



COMMISSION OF ARCHITECTURAL REVIEW APPLICATION / CERTIFICATE OF APPROPRIATENESS

PROPERTY (Location of Work)

Address 10 W. Leigh Street

Historic District Jackson Ward

PROPOSED ACTION

- Alteration (including paint colors)
- Rehabilitation
- Demolition
- Addition
- New Construction (Conceptual Review required)
- Conceptual Review
- Final Review

OWNER

Name Russell M. Basch

Company 10 West Leigh Street. LLC

Mailing Address 13412 Rupert Ct.
Richmond, VA 23233

Phone 804-387-1717

Email lizziedrucker@nophike.com

Signature

Date 06/29/2017

APPLICANT (if other than owner)

Name Bruce Shirley

Company Ratio

Mailing Address 1627 Westbrook Avenue
Richmond, VA 23227

Phone 804-304-0991

Email bruce@ratiostudio.com

Signature

Date 06/29/2017

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only)

RECEIVED
JUN 30 2017 8:50

Application received:

Date/Time _____

By _____

COA-019840

Complete Yes No

CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS

Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on-site. Visit the Commission of Architectural Review website for project guidance and forms:

<http://www.richmondgov.com/CommissionArchitecturalReview/index.aspx>

Division of Planning and Preservation 804.646.6335 Marianne.Pitts@Richmondgov.com

SUBMISSION INSTRUCTIONS

Submit applications to the Division of Planning and Preservation, Rm. 510, 900 E. Broad Street

- One (1) signed and completed application – property owners signature required
- twelve (12) copies of supporting documentation, as indicated on appropriate check-list, collated and stapled

MEETING SCHEDULE

- Applications are due by 12 PM (noon) on the deadline date. Exception: revisions to items deferred, denied or presented conceptually at the previous CAR meeting are due 15 days in advance of the scheduled meeting.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following CAR meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on the agenda.
- CAR will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, commissioners, and public notice if required.
- CAR monthly meetings are held at 3:30 PM in the 5th floor conference room of City Hall, 900 E. Broad Street. The owner and/or applicant is *encouraged to attend* the meeting.

2017 Meeting Dates (Tuesdays unless noted otherwise)	Application Deadlines (Fridays unless noted otherwise)
January 24	December 22, 2016 (Thursday)
February 28	January 27
March 28	March 3
April 25	March 31
May 23	April 28
June 27	May 26
July 25	June 30
August 22	July 28
September 26	August 25
October 24	September 29
November 28	October 27
December 19	November 27 (Monday)



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 10 W. Leigh Street

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight

10 W. Leigh Street

June 29, 2017

CAR – Applicant's Description

The attached application is for a CAR Certificate of Appropriateness at 10 W. Leigh Street, located in the Jackson Ward Historic District. The existing vacant historic structure is three stories tall and occupies most of the 5,400 SF site. There is a separate SUP application being made to the planning Department for approval to use the building for apartments (multi-family) which, while allowed under the current R-63 zoning, is larger and would contain more units than permitted by the current zoning. R-63 zoning only allows 1 unit per 1,000 SF. This would equate to only 5 units being allowed. The proposed layout currently allows for 14 units. Twelve (12) 1-Bedroom Units and Two (2) Efficiencies, which recent studies have shown to be most desirable. Amenities for the building tenants would include a fitness area and storage lockers.

Historic Tax Credits are to be obtained for the building and the exterior will be brought back to its original appearance, including re-opening masonry infilled windows, replacing all non-historic windows with 1 over 1 lite metal clad wood windows and repointing of displaced masonry as needed along the parapet and walls. All remaining historic windows are in very poor shape and are scheduled to be removed and replaced with a NPS approved metal clad wood window (simulated divided light).

All masonry will be repointed as required per NPS guidelines. Paint will be limited to the windows and new storefront trim (light gray) and some accent colors at the storefront paneling (dark gray) as well as the entry doors at the front and back being a dark blue. See attached Paint Sheet.

The front façade of the building will have the first floor CMU infill removed and a new wood and glass storefront installed to mimic the historic design of the original structure including dual flanking entrances and large glass center expanses. Extensive investigation on the building has not revealed a lot of past photographs or drawings other than the attached Sandborn map with a small image showing this dual entry and paneled storefront. We have attempted to replicate this while including code & ADA clearances and features.

Several interior historic features are to be retained as well including the main historic stair (to be extended to the first floor per historical evidence) and crown molding denoting historic gathering spaces. The roof has failed and while currently patched to avoid more degradation of the structure, it is planned to be fully replaced with a white membrane system and new rain leader.

Using this building for a residential function will enhance the overall environment by increasing both social and economic activity in the surrounding area. The proposed off-site parking will be adequate to accommodate the building uses. The characteristics of the building's end use and features will contribute the community and will not be detrimental to the safety, health, morals and general welfare of the community involved. We further feel the project will not tend to create congestion in streets, roads, alleys, and other public ways and places in the area involved.



Front Elevation



Back Elevation



Side Corner Elevation

Existing non-historic masonry in-fill to be demolished (historic trim surround to remain)

Existing fire escape to be demolished

Historic side elevation to remain

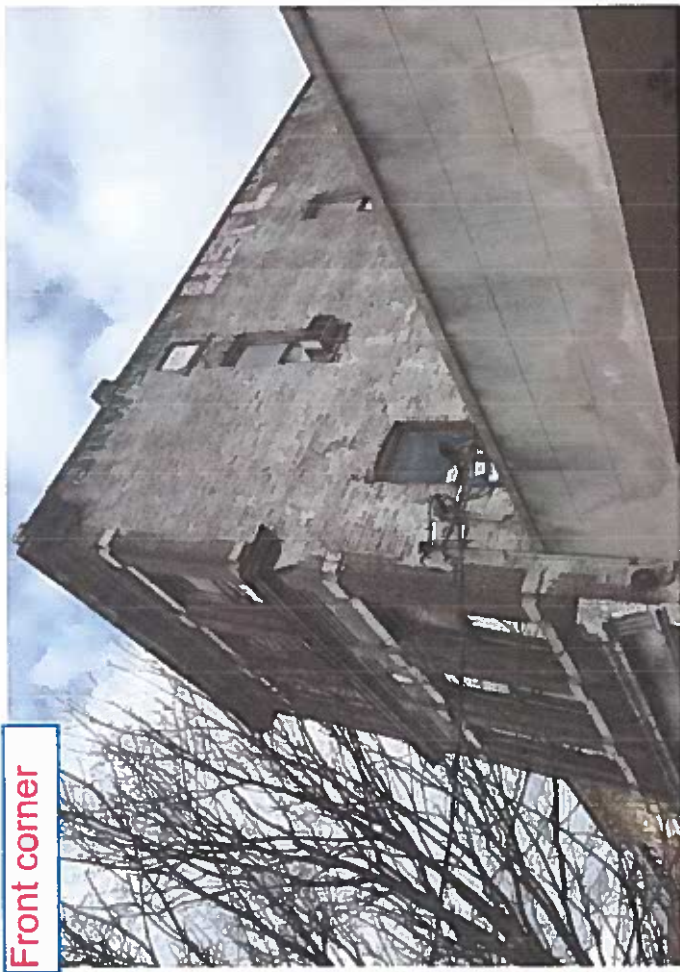
adjacent building to remain (NIC)



