



Application for **SPECIAL USE PERMIT**

Department of Planning and Alignment Review
Land Use Administration Division
300 E. Broad Street, Room 517
Richmond, Virginia 23219
804-646-6304
<http://www.richmondva.com>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Property Address: 3500 Hanover Ave, Richmond, VA ²³²²¹ Date: 11/17/22
Tax Map #: W0021608007 Fee: 300.00
Total area of affected site in acres: .048

(See page 6 for fee schedule; please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-4B
Existing Use: Residential

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Existing Use: Residential - Single Family
Residential - Single Family

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number _____

Applicant/Contact Person: Melissa Vaughan
Company: Melissa Vaughan Architecture PC
Mailing Address: 131 Hanover Ave
City: Ashland State: VA Zip Code: 23005
Telephone: (804) 387-8780 Fax: () _____
Email: melissa@mvaughanarchitect.com

Property Owner: Angharad Waite
If Business Entity, name and title of authorized signee _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 3500 Hanover Ave
City: Richmond State: VA Zip Code: 23221
Telephone: (202) 744-1523 Fax: () _____
Email: angharad.waite@gmail.com

Property Owner Signature: [Signature]

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

21 November 2022

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219

re: 3500 Hanover Avenue – Special Use Permit Plan Amendment

I. INTRODUCTION

Angharad Waite (“Applicant”), owner of 3500 Hanover Ave (the “Property”) is applying for a special use permit plan amendment to provide an addition to the existing house on the basement level, first and second floor level with a loft area from the second floor to expand the current living space so that her parents to age in place with her.

The property is located on the Northeast side of Hanover Avenue, on the corner of Nansemond Street and Hanover Avenue. The property is zoned as R-48 Single Family Residential and the proposed improvements are permitted according to zoning restrictions including, lot coverage limits, height limits and setback requirements with residence having two fronts (corner lot).

II. PROPOSED DEVELOPMENT

The addition to the rear of the property will include extending the existing basement and adding a two-story addition with a loft open to the second floor. The egress from the basement to the back yard will be maintained. The secondary entrance to the residence from Nansemond Street will be moved to the rear of the property. The addition will mirror the zero-lot line of the front portion of the house. A 3’-0” setback will be introduced at the property line of the adjacent property to comply with existing zoning setbacks. The rear yard will be maintained per the 15’-0” setback requirement. The addition provides additional space for the owner to have her family age in place while also complementing the existing residence’s architectural style.

III. FACTORS IN SECTION 17.11 OF THE CHARTER AND SECTION 32.1-1050.1 OF THE ZONING ORDINANCE

A. Effect on Safety, Health, Morals and General Welfare of the Community.

The proposed changes will have a positive effect on the neighborhood by adding to the character of the street. Bringing the addition façade to the street and adding the decorative English Tutor detailing to the side and back of the house will create an appealing view as one moves Southwest on Nansemond Street. The cornice height and building height adhere to the West of Boulevard guidelines and, in this sense, it will have a positive effect on the neighborhood and property values.

B. Effect on the Streets, Roads, Alleys and Public Ways and Places.

Access to the existing residence will not change. The existing primary façade on Hanover Ave will not change and the second-floor loft addition will not be able to be seen from the existing front facade because it is set back on the lot. There will be access from the alley to the backyard.

C. Effects on the Hazards from Fire, Panic and Other Dangers.

The access for emergency vehicles will be unchanged, therefore there will be no adverse effects.

D. Effect of Crowding of Land and Concentration of Population.

The proposed improvements are within the max lot coverage area. The existing façade has a zero-lot line on Nansemond Street and the proposed addition also has a zero-lot line on Nansemond Street which will maintain the street façade feeling. An open porch on the first floor and balcony on the second floor provide open air access and architectural interest and relief on the back elevation.

E. Effect on Schools, Parks, Playgrounds, Water Supplies, Sewage Disposal, Transportation and Other Public Improvements.

The property is served by public water and sewer. The demands of the City services will not be affected as the property will remain for residential use.

F. Effect on Adequate Light and Air.

The proposed improvements will not adversely affect the light and air of the adjoining parcels as required side and rear yards will be maintained allowing ample light and air to the adjacent residents.

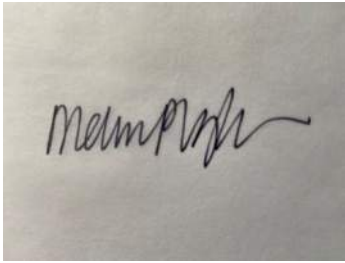
IV. WEST OF BOULEVARD DESIGN GUIDELINES

- A. The proposed addition follows the cornice height of the adjacent building, same floor elevation of the adjacent building and has sloping roof forms. The proposed addition matches the window heights of the existing and adjacent building. The small loft of the addition meets the character of the English Tudor and does not extend beyond the 35'-0" max height. Standard size brick to match the existing English bond pattern, standard size cementitious horizontal siding and cementitious paneling with English Tudor detailing will be specified and are indicated on the drawings.

V. CONCLUSION

Permitting the proposed addition adds to the character of the neighborhood as the addition extends the English Tudor style of the existing house around the corner to Nansemond Street. English Tudor column details, wood detailing, porches and roofing forms are compatible with the existing architecture of the historic house. The interior setback and rear yard setbacks are maintained and the setback on Nansemond street matches the existing setback of the front portion of the house.

Sincerely,

A square image showing a handwritten signature in black ink on a light-colored background. The signature is cursive and appears to read "Melissa Vaughan".

