

INTRODUCED: July 24, 2023

AN ORDINANCE No. 2023-233

To authorize the special use of the property known as 2510 Semmes Avenue for the purpose of a dwelling unit within an accessory building to a single-family detached dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: SEPT 11 2023 AT 6 P.M.

WHEREAS, the owner of the property known as 2510 Semmes Avenue, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of a dwelling unit within an accessory building to a single-family detached dwelling, which use, among other things, is not currently allowed by section 30-412.2, concerning permitted accessory uses and structures, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 8 NOES: 0 ABSTAIN: _____

ADOPTED: SEP 11 2023 REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 2510 Semmes Avenue and identified as Tax Parcel No. S000-0700/002 in the 2023 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing Improvements on Lot 7 & 8, Block 18, ‘Woodland Heights’ in the City of Richmond, Virginia,” prepared by Harvey L. Parks, Inc., and dated September 3, 2022, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a dwelling unit within an accessory building to a single-family detached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Garage Attic Build Out, 2510 Semmes Avenue, City of Richmond, Virginia 23225,” prepared by 2420 Design, LLC, and dated October 21, 2021 and “Proposed Site Plan,” prepared by Charles McSorley / 2420 Design, LLC, dated October 11, 2022, and last revised February 8, 2023, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a dwelling unit within an accessory building to a single-family detached dwelling, substantially as shown on the Plans.

(b) No fewer than two off-street parking spaces shall be provided for the Special Use, substantially as shown on the Plans.

(c) The height of the accessory building shall not exceed two stories, substantially as shown on the Plans.

(d) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

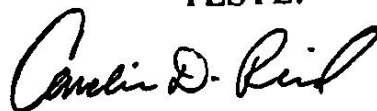
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, appearing to read "Camelin D. Reid".

City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2022.1132

O & R Request

DATE: April 11, 2023

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)
(This is no way reflects a recommendation on behalf of the Mayor.)

Handwritten signature of Levar M. Stoney.

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

Handwritten signature of J.E. Lincoln Saunders.

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic
Development and Planning

Handwritten signature of Sharon L. Ebert.

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review for KJV

RE: To authorize the special use of the property known as 2510 Semmes Avenue, for the purpose
of a dwelling unit within an accessory building to a single-family detached dwelling, upon
certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 2510 Semmes Avenue, for the purpose of
a dwelling unit within an accessory building to a single-family detached dwelling, upon certain terms and
conditions.

REASON: The applicant is requesting a Special Use Permit to authorize a dwelling unit within an
accessory building to a single-family detached dwelling, within an R-6 Single-Family Attached Residential
District. While the use is permitted, it must be existing at the effective date of the ordinance subsection,
which for this zone is 1995. A Special Use Permit is therefore required for the new accessory dwelling unit.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning
Ordinance, the City Planning Commission will review this request and make a recommendation to City
Council.

BACKGROUND: The property is located in the Swansboro neighborhood on Semmes Avenue between
West 25th and 26th Streets. The property is currently improved with an existing single-family detached
dwelling constructed, per tax assessment records, in 1945. The property is a 9,191 sq. ft. (.21 acre) parcel of
land.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Residential, which is defined as a "Neighborhood consisting primarily of single-family houses on large- or medium-sized lots more homogeneous in nature."

Intensity: Buildings are generally one to three stories. Lot sizes generally range up to 5,000 to 20,000+ sq. ft. Residential density of 2 to 10 housing units per acre. Primary Uses: Single-family houses, accessory dwelling units, and open space. Secondary Uses: Duplexes and small multi-family buildings (typically 3-10 units), institutional, and cultural. Secondary uses may be found along major streets (p. 54)

The current zoning for this property is R-6 Single-Family Attached Residential District. All adjacent and nearby properties are located primarily within the same R-6 zone. The area is generally single family residential, with some two-family residential, multi-family residential, and small, neighborhood commercial uses present in the vicinity. The proposed density of the parcel is 2 units upon .21 acres, or 9.5 units per acre.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: May 8, 2023

CITY COUNCIL PUBLIC HEARING DATE: June 12, 2023

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: Planning Commission
June 5, 2023

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734

Application is hereby submitted for: (check one)

- ☐ **special use permit, new**
☐ **special use permit, plan amendment**
☐ **special use permit, text only amendment**

Project Name/Location

Property Address: 2510 Semmes Ave. Date: 10/11/2022
 Parcel I.D. #: S0000700002 Fee: \$300.00
 Total area of affected site in acres: 0.211

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R6

Richmond 300 Land Use Designation: Residential

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Accessory Dwelling Unit
 Existing Use: Single Family Dwelling Unit with Detached Garage

Is this property subject to any previous land use cases?

Yes ☐ No ☒ If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Earl Sacra

Company: Earl Sacra DBA ER Home Services
 Mailing Address: 8176 Mintawood Lane
 City: Mechanicsville State: VA Zip Code: 23111
 Telephone: (804) 405-9770 Fax: ()
 Email: earl_sacra@yahoo.com

Property Owner: PHILIPPA CASH Pippa Holloway and Amanda Kail

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 2510 Semmes Ave
 City: Richmond State: VA Zip Code: 23225
 Telephone: (615) 438-4950 Fax: ()
 Email: pippaholloway@gmail.com

Property Owner Signature:

Pippa & Holly Amanda Kail

Applicant Report

1/31/2023

To Whom It May Concern,

Phillipa Holloway and Amanda Kail, hereby propose to construct a second story addition on our existing detached garage. We plan to utilize this addition as a guest room/mother in-law flat when family is visiting and home office space the rest of the time. This addition will allow us to expand our living space without changing the structure's footprint on our property located at 2510 Semmes Ave.

The proposed addition will expand existing garage structure adding a second story above. Building the addition will not expand the structures footprint on the property at all, with the exception of being a story taller. By doing so this will avoid overcrowding of the land. The new structure will not be detrimental to the safety, health, morals, and the general welfare of the community. Nor will the addition create hazards from a fire, panic or other dangers as the structure will be used for family guest when visiting or office space for us when not being used by visiting family.

This purposed use and structure will in no way adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements. This addition will in no way interfere with adequate light and air. Given the location of this proposed structure/addition will not create any congestion in the streets, roads, alleys and other public ways and places in the area involved. The existing garage and concrete parking pad provide ample parking so there is no need for use of street parking and the refuse/recycle containers will continue to be kept in a location on the property as to not impeded or obstruct the alley in any fashion.

In closing we feel that this proposed structure will provide the needed additional living space with out negatively affecting our property, community, or surrounding area. Building the addition above existing garage will keep this project within existing structural footprint and utilizing all original parking as well as storage location for the refuse/recycle containers will continue to keep the surrounding streets and alleyways uncongested or affected by this proposed structure.

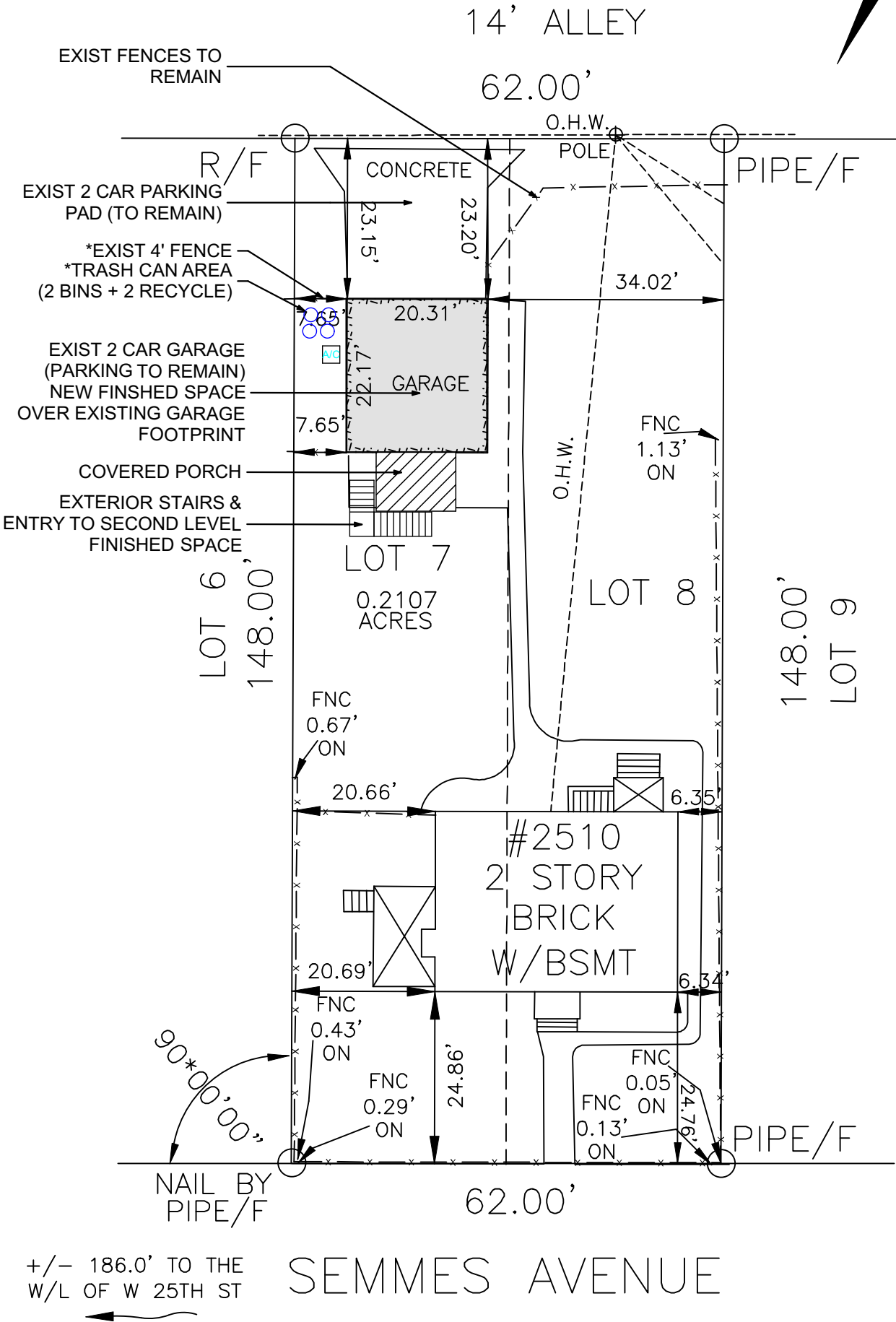
Sincerely,

Phillipa Holloway and Amanda Kail

Earl Sacra DBA ER Home Services

THIS IS TO CERTIFY THAT ON 9-2-2022,
I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES
SHOWN HEREON AND THAT THERE ARE NO EASEMENTS
OR ENCROACHMENTS VISIBLE ON THE GROUND OTHER
THAN THOSE SHOWN HEREON.