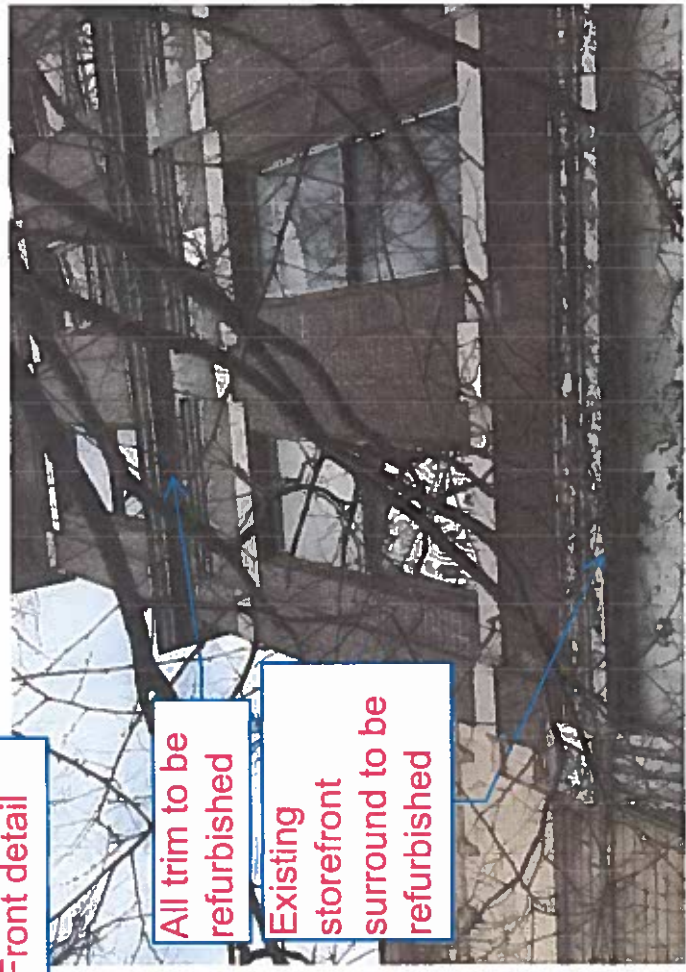
Back corner



Side Elevation from St. James Street



Front corner



Front detail

All trim to be refurbished
Existing storefront surround to be refurbished

10 W. Leigh Street
June 29, 2017

CAR – Paint Sheet

Main trim paint & window exterior color
SW 6385 – Dover White

SW 6385
Dover White

Accent trim paint for panel trim at first floor storefront
SW 7030 Anew Gray



Door paint – (2) @ front and (1) @ back
SW 6244 Naval





Sandborn map image



TrimLine
WINDOWS INCORPORATED



Energy-tight Windows for comfortable living and fuel efficiency

HOME PAGE

CORPORATE PROFILE

WHAT'S NEW

PRODUCTS

HISTORIC WOOD WINDOWS

ULTRA - FIT SASH KIT

COMFORT PLUS GLASS

TEST RESULTS

BECOME A DEALER

CONTACT US

Certified Rehabilitation approved by the National Park Service

TrimLine Windows provides quality custom windows for use in historically certified rehabilitation projects.

TrimLine offers a wide variety of products including double hung, casement, and bay windows as well as round top, elliptical and other architectural window products. Custom colors in either all wood or aluminum clad exteriors and interior hardwoods of oak, cherry, and mahogany as well as standard pine, are some of our company's offerings.

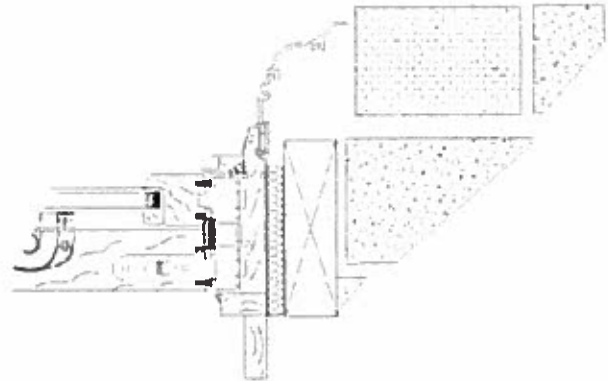
Additionally, custom panning systems, a variety of simulated divided light profiles, and replication of mullion details are some of the custom capabilities where maintenance of historical accuracy is essential.

Historic Windows features & benefits:

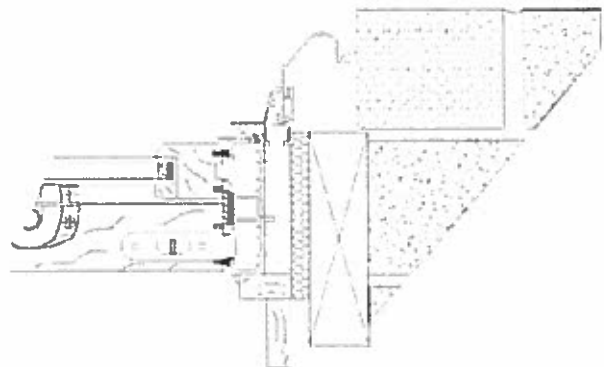
- Historically accurate custom panning systems
- Replication of mullion details
- Custom exterior colors
- National Park Service - Certified Rehabilitation
- Simulated divided lite systems
- Choice of hardwoods - Oak - Mahogany - Cherry
- Double Hung, Casements, Round Top, Elliptical Head, Radius casings
- Sash replacement systems
- High performance glass

Please click [here](#) for Brick Mold options.
Please click [here](#) for window options.
Please click [here](#) for Historical Project References

Panning Options

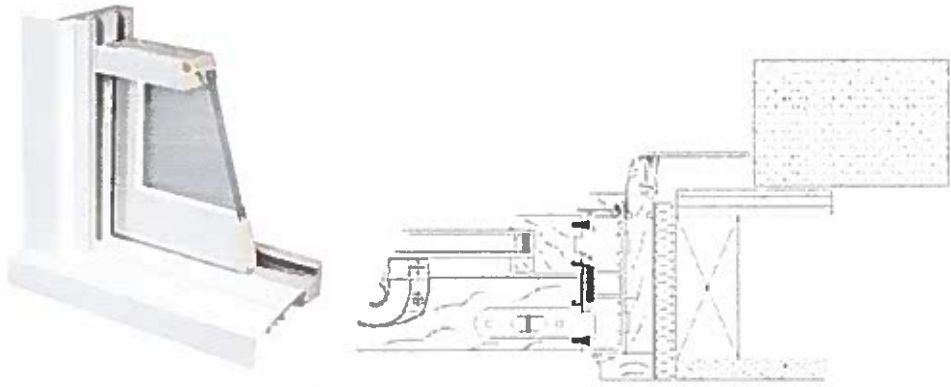


Legends Series DR300 shown in earthtone clad finish wkh "Colonial" style extruded aluminum panning and historic sill detail.



Legends Series DR300 with "Richmond" style extruded aluminum panning and historic sill detail shown in beige clad finish.

Style to be used



Legends Series DR 300 shown in white with "Arlington" style 2 1/4" flat extruded aluminum panning and Historic sill detail ideal for use in residential or commercial replacement applications of masonry opening. Custom design panning profiles also available.



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Trifab™ VersaGlaze™ 451/451T Framing System

- 2" (50.8mm) sightline
- 4-1/2" (114.3mm) depth
- High thermal performance
- Center, back, front, multi-plane glazed options
- Blast mitigation (451T), hurricane resistance
- Structural silicone glazed (SSG) options



Product Features

Trifab™ VG (VersaGlaze™) Framing systems are built on the proven and successful Trifab platform – with all the versatility its name implies. Trifab set the standard and Trifab™ VG improves upon it.

There are enough fabrication, design and performance choices to please the most discerning building owner, architect and installer. Plus the confidence a tried and true framing system instills.

Select from four glazing applications, four fabrication methods and multiple infill choices.

Consider thermal options and performance, SSG and Weatherseal alternatives and your project takes an almost custom shape whether your architecture is traditional or modern and the building is new or retrofitted.

Key Features Include:

- Hurricane Impact tested on Shutter Application Only
- Trifab™ VG 451/451T Framing is 4-1/2" (114.3) deep with a 2" (50.8) sightline
- Front, **Center**, Back or Multi-Plane glass applications
- Flush glazed from either the inside or outside
- Screw Spline, Shear Block, **Stick** or Type-B fabrication
- ~~SSG / Weatherseal option~~
- Isolock™ lanced and debridged thermal break option with Trifab™ VG 451T Framing
- Infill options up to 1-1/8" (28.6) thickness
- Permanodic™ anodized finishes in 7 choices ← **Silver Anodized**
- Painted finishes in standard and custom choices

Optional Features:

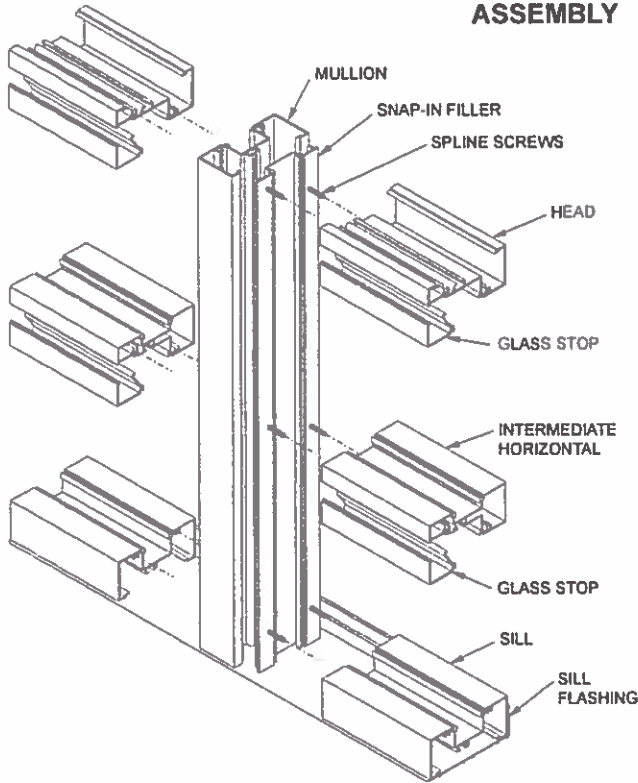
- High performance interlocking flashing
- Acoustical rating per AAMA 1801 and ASTM E 1425
- Project specific U-factors (See Thermal Charts)