Melissa Vaughan, AIA
President, Melissa Vaughan Architecture PC

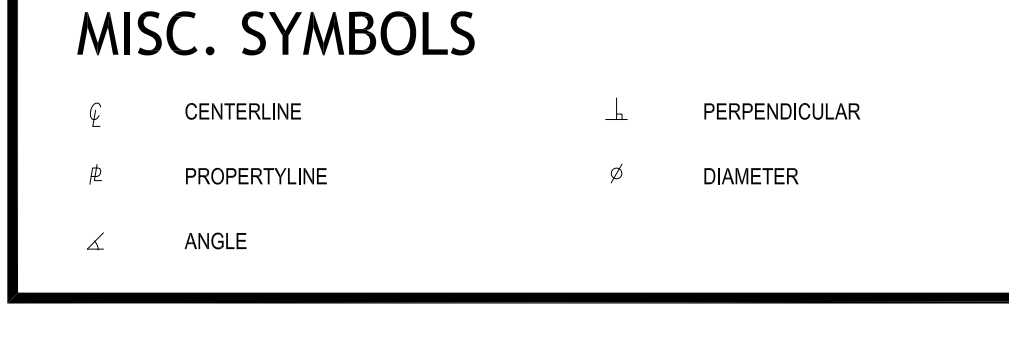
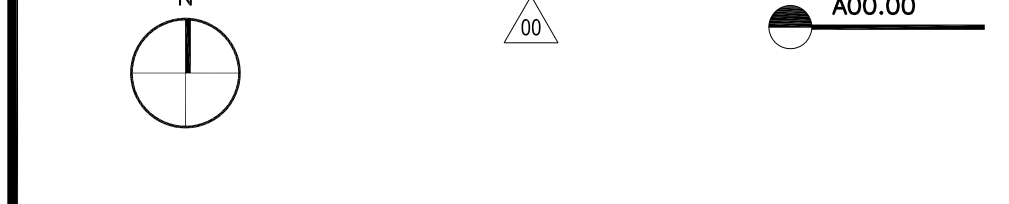
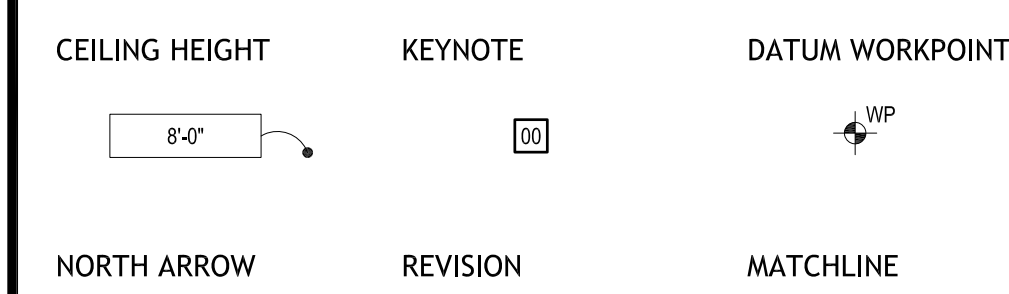
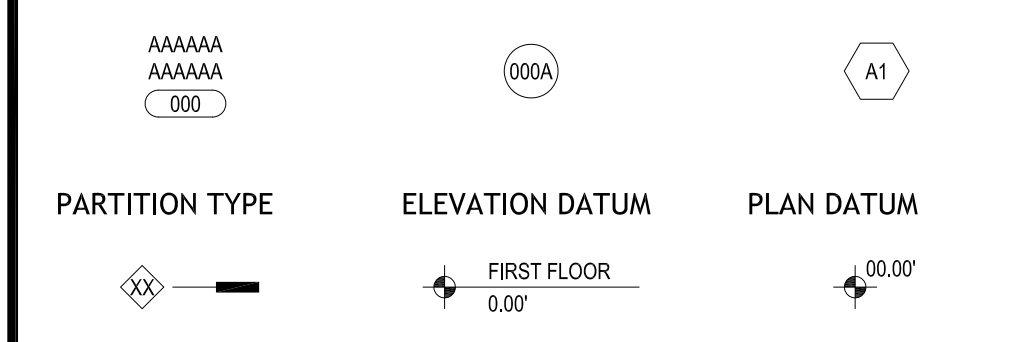
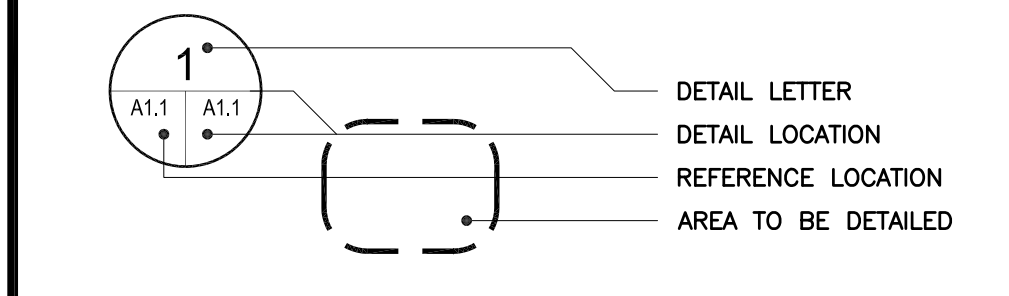
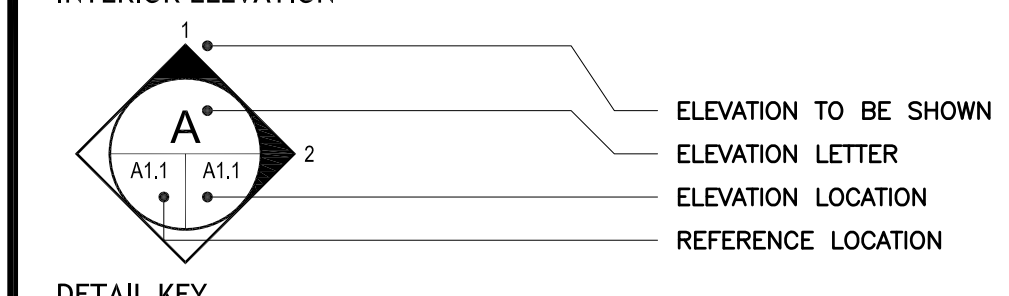
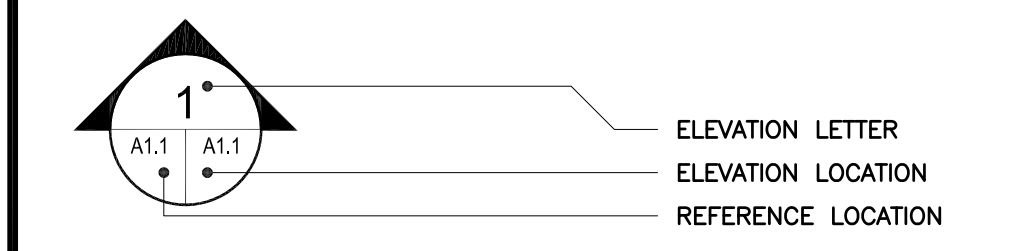
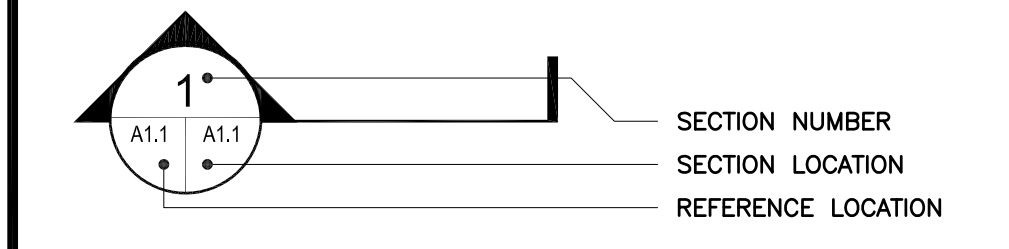
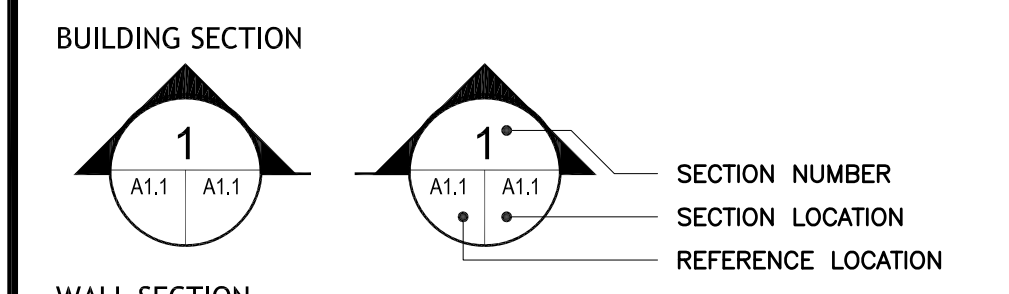
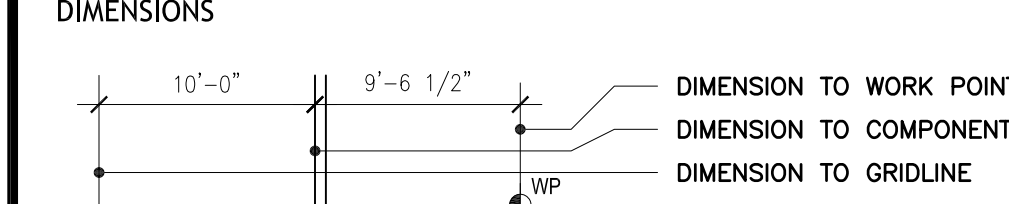
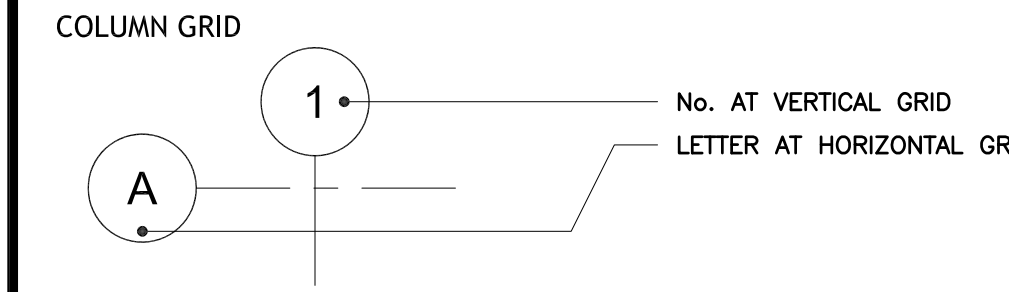
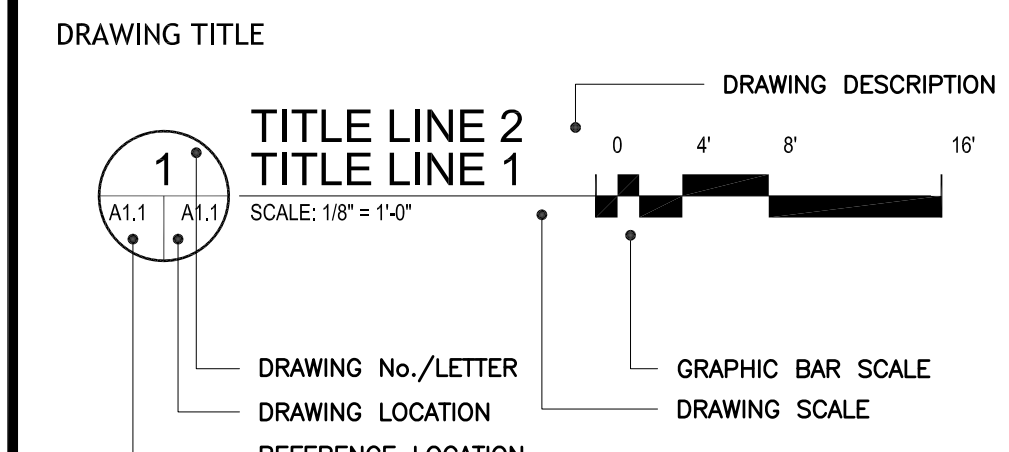
EXHIBIT "A"

