



COMMISSION OF ARCHITECTURAL REVIEW
APPLICATION / CERTIFICATE OF APPROPRIATENESS

PROPERTY (Location of Work)

Address 2211 W. GRACE ST. RICHMOND, VA 23220
 Historic District GRACE ST WEST

PROPOSED ACTION

- Alteration (including paint colors)
- Addition
- Rehabilitation
- New Construction (Conceptual Review required)
- Conceptual Review
- Final Review
- Demolition

OWNER

Name JONATHAN MARCUS
 Company —
 Mailing Address 2211 W GRACE ST
RICHMOND VA 23220
 Phone (404) 931-6706
 Email jonmarcus59@gmail.com
 Signature Jonathan Marcus
 Date 7/27/17

APPLICANT (if other than owner)

Name MASON HEARN
 Company HOMEMASONS, INC.
 Mailing Address P.O. BOX 248
MANAKIN SABOT VA 23103
 Phone (804) 784-1200
 Email cmhearn@homemasons.com
 Signature Mason Hearn
 Date 7/27/17

(authorized representative of Owner)

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

ECE VED

(Space below for staff use only) JUL 28 2017

Application received: _____
 Date/Time _____
 By _____

1:25

Complete Yes No

COA-021091-2017



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 2211 W. GRACE ST. RICHMOND, VA 23220

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 1/2 x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight



MARCUS RESIDENCE
2211 W. GRACE ST.
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DESCRIPTION OF PROPOSED EXTERIOR ALTERATIONS

2211 W. Grace Street

General:

This is a single-family townhouse, semi-attached. The original home is circa 1914. Numerous interior renovations are proposed. It is also proposed to alter the rear frame "porch" extension within the existing footprint. Specifically, it is proposed the first floor level, presently 2/3 clad in beadboard (likely an earlier alteration) should be opened-up and made into an appropriate screened porch.

We also propose to raise the height of one alley-side window sill and modify one alley-side existing side door, neither of which are visible from the public right-of-way.

Property:

145' x 25' lot with semi-attached single-family two story brick townhouse residence. There is an existing brick garage on the alley side, and existing 6' gate and fencing around the back yard. No changes are proposed to the site, other than relocation of the steps from the rear frame structure.

Existing Material Conditions:

The main house is clay brick. The rear frame enclosed porch is mostly clad with red-painted vertical T&G siding. Evidence and historical models suggest that the T&G siding, at least the first floor level enclosure, is not original. It is proposed to remove the exterior materials from the first floor level to construct the porch. All materials from the second floor line and upward will remain.

Windows are painted wood, single-glazed 2 / 2 double-hung type. The window proposed to be replaced on the side shall maintain the width and head height of existing. The sill will be raised approximately 12" (which would be bricked-in with matching red brick; if the commission desires, we will non-match the mortar as evidence of the alteration). We propose to replace the existing window with a new unit, wood SDL insulated glass of similar exterior profiles and lite pattern.

The existing door on the alley side from the powder room is wood, paneled type. Presently, the door is non-functional and has no egress stoop or steps to the exterior. We propose to replace this door by maintaining the exterior opening size and existing trim, and enclosing the opening with glass block, and a two-lite awning-type operable transom above as indicated by the drawings. This window would be wood SDL, insulated glass.

New Materials, Porch:

The porch is proposed to be framed with 8" square HB&G composite columns, with a Tuscan base and cap, painted. There will also be minimal wood framing (jambs and "drink rail"), and a low-profile ScreenEze system with nylon screen. The screen door is PCA industries extruded aluminum with a powder-coated finish.

The existing brick piers shall remain; black-stained wood privacy lattice is proposed to infill between the piers.

**Proposed alterations description
2211 W Grace Street (continued)**

The new steps to the porch are proposed to be framed, with painted PVC risers and stringers, and thermal-finish gauged blue-blue bluestone treads. Railings shall be black powder-coated aluminum.

Propose an enclosed rail on either side, of painted Azek PVC beadboard. Color to match trim.

The exposed edge of the porch is to be stained Honduran mahogany.

All new trim on the alterations shall match existing trim color.

Product literature and / or samples included with this submission.

WEST GRACE STREET

Found rock in seam of CONC.

125' to the W/L of Allison Street

No. 2213

No. 2209

CITY BASE LINE

2/3 INCL PORCH BECOMES NEW SCREENED PORCH

NEW STOOP/STEPS

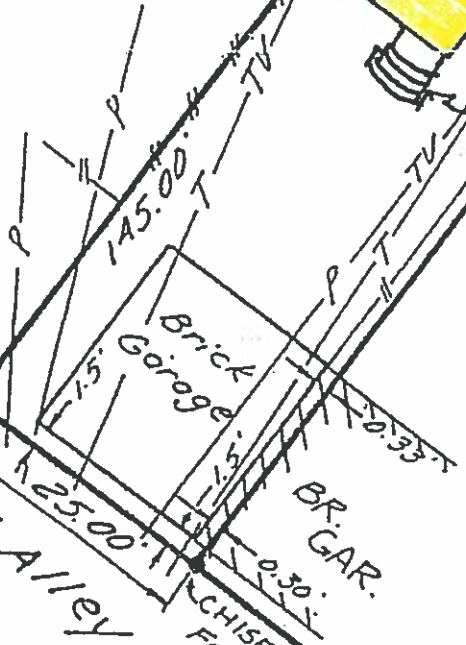
SET NAIL

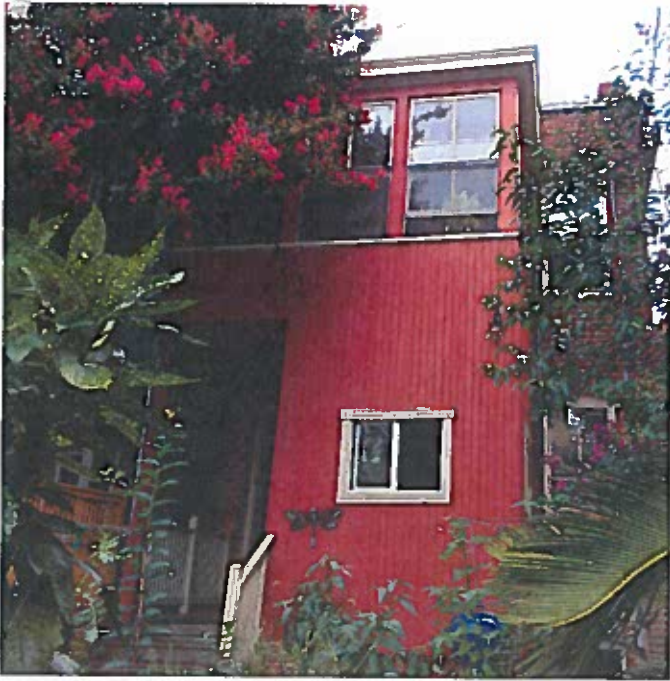
15' Alley

CHISELED "X" IN CONC. FOUND

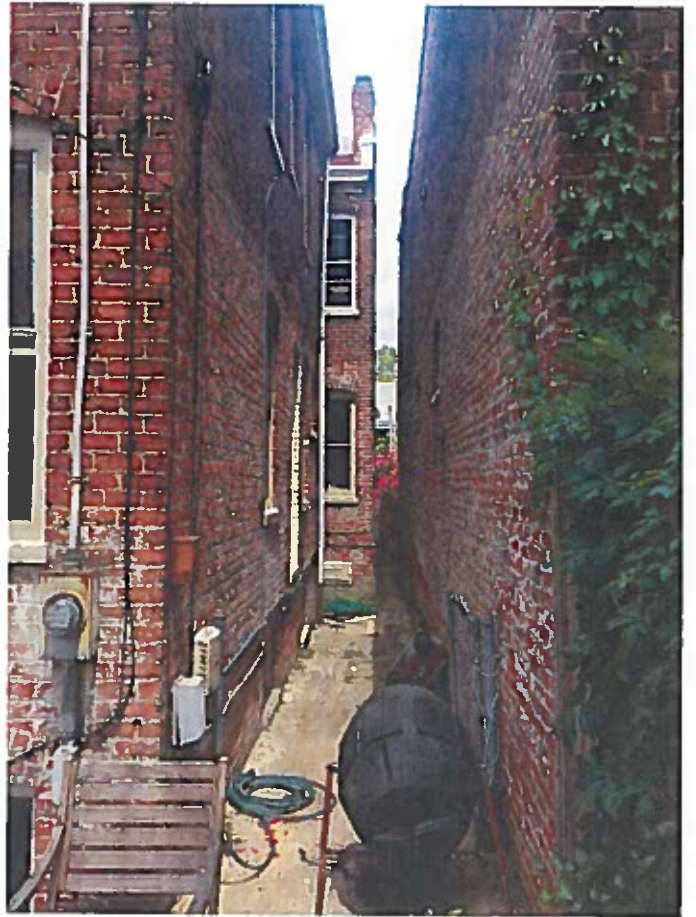
Brick Garage

BR. GAR.