Product Applications:

- Storefront, Ribbon Window or Punched Openings
- Single-span
- Integrated entrance framing allowing Kawneer standard entrances or other specialty entrances to be incorporated
- Kawneer windows including GLASSvent™ are easily incorporated

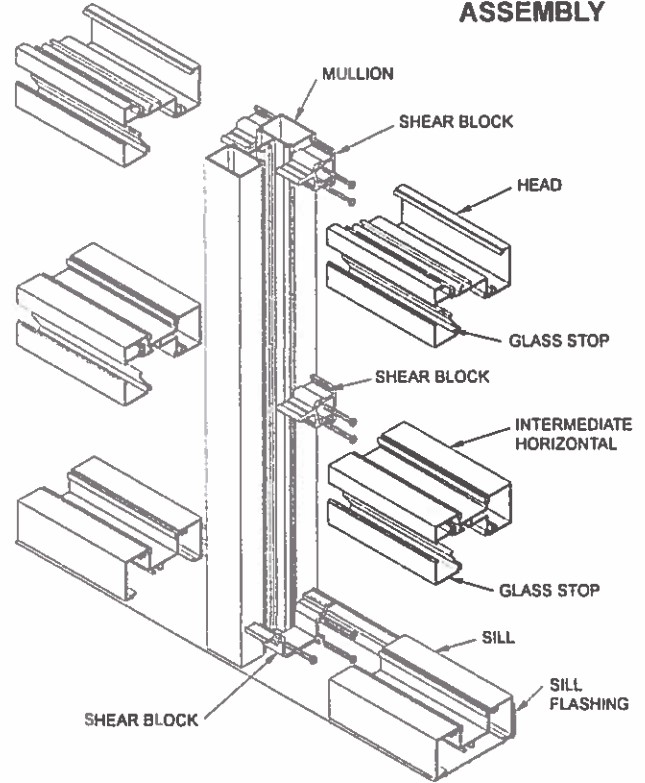
The split vertical in the Screw Spline system allows a frame to be installed from unitized assemblies. Screws are driven through the back of the verticals into splines extruded in the horizontal framing members. The individual units are then snapped together to form a complete frame.

SCREW SPLINE ASSEMBLY

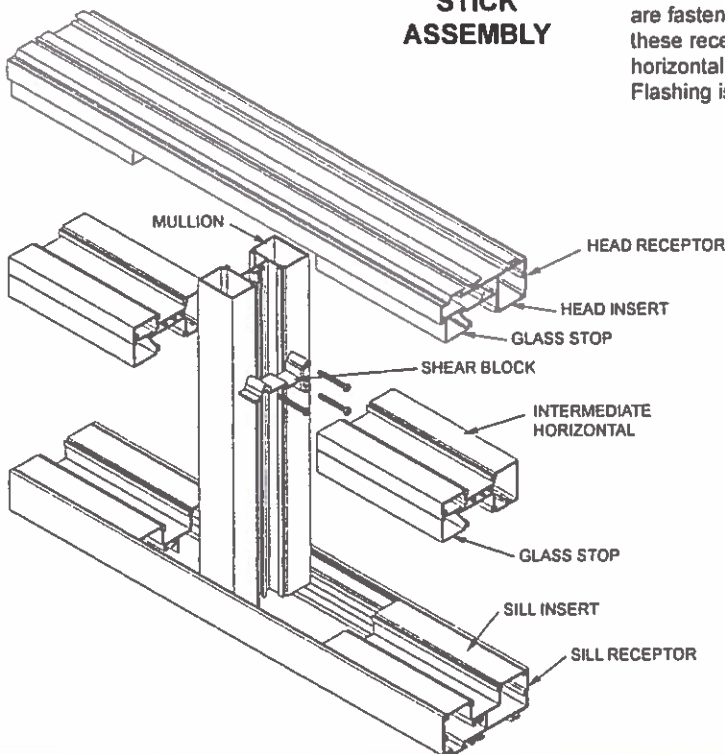


The Shear Block system of fabrication allows a frame to be pre-assembled as a single unit. Horizontals are attached to the verticals with shear blocks.

SHEAR BLOCK ASSEMBLY



STICK ASSEMBLY



The Stick system allows on-site construction. Head and sill receptors are fastened to the surround. Vertical mullions are then installed in these receptors and are held in place by snap-in inserts. Intermediate horizontal members are attached to the verticals with shear blocks. Flashing is not required.

NOTE:

If the end reaction of the mullion (mullion spacing (ft.) times height (ft.) times specified wind load (psf) divided by two) is more than 500 lbs., the optional mullion anchors must be used. (See page 14)

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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CODE INFORMATION

Designed under:
2003 Virginia Construction Code
ICC / ASPI A117.1/2003

Project is for the historic renovation of an existing building for 14 apartment units, all exterior windows to be replaced and new first floor storefront to be installed.

Type of Construction is 3B (Existing to remain)

A sprinkler system WILL be installed (IFPA.13)

% Open Penetration = 85%
(With 3/4" min. open width)

Building USE to be classified as R2 Apartments

Table 503 Area Limitation for R2 use and 2B construction = 16,000 SF

Frontage Increase per Section 506.2 = 0

Specialty Increase per Section 505.3 = 2

Equation 54 = Allowable Fire Area per floor =

16,000 + 32,000 + 0 = 48,000 SF

Actual Building Fire Area = 13,860 GSF

1st Floor = 4,620

2nd Floor = 4,620

3rd Floor = 4,620

Building Occupancy: R9

1st Floor = 23

2nd Floor = 23

3rd Floor = 23

Required exit:
Existing historic floor at center of building to be extended to first floor and be the only remaining means of egress. A code modification is being applied for due to the limitations of Table 803.2(1) existing (4) dwelling units of upper floor for single means of egress. 2nd & 3rd floors will have 5 units each. Internal egress will be met on the egress egress. will be hour rated and all unit doors will also be 1 hour rated

GENERAL NOTES

1. The General Contractor and subcontractor(s) shall report premises prior to bid substantial and work commencement to verify existing and indicated conditions. Should a Contractor find conditions which he believes would impede his work, he shall report such conditions immediately to the Architect. Failure to so advise will constitute notice that the Contractor accepts the existing conditions and that he intends to perform his obligations with no alterations either in time or money for any impediments to his work.

2. Each Contractor shall verify all dimensions and conditions in field. The drawings reflect conditions reasonably anticipated from the existing visible conditions or from drawings or information furnished by the Owner, but cannot be guaranteed by the Architect. If dimensional errors occur or conditions not covered in the drawings are encountered, the Contractor shall notify the Architect before commencing that portion of the work.

3. All work shall comply with the 2003 Virginia Construction Code

4. All manufactured materials, materials and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with the manufacturer's written specifications or instructions.

5. The General Contractor shall supervise and direct the work, using his best skill and attention. He shall be solely responsible for all construction and/or installation means, methods, techniques, sequences and procedures and for coordinating all portions of the work under the contract.

6. Dimensions, table precedence over scale on construction documents. Drawings may be rough scaled for siting and general reference. Field verify all conditions prior to construction on/off or fabrication.

7. All dimensions are given. Finish unless noted otherwise.

8. All work shall be executed in a neat and workmanlike manner. Contractor shall keep the construction site free of all debris and keep it all neat and unobstructed. Upon completion of work, the entire construction area shall be completely cleaned to architect's satisfaction.

9. When work not specifically called out is required to complete the project, the appropriate Contractor shall provide same and it shall be at the best means and workmanship. If code book notes are required to complete the work, the Contractor shall notify the architect prior to bid, a limited period prior to starting the work, allowing a reasonable period of time for requests and approval. No claims for extra compensation based on ignorance of visible or implied conditions or omissions or omissions shall be the basis for any claim.