ALL that certain lot of land with all improvements thereon known as No. 3500 Hanover Avenue, lying and being and situated in the City of Richmond, Virginia, on the northern line of Hanover Avenue, and more particularly described as follows:

BEGINNING at a point marking the intersection of the northern line of Hanover Avenue with the western line of Nansemond Street, thence extending westwardly along the northern line of Hanover Avenue and fronting thereon 71.66 feet; thence extending back northwardly from said front, between converging lines, the western line of passing through center of a party wall between the dwelling hereby conveyed and to dwelling adjoining it immediately on west no. 3502, and the eastern line being the western line of Nansemond Street, 117.37 feet to an alley in the rear 15 feet wide on which said lot abuts 16.43 feet, according to plat of survey made by William M. Lewis, Certified Land Surveyor, dated October 15, 1942.

TAX ID: W0001608007

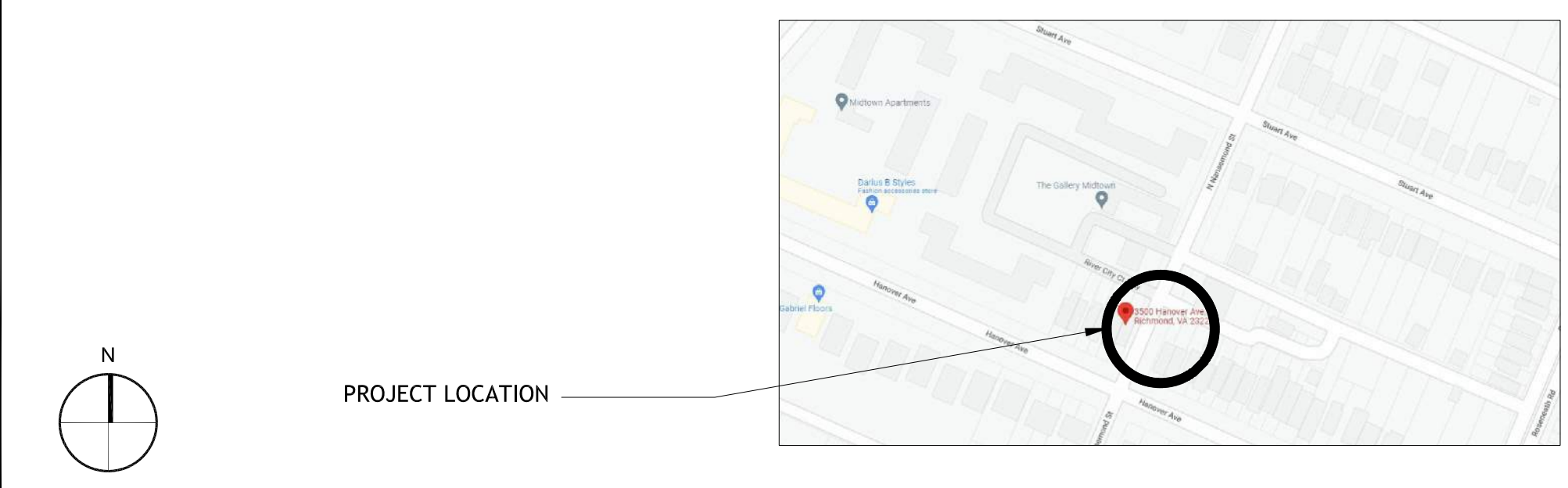
SYMBOLS



PROJECT DATA

OWNER/APPLICANT: ANGHARAD WAITE
DESIGN LOAD CRITERIA: LIVE LOADS- UNIFORM SLAB ON GRADE 100 PSF
APPLICABLE CODES: VaUSBC VIRGINIA UNIFORM BUILDING CODE 2018 EDITION
USE GROUP: R-1
BUILDING AREA: EXISTING BASEMENT: 636 SQFT
BUILDING HEIGHT: EXISTING HEIGHT : APPROX 30'-0"

PROJECT TITLE WAITE RESIDENCE
3500 HANOVER AVE
RICHMOND, VA 23221



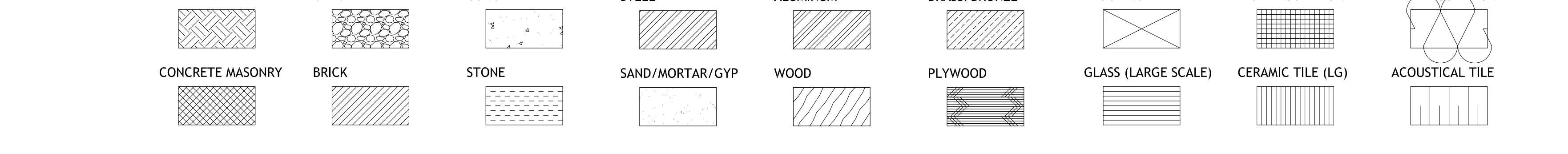
DRAWING INDEX

- T1.1 PROJECT INFORMATION
ARCHITECTURAL
A0.1 SITE PLAN & ZONING DIAGRAM
STRUCTURAL
A1.1 BASEMENT FLOOR PLAN
A1.2 FIRST FLOOR PLAN
A1.3 SECOND FLOOR PLAN
A1.4 PROPOSED LOFT FLOOR PLAN
A2.1 FRONT & REAR ELEVATIONS
A2.2 SIDE ELEVATIONS
A2.3 SIDE ELEVATIONS
A9.1 EXT PERSPECTIVE RENDERINGS

ABBREVIATION LIST

Table with columns for abbreviations and full names, including A/C, DD, GA, MAS, PT, T&G, etc.

