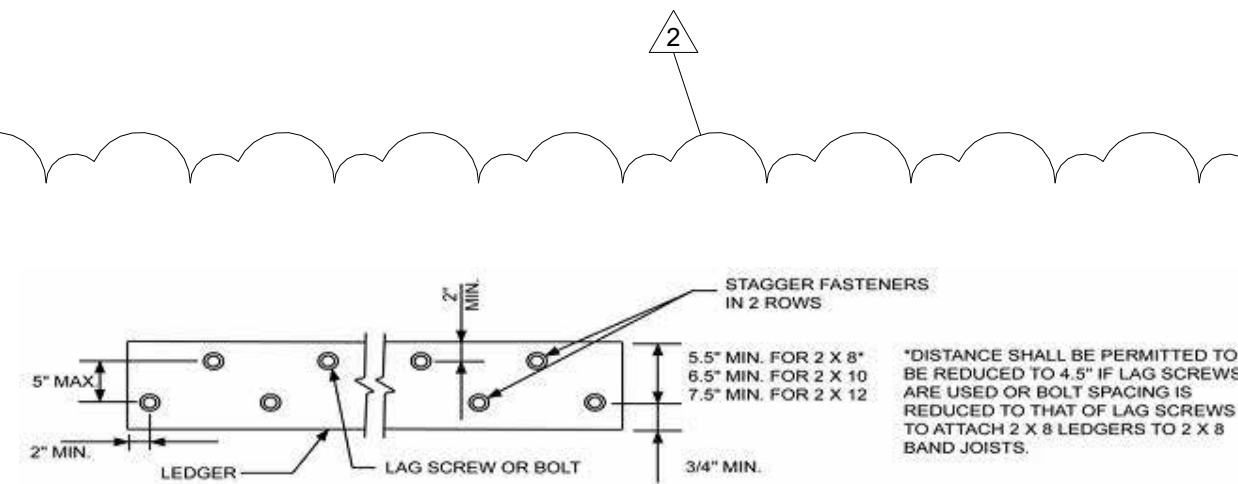
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Date: 23 SEPT 2025

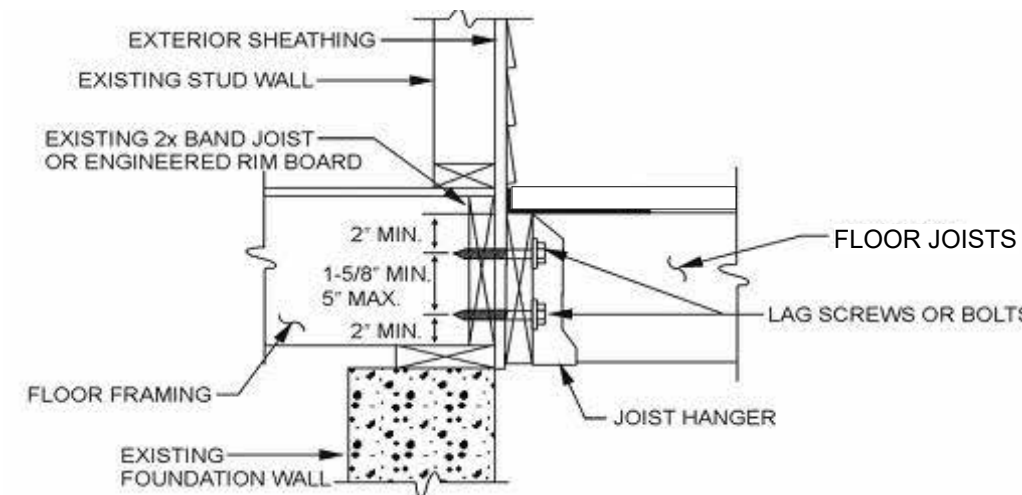


1 2ND FLOOR FRAMING

SCALE: 1/4" = 1'-0"