Required Fire Rating:

Exterior walls - load bearing: 2 hour

Exterior walls - non-load bearing: 0 hour

Fire enclosures: 0 hour

Other shafts: 1 hour

Exit egress: 0 hour

Exit egress: 0 hour

Exit egress: 0 hour

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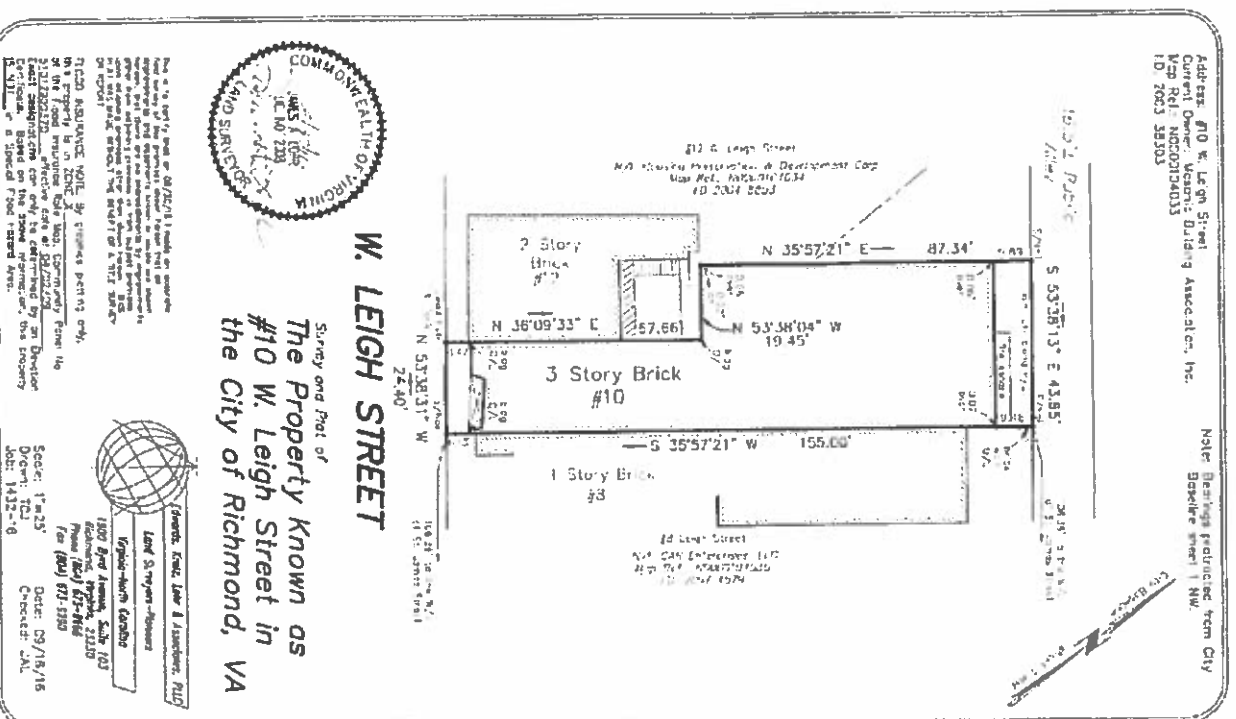
Exit egress: 0 hour

OWNER
10 West Leigh St. LLC
13412 Rupert Ct.
Richmond Va 23233

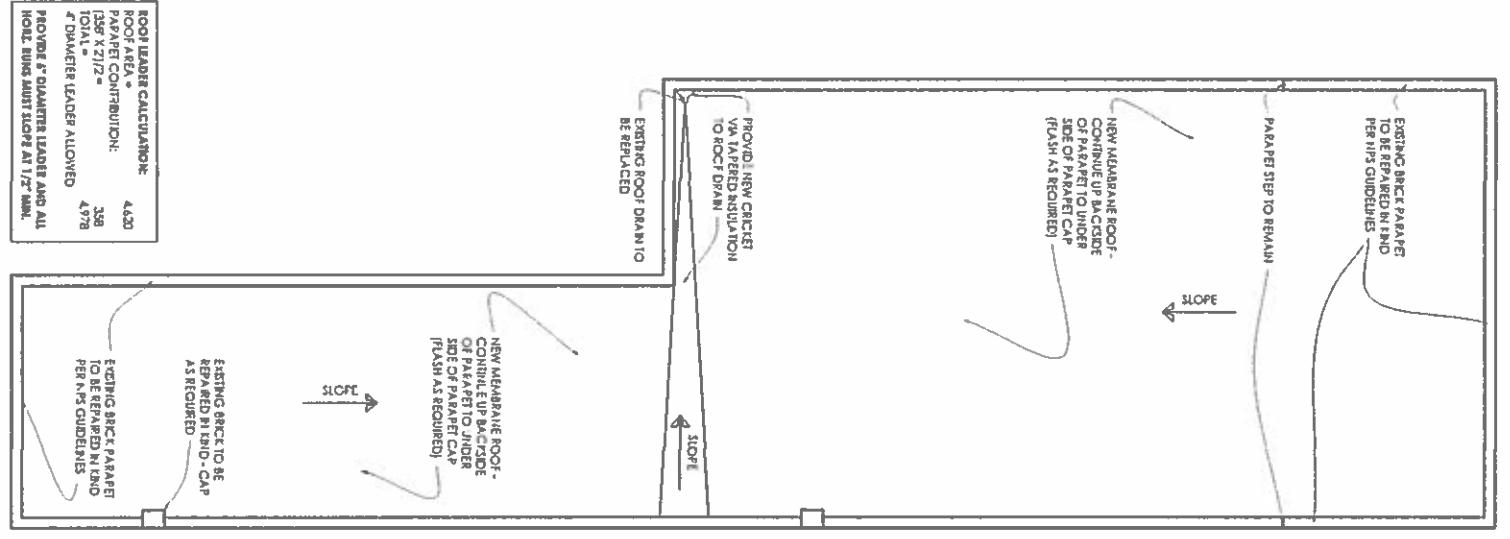
DRAWING INDEX
CS 01 COVER SHEET, GENERAL NOTES, CODE INFORMATION, PLAT & ROOF PLAN
D1.01 NEW CONSTRUCTION FLOOR PLANS
A4.01 EXTERIOR ELEVATIONS
A4.02 EXTERIOR ELEVATIONS
A4.03 ENLARGED STOREFRONT ELEVATION

ARCHITECT
Rollo
1627 Westbrook Avenue
Richmond VA 23227

MEP ENGINEER
To be design-Build under the General Contractor's scope of work



02 PLAT SURVEY
SCALE AS NOTED



01 ROOF PLAN
SCALE: 1/8" = 1'-0"

10WL Reno
10 West Leigh Street
Richmond, Virginia 23220

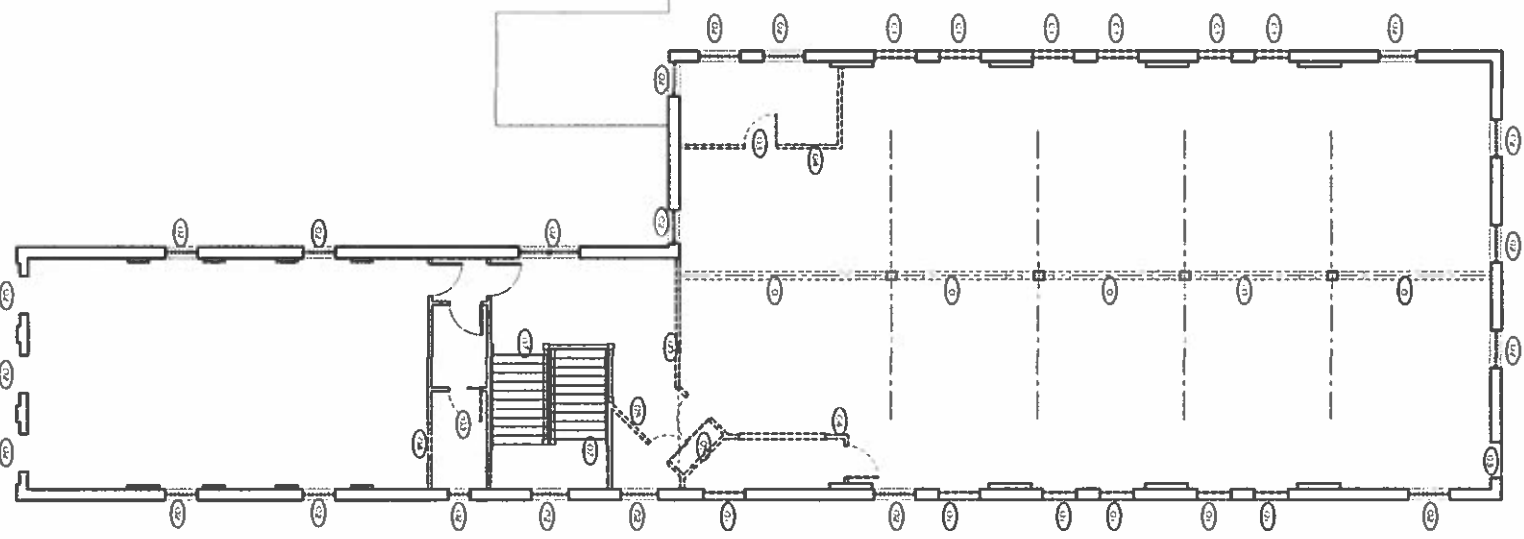
227 Westbrook Ave.
Richmond VA 23227
1-813-504-6479
www.rollo.com