MATERIALS



GENERAL NOTES:
1. PROVIDE ALL WORK TO CONFORM WITH ALL GOVERNING LAWS CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO THE VIRGINIA CONSTRUCTION CODE 2018.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS OF CONSTRUCTION.
3. THE CONTRACTOR WILL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION.
4. THE CONTRACTOR WILL PROVIDE CLEAN-UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION.
5. WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR USING THE NECESSARY PRECAUTIONS DURING WORK AND/OR DISPOSAL.
6. COORDINATE ARCHITECTURAL WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, & OTHER TRADES AND NOTIFY THE ARCHITECT IN THE EVENT OF DISCREPANCIES.
7. WHERE PATCH WORK IS NECESSARY, PATCH ALL WORK TO MATCH EXISTING FINISHES; REROUTE ANY PIPING AS NECESSARY FOR WORK; REPLACE ALL OUTLETS AND SWITCHES TO COORDINATE WITH NEW WORK & REPLACE INSULATION WHERE INSULATION WAS REMOVED FOR WORK.
8. NOTES ARE INTENDED TO REPRESENT THE DESIGN INTENT. GC IS RESPONSIBLE FOR INSTALLATION OF MATERIALS AND BUILDING ASSEMBLIES PER NATIONAL INDUSTRY STANDARDS & BEST PRACTICES.
CONTRACT & CONTRACT NEGOTIATIONS:
1. OWNER/ CONTRACTOR CONTRACT WILL BE AIA A-SERIES CONTRACTS SUCH AS A101-2017, A102-2017, A104-2017 OR A105-2017.
2. CHANGES IN THE SCOPE OF WORK MUST BE INDICATED TO THE OWNER PRIOR TO INSTALLATION OF WORK.
3. PAY APPLICATIONS OR DRAWS ARE TO BE REVIEWED BY ARCHITECT PRIOR TO PAYMENT.
4. FEE SCHEDULE IS AT THE DISCRETION OF THE OWNER AND WILL FOLLOW THE APPROXIMATE PERCENTAGES BASED ON GMP OR ESTIMATED GMP DEPENDING ON CONTRACT TYPE: 10% DEPOSIT; 15% AT FRAMING ROUGH IN FINAL; 20% AT FINISHED EXTERIOR; 35% DIVIDED PER FINISHES INSTALLATION; 20% AT COMPLETION OF WORK.
5. CHANGE ORDERS FEES TO BE REVIEWED PRIOR TO INSTALL AND PAID AT TIME OF INSTALL OR PROVIDE A FEE SCHEDULE FOR EACH CHANGE ORDER.

GENERAL NOTES:
1. PROVIDE ALL WORK TO CONFORM WITH ALL GOVERNING LAWS CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO THE VIRGINIA CONSTRUCTION CODE 2018.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS OF CONSTRUCTION.
3. THE CONTRACTOR WILL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION.
4. THE CONTRACTOR WILL PROVIDE CLEAN-UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION.
5. WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR USING THE NECESSARY PRECAUTIONS DURING WORK AND/OR DISPOSAL.
6. COORDINATE ARCHITECTURAL WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, & OTHER TRADES AND NOTIFY THE ARCHITECT IN THE EVENT OF DISCREPANCIES.
7. WHERE PATCH WORK IS NECESSARY, PATCH ALL WORK TO MATCH EXISTING FINISHES; REROUTE ANY PIPING AS NECESSARY FOR WORK; REPLACE ALL OUTLETS AND SWITCHES TO COORDINATE WITH NEW WORK & REPLACE INSULATION WHERE INSULATION WAS REMOVED FOR WORK.

CAST IN PLACE CONCRETE NOTES:
1. CONCRETE SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) 301, 305 AND 318.
2. CONCRETE SHALL BE NORMAL WEIGHT AND SHALL OBTAIN 28 DAY COMPRESSIVE STRENGTHS AS FOLLOWS-SLAB ON GRADE 3,500 PSI
3. REINFORCING MATERIALS SHALL BE AS FOLLOWS:REINFORCING BARS- ASTM A 615, GRADE 60, DEFORMED WELDED WIRE REINFORCEMENT- ASTM A 185, WELDED STEEL WIRE REINFORCEMENT, PROVIDE SHEET TYPE, ROLL TYPE IS NOT ACCEPTABLE.
4. CONCRETE COVER TO REINFORCING BARS ALL CONFORM TO THE MINIMUM COVER RECOMMENDATIONS IN ACI 318, UNLESS THE DRAWINGS SHOW GREATER COVER REQUIREMENTS.

ROUGH CARPENTRY NOTES:
1. ROUGH CARPENTRY SHALL BE IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOC (AF&PA) "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
2. UNLESS OTHERWISE NOTED, ALL NAILING SHALL CONFORM TO THE "FASTENING SCHEDULE" OF THE VIRGINIA CONSTRUCTION CODE 2018.
3. CONSTRUCTION PANELS SHALL COMPLY WITH PS 1" US PRODUCT STANDARDS FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" FOR PLYWOOD CONSTRUCTION PANELS AND THE FOLLOWING REQUIREMENTS:
EXT WALL SHEATHING: 5/8" APA RATED SHEATHING, EXPOSURE 1 DURABILITY CLASSIFICATION
FLOOR SHEATHING: 5/8" TONGUE AND GROOVE, APA RATED SHEATHING, EXPOSURE 1 DURABILITY CLASSIFICATION
ROOF SHEATHING: 5/8" TONGUE AND GROOVE, APA RATED SHEATHING, EXPOSURE 1 DURABILITY CLASSIFICATION, PROVIDE TONGUE AND GROOVE EDGES AND USE PLY CLIPS AT MIDSPAN BETWEEN EACH SUPPORT
4. ALL WOOD FRAMING MEMBERS PERMANENTLY EXPOSED TO THE WEATHER AND ALL SILL PLATES AROUND THE PERIMETER SHALL BE PRESERVATIVE TREATED LUMBER IN ACCORDANCE WITH T&G SPECS
5. ALL CONNECTION HARDWARE IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED.
6. METAL FRAMING ANCHORS, HOLD DOWNS, HURRICANE TIES, HANGERS, ETC SHALL COMPLY WITH ASTM A 653 AND BE CAPABLE OF SUPPORTING THE REACTION SHOW, WHERE PRODUCTS OF A SPECIFIC MANUFACTURER ARE SHOWN, EQUAL PRODUCTS OF ANOTHER MANUFACTURER MAY BE USED.
7. STEEL PLATE CONNECTORS SHALL COMPLY WITH ASTM A36 SPECS. BOLTS CONNECTING WOOD SHALL COMPLY WITH ASTM 307 COMMON STEEL BOLTS AND SHALL BE 1" IN DIAMETER, UNO

Architect
MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com
Structural Engineer
OBSIDIAN, INC
515 N 22ND STREET
Richmond, VA 23223
804- 647-1589

PROJECT ADDRESS
3500 HANOVER AVE
RICHMOND, VA 23221

Table with columns: Issued / Revised, No., Date, Description. Includes entries for 01/05/2022 and 02/10/2022.