THIS PROPERTY IS IN H.U.D. DEFINED FLOOD
HAZARD AREA. ZONE: X, AS SHOWN ON FIRM
COMMUNITY PANEL #5101290039E, DATED 07/16/2014.



PROPOSED SITE PLAN: 10/11/22
Charles McSorley/2420 Design, LLC

AMMENDED 2/8/23 CPM
(CHANGES SHOWN WITH *)

THIS SURVEY IS SUBJECT TO ANY EASEMENTS
OF RECORD AND OTHER PERTINENT FACTS
WHICH A TITLE SEARCH MIGHT DISCLOSE.

HARVEY L. PARKS, INC.
4508 W. HUNDRED ROAD
CHESTER, VA.
PHONE: 804-748-8641
EMAIL: SURVEYS@HARVEYPARKS.COM

DATE: SEPTEMBER 3, 2022 SCALE: 1"=20'

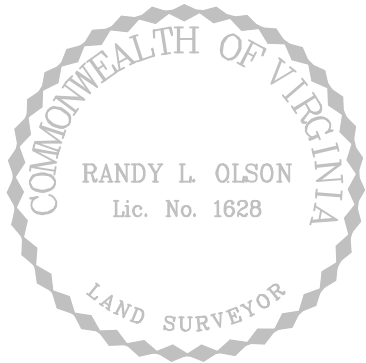
DRAWN BY: H.T.J.

CHECKED BY: R.L.O.

F.BK.: 649, PG. 41

64941.dwg

PLAT SHOWING IMPROVEMENTS ON
LOT 7 & 8, BLOCK 18
"WOODLAND HEIGHTS"
IN THE CITY OF
RICHMOND, VIRGINIA



General Notes	Structural Specifications (as applicable to new construction)	Windows & Doors																													
<p>All work performed shall be performed in accordance with 2018 Virginia Uniform Statewide Building Code (USBC) and adhere to the following design criteria for City of Richmond, Virginia :</p> <p>Ground Snow Load: 20 PSF Wind Speed (Vult): 115mph/Exposure Category B Frost Line Depth: 18 inches Seismic Zone: Exposure Category B Figure 301.2(2) 0.17g <SDS<0.33g Max. Rain Fall: 3.2inches/hour</p> <p>Floor Loading@40psf Live Load + 10psf Dead Load (R301.5) Roof Loading @20psf Live Load + 10psf Dead Load =30psf (R301.6) Deflection of Structural Members shall be in accordance with R301.7</p> <p>ELECTRICAL NOTES: NEW WORK TO CODE; NO HEAVY UP OR SERVICE UPGRADE</p> <p>HVAC NOTES: MINI SPLIT TO SERVE NEW ATTIC CONDITIONED SPACE</p> <p>PLUMBING NOTES: CONNECT NEW PLUMBING WORK TO MAIN HOUSE NEW ATTIC BATH WITH (1) LAVY, (1) WATER CLOSET,(1) SHOWER NEW BAR SINK</p>	<p>A. General Requirements</p> <ol style="list-style-type: none">Conditions and Assumptions stated in the specifications shall be verified by the contractor for conformance to all codes and conditions.These requirements may be superseded by more stringent information contained within the drawings; the more stringent shall be followed.Soils shall conform to a soil bearing capacity of 1,500 LBS/sq.ft. min. and water table minimum of 1'-6" below bottom of all concrete slabs, footings and wallsBottom of all footings shall extend to below the frost line to a min depth of 18" below gradeFoundation shall be pre-treated for termites prior to wood framing <p>B. Concrete</p> <ol style="list-style-type: none">All concrete shall attain the 28 day compressive strength of 3,500psi /5% min. air entrained for exposed work (Exposure category: Severe)Reinforcing steel, if any, shall conform to ASTM A-615, new billet, grade 60Welded Wire Mesh (WWM) shall conform to ASTM A-185 with minimum laps of 8" <p>C. Wood Framing</p> <ol style="list-style-type: none">All structural wood joists, rafters, and headers shall be stressed graded #2 Hem-Fir minimumAll weather exposed structural wood and wood in direct contact with the ground or concrete shall be ACQ pressure treated against decay and infestation by termites and moisture; Fasteners in contact with ACQ lumber shall be triple dipped zinc galvanized with coating weights in accordance with ASTM A 153 5All wall sill plates shall be sized per plan and shall be anchored into foundation with approved galvanized steel anchors per code and the details per drawingsAll exterior sheathing shall be continuous and shall be min 7/16" OSB or betterProvide a continuous double top plate on all bearing stud wallsAll exterior wall framing shall be 2x4min. stud walls at 16" o.c., typ.All framing shall be detailed per IRC 2018All plywood subflooring shall be 3/4 inch T&G APA ratedAll roof sheathing shall be 1/2 inch thickness and shall be APA ratedProvide 2x lumber firestopping to cut off all concealed draft opening between stories, between top story and roof space, between concealed vertical and horizontal spaces (soffits, drop ceilings,etc) in concealed spaced between stair stringers at top and bottom of run . Provide approved incombustible fire stopping at openings around vents. And fireplaces, chimneys, at ceilings and floors.All headers shall be sized based upon R502.5(1) for snow load MIN <p>D. Masonry Construction</p> <ol style="list-style-type: none">All masonry construction shall conform to the requirements of ASTM C9, Type 1 with Type M or S MortarAll masonry construction shall be in accordance with ACI 53.1/ASCE6/TMC602All reinforcing bars shall be ASTM A615, Grade 60,Detailing to conform to ACI315. Minimum lap splice to be 48 bar diametersSteel lintels shall be per chart and assume supporting of 4" masonry depth, 4" minimum bearing unless otherwise noted <table><tr><th>Lintel Size</th><th>Roof Only</th><th>1 Story Above</th><th>2 Stories Above</th></tr><tr><td>3"x3"x1/4"</td><td>6'-0"</td><td>3'-6"</td><td>3'-0"</td></tr><tr><td>4"x3"x1/4"</td><td>8'-0"</td><td>5'-0"</td><td>3'-0"</td></tr></table> <p>E. Steel Construction</p> <p>Structural Steel beams shall be ASTM A-992-50 Grade 50 and HSS Columns shall be ASTM A500=GR B-46. Structural Steel shall be fabricated an installed in accordance with the lateste AISC Manual of Steel Construction. Round Steel Posts shall be HSS ASTM A500-GRB-42</p>	Lintel Size	Roof Only	1 Story Above	2 Stories Above	3"x3"x1/4"	6'-0"	3'-6"	3'-0"	4"x3"x1/4"	8'-0"	5'-0"	3'-0"	<p>NEW WINDOW UNITS SHALL BE WHITE VINYL WITH LOW E GLAZING W/ 4 9/16" JAMBS. MATCHING SCREENS WHERE OPERABLE</p> <table><tr><td>A</td><td>DOUBLE HUNG</td><td>4 9/16" JAMB</td><td>R.O. 2'-6" X 3'-6"</td></tr><tr><td>B</td><td>SLIDING WINDOW</td><td>4 9/16" JAMB</td><td>R.O. 5'-0" X 3'-6"</td></tr><tr><td>C</td><td>DOUBLE HUNG W/TEMPEREG GLASS</td><td>4 9/16" JAMB</td><td>R.O. 2'-6"X 3'-6"</td></tr></table> <p>EXTERIOR ENTRY DOOR SHALL BE PAIR 3/0X6/8 INSWING UNIT WITH TEMPERED GLAZING FOR 2X4 WALL CONSTRUCTION; BRONZE COLORED SILL, STD DOUBLE BORE WITH CENTER SHOOT BOLT. THERMATRU SMOOTHSTAR FLUSH GLAZED FIBERGLASS OR APPROVED ALTERNATE</p> <p>INTERIOR DOORS SHALL BE PRE HUNG PAINT GRADE, PANEL SIZE AND HINGING PER PLANS FINAL PANEL STYLE PER OWNER APPROVAL</p> <p>Performance Data: (U value: 0.32)(SHGC: 0.27)(VT:0.45)(CR:56)</p> <p>GLAZING NOTES: Safety Glazing at locations required per code</p>	A	DOUBLE HUNG	4 9/16" JAMB	R.O. 2'-6" X 3'-6"	B	SLIDING WINDOW	4 9/16" JAMB	R.O. 5'-0" X 3'-6"	C	DOUBLE HUNG W/TEMPEREG GLASS	4 9/16" JAMB	R.O. 2'-6"X 3'-6"					
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<table><tr><th>ENERGY Element</th><th>DESIGN U-Factor Required</th><th>VALUES Element</th><th>R-Value Required</th></tr><tr><td></td><td></td><td>Walls (frame)</td><td>R-15</td></tr><tr><td></td><td></td><td>Walls (furred)</td><td>R-10</td></tr><tr><td>Windows</td><td>0.32</td><td>Basement/Crawl</td><td>R-10 CONT/R-13 CAVITY</td></tr><tr><td>Doors</td><td>0.40</td><td>Slabs</td><td>R-10</td></tr><tr><td></td><td></td><td>Floors</td><td>R-19</td></tr><tr><td>Skylights</td><td>0.55</td><td>Ceilings</td><td>R-38 UNCOMPRESSED</td></tr></table> <p>These are code min per IRC 2018; refer to plans and sections for further specs</p>				ENERGY Element	DESIGN U-Factor Required	VALUES Element	R-Value Required			Walls (frame)	R-15			Walls (furred)	R-10	Windows	0.32	Basement/Crawl	R-10 CONT/R-13 CAVITY	Doors	0.40	Slabs	R-10			Floors	R-19	Skylights	0.55	Ceilings	R-38 UNCOMPRESSED
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Content & Approvals	Interior Finish Notes	Exterior Finish Notes																													
<table><tr><td>A000</td><td>COVER SHEET & GENERAL INFORMATION</td></tr><tr><td>AD100</td><td>GARAGE SELECTIVE DEMOLITION PLANS</td></tr><tr><td>A100</td><td>GARAGE PLAN</td></tr><tr><td>A101</td><td>ATTIC PLAN</td></tr><tr><td>A103</td><td>FRAMING PLANS</td></tr><tr><td>A201</td><td>ALLEY ELEVATION</td></tr><tr><td>A202</td><td>RIGHT SIDE ELEVATION</td></tr><tr><td>A203</td><td>YARD SIDE ELEVATION</td></tr><tr><td>A204</td><td>LEFT SIDE ELEVATION</td></tr><tr><td>A300</td><td>WALL BRACING WORKSHEETS</td></tr><tr><td>A301</td><td>PROPOSED BUILDING SECTION</td></tr><tr><td>A302</td><td>PROPOSED BUILDING SECTION</td></tr></table>	A000	COVER SHEET & GENERAL INFORMATION	AD100	GARAGE SELECTIVE DEMOLITION PLANS	A100	GARAGE PLAN	A101	ATTIC PLAN	A103	FRAMING PLANS	A201	ALLEY ELEVATION	A202	RIGHT SIDE ELEVATION	A203	YARD SIDE ELEVATION	A204	LEFT SIDE ELEVATION	A300	WALL BRACING WORKSHEETS	A301	PROPOSED BUILDING SECTION	A302	PROPOSED BUILDING SECTION	<p>NEW 5/8" TYPE X GYP BOARD AT EXISTING GARAGE CEILING NEW 1/2" GYP BOARD AT GARAGE WALLS WHERE REQUIRED BY CODE NEW ATTIC LIVING SPACE 1/2" GYP BOARD AT WALLS AND CEILINGS,TYP</p> <p>FINISH FLOORING MATERIALS PER OWNER SELECTIONS</p> <p>PAINT GRADE CASINGS AND BASEBOARD TRIMS, TYPICAL</p>	<p>SEE ALSO ELEVATIONS</p> <p>ROOFING: NEW ASPHALT SHINGLES ON NEW MAIN ROOF; METAL ROOFING ON LOW PITCH PORCH ROOF</p> <p>SIDING: CEMENT BOARD SIDING ON NEW CONSTRUCTION; EXISTING VINYL SIDING TO REMAIN AS PRACTICAL AT GARAGE WALLS</p> <p>DECK/DECKING: PRESSURE TREATED DECK AND PORCH STRUCTURE WITH PT PINE DECKING,TYPICAL</p> <p>GUTTERS AND DOWN SPOUTS: ALUMINUM OGEE TYPE GUTTERS AND RECTANGULAR DOWN SPOUTS IN STANDARD FINISHES</p> <p>TRIM: SYNTHETIC TRIM BOARD (MIRATEK OR ALTERNATE)</p> <p>SOFFITS: VINYL OR CEMENT BOARD VENTED SOFFIT</p>					
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A300	WALL BRACING WORKSHEETS																														
A301	PROPOSED BUILDING SECTION																														
A302	PROPOSED BUILDING SECTION																														