06/29/17
Cng/Slip/stevens

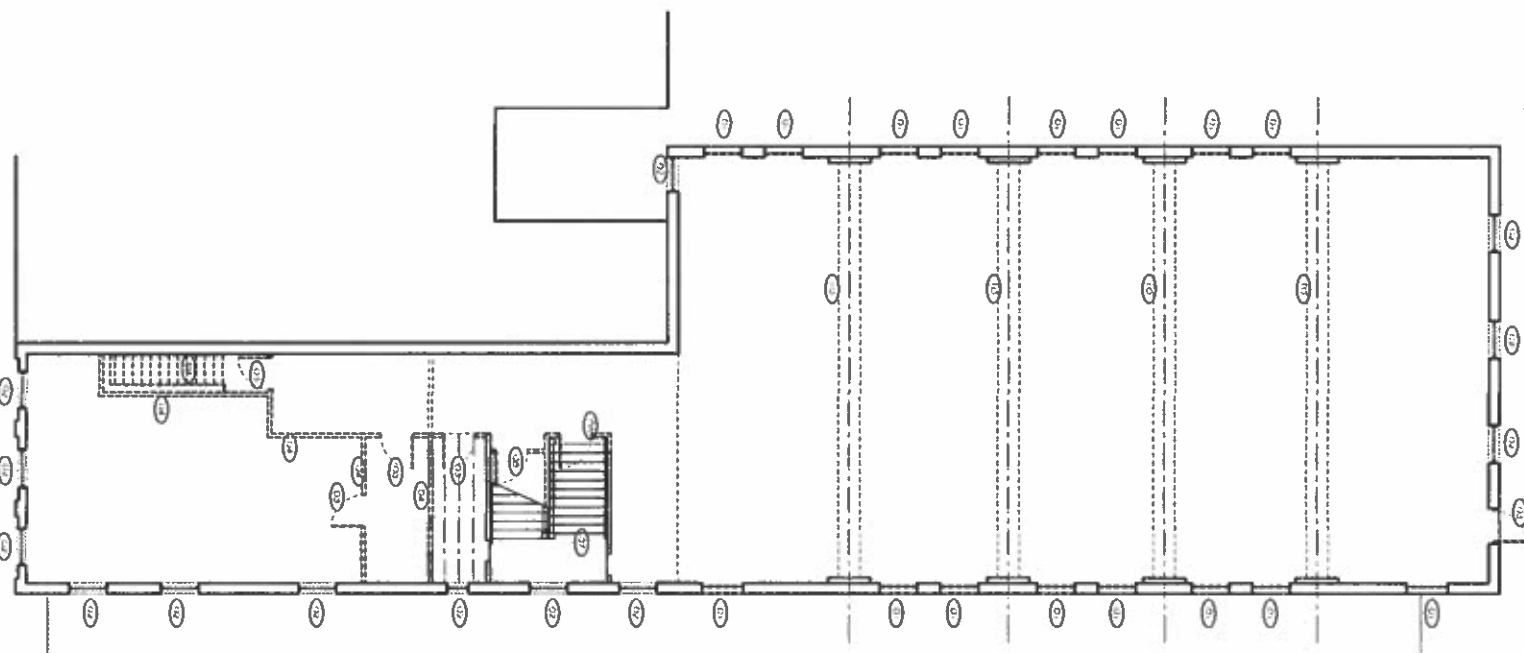
COVER, CODE INFO, GENERAL NOTES, PLAT SURVEY & ROOF PLAN

CS 01

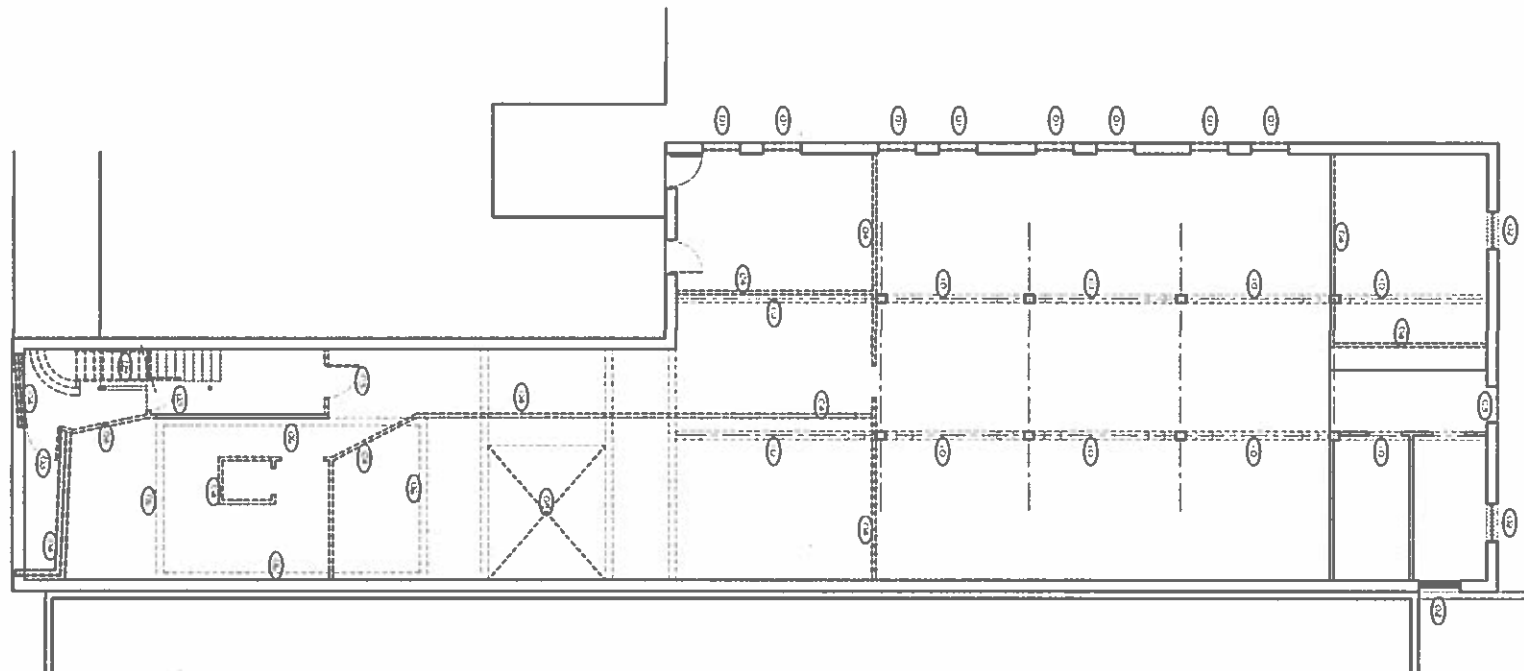
© 2017 ROLLO



03 THIRD FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



02 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



01 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

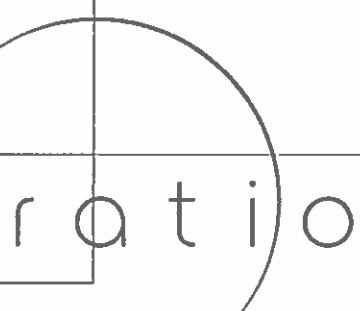
- KEYED DEMOLITION NOTES**
- EXISTING MASONRY WALL OF HISTORIC OPENING TO BE REPOSED AND PREPARED FOR RECEIVING NEW HISTORIC REPLACEMENT WINDOW.
 - EXISTING WINDOW BEYOND REPAIR, WINDOW TO BE REMOVED AND OPENING PREPARED FOR RECEIVING NEW HISTORIC REPLACEMENT WINDOW.
 - EXISTING NON-HISTORIC DOOR TO BE REMOVED AND DISCARDED.
 - EXISTING WALL TO BE REMOVED AND DISCARDED.
 - THIRD FLOOR CORRIDOR BEYOND REPAIR - TO BE REMOVED AND REPLACED TO MATCH EXISTING, SEE NEW CONSTRUCTION PLANS.
 - EXISTING HISTORIC STAIR ENCLOSURE TO BE REMOVED AND REPLACED TO REMAIN.
 - HISTORIC STAIR ENCLOSURE TO BE REMOVED ALONG WITH SECOND FLOOR IN PREPARATION OF EXTENDING STAIR TO FIRST FLOOR PRE HISTORICAL EVIDENCE.
 - HISTORIC STAIR AT FRONT OF BUILDING TO BE REMOVED AND DISCARDED IN PROCESS.
 - EXISTING BEAMS ABOVE TO REMAIN, (EMERGENCY STABILIZATION ALREADY IN PROCESS)

LEGEND:

- EXISTING STUD WALL TO REMAIN
- EXIST. STUD WALL TO BE REMOVED
- NEW WOOD STUD WALL
- PARTITION TYPE (SEE BELOW)
- KEYED PLAN NOTE
- ALUM WALLS AS SHOWN
- DOOR NEW (SEE CA 01)
- INTERCONNECTED SMOKE DETECTOR
- TEMPERED GLASS