Project Title
WAITE RESIDENCE RESIDENCE & ADDITION

Scale AS NOTED
Date 05/12/2022
Drawn By: MV
Check By: MV
Project No. 2022017

Drawing Title
PROJECT INFORMATION

Drawing No.
T1.1

RIVER CITY COURT WAY

RIVER CITY COURT WAY

MVA

Architect

MVA

131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAVUGHANARCHITECT.com

Structural Engineer

OBSIDIAN, INC

515 N 22ND STREET
Richmond, VA 23223
804- 647-1589

PROJECT ADDRESS

3500 HANOVER AVE
RICHMOND, VA 23221

Architect / Engineers Seal

No.	Date	Description
01	05/12/2022	SCHEMATIC REVIEW
02	10/30/2022	PRELIM REVIEW
03	01/23/2023	NOTES
04	02/17/2023	RESUBMISSION

Project Title

**WAITE
RESIDENCE &
ADDITION**

Scale	AS NOTED
Date	AS 08/12 2022
Drawn By:	W/M/MV
Check By:	W/M/MV
Project No.	2022017

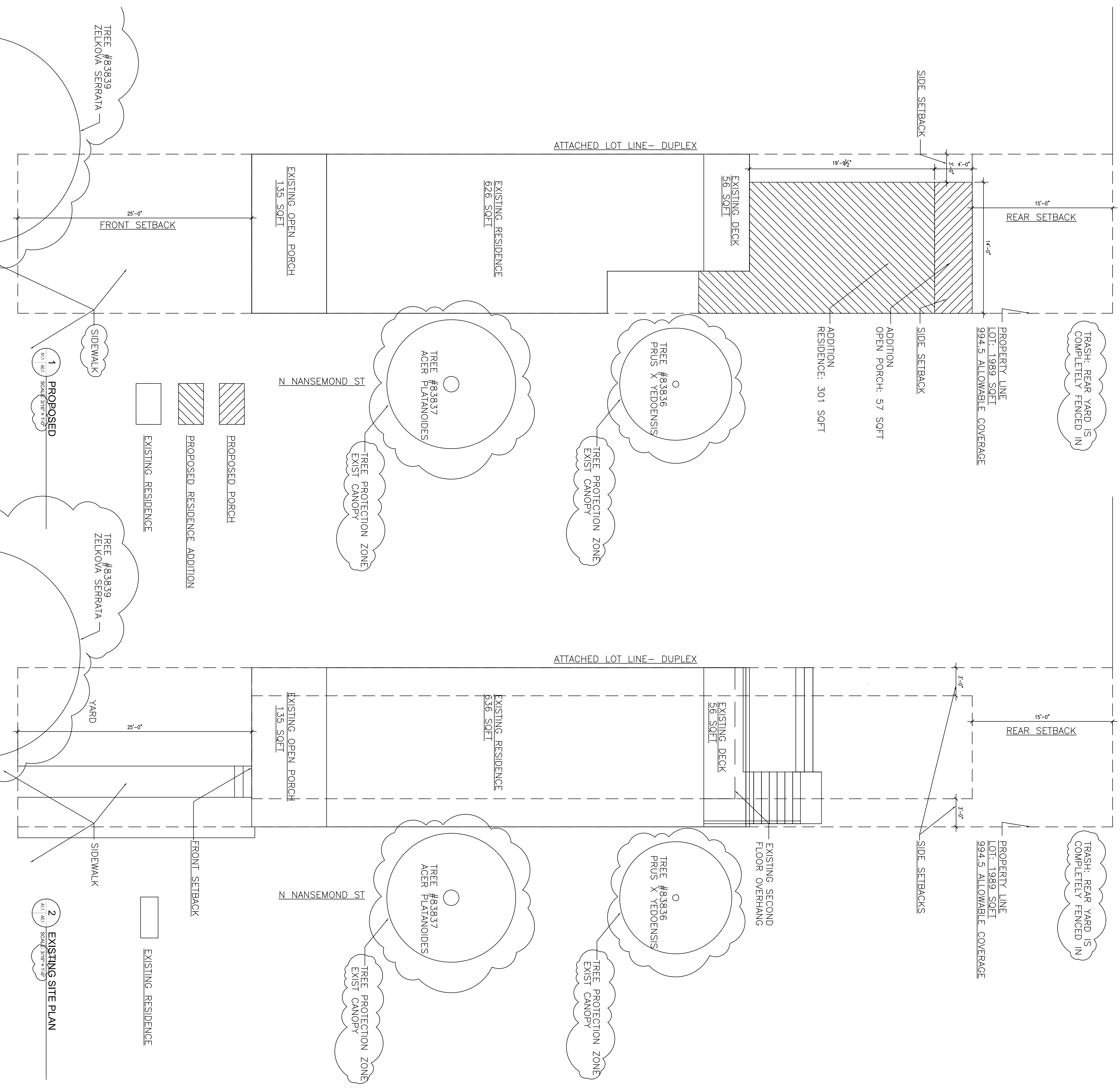
© 2023 MVA. Design/Construct & Constructed by MVA. All rights reserved. No part of this document may be reproduced without the written consent of MVA.

Drawing Title

**SITE PLAN
& ZONING
DIAGRAM**

Drawing No.

A0.1



1 PROPOSED
SCALE 3/16" x 7/8"

2 EXISTING SITE PLAN
SCALE 3/16" x 7/8"

Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:10 PM

Issued / Revised

No.	Date	Description

Project Title
Waite Residence

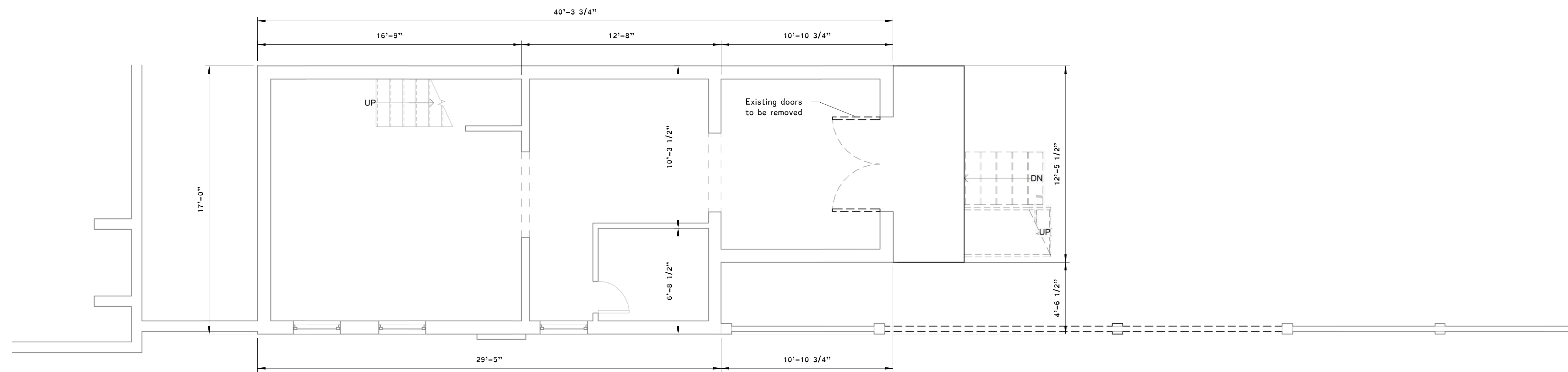
Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