2021 VRC R507.9.1.3(1): PLACEMENT OF LAG SCREWS AND BOLTS IN LEDGERS



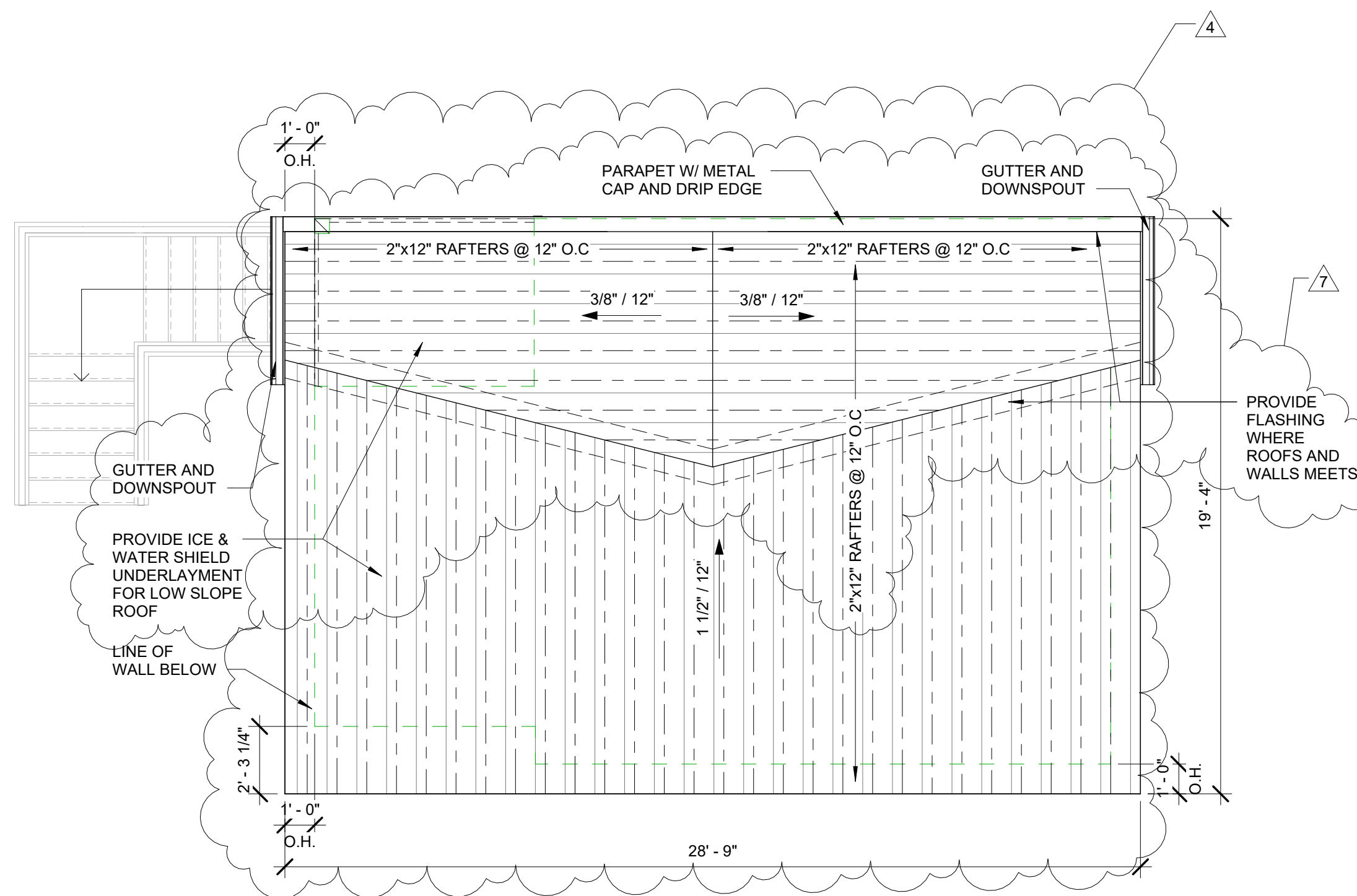
2021 VRC R507.9.1.3(2): PLACEMENT OF LAG SCREWS AND BOLTS IN BAND JOISTS