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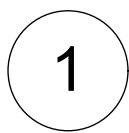
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GARAGE ATTIC BUILD OUT
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CITY OF RICHMOND, VIRGINIA 23225

A000



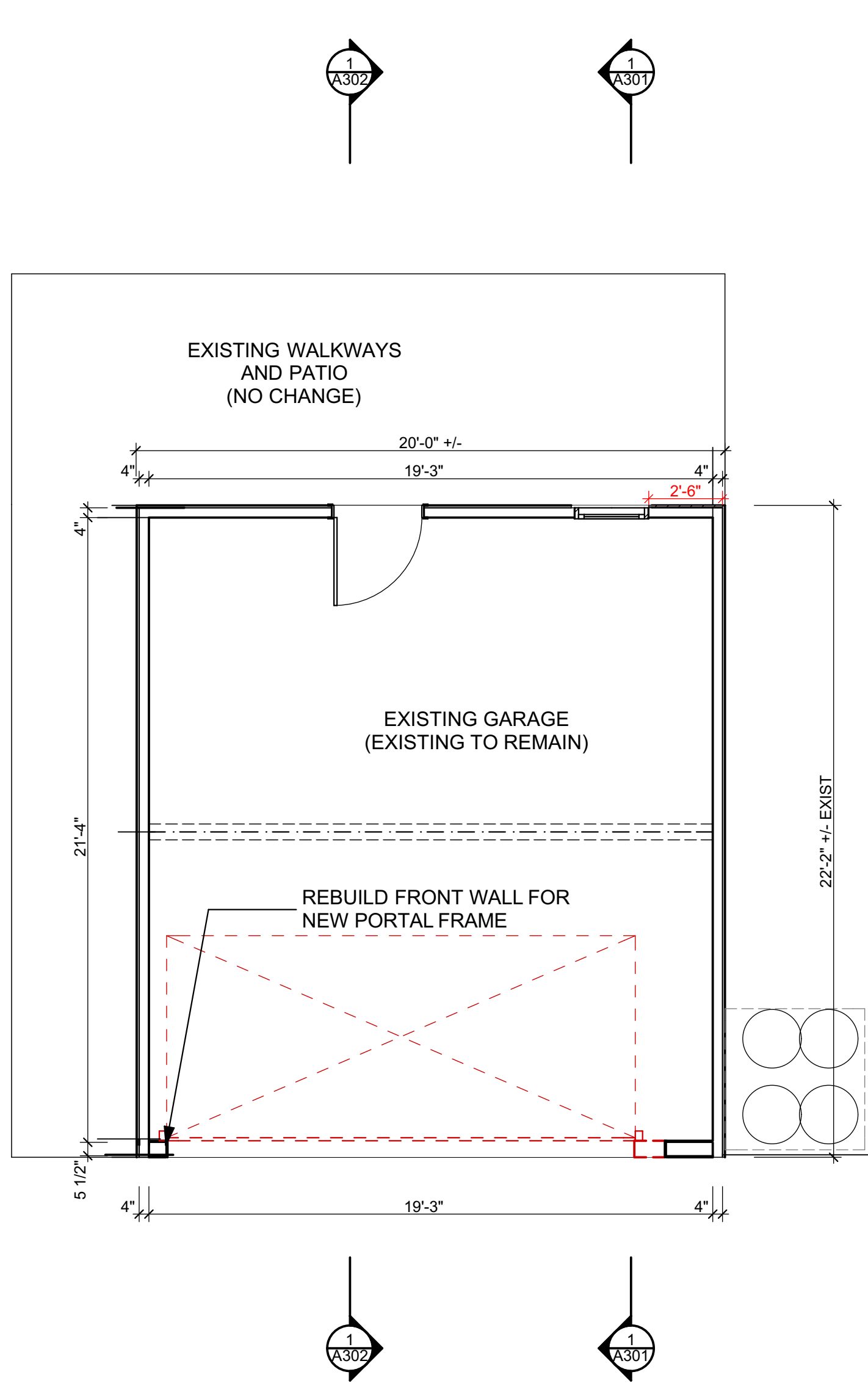
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A001

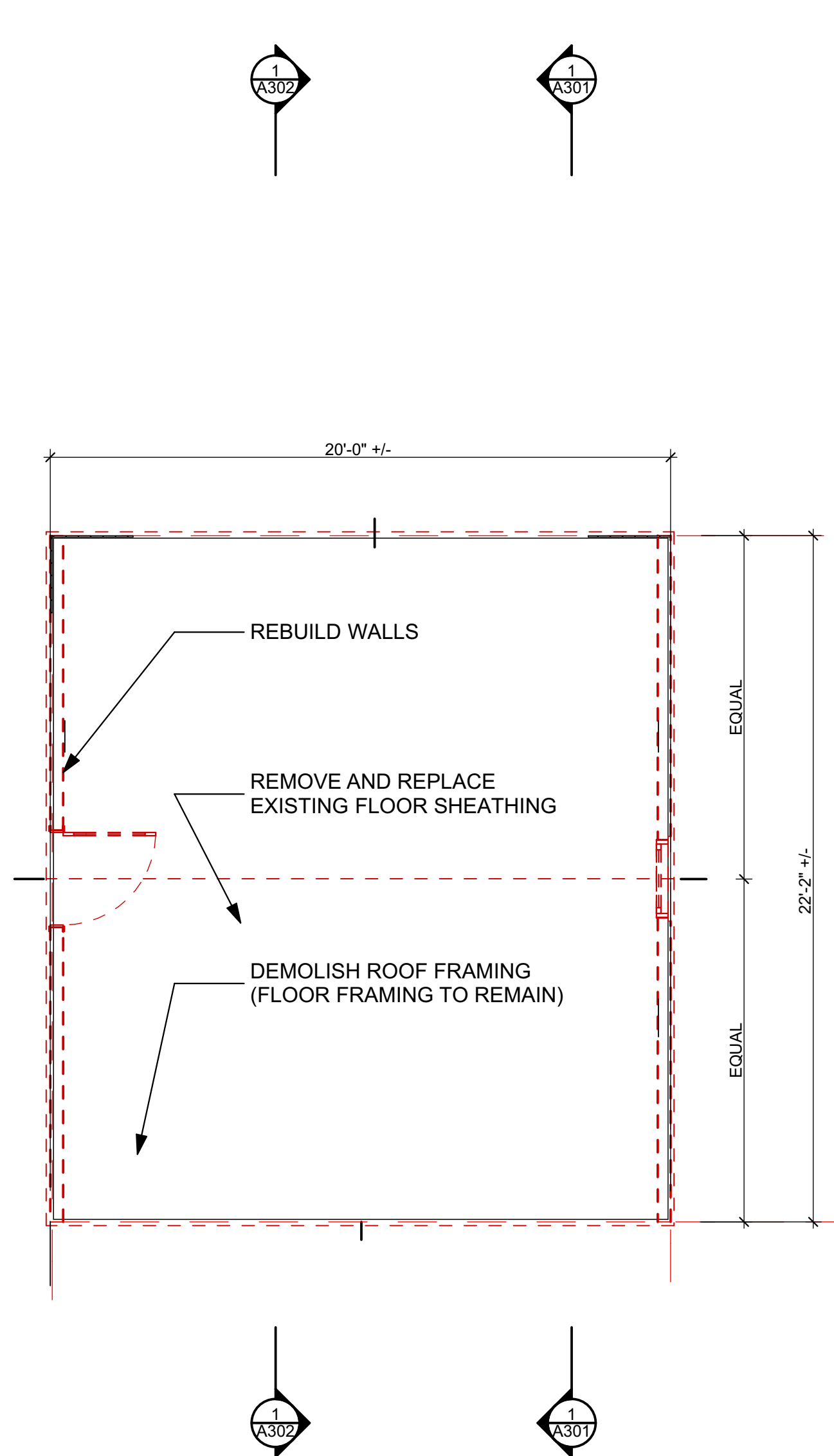
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1 EXISTING GARAGE PLAN