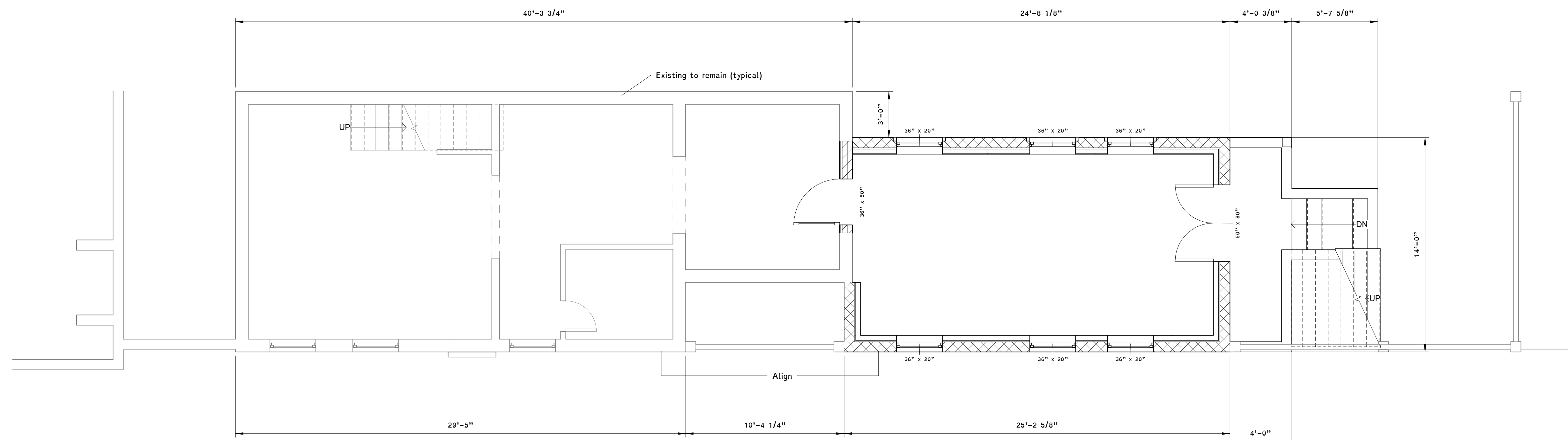
Drawing Title
Basement Floor Plan

Drawing No.

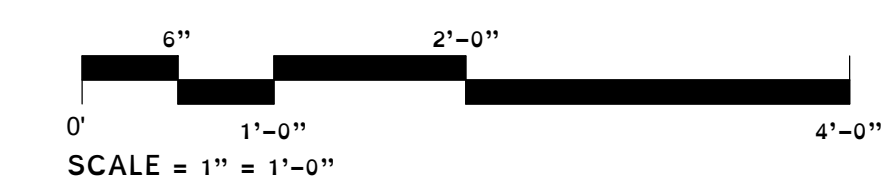
A1.1



1 Basement - Existing
1/4" = 1'-0"



2 Basement - Proposed
1/4" = 1'-0"



Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Keriann Steinruck

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:10 PM

Issued / Revised

No.	Date	Description

Project Title
Waite Residence

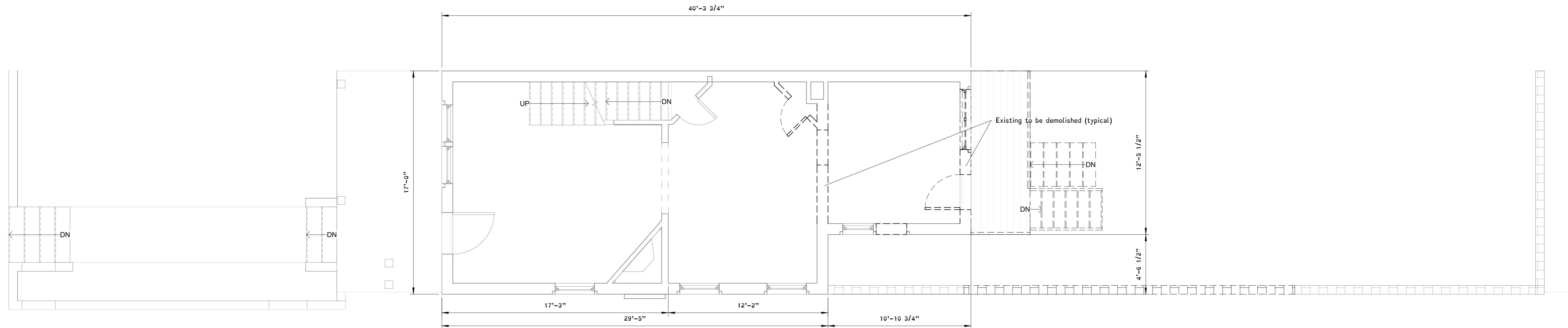
Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

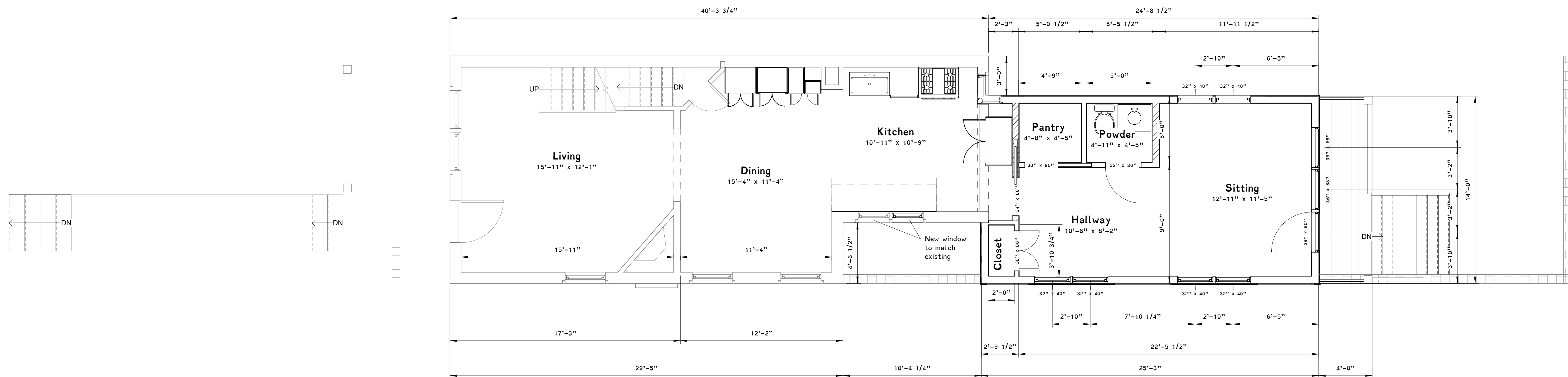
Drawing Title
First Floor Plan

Drawing No.