FOR OTHER SYMBOLS AND DEFINITIONS SEE SHEET 01-01
DRAWING PANEL AND TITLE SHEET 01-01
PAGE NUMBER ON THIS SHEET ON 011

1627 Worklock Avenue
Richmond VA 23227
t & f: 804 244 1729
www.ratiowv.com



10WL Reno
10 West Leigh Street
Richmond, Virginia 23220

D101

DEMOLITION PLANS

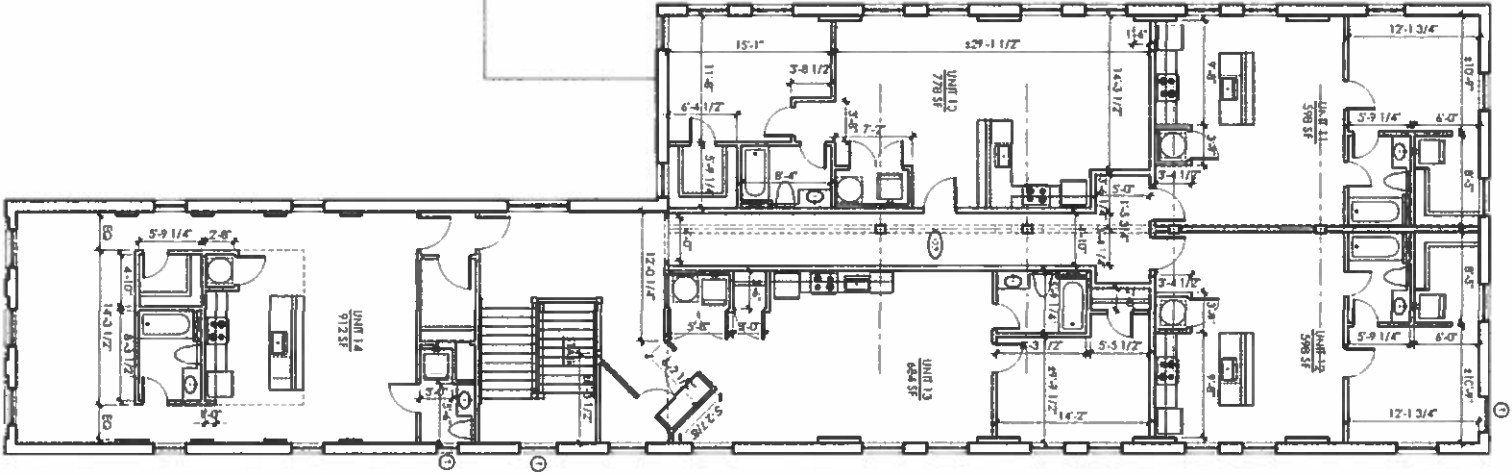
06 29 17
Caj Submittals

- KEYED NEW CONSTRUCTION NOTES**
- EXISTING STAIR TO BE EXTENDED TO FIRST FLOOR. ALL HISTORIC DETAILS AND PROFILES TO BE MATCHED TO EXISTING.
 - NEW DUAL ENTRANCE WOOD STAIRS TO BE INSTALLED PER PLANS & ELEVATIONS.
 - NEW FIRE RATED EGRESS CORRIDOR.
 - CODE MODIFICATION TO BE APPLIED FOR IN ORDER TO ELIMINATE FIRE ESCAPE AND HAVE ONE MEANS OF EGRESS FOR THREE STORY RZ USE WITH 3 UNITS AT SECOND & THIRD FLOOR.
 - EXISTING ENTRANCE TO RECEIVE NEW DOOR.
 - ALL EXISTING HEAVY TRIMMER COLUMNS AND BEAMS ARE TO REMAIN EXCEPT WHERE EMERGENCY REPAIRS HAVE ALREADY TAKEN PLACE TO STABILIZE BUILDING.
 - EXISTING HISTORIC STAIR TO REMAIN BETWEEN SECOND AND THIRD FLOORS.

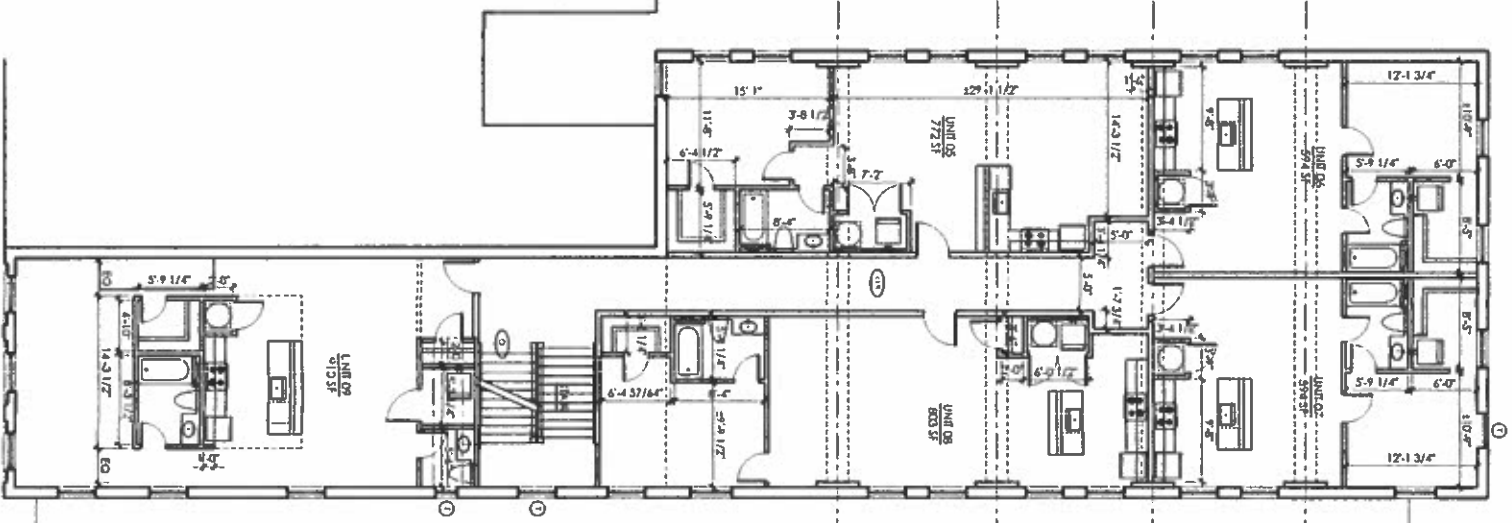
LEGEND:

- EXISTING STUD WALL TO REMAIN
- EXIST. STUD WALL TO BE REMOVED
- NEW WOOD STUD WALL
- PARTITION TYPE (SEE BELOW)
- KEYED PLAN NOTE
- ALUM WALLS AS SHOWN
- DOOR SET (SEE C.A. 91)
- INTERCONNECTED SMOKE DETECTOR
- TEMPERED GLASS

DO NOT DISTURB EXISTING 2" RIGID POLYSTYRENE INSULATION. REMOVE ONLY WHERE NECESSARY FOR NEW CONSTRUCTION. SEE PLAN FOR DETAILS.