CONNECTION DETAILS	JOIST SPAN						
	6' and less	6'1" to 8'	8'1" to 10'	10'1" to 12'	12'1" to 14'	14'1" to 16'	16'1" to 18'
	On-center spacing of fasteners						
1/2-inch diameter lag screw with 1/2-inch maximum sheathing ^a	30	23	18	15	13	11	10
1/2-inch diameter bolt with 1/2-inch maximum sheathing ^b	36	36	34	29	24	21	19
1/2-inch diameter bolt with 1-inch maximum sheathing ^c	36	36	29	24	21	18	16

FASTENER SPACING FOR SOUTHERN YELLOW PINE OF HEM-FIR

3 LEDGER CONNECTION DETAILS

SCALE: 12" = 1'-0"



2 ROOF PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

#	DATE	DESCRIPTION
2	27 OCT 25	BLDG DEPT REVISIONS
3	23 JAN 26	BLDG DEPT COMMENTS
4	21 APR 26	DESIGN REVISION
7	16 JUNE 26	ROOF/GUTTER REVISION

PROJECT NAME:
Ganch Art Studio

OWNER:
Susie Ganch
520 S SHEPPARD STREET
RICHMOND, VA 23221

DRAWING NAME:
FRAMING PLANS

DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ
PROJECT NUM: N/A

Date: 23 SEPT 2025