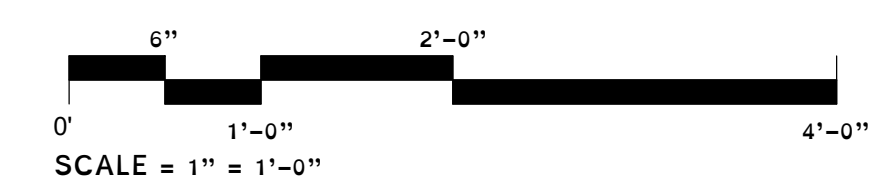
A1.2

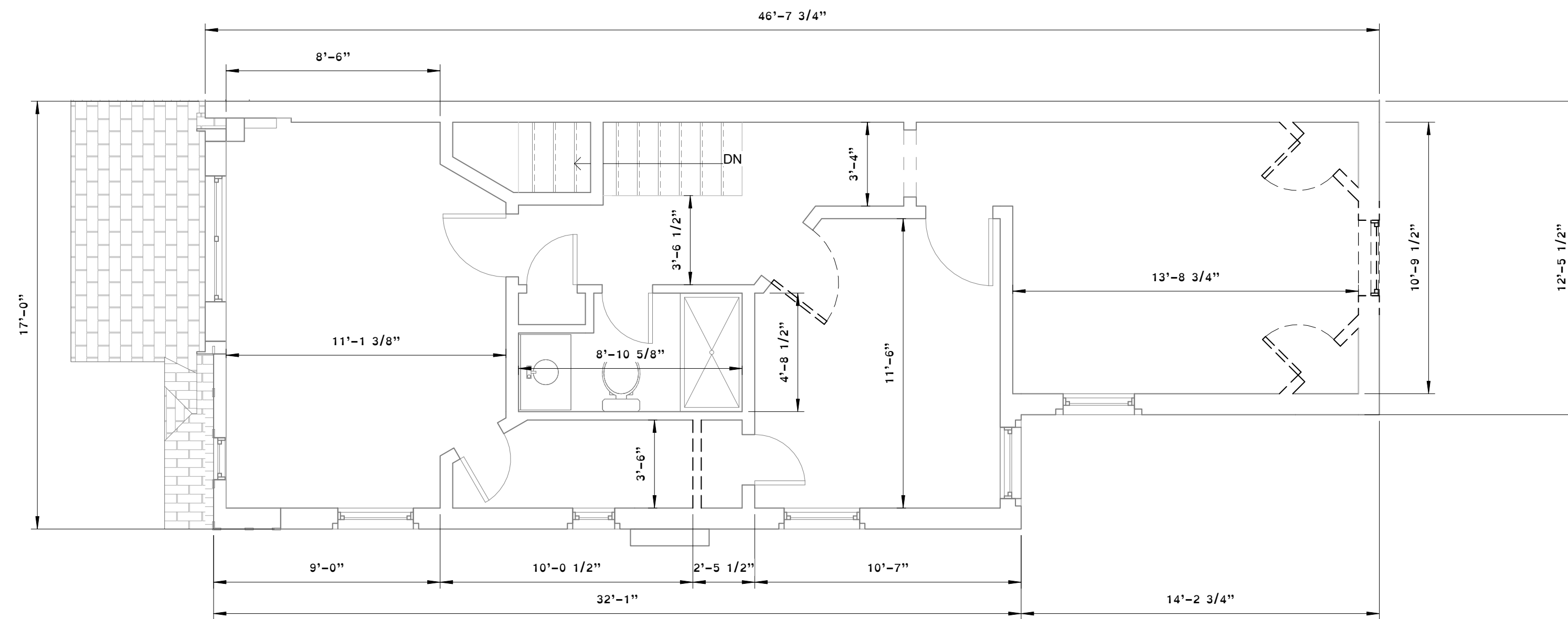


1 1st Floor - Existing
1/4" = 1'-0"

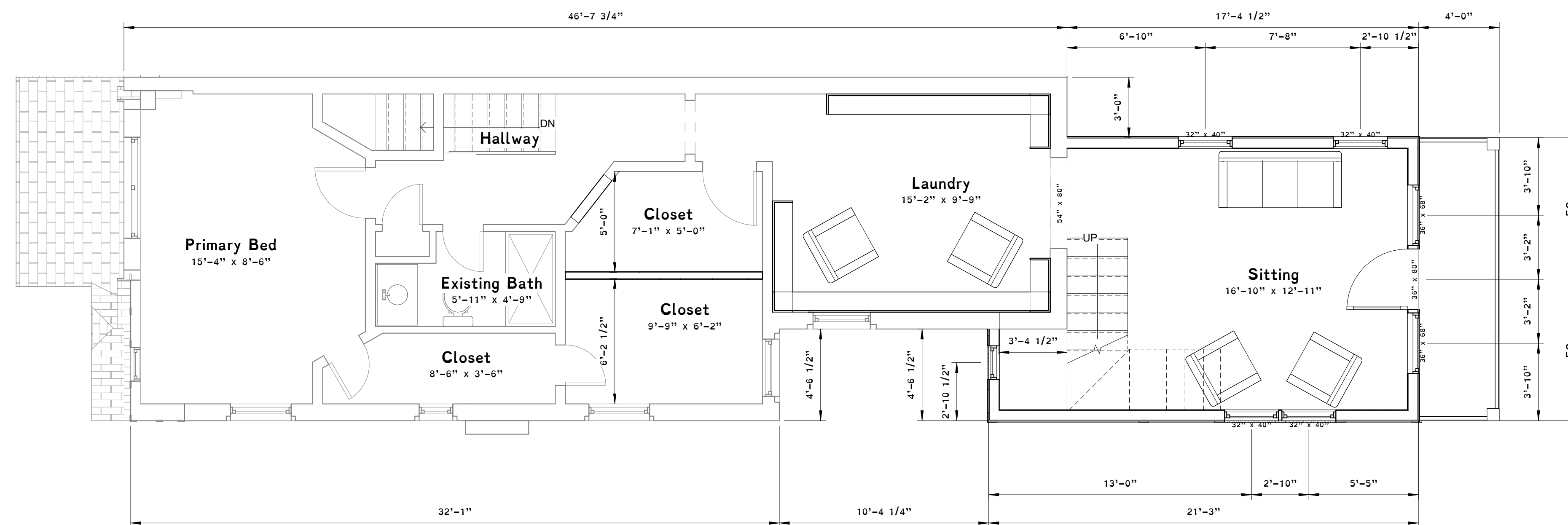


2 1st Floor - Proposed
1/4" = 1'-0"

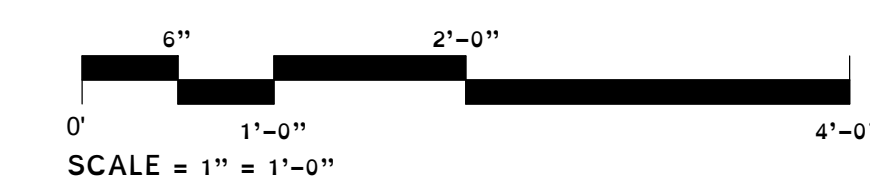




1 2nd Floor - Existing
1/4" = 1'-0"



2 2nd Floor - Proposed
1/4" = 1'-0"



MVA

Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:11 PM

Issued / Revised

No.	Date	Description

Project Title
Waite Residence

Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title
Second Floor Plan

Drawing No.