SCALE: 1/4" = 1'-0"



2 ATTIC LEVEL DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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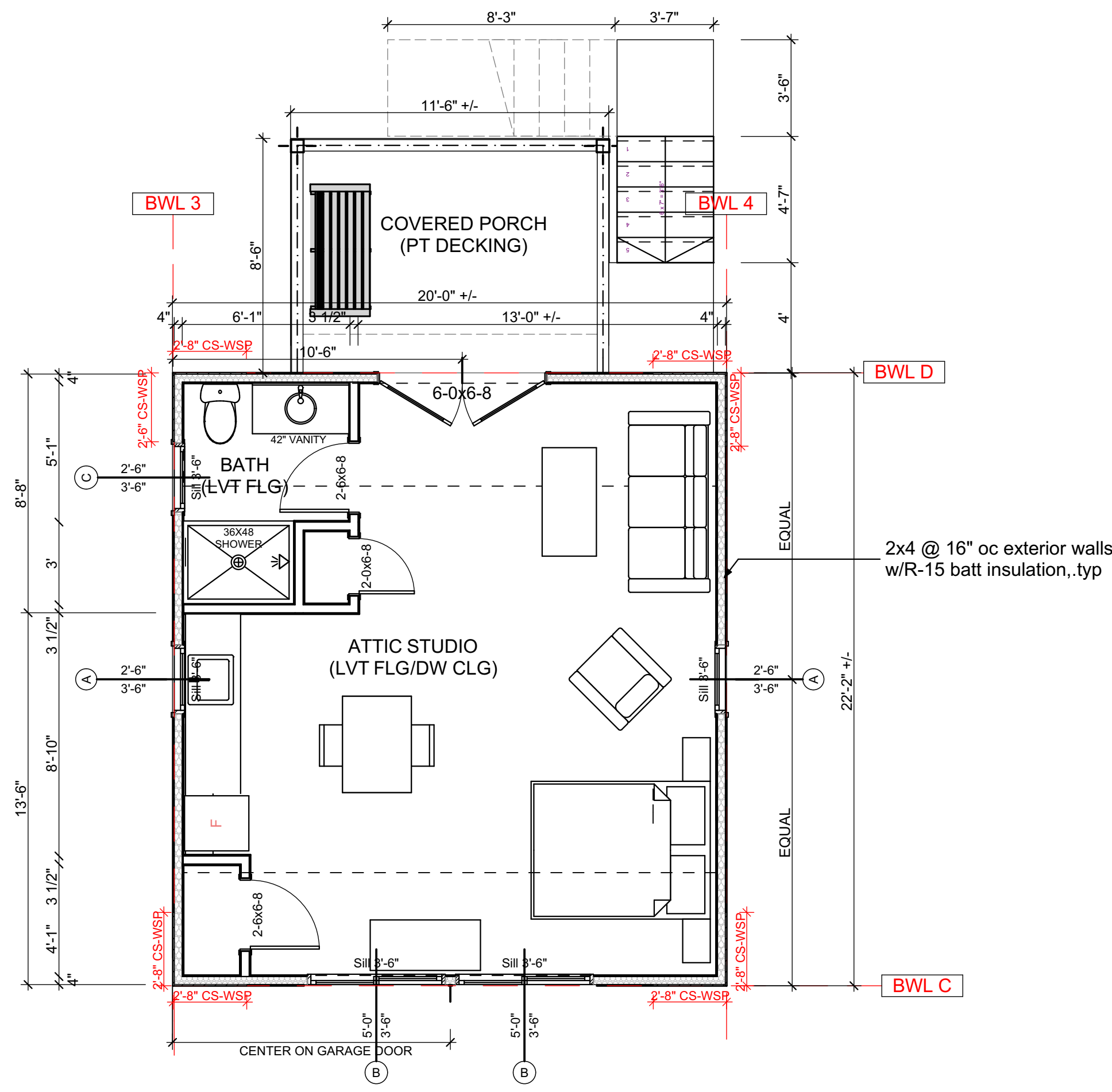
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A101