Rear Elevation



Side Alley



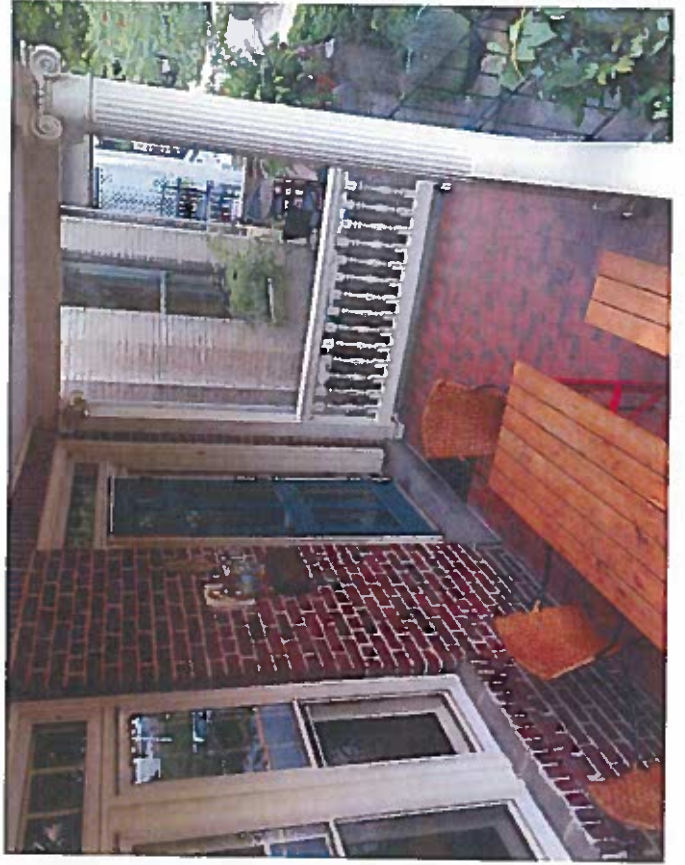
Rear Elevation



Open Porch



Front From Across Street



Front Porch



Front Porch



Side of Front Porch

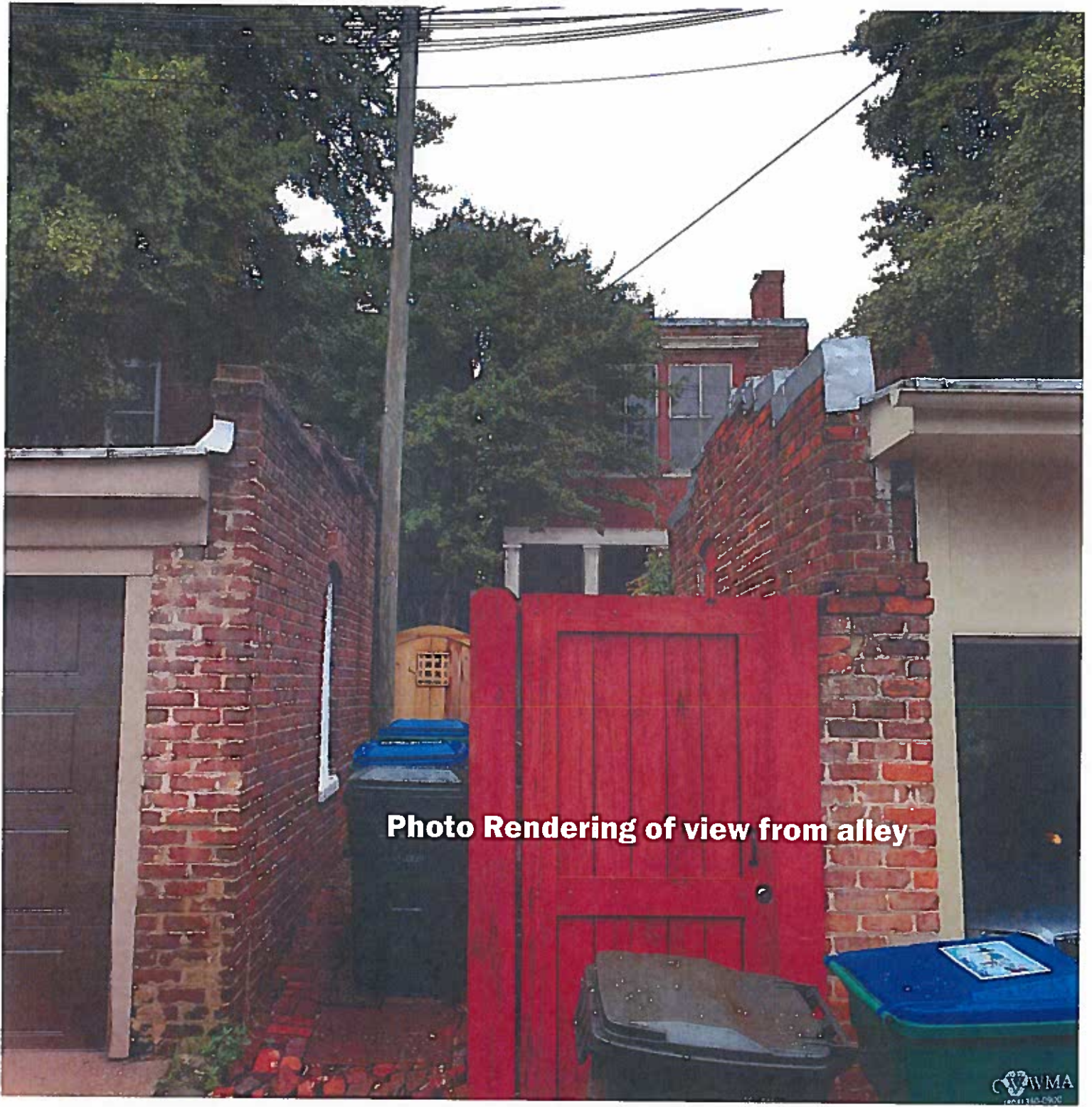
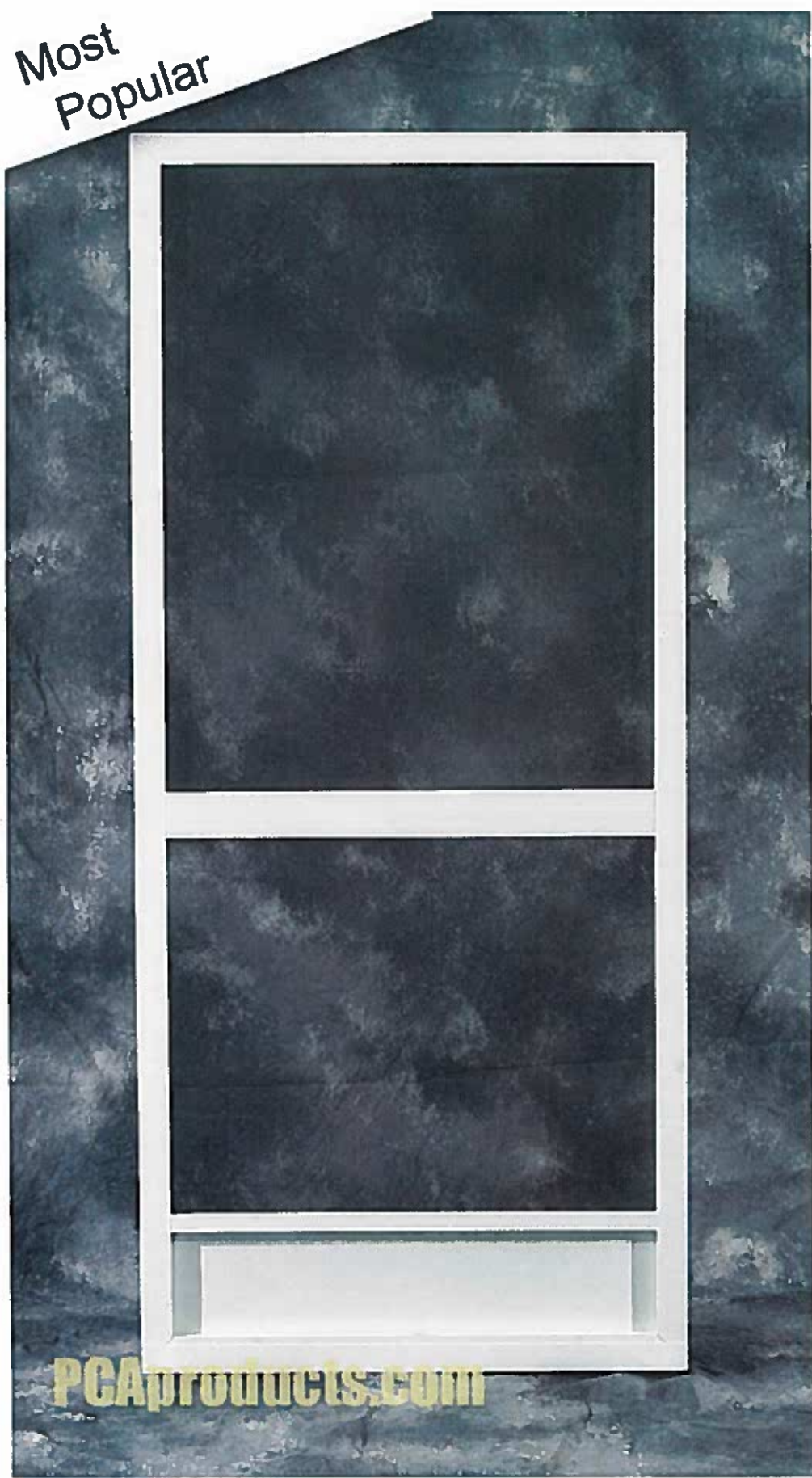
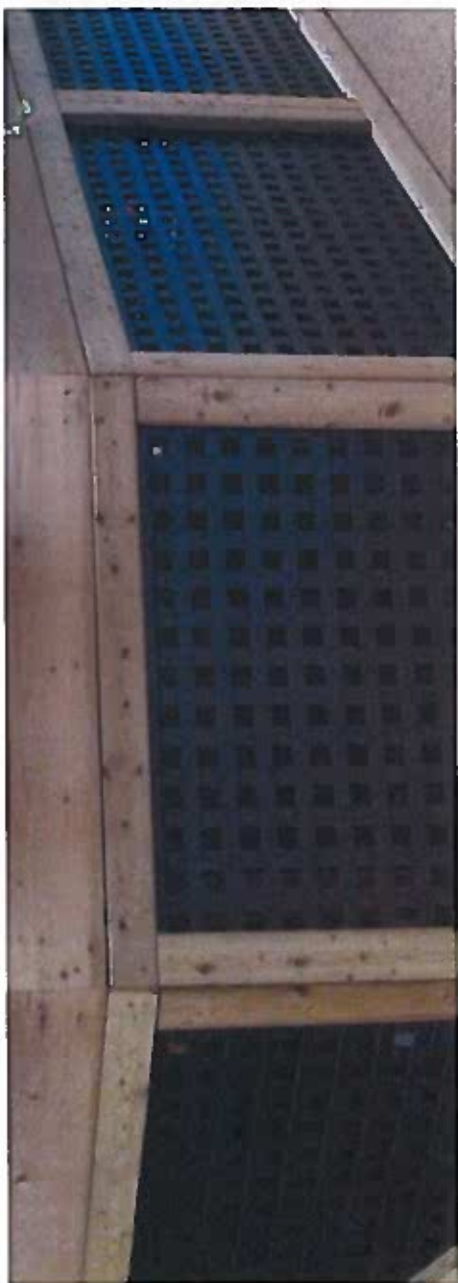


Photo Rendering of view from alley

Most Popular



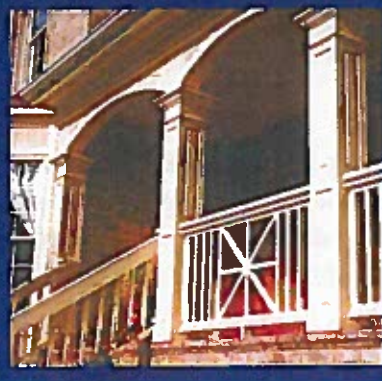
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H&G
CELEBRATING 135 YEARS
BUILDING
PRODUCTS

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Square PERMACast® Columns

SQUARE PERMACAST® INSIDE DIMENSIONS





Inside dimensions may vary up to 1/8".
Splitting a column will decrease inside dimension 1/8".

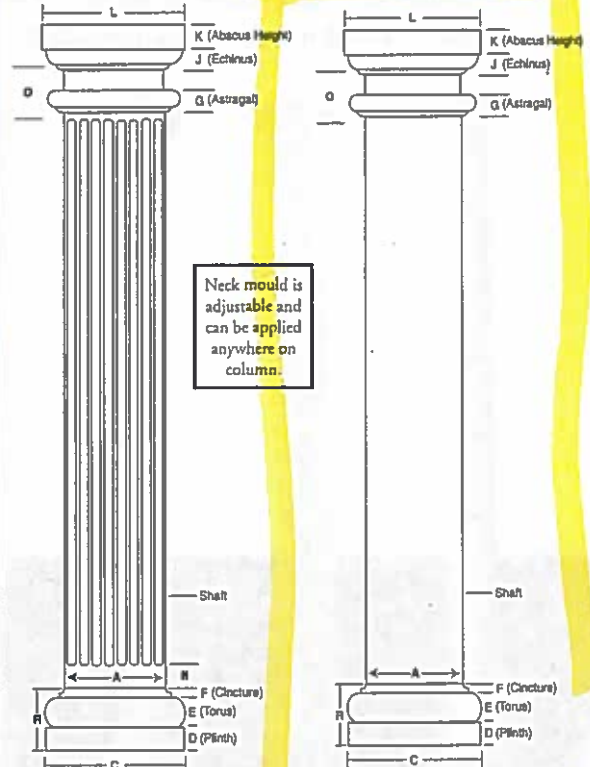
COL SIZE	INSIDE
6"	5 1/4"
8"	6 1/8"
10"	9"
12"	11"
14"	12"
16"	14 1/4"



*Inside is Round

PANEL MOULDING FOR SQUARE PERMACAST®

	
Length: 8' No. 54502 1/2" x 1"	Length: 10' No. 54503 1" x 1"
	
Length: 10' No. 54504 3/4" x 1"	Length: 10' No. 54505 3/4" x 1 1/8"



PermaCast® Square Column shown fluted with Poly Tuscan Cap and Base.

PermaCast® Square Column shown plain with Poly Tuscan Cap and Base.