PERMIT SUBMISSION SET

PROGRESS
DRAWINGS.
NOT FOR
CONSTRUCTION

REVISIONS:		
#	DATE	DESCRIPTION
2	27 OCT 25	BLDG DEPT REVISIONS

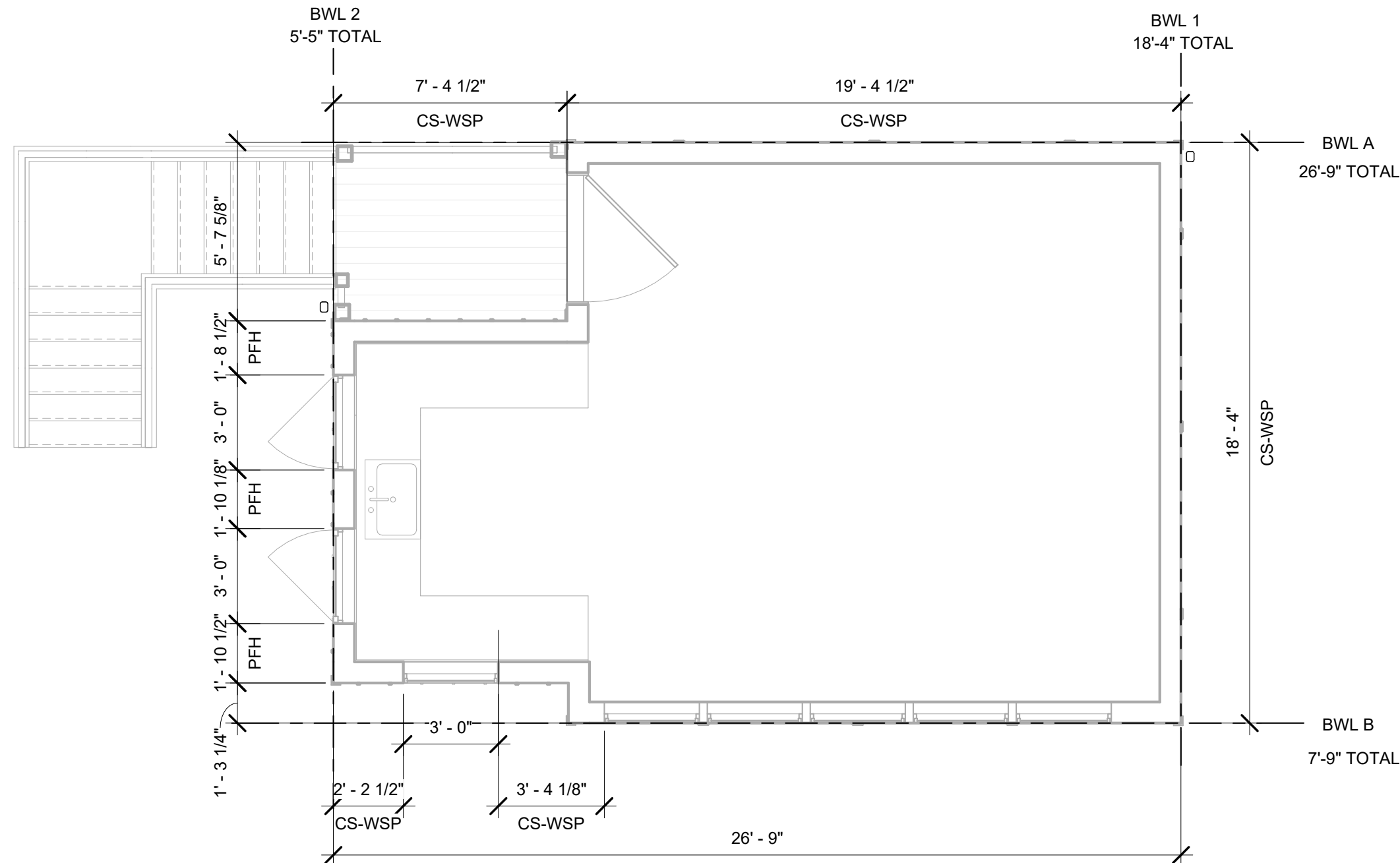
PROJECT NAME:
Ganch Art Studio

OWNER:
Susie Ganch
520 S SHEPPARD STREET
RICHMOND, VA 23221

DRAWING NAME:
BRACED WALL DETAILS

DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker
PROJECT NUM: A

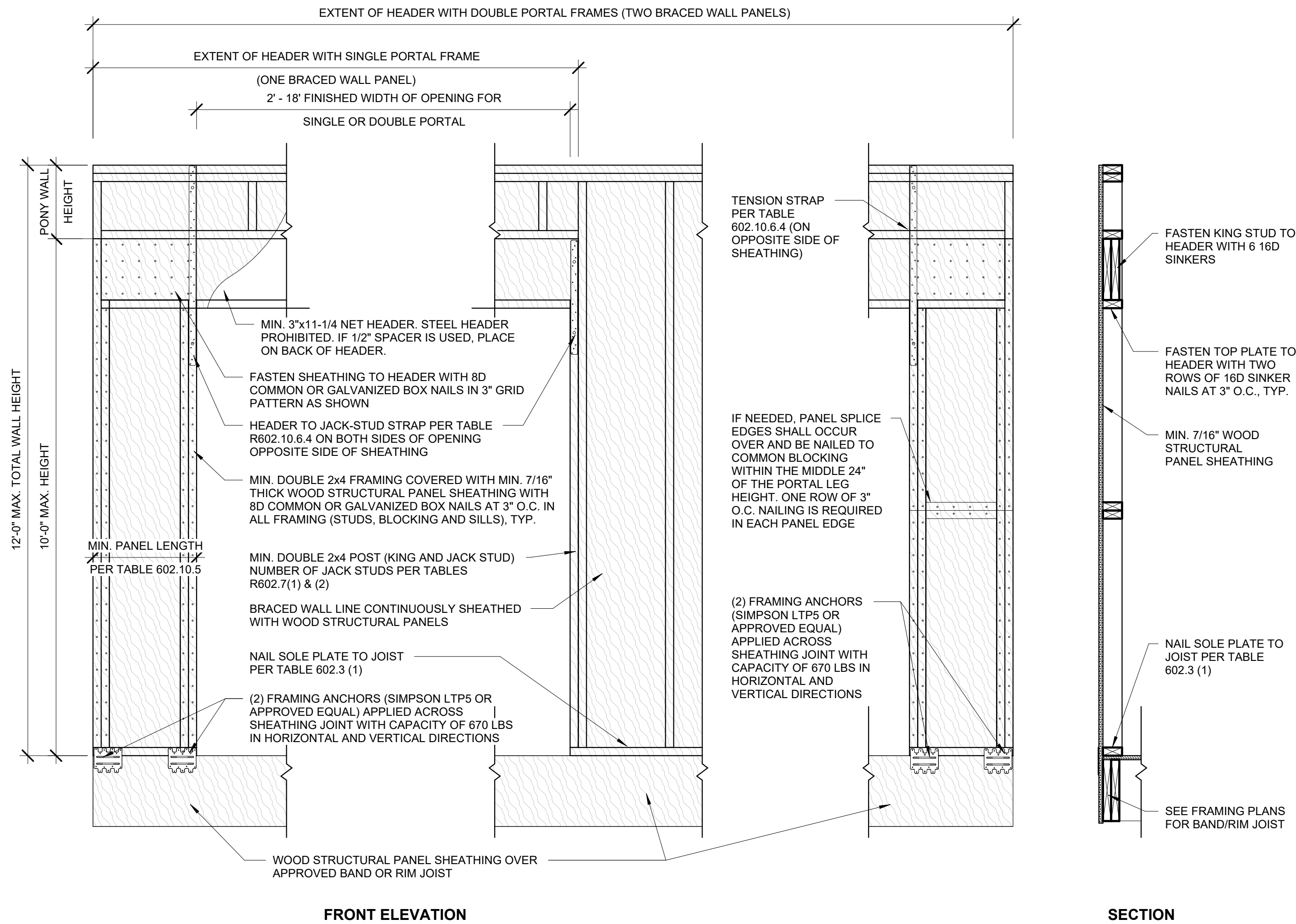
Date: 23 SEPT 2025



1 WALL BRACING PLAN

SCALE: 1/4" = 1'-0"

PER VRC 602.10.6.4



2 PORTAL FRAME OVER RAISED WOOD FLOOR (TYPICAL)

SCALE: 3/4" = 1'-0"

SIMPSON Strong-Tie Simpson Strong-Tie

2021 IRC Required Braced-Wall-Line Length Calculations

PROJECT INFORMATION

NAME: Ganch
ADDRESS: Richmond, 23221
WALL DIRECTION: Front to Back
SEISMIC DESIGN CATEGORY: B
ULTIMATE DESIGN WIND SPEED: 115 mph
WIND EXPOSURE CATEGORY: B

Inputs	Wall Line A-2	Wall Line B-2
Braced-Wall-Line Location	2nd of 2-story	2nd of 2-story
Eave-to-Ridge Height	12 ft	12 ft
Braced-Wall-Line Spacing	18.33 ft	18.33 ft
Wall Height	8 ft	8 ft
Bracing Method	CS-WSP	CS-WSP
OB Construction Type	N/A	N/A
Gypsum Wall Board on Inside	Yes	Yes
Horizontal Joints Blocked	Yes	Yes
Holdown Device Used	No	No
WIND		
Tabulated Wind Bracing Amount	3.2495 ft	3.2495 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1.12	1.12
Wind Wall Height Factor	0.9	0.9
Number of BWL Factor	1	1
Holdown Factor	1	1
Blocked Joint Factor	1	1
Gypsum on Inside Factor	1	1
Wind OB Construction Factor	1	1
Required Wind Bracing Amount	3.28 ft	3.28 ft
RESULTS		
Length of Wall Bracing Required	3.28 ft	3.28 ft

NOTES

This wall-bracing evaluation is based on the 2021 International Residential Code. The user is responsible for ensuring that the project fits within the scope of the IRC and complies with the wall-bracing requirements of Sections R602.10, R602.11 and R602.12 as applicable.