1

ATTIC PLAN

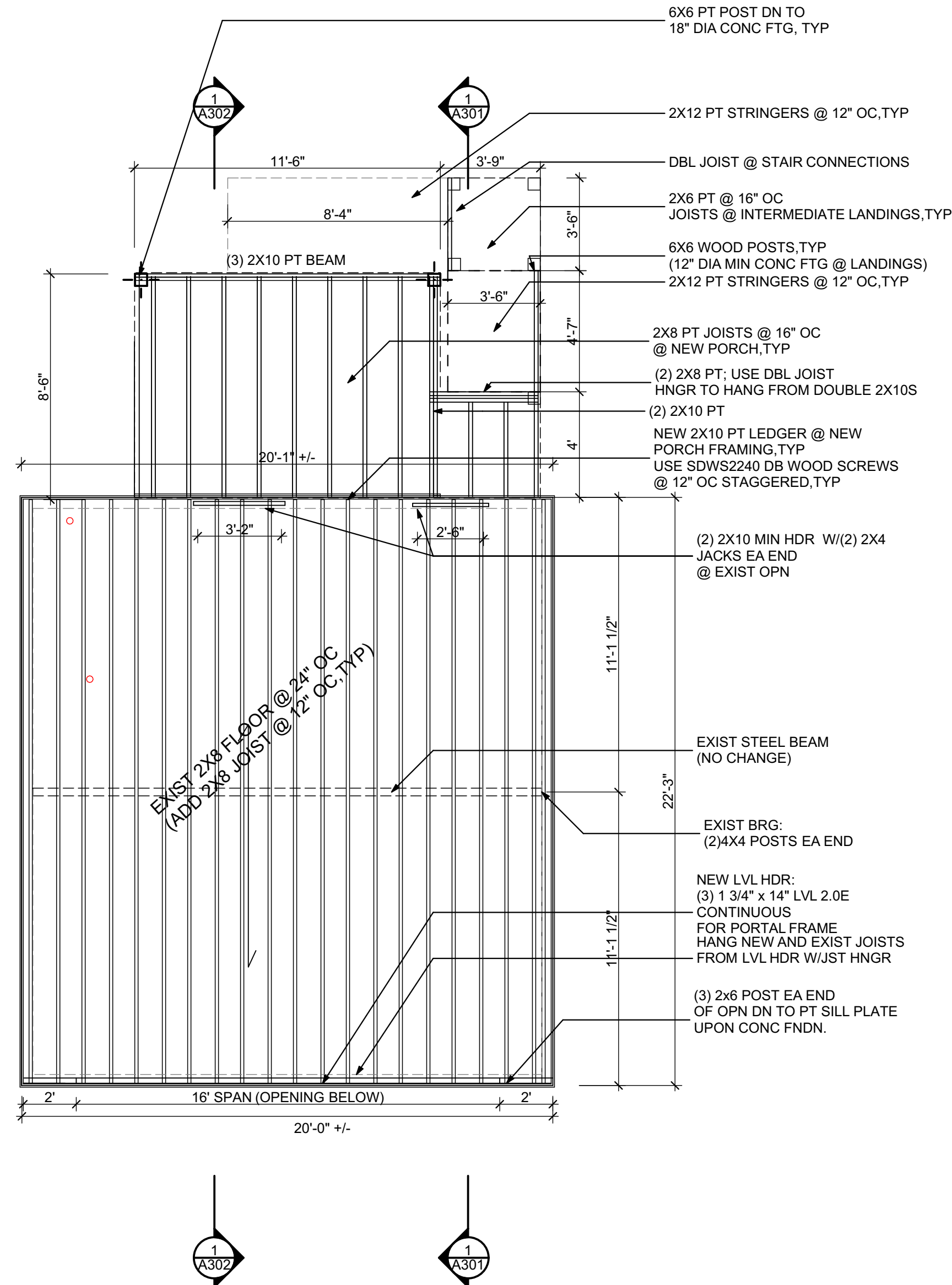
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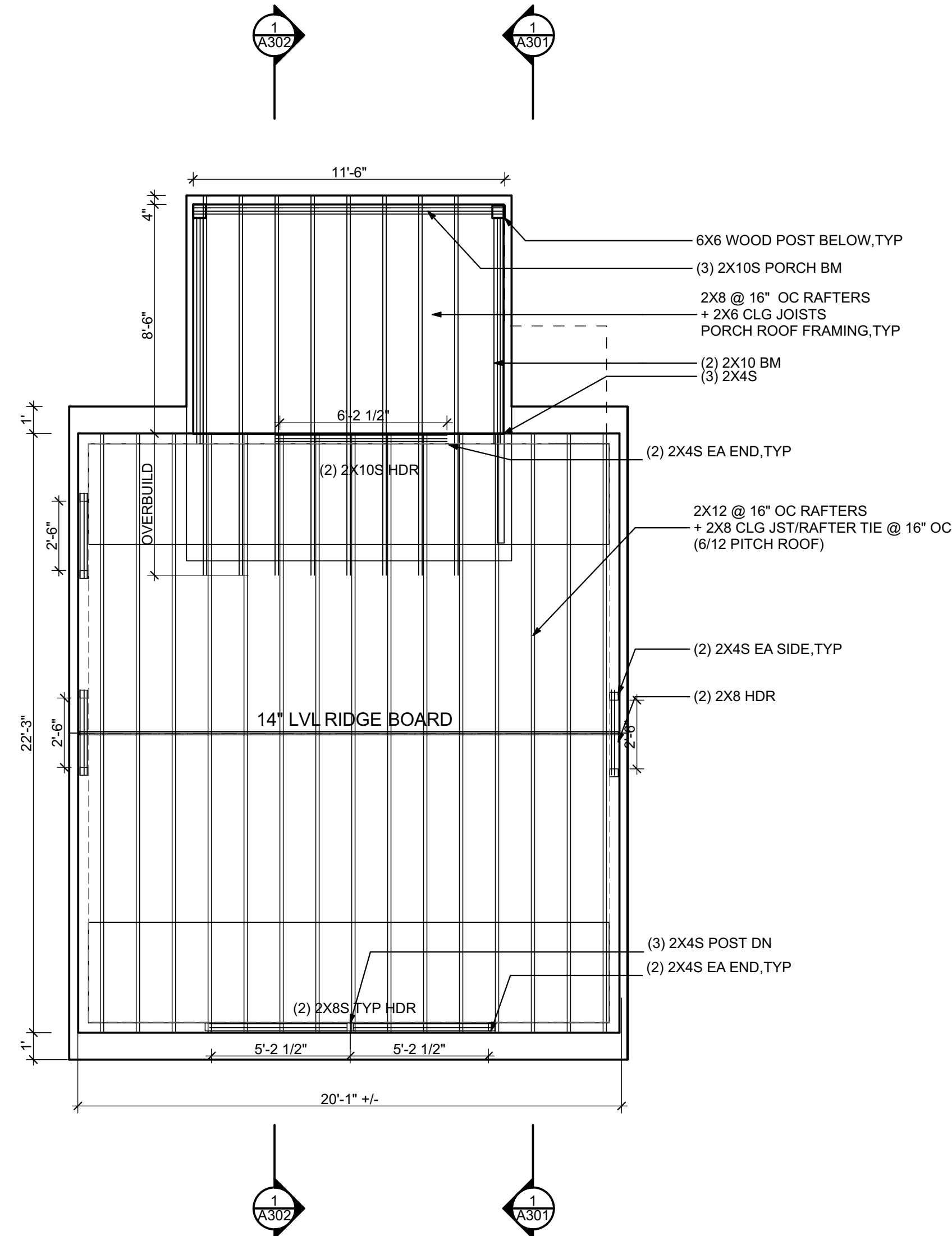
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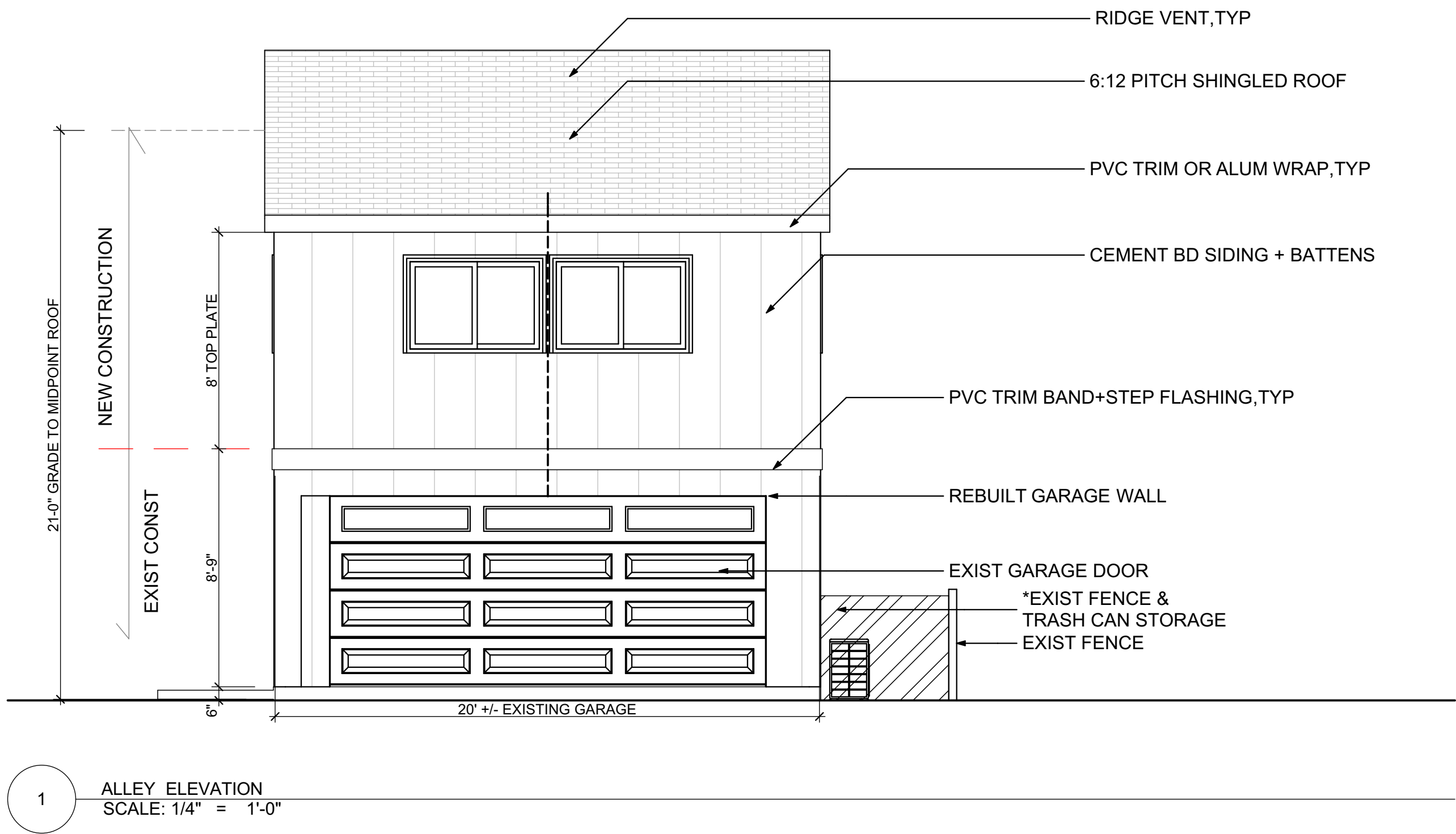
1 FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



2 ROOF PLAN

SCALE: 1/4" = 1'-0"



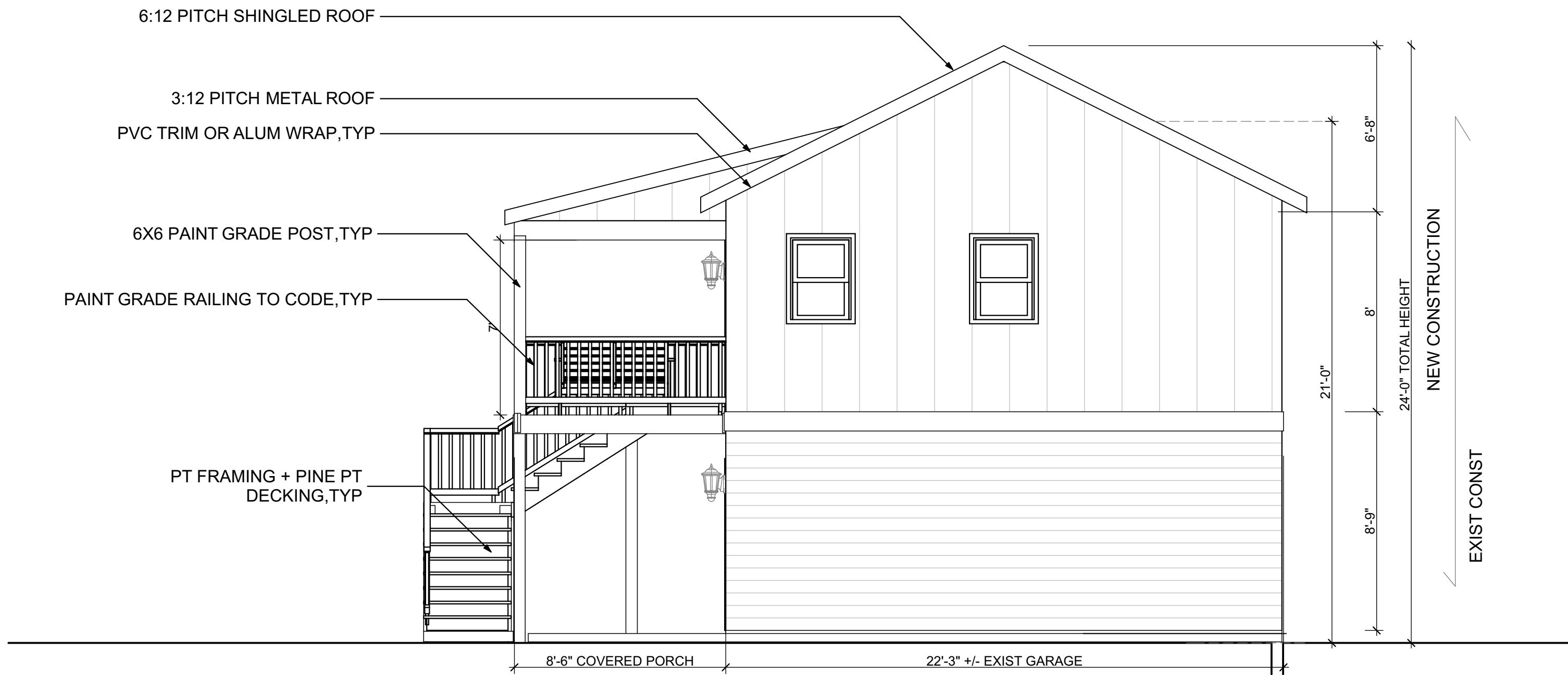
1 ALLEY ELEVATION
SCALE: 1/4" = 1'-0"