SQUARE PERMACAST® COLUMN DIMENSIONS (In Inches)*

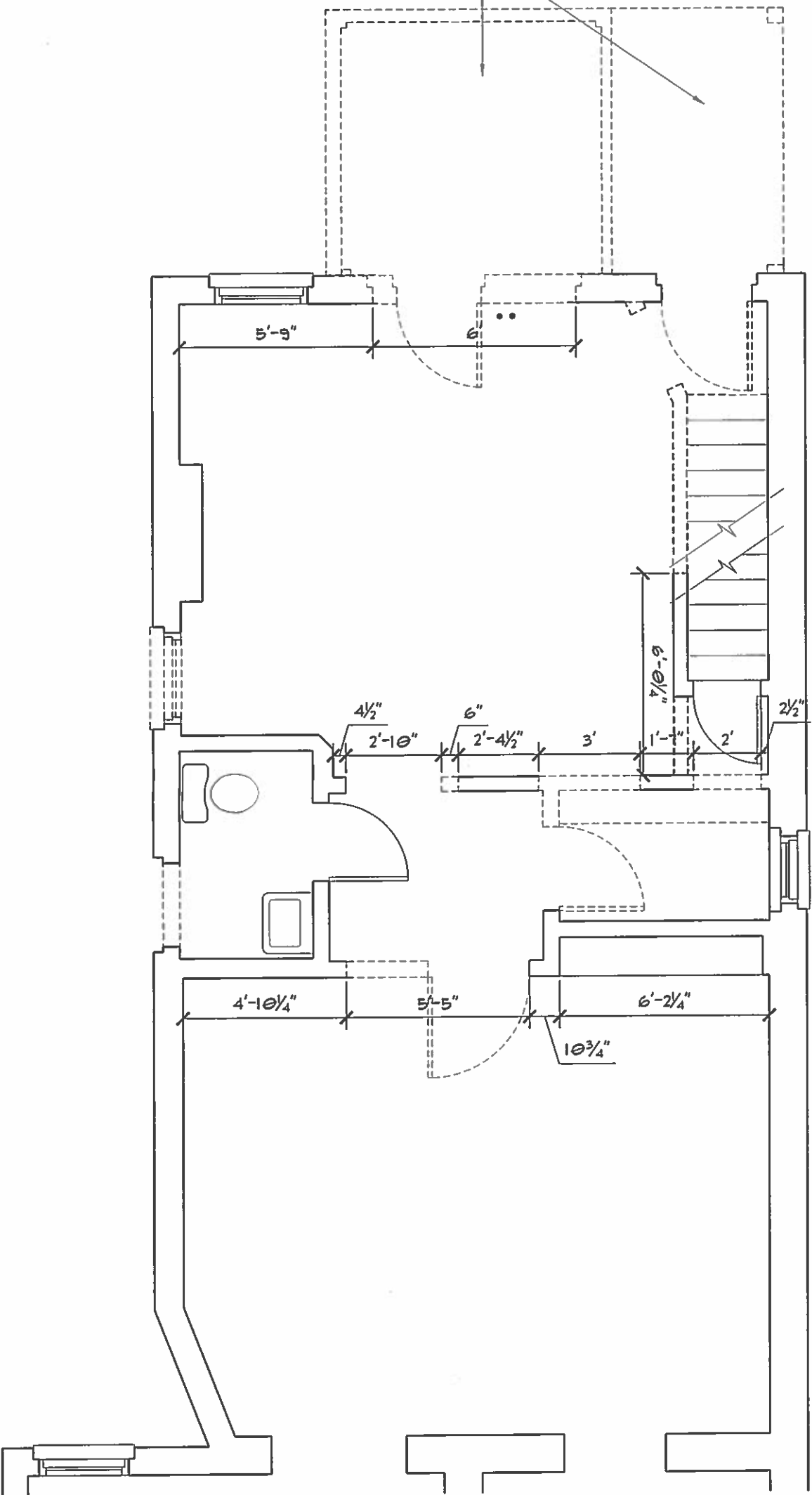
Column Size	A	C	D	E	F	G	J	K	L	N	O	R	Lengths Available (ft.)
6"	6"	9 1/4"	1 1/8"	1 1/8"	3/8"	1"	1 1/4"	1 3/8"	9 3/8"	N/A	N/A	3 3/8"	6,8,9,10
8"	8"	11 1/4"	1 1/4"	1 3/8"	7/8"	1"	1 3/8"	1 3/8"	10 1/4"	4"	3 1/4"	4 1/4"	6,8,9,10,12
10"	10"	13 3/8"	2 1/8"	2 1/8"	1"	1"	1 3/8"	1 13/16"	12 3/8"	4"	4 1/8"	5 3/8"	5,6,8,9,10,12,14,16
12"	12"	16 3/8"	2 3/8"	2 3/8"	7/8"	1"	1 3/8"	2 1/8"	16 3/8"	N/A	N/A	6 3/8"	8,9,10,12,14,16,18
14"	14"	19 3/8"	3 1/8"	2 7/8"	1 1/8"	1 1/8"	2 1/16"	2 1/2"	19 1/16"	N/A	N/A	7 7/16"	8,10,12
16"	16"	22 1/8"	3 7/8"	3 3/8"	1 1/8"	1 1/8"	2 3/8"	2 3/4"	21 1/2"	N/A	N/A	8 3/8"	8,10,12,14,16,18,20

Fluted Square. *There may be a variance of up to 1/4" in all dimensions.
See page 16 for Ornamental Capital dimensions.

Versatility of Square Columns

The design and versatility of an HB&G square column has enhanced its popularity with today's architects. The HB&G Square PermaCast® column lineup includes plain, recessed panel, and fluted styles. An unlimited combination of styles can be achieved by various uses of the panel moulding, neck moulding, and caps and bases. Additionally, the square column is not tapered and can be cut to any height without affecting the fit of the caps and bases.

FLOOR/DECK
FRAMING,
PIERS &
FOUNDATION
TO REMAIN



KITCHEN/PORCH DEMOLITION PLAN

1/4" = 1'-0"

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RENOVATION for
Jonathan Marcus

2211 W Grace Street
Richmond, Virginia



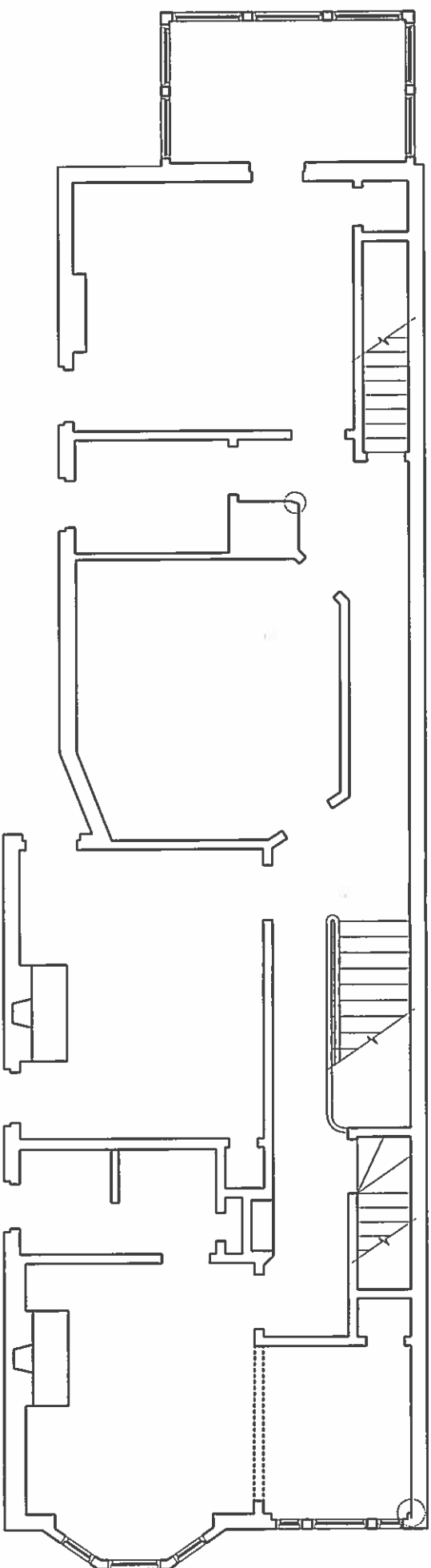
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P. O. Box 248
Manakin-Sabot, VA
23103

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Fax: (804) 784-1201
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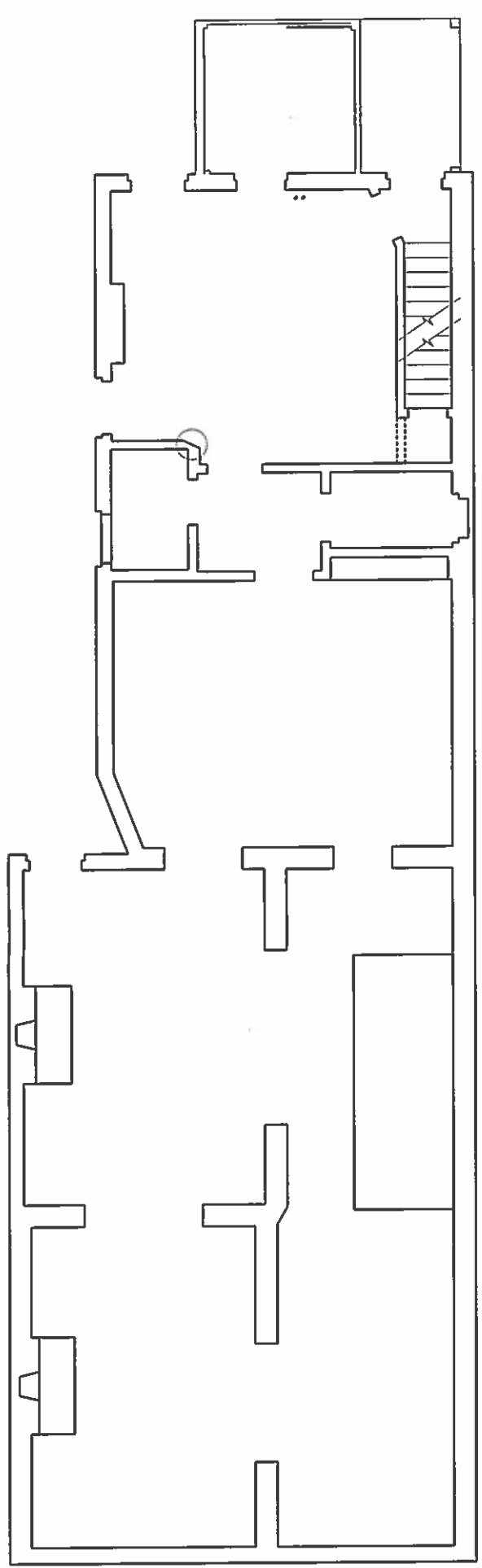
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SHEET:

D1



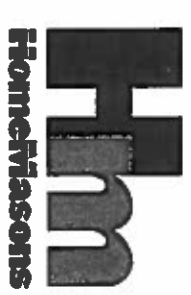
SECOND FLOOR PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"

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RENOVATION for
Mr. Marcus
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Issued For: as-built