- One- and two-family dwellings and townhouses in Seismic Design Categories A and B and one- and two-family dwellings in Seismic Design Category C are exempt from the seismic requirements of the IRC. The length of wall bracing shall be in accordance with the requirements of Table R602.10.3(1) based on wind speed, including all applicable adjustment factors.
- Braced-wall lines using the continuous sheathing methods shall be constructed in accordance with the requirements of Sections R602.10.4.2, R602.10.6.4, and R602.10.7, as applicable.
- Braced-wall panels shall be located at each end of braced-wall lines and may begin up to 10 feet from the end in accordance with Figure R602.10.2.2. Corner construction for continuously sheathed methods shall be in accordance with Section R602.10.7.
- The distance between braced wall panels shall not exceed 20 feet in accordance with Section R602.10.2.2.
- Braced-wall-line spacing shall not exceed 60 feet on center.
- Interior braced-wall-line spacing is the greater of the distance between two adjacent braced-wall lines or the average of the distance as selected by the designer.
- Refer to the Strong-Wall® Bracing Selector for pre-engineered solutions when the required bracing amounts cannot be satisfied with prescriptive braced-wall panels.

SIMPSON Strong-Tie Simpson Strong-Tie

Simpson Strong-Tie® High-Strength Wood Shearwalls, StrongWall® Site Built Portal Frame System and Steel StrongWall® Shearwalls may be considered equivalent to the code braced-wall panel construction method WSP with gypsum board applied on the inside.

- Mixing of intermittent bracing methods within a braced-wall line is permitted only in Seismic Design Categories A and B and for detached dwellings in Seismic Design Category C. The length of bracing required for the braced-wall line shall be the highest bracing length calculated for each method used within the braced-wall line.
- Horizontal panel joints in braced-wall panels shall be blocked in accordance with Section R602.10.4.4.
- Interior braced-wall-line spacing is the greater of the distance between two adjacent braced-wall lines or the average of the distance as selected by the designer.

WARNINGS

- For Townhouses in SDC C the user must ensure braced wall line spacing greater than 35 feet satisfies the requirements of Table R602.10.1.3.
- The wall bracing provisions of the IRC may not be used in areas where wind design is required in accordance with Figure R301.2(1) or where the ultimate design wind speed shown on Figure R301.2(2) or R301.2.1.1 equals or exceeds 140 miles per hour.

Geotechnical Engineering Consultation

Project: Soil Bearing Assessment
520 South Sheppard Street
Location: City of Richmond, Virginia
Date/Time: August 22, 2025 / 2:30 pm
GTE Job No.: 25-289

Client: Susie Ganch
520 South Sheppard Street
Richmond, VA 23221



As requested, a GTE engineer visited the above referenced single-family residential lot on this date to document footings supporting the rear ancillary shop building as well as assess soil bearing conditions beneath the footings. Verification of existing footing conditions and applicable soil bearing capacity were required to allow evaluation by others of the existing foundation to support a proposed second-story addition to the building. Our field findings are summarized below.

Existing Footing Conditions

To allow verification of footing dimensions and bearing level, the Homeowner was instructed to have her contractor excavate a hole of sufficient size adjacent to the building foundation shortly before our arrival on site. The excavation was to be terminated at the bottom of the footing, thereby allowing assessment of soil bearing conditions coinciding with the bearing level of the footing.

The excavation was opened on the northern side of the building approximately 8 to 10 feet off the northeast corner of the shop. The footing exposed in the excavation consists of three wythes of clay bricks which, when accounting for the mortar joints, measured 10 inches in thickness. Supplemental measurements revealed the footing to be embedded 18 inches below the surrounding ground, which satisfies local building code requirements for freeze-thaw considerations for central Virginia. The exterior projection of the brick footing beyond the CMU foundation/wall of the building measured 2 inches.

To obtain an understanding of the width of the brick continuous wall footing, the Homeowner was instructed to drill a linear series of the holes through the interior concrete floor slab opposite the exterior excavation and to probe within the holes to determine the interior projection of the brick footing. Based on knowledge of the exterior projection of the brick footing (2 inches), the width of the building foundation/wall CMU (8 inches), and the findings of the slab drilling/probing activities (we understand measurements indicate the brick footing projects approximately $3\frac{1}{4}$ inches from the interior side of the building CMU wall), the brick footing appears to be slightly greater than 13 inches in width.