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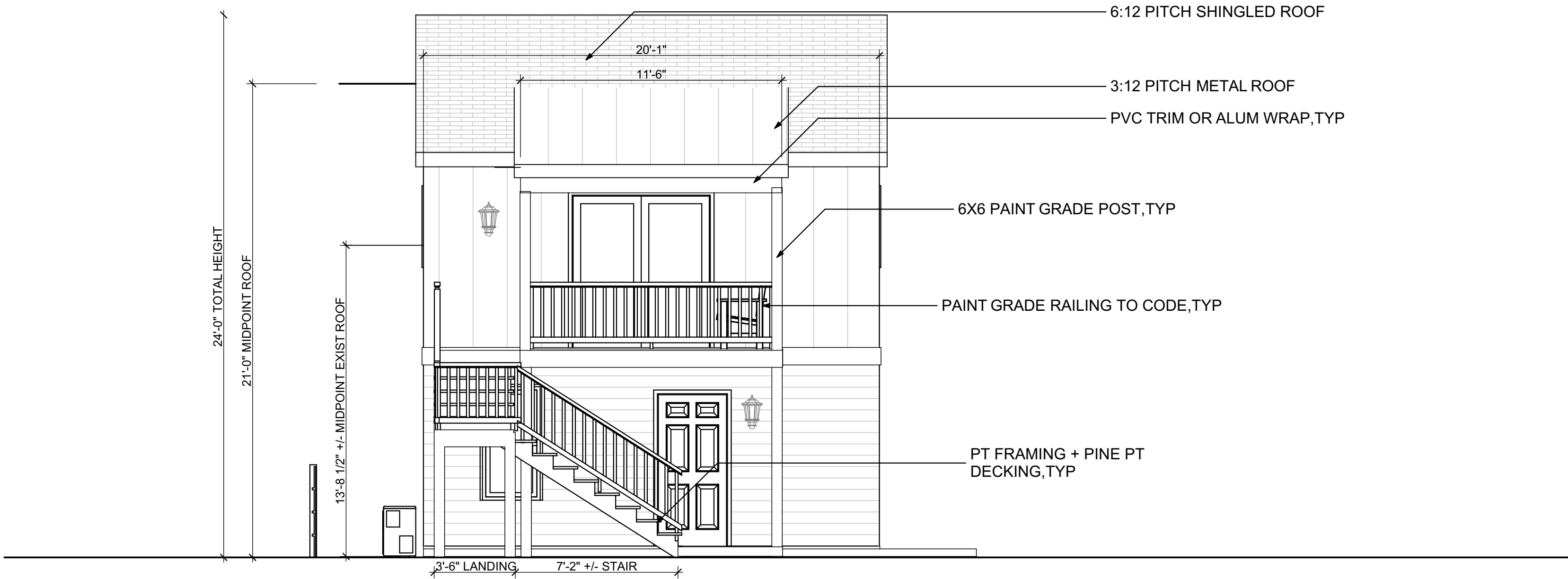
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GARAGE ATTIC BUILD OUT
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CITY OF RICHMOND, VIRGINIA 23225

A201



1 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1

YARD ELEVATION
SCALE: 1/4" = 1'-0"

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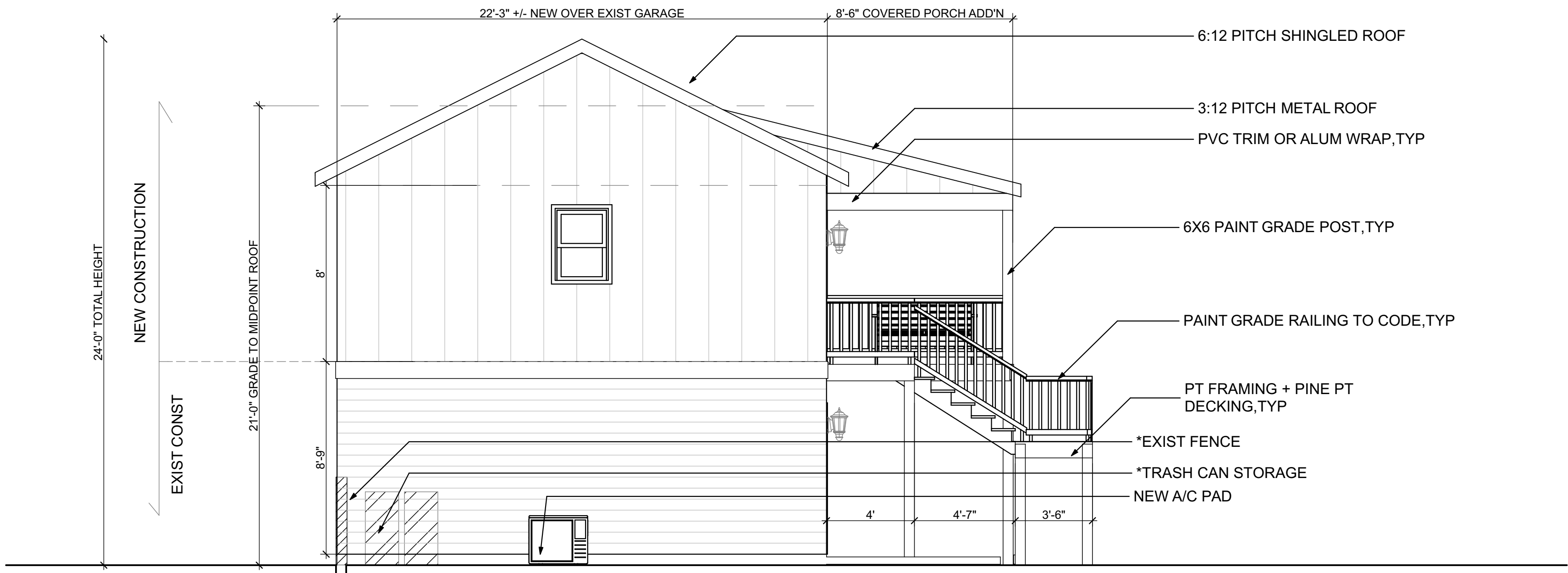
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1 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

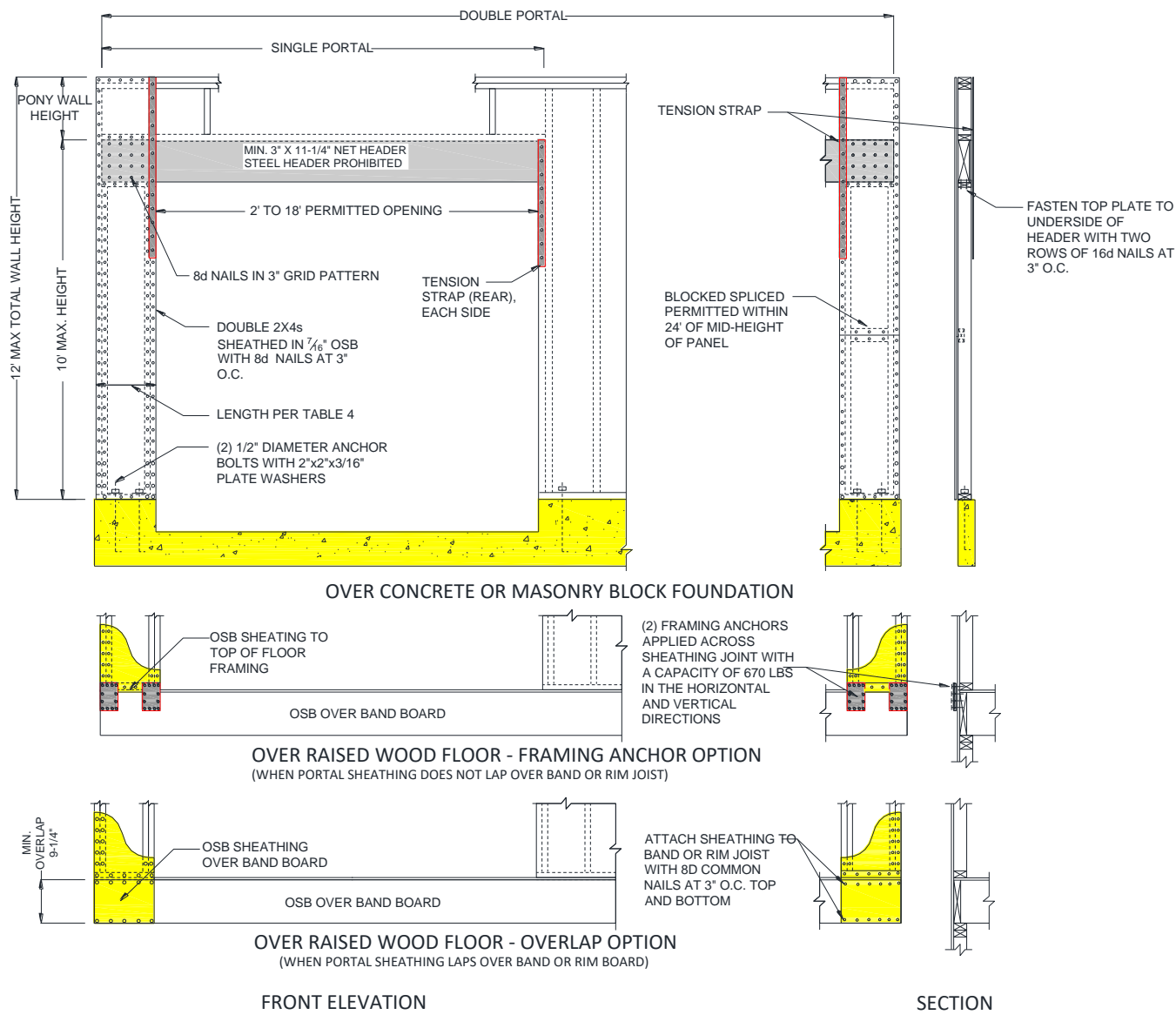


FIGURE 9: METHOD CS-PF

1

IRC PORTAL WALL DETAIL

SCALE: 1" = 1'-0"