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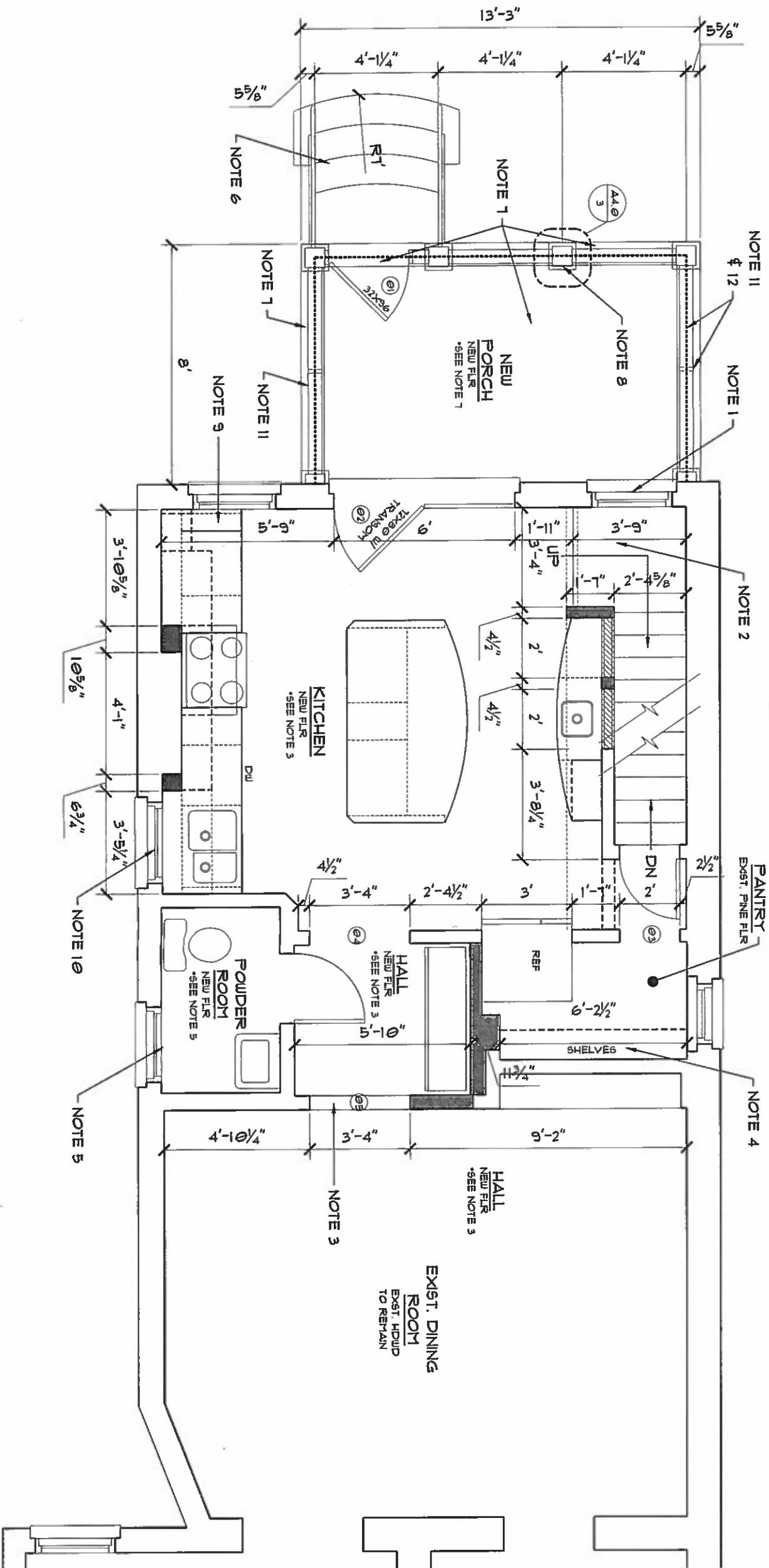
A1

KITCHEN/SCREENED PORCH RENOVATION NOTES:

1. REPLACE EXISTING EXTERIOR DOOR WITH NEW WINDOW; BRICK UP TO SILL, PATCH AND TRIM.
2. HARDWOOD FLOOR TO MATCH EXIST. ON NEW STAIR LANDING.
3. EXAMINE EXIST. FLOOR IN KITCHEN AND HALL INTO DINING ROOM. DETERMINE IF REFINISHING IS APPROPRIATE SOLUTION FOR WOOD FLOOR UNDER EXIST. SOFT TILE. EXISTING WOOD FLOOR IN DINING RM TO REMAIN.
4. NEW MELAMINE LAMINATE SHELVES IN PANTRY, 8 SHELVES HIGH, 11"D W/ WALL CLEATS AND CENTER BRACKETS. ONE BRACKET SUPPORT BY WINDOW AS REQUIRED.

5. POWDER ROOM NOTES:
 - 5.1. REMOVE EXIST. EXTERIOR DOOR, REPLACE W/ GLASS BLOCK OVER WOOD BASEBOARD AND AWNING WINDOW AS SPEC'D.
 - 5.2. NEW FLOOR, T.B.D.
6. NEW CURVED STEPS (84"R) IN BLUESTONE OR STAINED PRECAST CONCRETE TREADS ON P.T. STRINGERS W/ PVC RISERS
7. NEW SCREENED PORCH FLOOR TO BE MERANTI VENEER FINISHED MARINE PLYWOOD; STAINED AND FINISHED W/ CAULK @ JOINTS TO SEAL W/ 10" SOLID MAHOGANY BORDER/EDGING.
8. NEW 8" SQ HBFG STRUCTURAL COLUMNS. EXIST. BRICK PIERS AND FOUNDATION TO REMAIN.

9. LOWERED COUNTER AREA AT SILL W/ COUNTER AS SPEC'D.
10. REPLACE EXISTING WINDOW WITH NEW 33"W X 69"H DH WINDOW AT SINK. RAISE SILL HEIGHT FOR NEW KITCHEN COUNTER/SPLASH/SHELF AREA. BRICK UP TO NEW SILL, PATCH AND TRIM AS NECESSARY.
11. 36"H DRINK RAIL @ EACH SIDE W/ 3/4" SOLID PVC BEADBOARD PANEL BELOW. BEADBOARD TO BE INSTALLED ON INTERIOR SIDE OF PANEL
12. 36"H PLANTATION SHUTTERS ARE TO BE FURNISHED BY OWNER AND ARE TO BE INSTALLED OVER 36"H DRINK RAIL AND B.B. PANEL FOR PRIVACY, THIS SIDE ONLY



KITCHEN DETAIL PLAN

1/4" = 1'-0"

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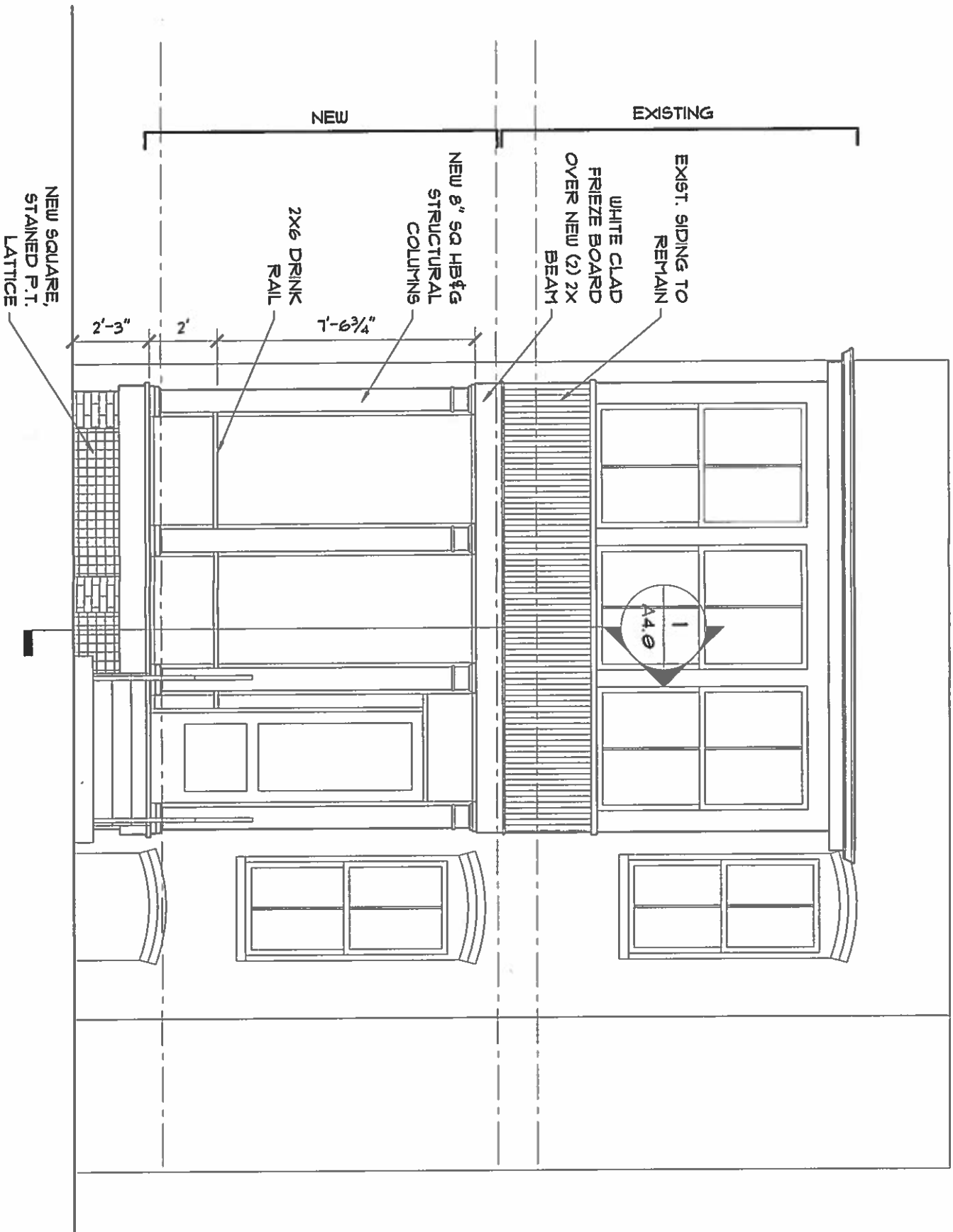
Hm
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SHEET:

A2



REAR ELEVATION

1/4" = 1'-0"