Existing Bearing Conditions

Subsurface conditions beneath the footing bearing level were explored by drilling a hand auger boring to a depth of two footing widths below the bottom of a normal 18-inch wide house footing (36 inches below the brick footing, 54 inches below the ground surface). Soil sampling was conducted continuously on 6-inch intervals in the hand auger boring. In addition, Dynamic Cone Penetrometer (DCP) testing was conducted on 6 to 12-inch intervals within the boring to assist in bearing capacity determinations. Descriptions of soils penetrated in the hand auger boring with corresponding DCP test results are provided on the Log of Boring (Table 1) attached. Laboratory testing was limited to moisture content determinations based on the low to moderate plasticity of the foundation soils. Results of the laboratory testing are presented on Table 2 attached.

The findings of the test boring indicate the footings bear on a thin layer of presumed clay fills underlain by native alluvial deposits of silty fine sands and moderately plastic, very sandy clays. Natural moisture contents measured in the fill/native soils at the time of our field exploration were relatively uniform, ranging between 10 and 14 percent. Classified as SM and CL soils under the Unified Soil Classification System (USCS), the foundation soils are recognized to possess low shrink-swell potential when subjected to seasonal moisture fluctuations based on soil mineralogy and sand contents.

DCP resistance values recorded in the foundation bearing soils ranged between 5 and 13 blows. These resistance values are indicative of medium dense sand relative densities and stiff to very stiff clay consistencies. Based on these resistance values, the foundation soils are expected to provide an allowable soil bearing capacity of 2,200 psf. This design parameter includes a factor of safety of 3 against shear bearing failure, which was deemed appropriate given the limited nature of the study and the possibility of variations in the foundation construction and supporting soils.

Summarizing, we recommend the possible addition of a second level to the ancillary shop building be evaluated using the following footing/foundation design parameters:

- 1) Existing Footing: Three-wythe, unreinforced brick footing measuring approximately 13 inches wide and 10 inches thick bearing at a minimum depth of 18 inches below the perimeter ground surface;
- 2) Building Foundation/Wall: 8-inch CMU (unreinforced, non-grouted) with 2-inch exterior footing projection and 3-inch interior footing projection (below 5-inch thick concrete slab); and
- 3) Allowable Soil Bearing Capacity: 2,200 psf.

A. Scot Harrell, P.E.

TABLE 1
LOG OF BORING

*Watson Residence Screened Porch
2244 Wheatlands Drive
Manakin Sabot, Virginia
(GTE Job No. 25-310)*

Depth, in.	Soil Description	DCP Resistance	
		Depth, in.	Blows/ 1¾ in.
B-1			
0 – 18	OPEN EXCAVATION		
18 – 22	Firm to Stiff Brownish-Red Moist Moderately Plastic Sandy to Very Sandy Silty CLAYS (CL) (Presumed Fills)	18	1-5-10
22 – 33	Medium Dense Brownish-Gray Moist Silty Fine SANDS (SM)	30	5-8-10
33 – 54	Very Stiff Dark Gray Moist Moderately Plastic Very Sandy CLAYS (CL)	36 48	8-13-14 8-12-13
	* Boring terminated at 54" below ground (36" below bottom of open excavation) ** Ground water not encountered		

TABLE 2
LABORATORY TEST RESULTS

*Ganch Residence Watson Residence Screened Porch
2244 Wheatlands Drive
Manakin Sabot, Virginia
(GTE Job No. 25-310)*

Boring No.	Depth, in.	Moisture Content, %	USCS	Atterberg Limits		
				Liquid	Plastic	Plasticity Index
B-1	18 – 24	10				
	24 – 30	13				
	30 – 36	14				
	36 – 42	14				
	42 – 48	14				