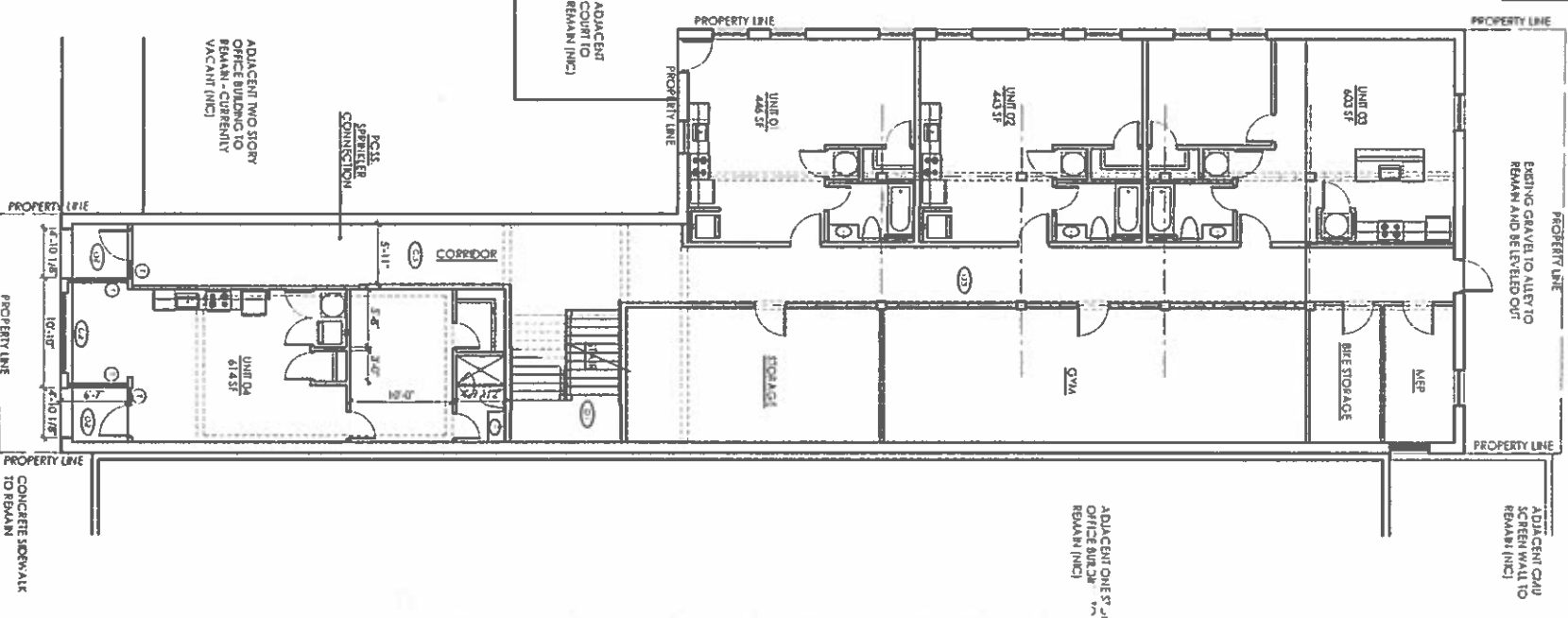


03 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



02 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

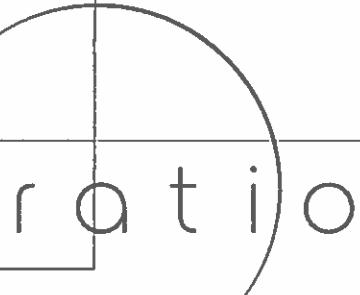
UNIT NUMBER	THIRD FLOOR	SECOND FLOOR	TOTAL
4 UNITS	4 UNITS	4 UNITS	14 UNITS

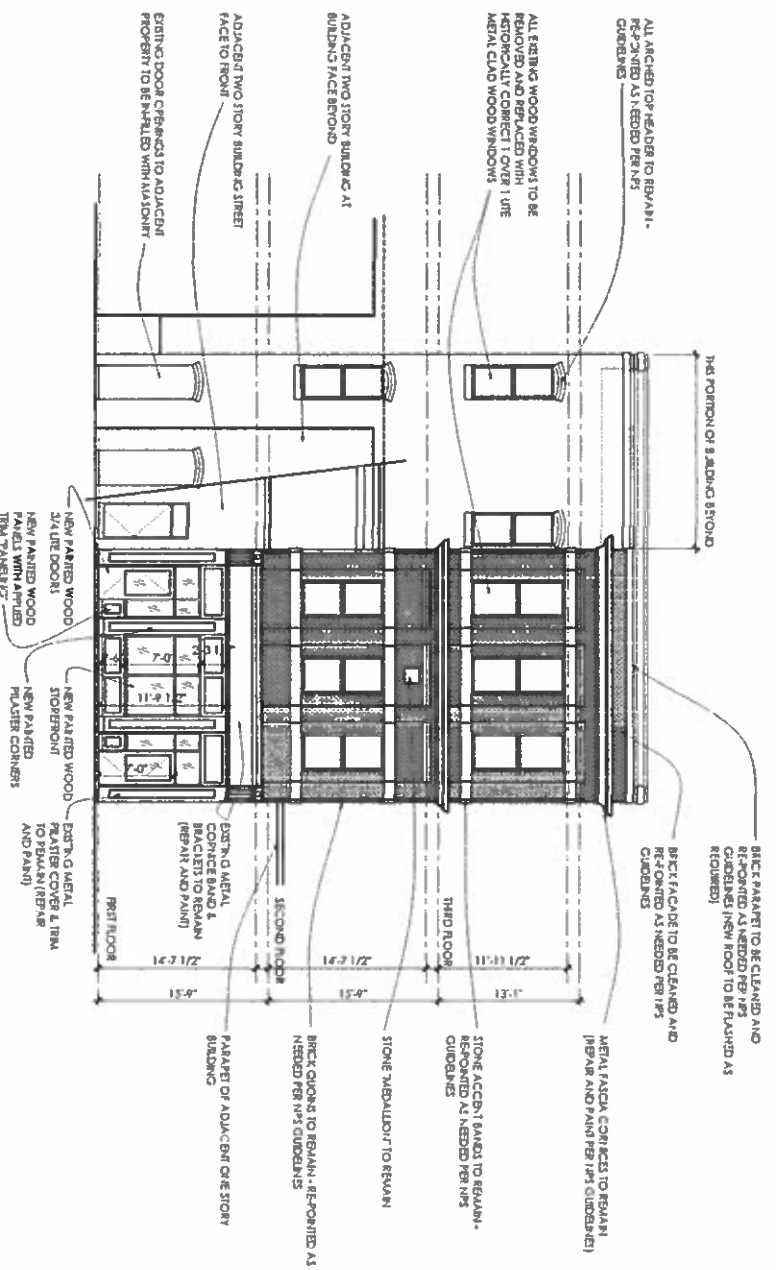


01 FIRST FLOOR & SITE PLAN
SCALE: 1/8" = 1'-0"

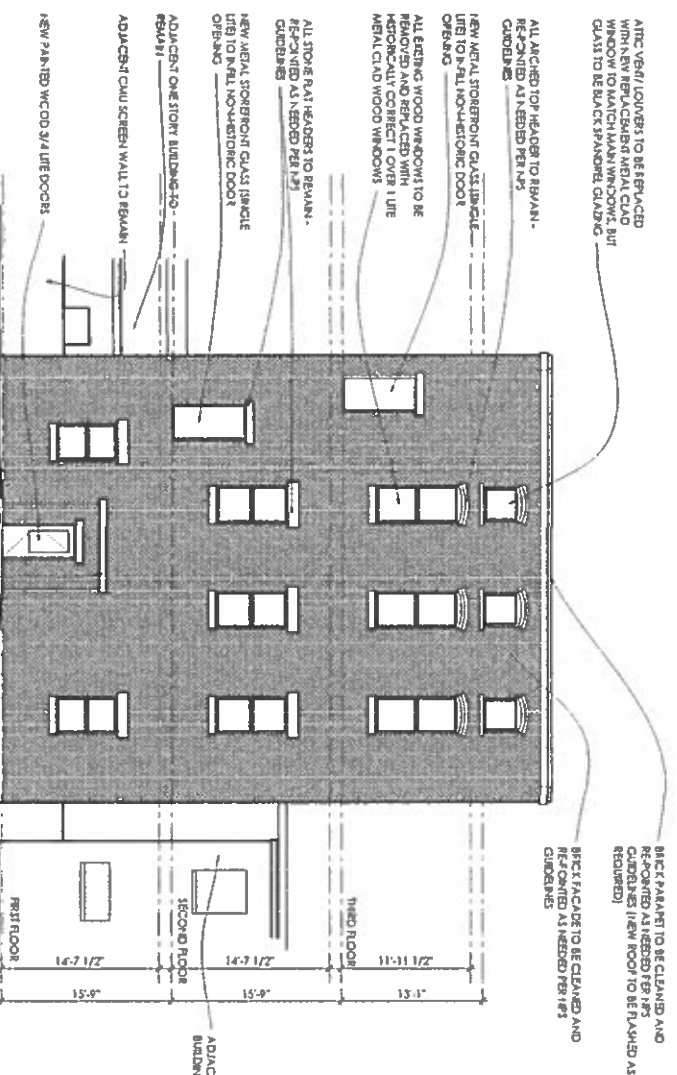
FLOOR PLANS	06.29.17 Eng. Submissions	1127 Westport Avenue Richmond, VA, 23221 811 804.2641729 www.ratiova.com
	A1 01	

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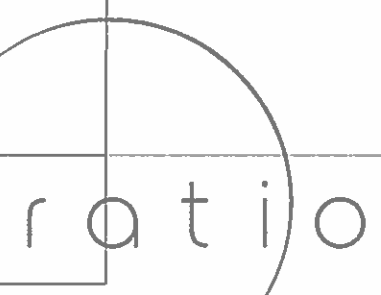