1

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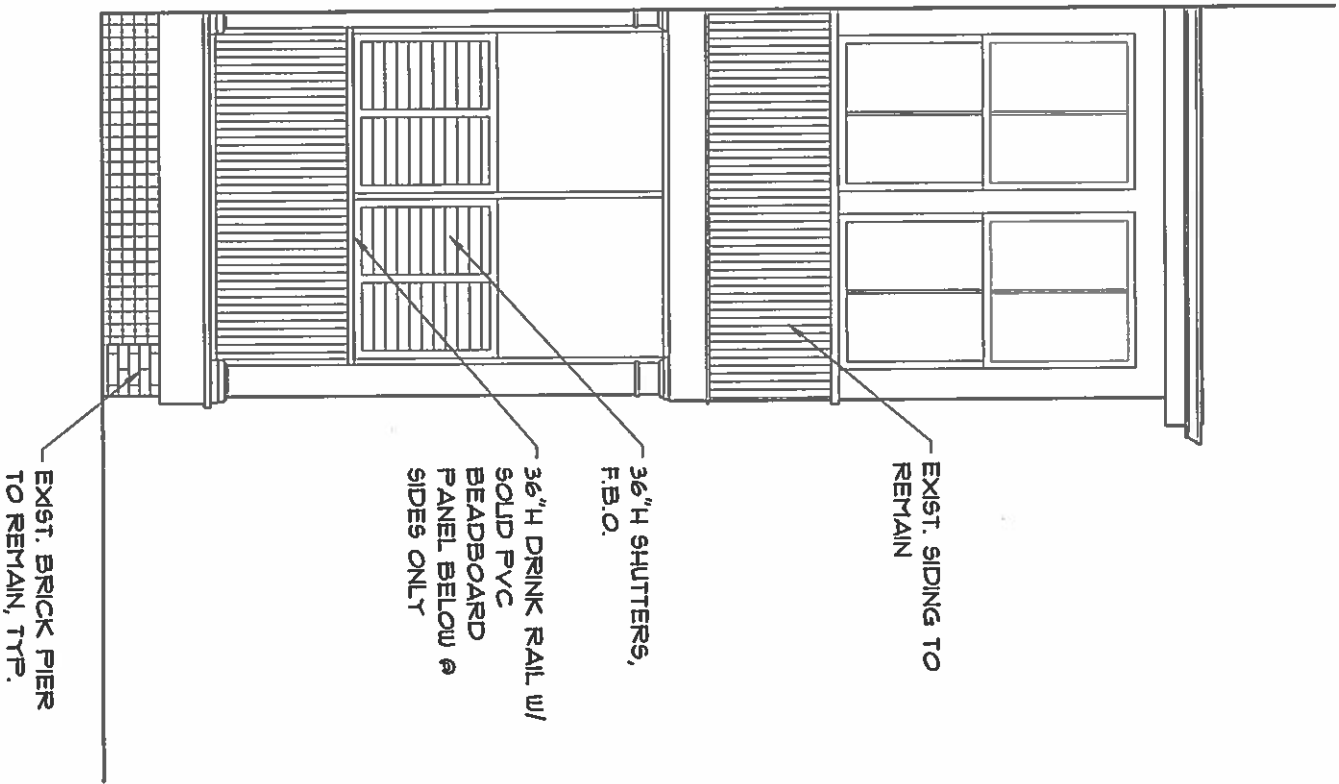
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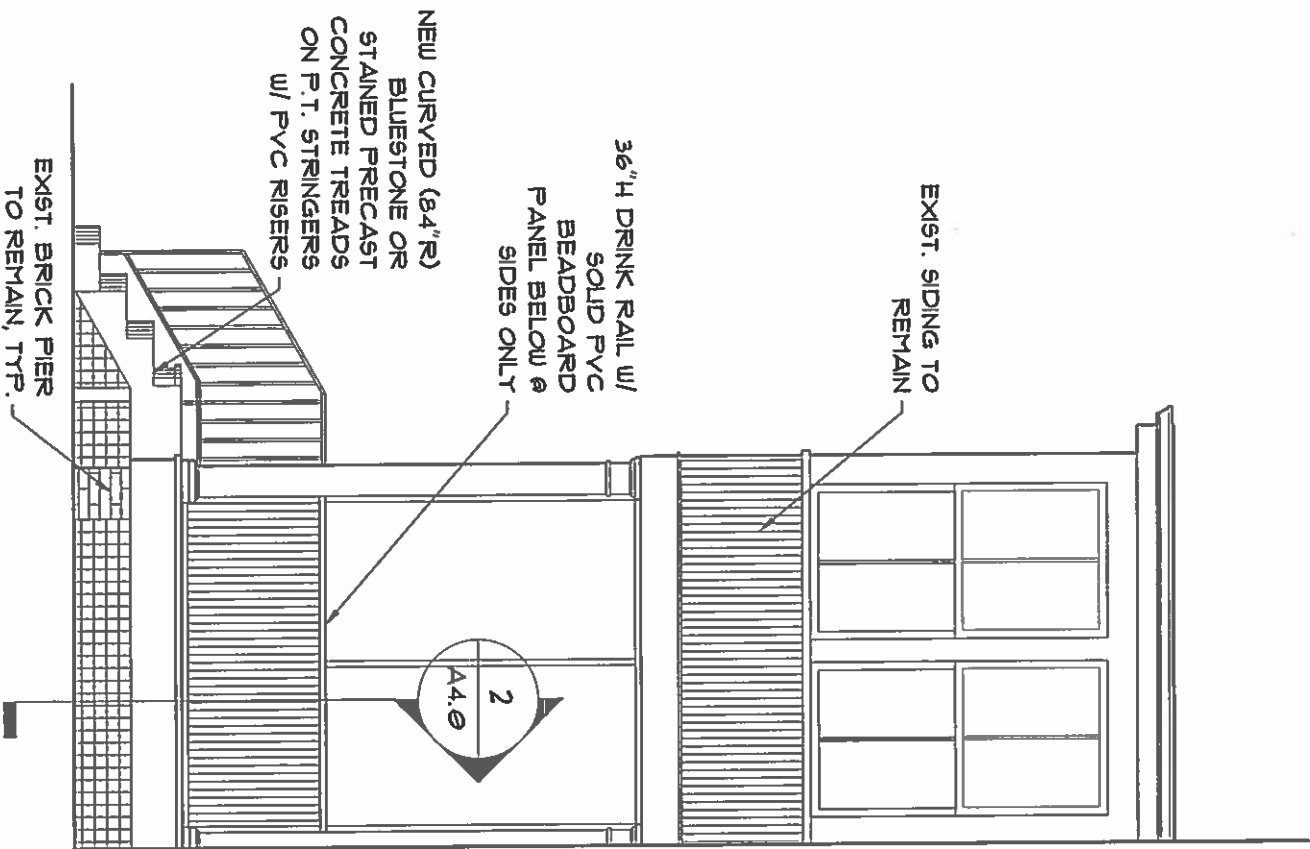
A3.0



SIDE ELEVATION

2

1/4" = 1'-0"



SIDE ELEVATION

1

1/4" = 1'-0"

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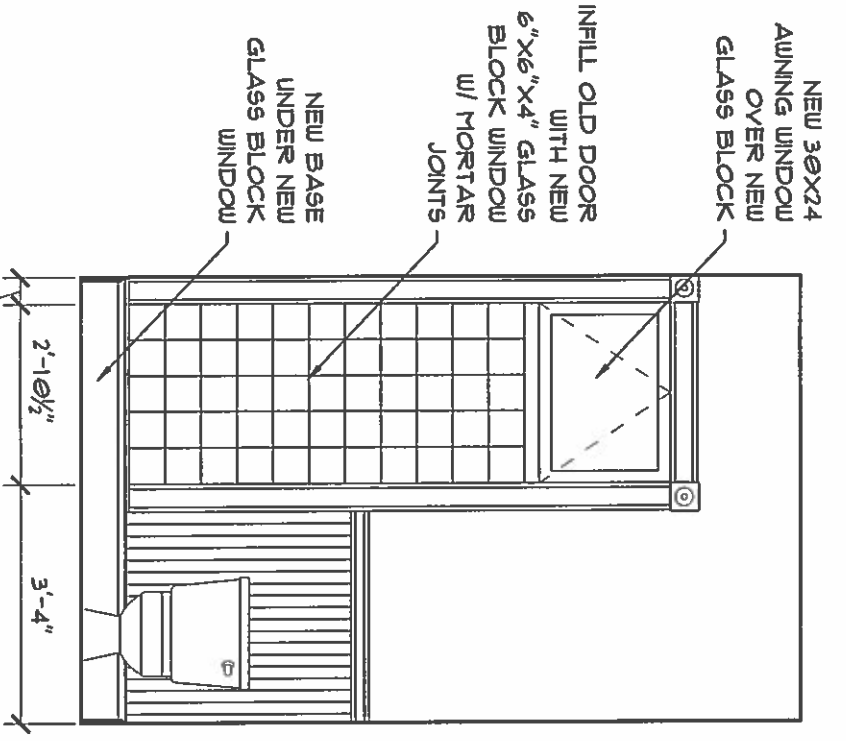
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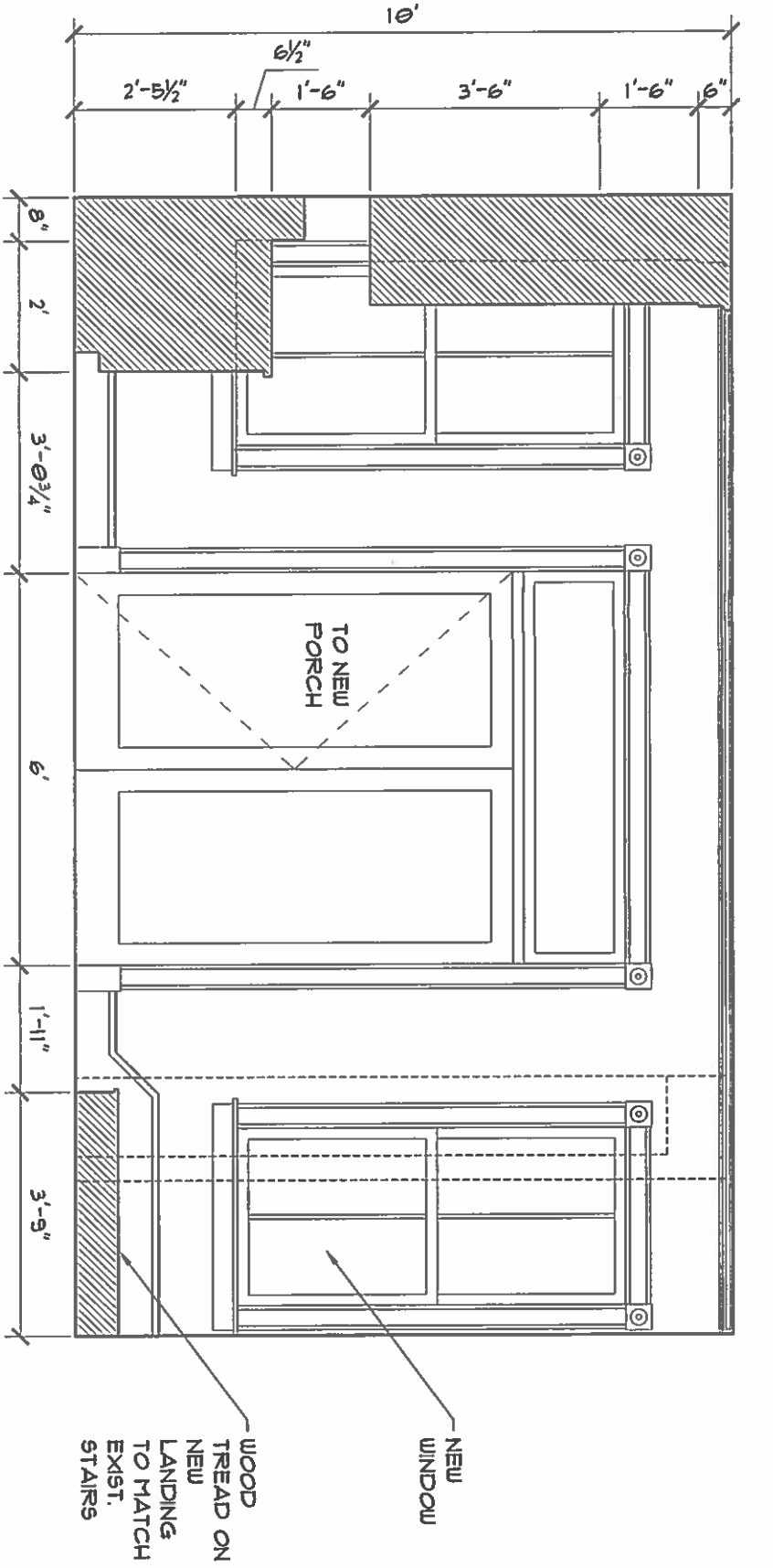
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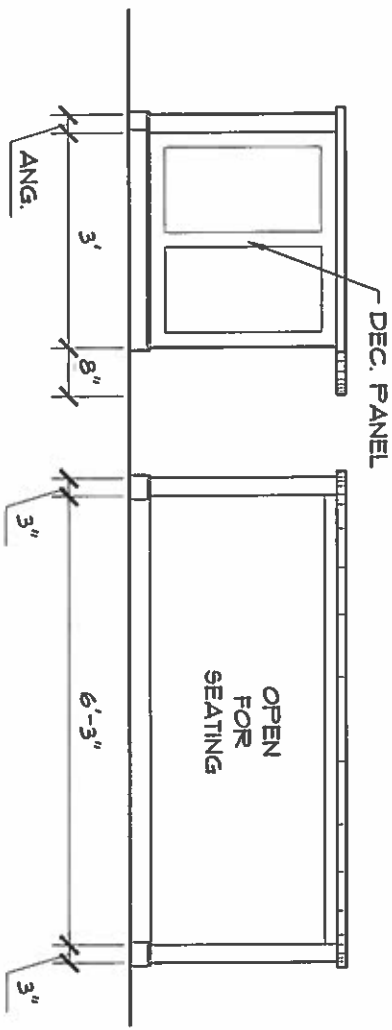
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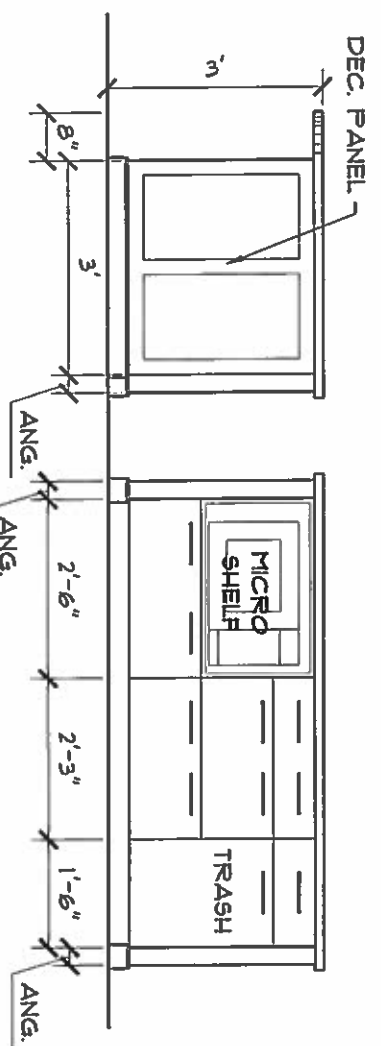
POWDER RM TOILET WALL
3/8" = 1'-0"
5