TABLE 4: MINIMUM LENGTH OF BRACED WALL PANELS

METHOD		MINIMUM LENGTH (in) ¹					CONTRIBUTING LENGTH (in)
		Wall Height					
WSP		48	48	48	53	58	Actual ²
GB		48	48	48	53	58	Double sided = Actual Single sided = 0.5 x Actual
LIB		55	62	69	NP	NP	Actual ²
CS-PF		16	18	20	22 ³	24 ³	1.5 x Actual ²
CS-WSP	Adjacent opening vertical dimension (in)						Actual ²
	≤ 64	24	27	30	33	36	
	68	26	27	30	33	36	
	72	27	27	30	33	36	
	76	30	29	30	33	36	
	80	32	30	30	33	36	
	84	35	32	32	33	36	
	88	38	35	33	33	36	
	92	43	37	35	35	36	
	96	48	41	38	36	36	
	100		44	40	38	38	
	104		49	43	40	39	
	108		54	46	43	41	
	112			50	45	43	
	116			55	48	45	
	120			60	52	48	
	124				56	51	
	128				61	54	
	132				66	58	
	136					62	
	140					66	
	144					72	

¹ Linear interpolation permitted

² Use actual length if greater than minimum length

³ Maximum opening height for CS-PF is 10 feet, but wall height can be increased to 12 feet with pony wall

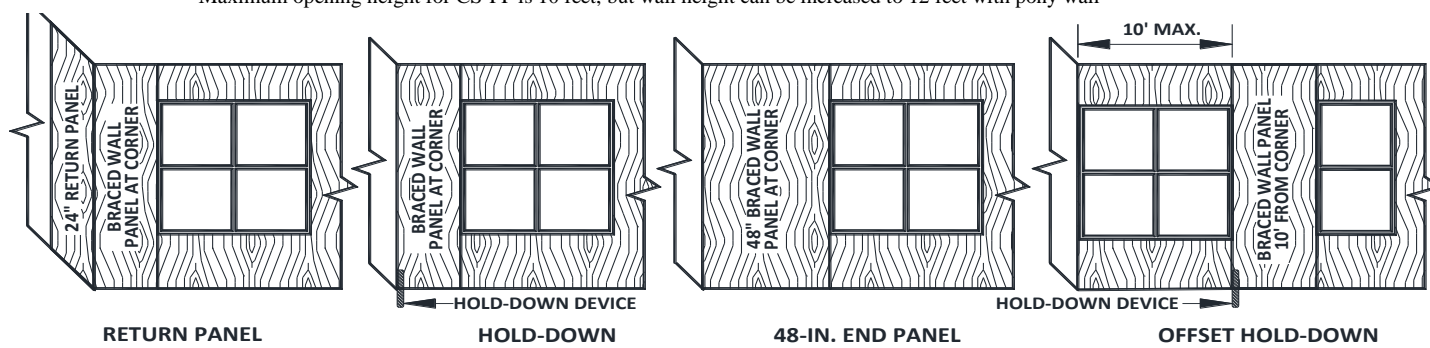


FIGURE 8: CONTINUOUS-SHEATHING CORNERS

2

IRC BRACED WALL LENGTHS

SCALE: 1" = 1'-0"



Classic Wall Bracing Worksheet

per 2015 Virginia Residential Code Section R602.10

Ultimate Wind Speed (mph)		115															
BWL Designation		A		B(EXIST)		C		D		1 (EXIST)		2 (EXIST)		3		4	
No. of Floors above BWL		1		1		0		0		1		1		0		0	
BWP Method		CS-WSP		CS-WSP		CS-WSP		CS-WSP		CS-WSP		CS-WSP		CS-WSP		CS-WSP	
Average BWL Spacing (ft)		18		18		21		21		20		20		20		20	
Tabular Requirement (ft)		5.90		5.90		3.60		3.60		6.50		6.50		3.50		3.50	
Adjustments	Exposure	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00	B	1.00
	Eave-to-Ridge Ht. (ft)	6.50	0.90	6.50	0.90	6.50	0.79	6.50	0.79	6.50	0.90	6.50	0.90	6.50	0.79	6.50	0.79
	Max. Wall Ht. (ft)	8.00	0.90	8.00	0.90	8.00	0.90	8.00	0.90	8.00	0.90	8.00	0.90	8.00	0.90	8.00	0.90
	No. of BWLs	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00	2	1.00
	Omit Interior Finish?	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00
	Added Hold-downs?	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00
	Joints Blocked?	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00
	Fasteners @ 4" o.c.?	Yes	0.83	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00	No	1.00
Required BWP Length (ft)		3.94		4.75		2.56		2.56		5.24		5.24		2.49		2.49	
Actual BWPs	Contributing Length (ft)	BWP	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method
	1	CS-PF	2.00	CS-WSP	4.00	CS-WSP	2.60	CS-WSP	2.60	CS-WSP	4.00	CS-WSP	4.00	CS-WSP	2.50	CS-WSP	2.60
	2	CS-PF	2.00	CS-WSP	2.50	CS-WSP	2.60	CS-WSP	2.60	CS-WSP	4.00	CS-WSP	4.00	CS-WSP	2.60	CS-WSP	2.60
	3																
	4																
	5																
	6																
	7																
Actual BWP Length (ft)		4.00		6.50		5.20		5.20		8.00		8.00		5.10		5.20	
Actual ≥ Required?		PASS		PASS		PASS		PASS		PASS		PASS		PASS		PASS	
BWPs ≤ 20' Apart?		Yes		Yes		Yes		Yes		Yes		Yes		Yes		Yes	
≥ 2 Panels in BWL?		Yes		Yes		Yes		Yes		Yes		Yes		Yes		Yes	
BWP 10' from Ends?		Yes		Yes		Yes		Yes		Yes		Yes		Yes		Yes	
Continuous Sheathing End Conditions		End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2
BWL Compliance		PASS		PASS		PASS		PASS		PASS		PASS		PASS		PASS	

To report an error or bug, call 703-324-1842, TTY 711

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Classic VRC2015.1 - 3/26/2019

3

BRACED WALL WORKSHEET

SCALE: 1" = 1'-0"

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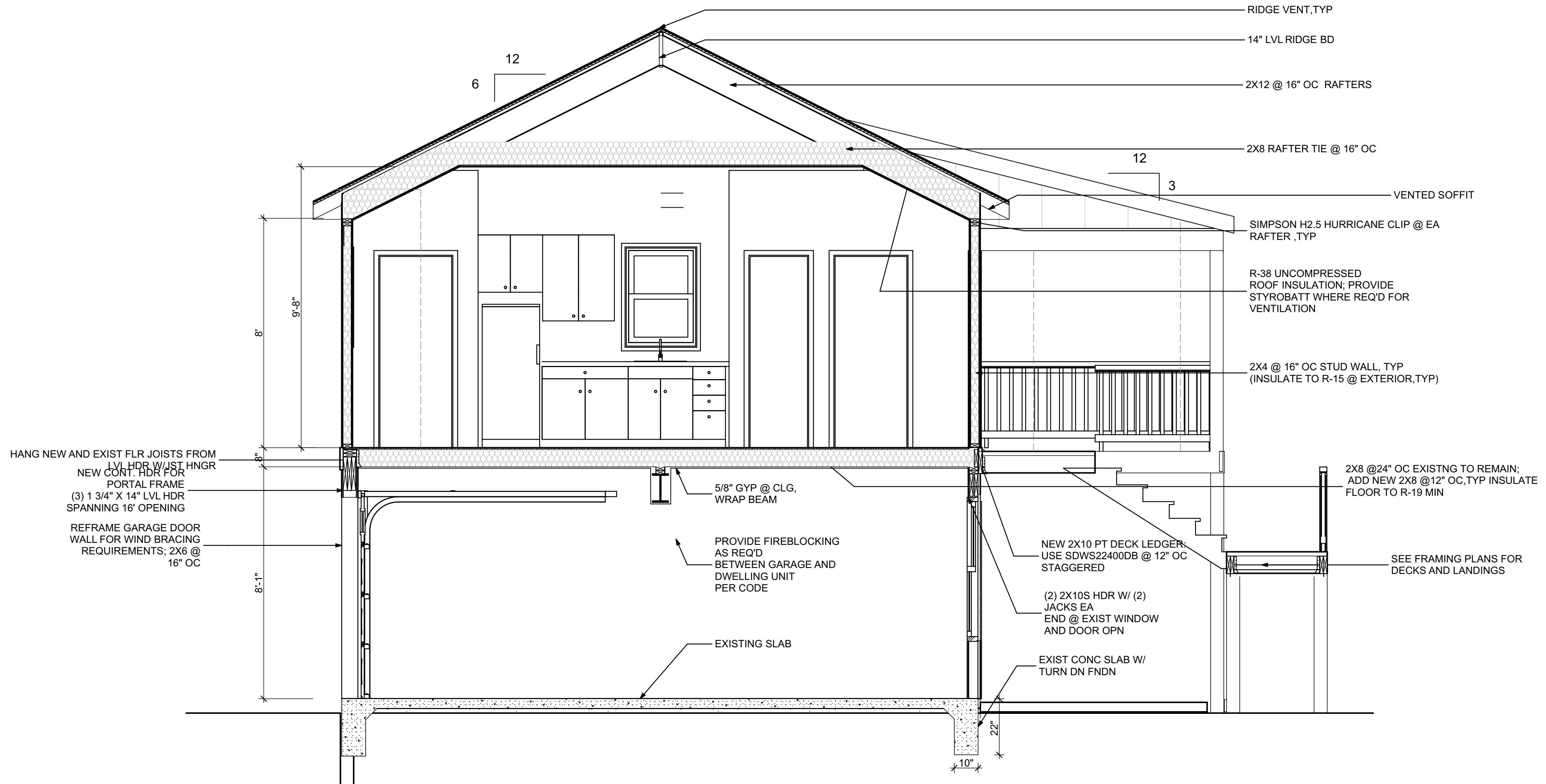
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A300