02 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



01 BACK ELEVATION
SCALE: 1/8" = 1'-0"

127 Westwood Avenue
Richmond VA, 23221
1.81.504.2641/79
www.ratiobuild.com



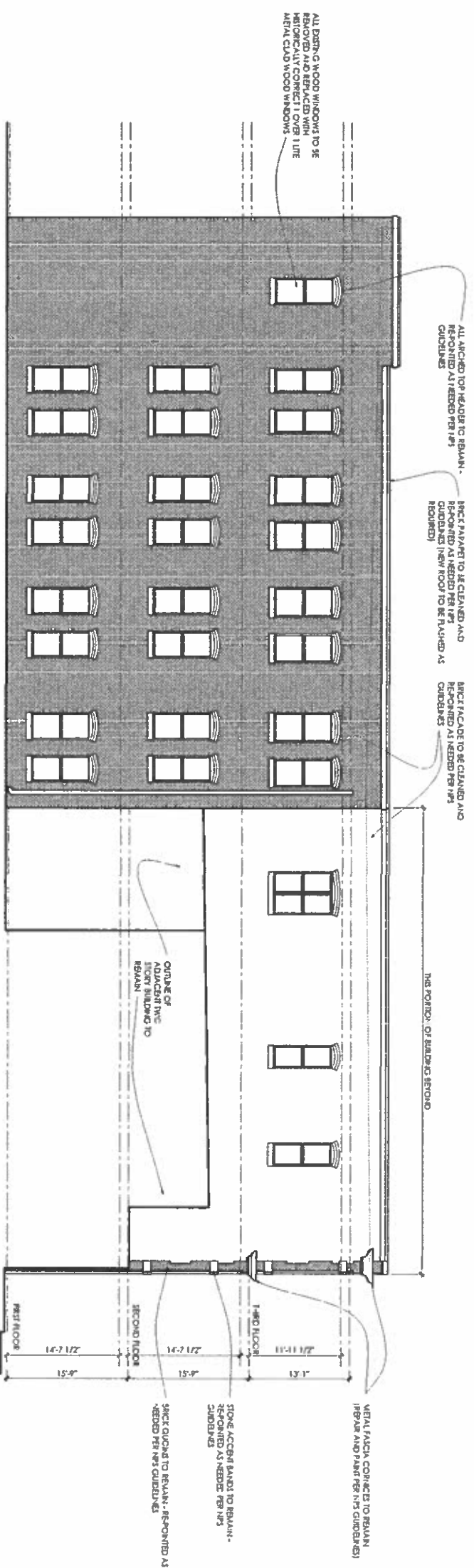
10WL Reno
10 West Leigh Street
Richmond, Virginia 23220

EXTERIOR ELEVATIONS

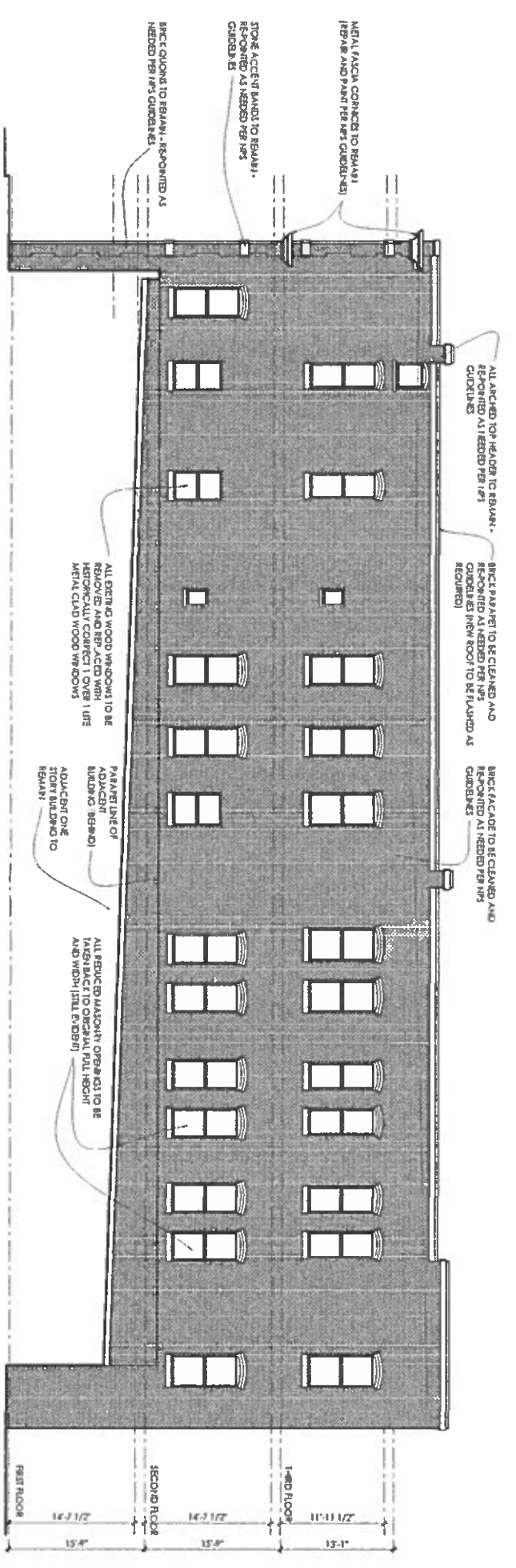
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A4 01

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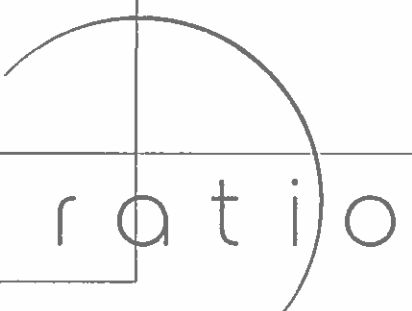


02 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



01 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

K27 Whitbeck Architects
Richmond VA, 23227
1 & 1 801.241.1729
www.rdx.du.com

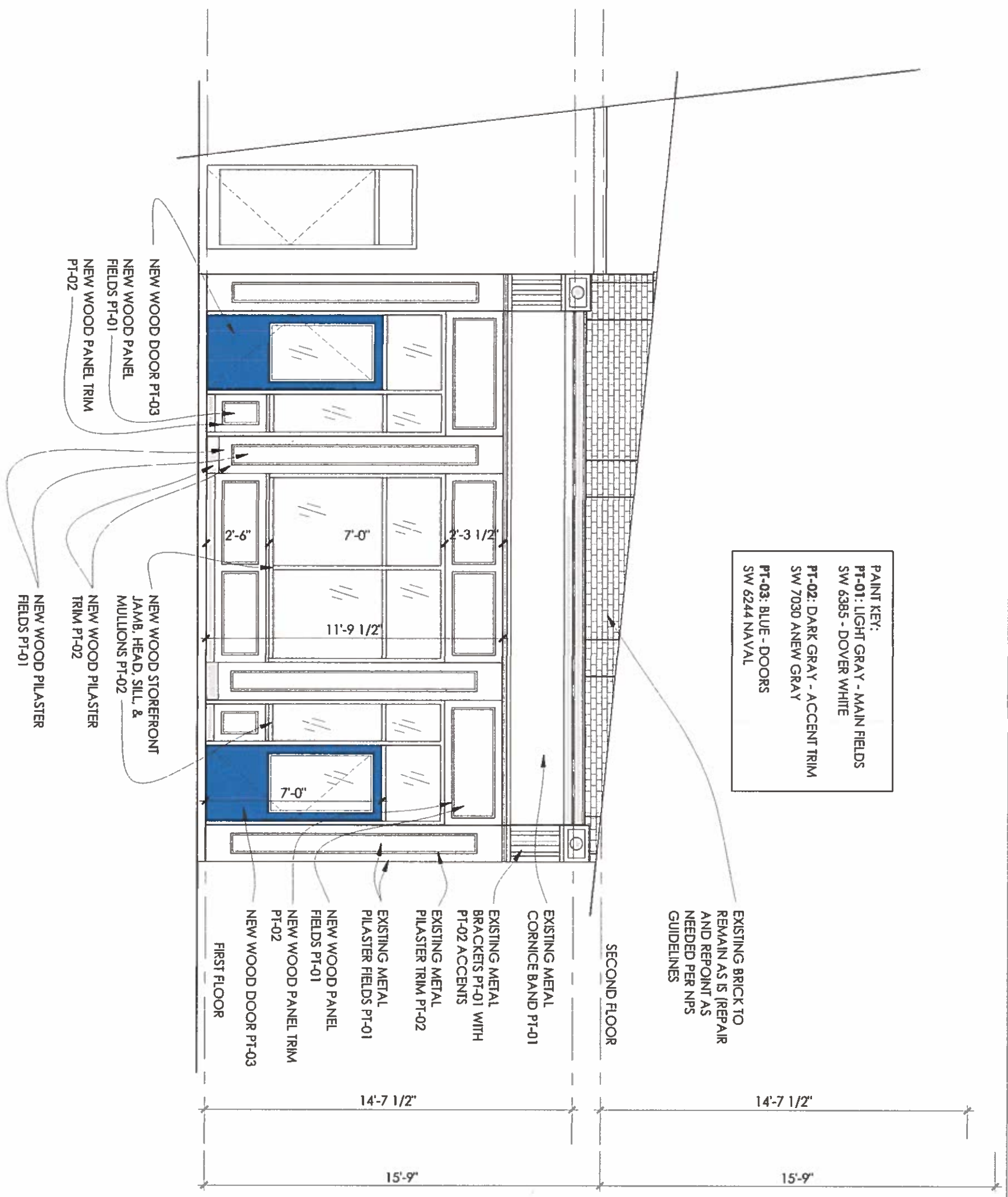


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EXTERIOR
ELEVATIONS

A4 02



01 ENLARGED STOREFRONT ELEVATION
SCALE: 1/2" = 1'-0"

1627 Westcott Avenue
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ENLARGED ELEVATION

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Craig Schumert

A4 03

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