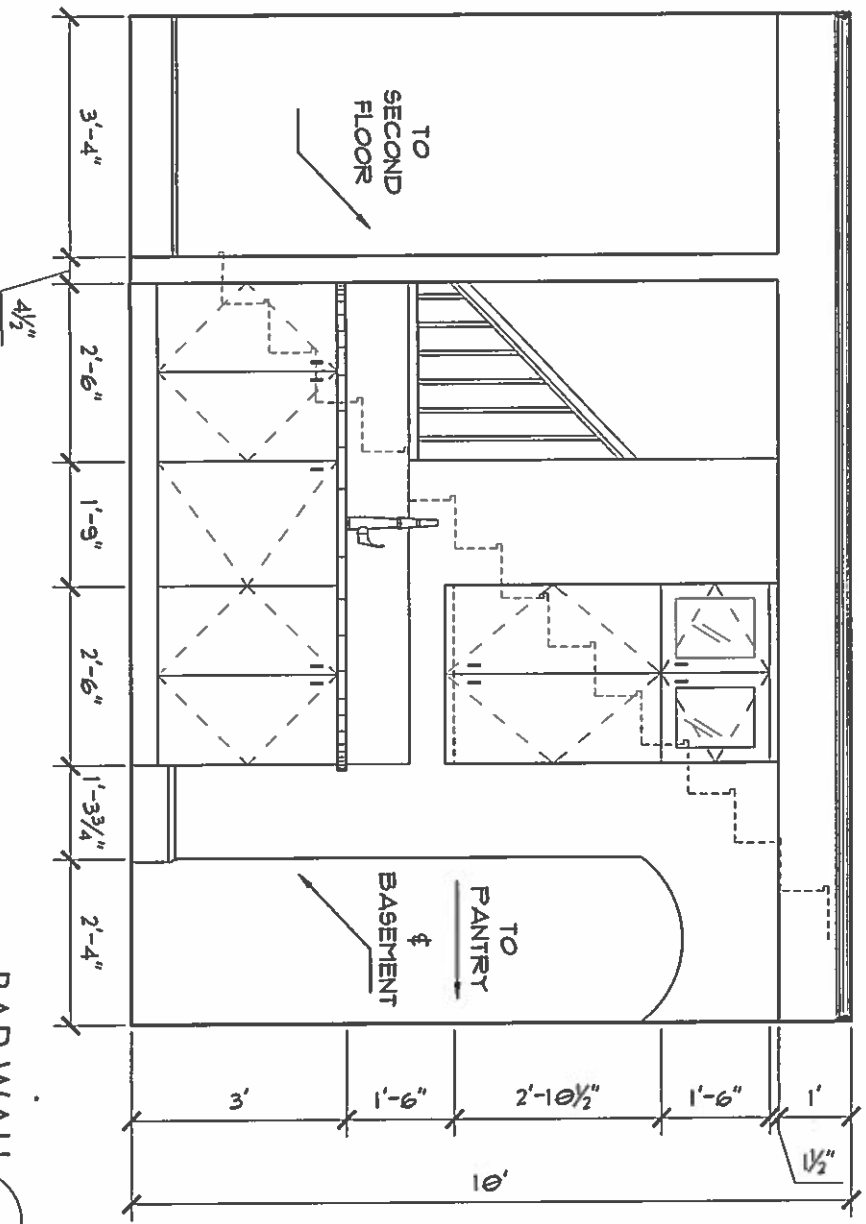
GLASS DOOR WALL
3/8" = 1'-0"
4



ISLAND ELEVATIONS
3/8" = 1'-0"
3



ISLAND ELEVATIONS
3/8" = 1'-0"
2



BAR WALL
3/8" = 1'-0"
1

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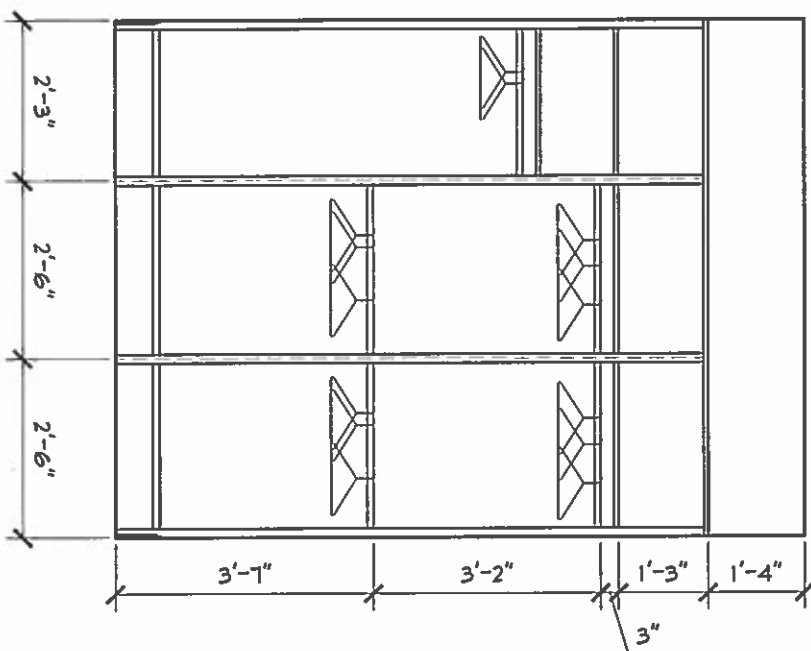
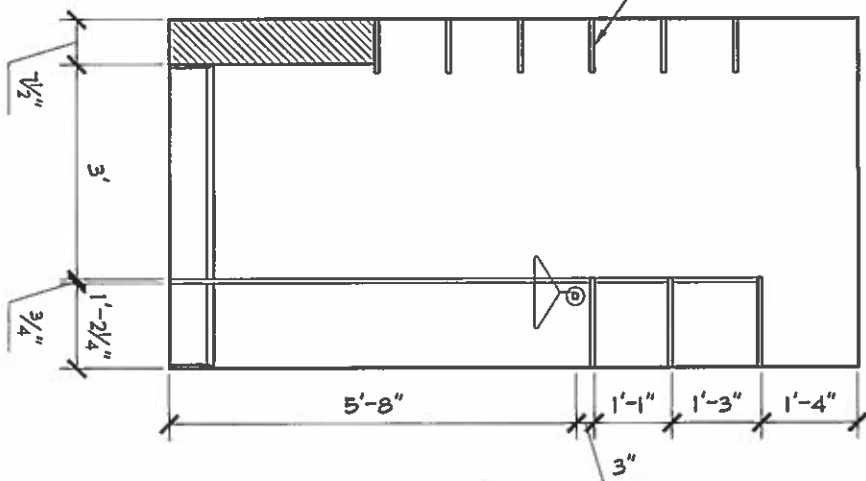
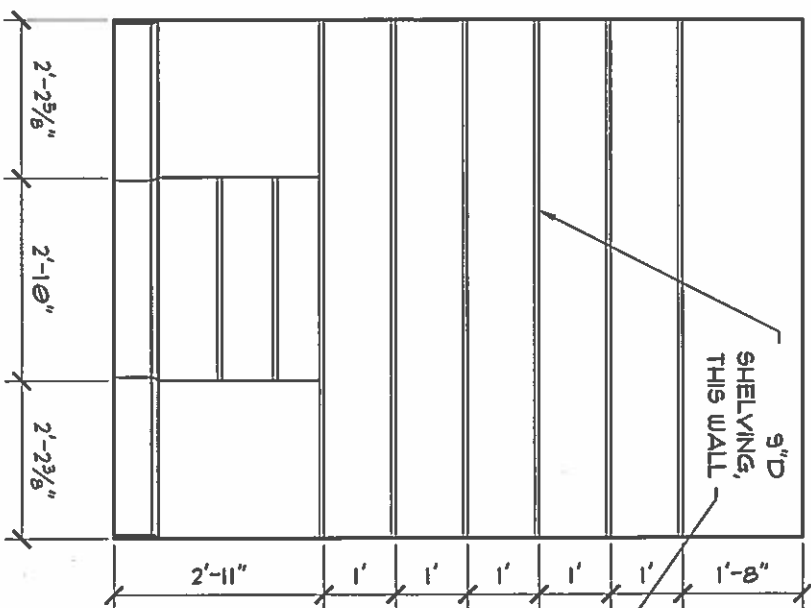
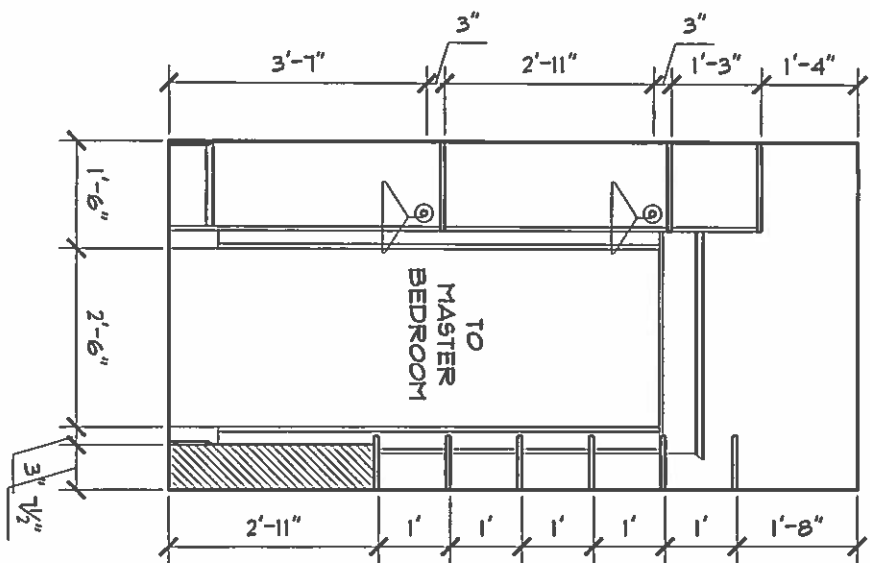
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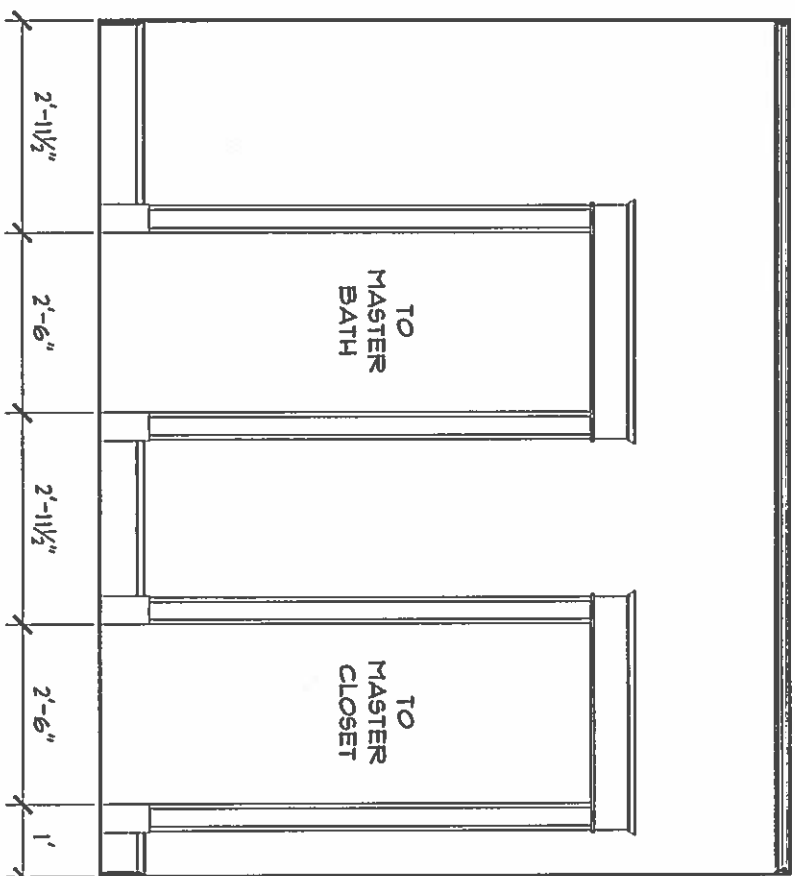
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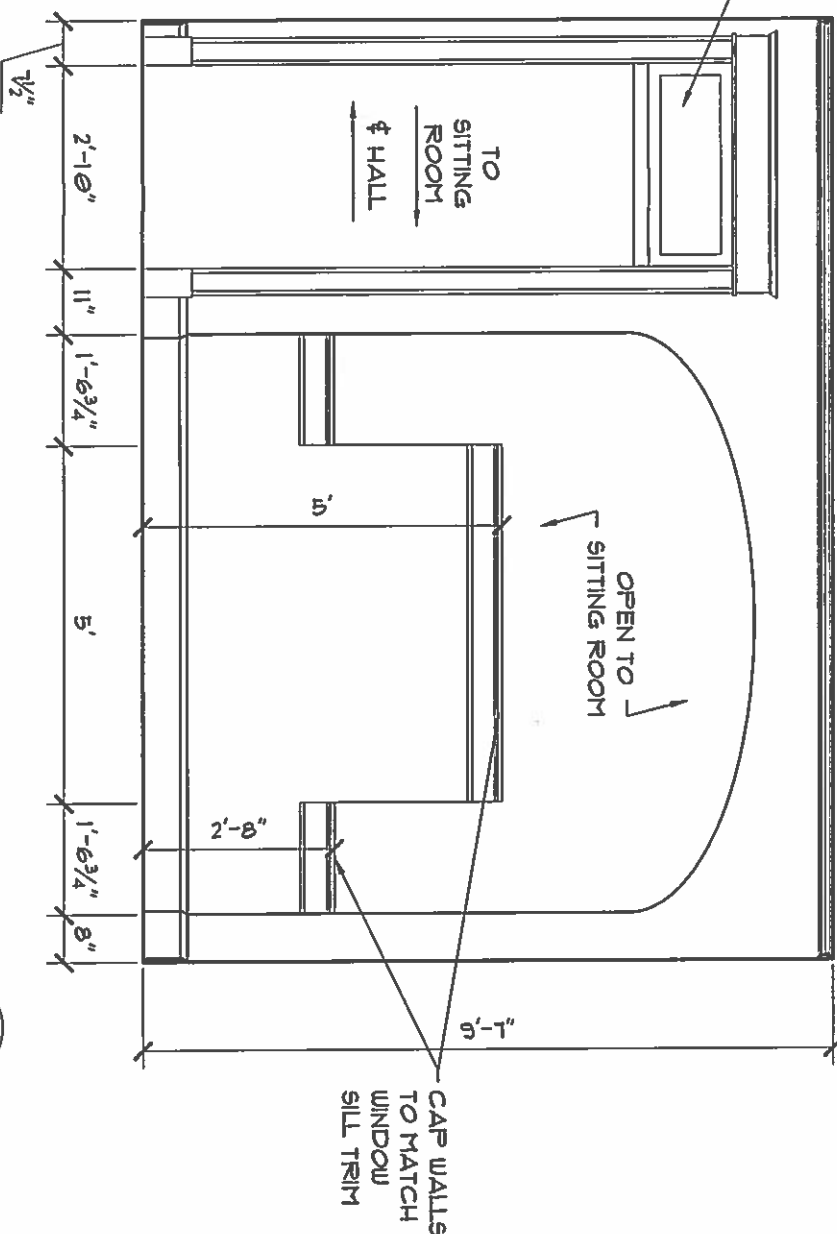
A3.3