1

SECTION
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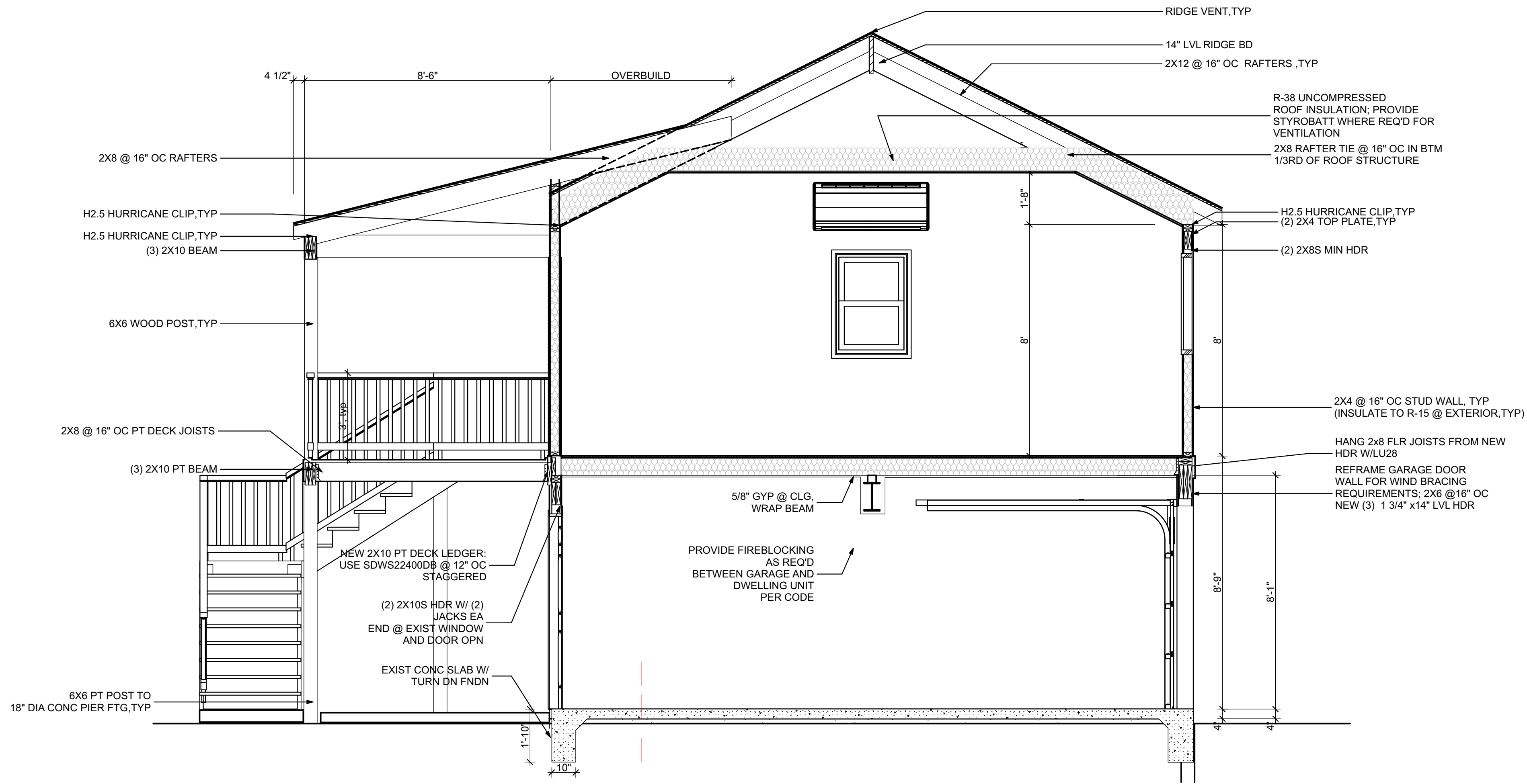
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A302



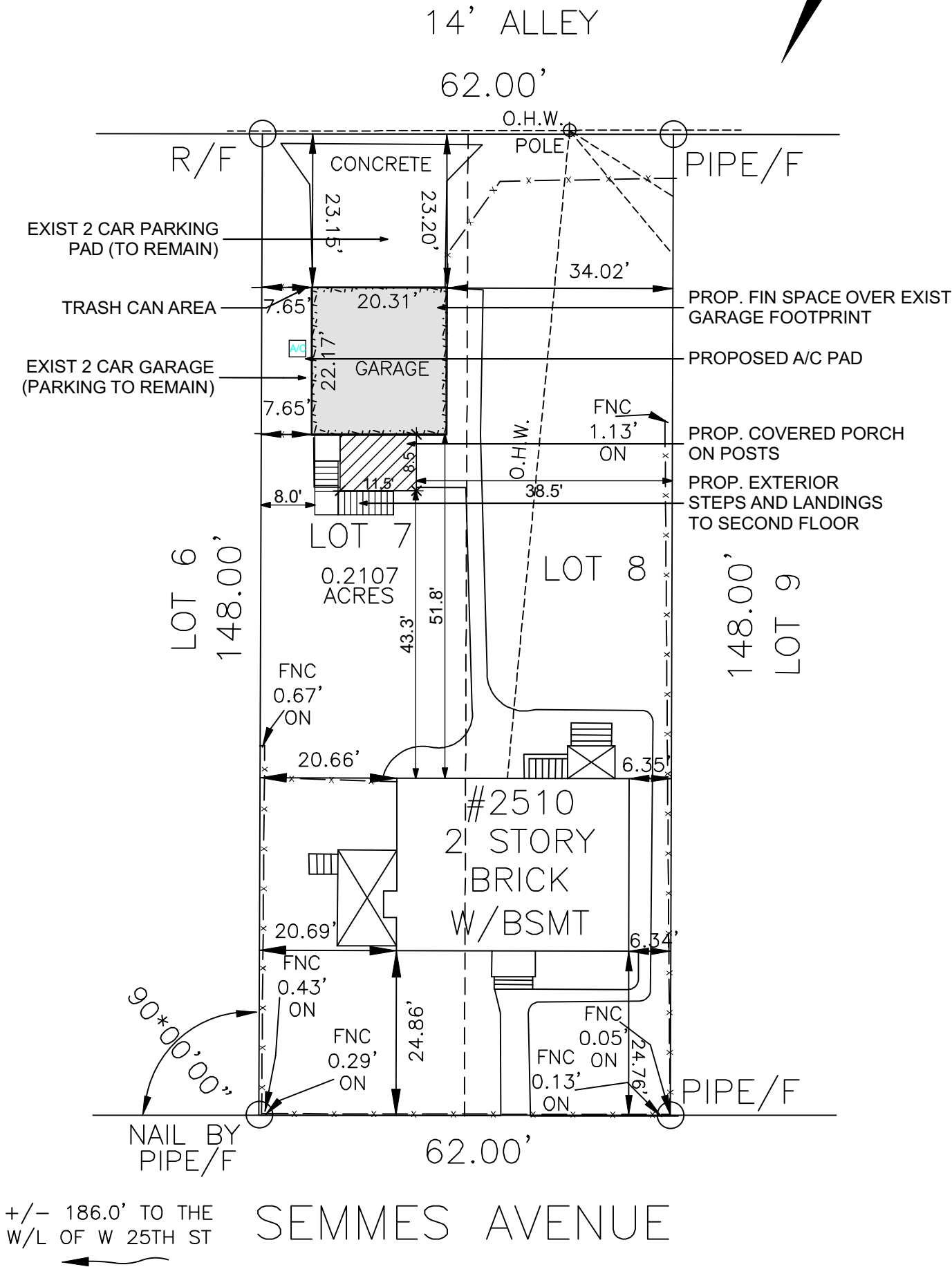
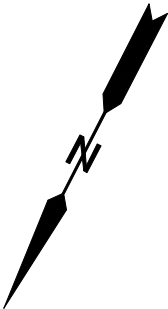
1

SECTION

SCALE: 3/8" = 1'-0"

THIS IS TO CERTIFY THAT ON 9-2-2022,
I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES
SHOWN HEREON AND THAT THERE ARE NO EASEMENTS
OR ENCROACHMENTS VISIBLE ON THE GROUND OTHER
THAN THOSE SHOWN HEREON.

THIS PROPERTY IS IN H.U.D. DEFINED FLOOD
HAZARD AREA. ZONE: X, AS SHOWN ON FIRM
COMMUNITY PANEL #5101290039E, DATED 07/16/2014.



PROPOSED PLAT SHOWING NEW CONSTRUCTION 10/11/22
Charles McSorley/2420 Design, LLC

THIS SURVEY IS SUBJECT TO ANY EASEMENTS
OF RECORD AND OTHER PERTINENT FACTS
WHICH A TITLE SEARCH MIGHT DISCLOSE.

HARVEY L. PARKS, INC.
4508 W. HUNDRED ROAD
CHESTER, VA.
PHONE: 804-748-8641
EMAIL: SURVEYS@HARVEYLPARKS.COM

DATE: SEPTEMBER 3, 2022 SCALE: 1"=20'
DRAWN BY: H.T.J.
CHECKED BY: R.L.O.
F.BK.: 649, PG. 41 64941.dwg

PLAT SHOWING IMPROVEMENTS ON
LOT 7 & 8, BLOCK 18
"WOODLAND HEIGHTS"
IN THE CITY OF
RICHMOND, VIRGINIA