MASTER CLOSET - ELEVATIONS
3/8" = 1'-0"
3



TRANSOM
TO
REMAIN



MASTER BEDROOM - BATH ENTRANCE WALL
3/8" = 1'-0"
2

MASTER BEDROOM - BED WALL
3/8" = 1'-0"
1

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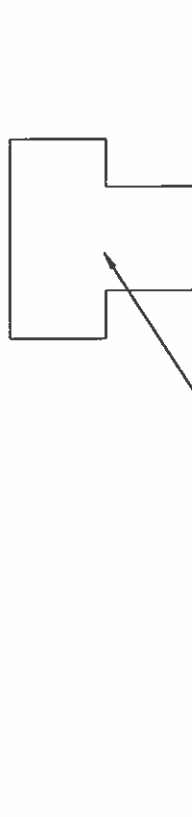
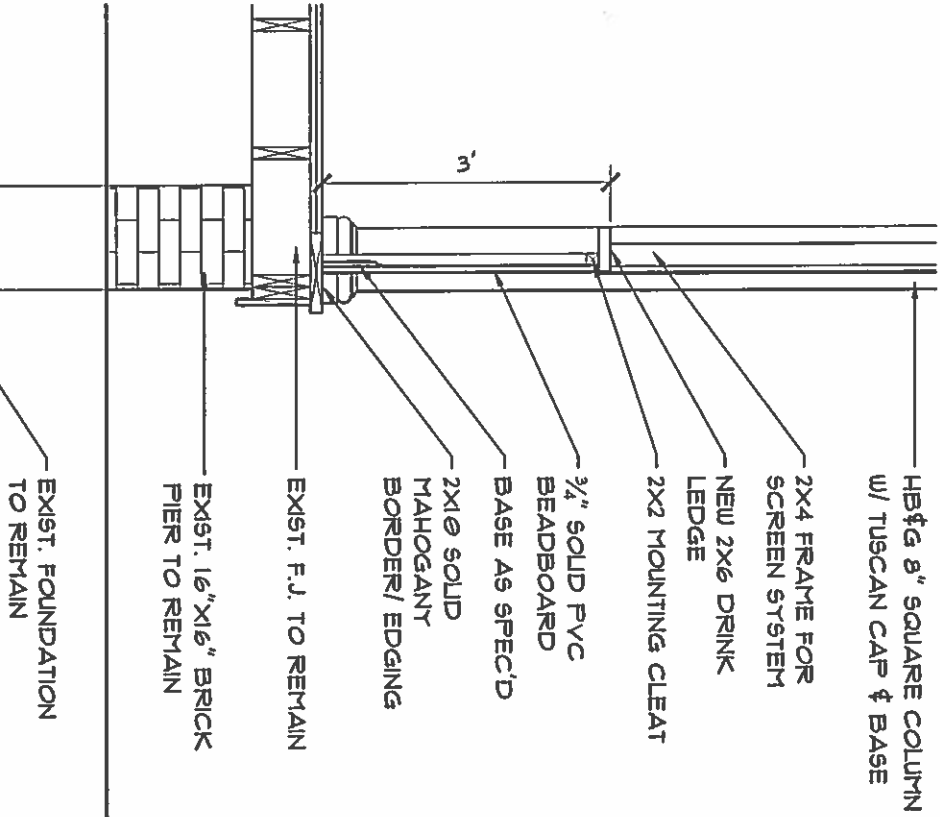
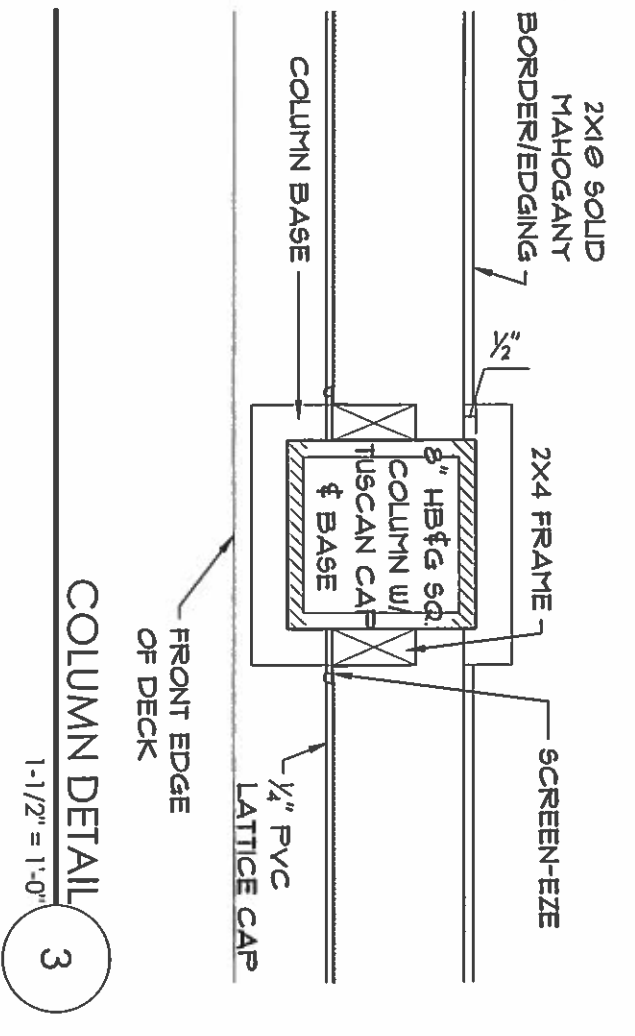
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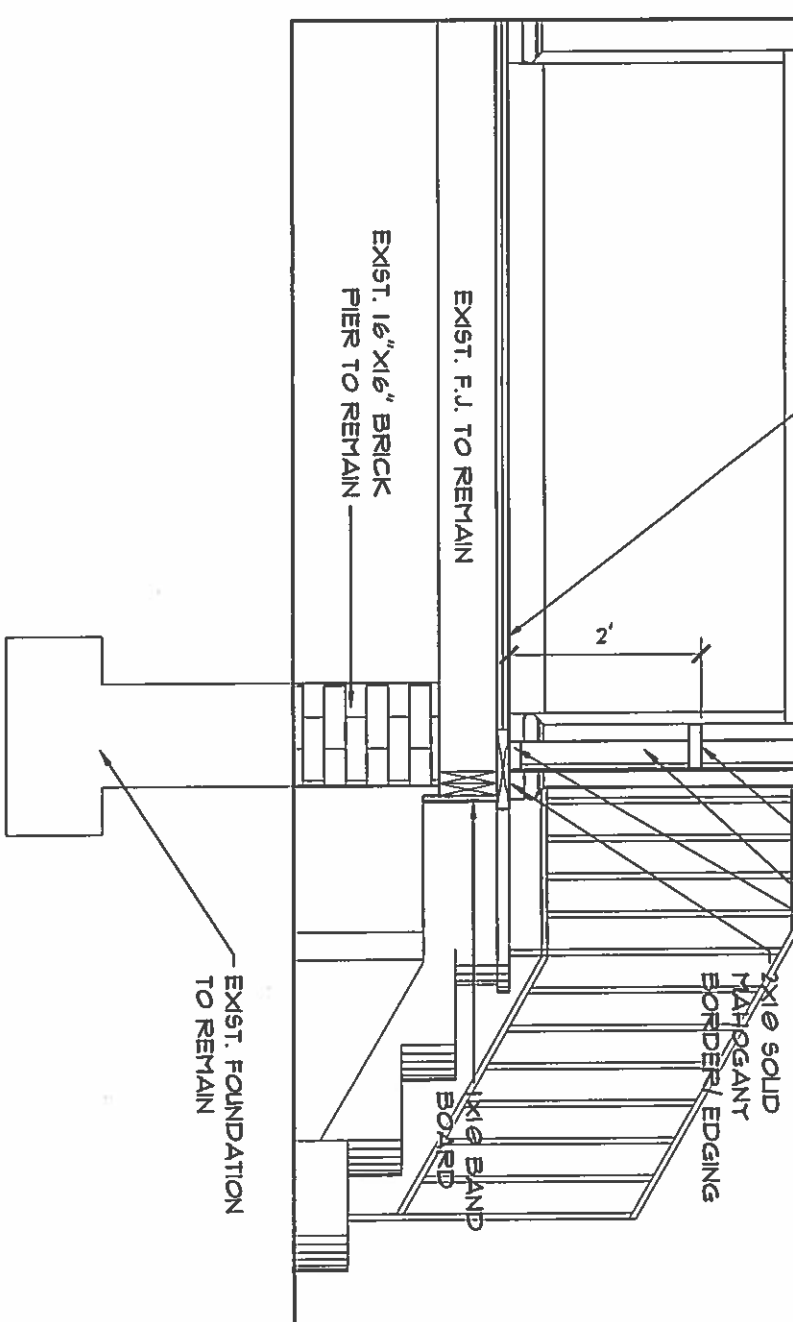
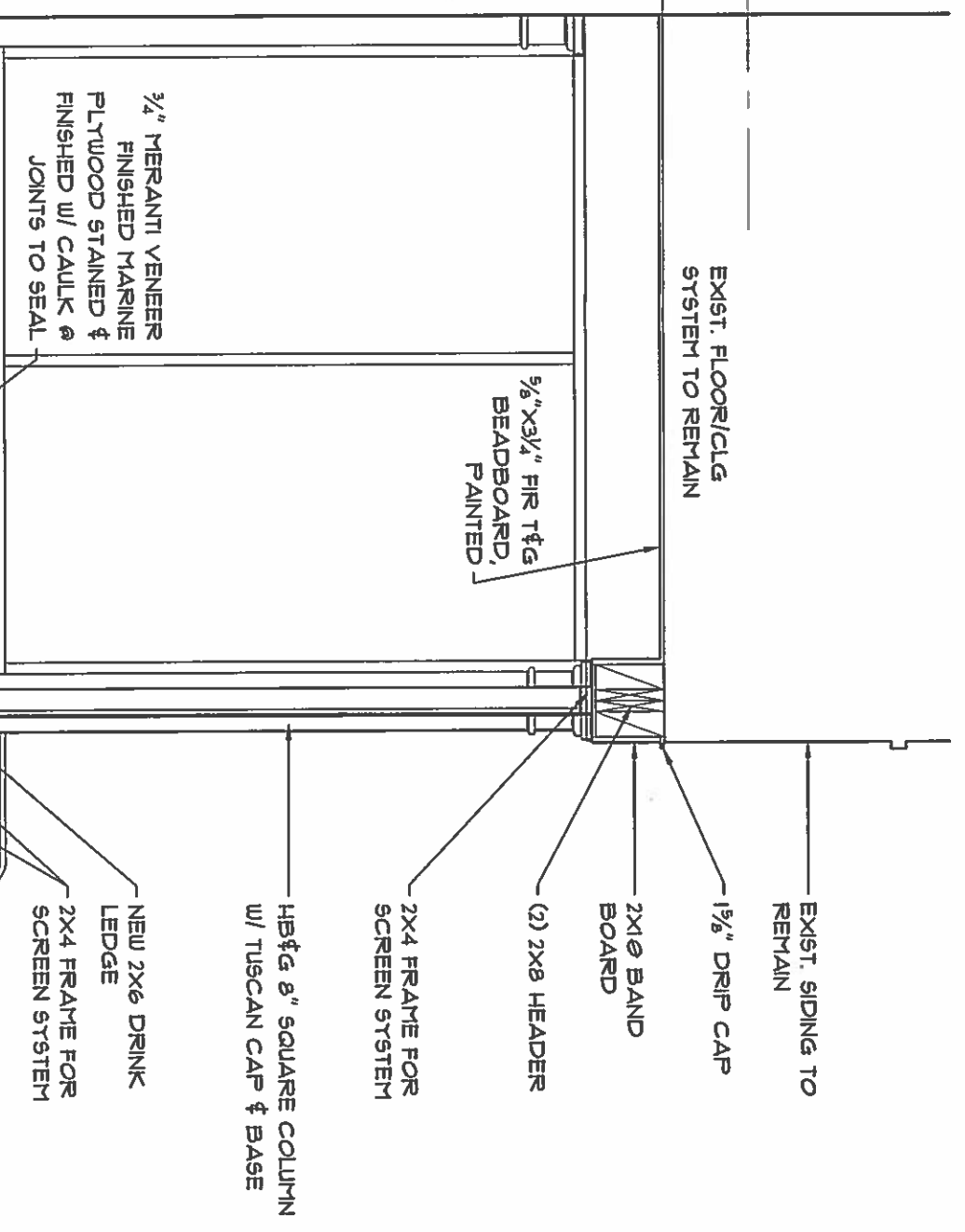
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A3.5



SECTION 2
1/2" = 1'-0"



SECTION 1
1/2" = 1'-0"

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RENOVATION for
Jonathan Marcus

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23103



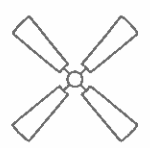


















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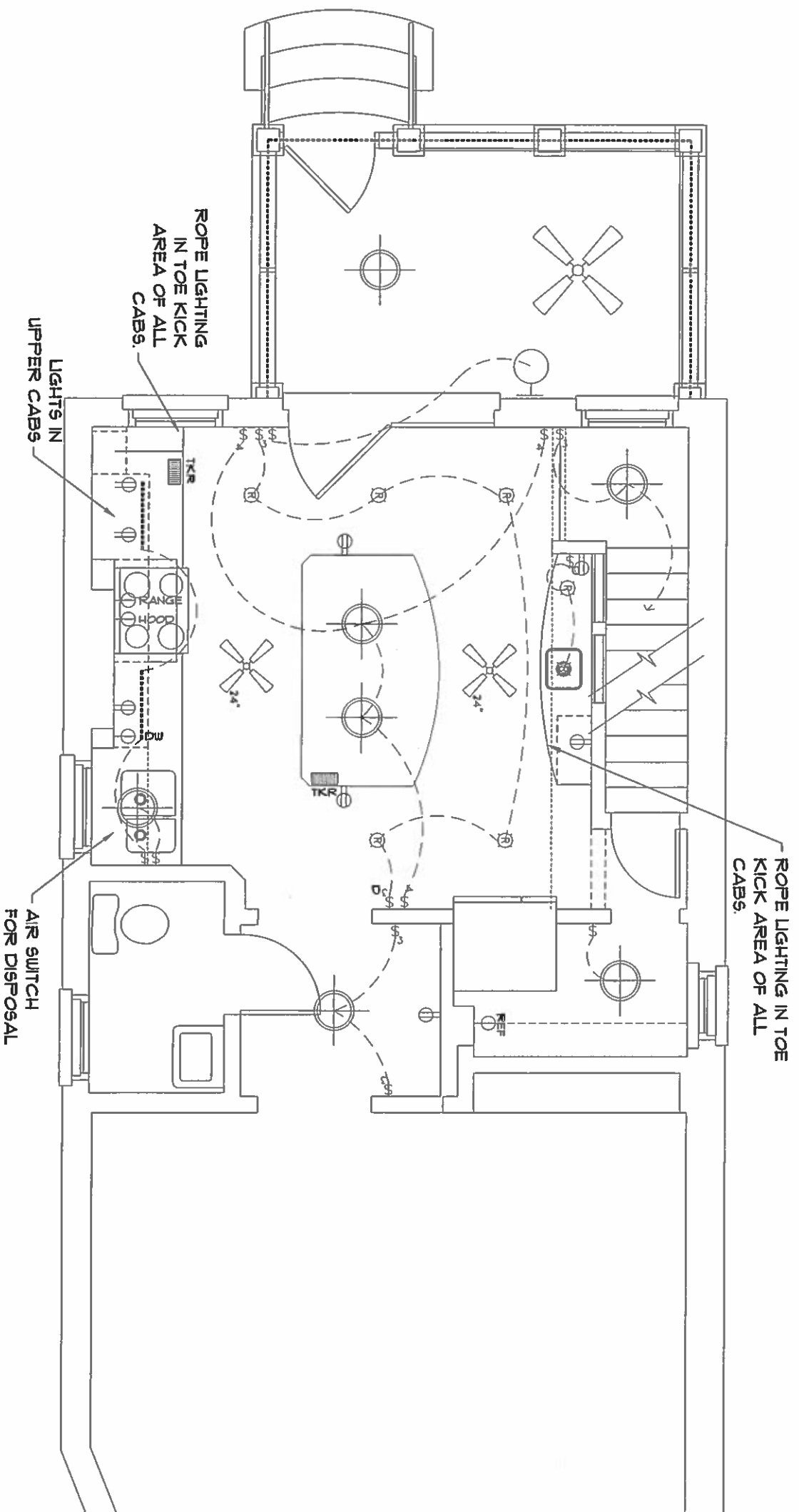
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07.21.2017
07.27.2017
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CAR

SHEET:
A4.0

ELECTRICAL LEGEND

	SURFACE MOUNTED FLUORESCENT FIXTURE		SWITCH		CEILING FAN
	CEILING MOUNTED LIGHT FIXTURE		SWITCH WITH DIMMER		EXHAUST FAN
	PENDANT LIGHT FIXTURE		3-WAY SWITCH		EXHAUST FAN WITH RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE		EXISTING		TRACK LIGHTING
	WALL MOUNTED LIGHT FIXTURE		DOOR SWITCH		EXTERIOR FLOOD LIGHTS
	UNDER-CABINET PUCK LIGHT FIXTURE		CABLE TV CONNECTION		
	UNDER-CABINET LIGHT FIXTURE		TELEPHONE		
	DUPLEX RECEPTACLE		APPLIANCE RECEPTACLE		



KITCHEN ELECTRICAL PLAN

1/4" = 1'-0"

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E1