A1.3

Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:11 PM

Issued / Revised

No.	Date	Description

Project Title

Waite Residence

Date October 29, 2022

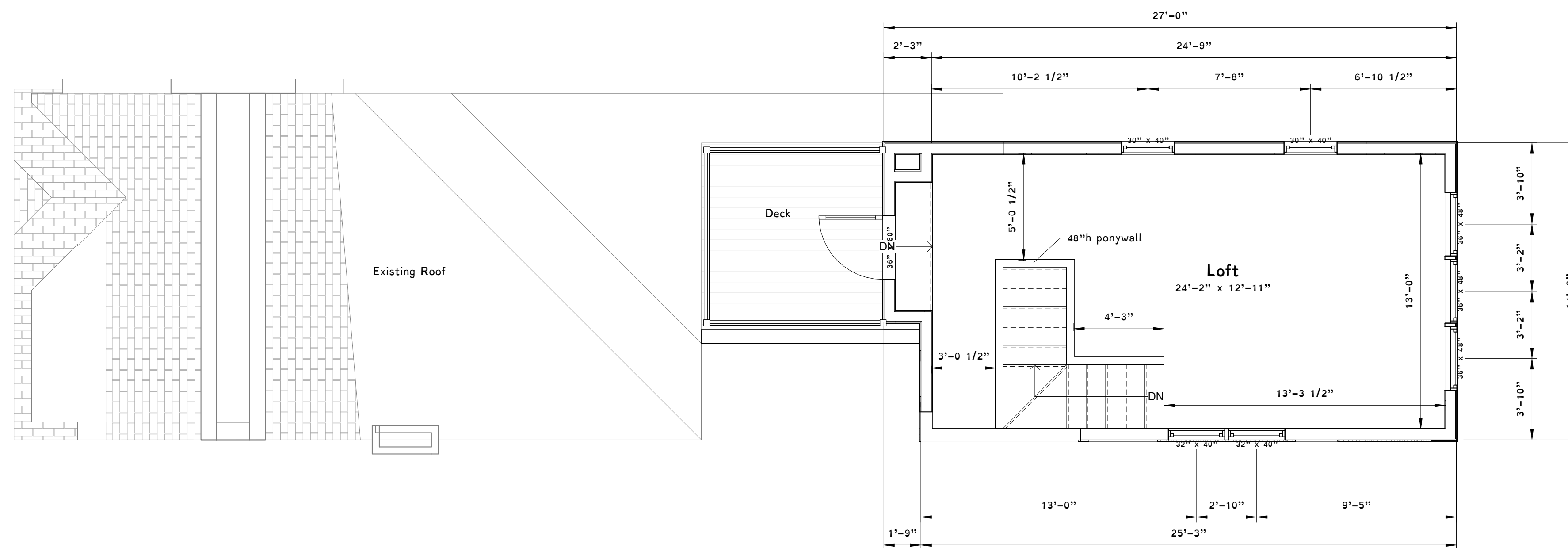
© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

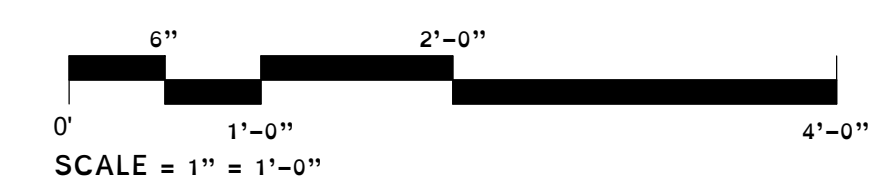
Proposed Loft Floor Plan

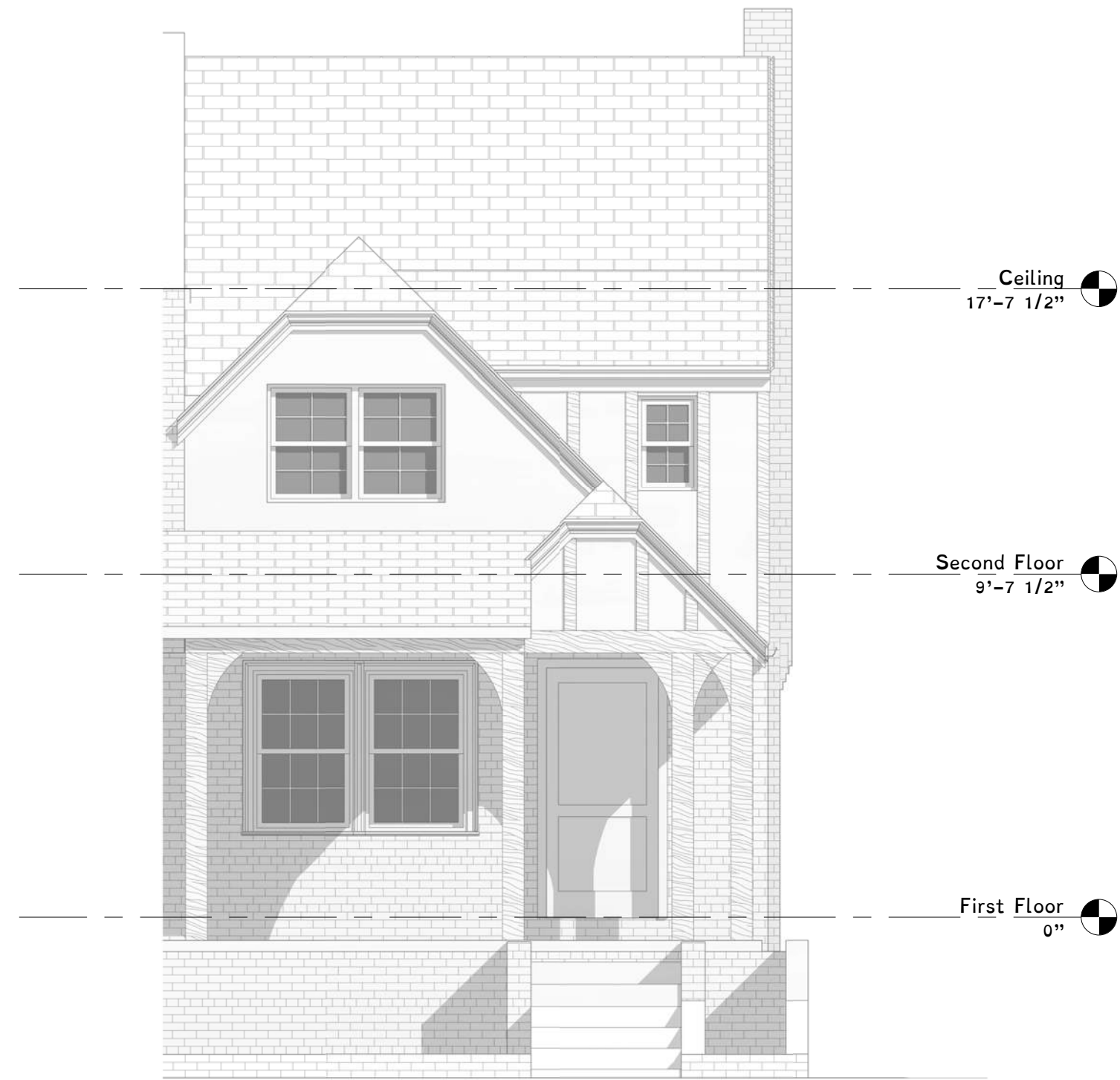
Drawing No.

A1.4

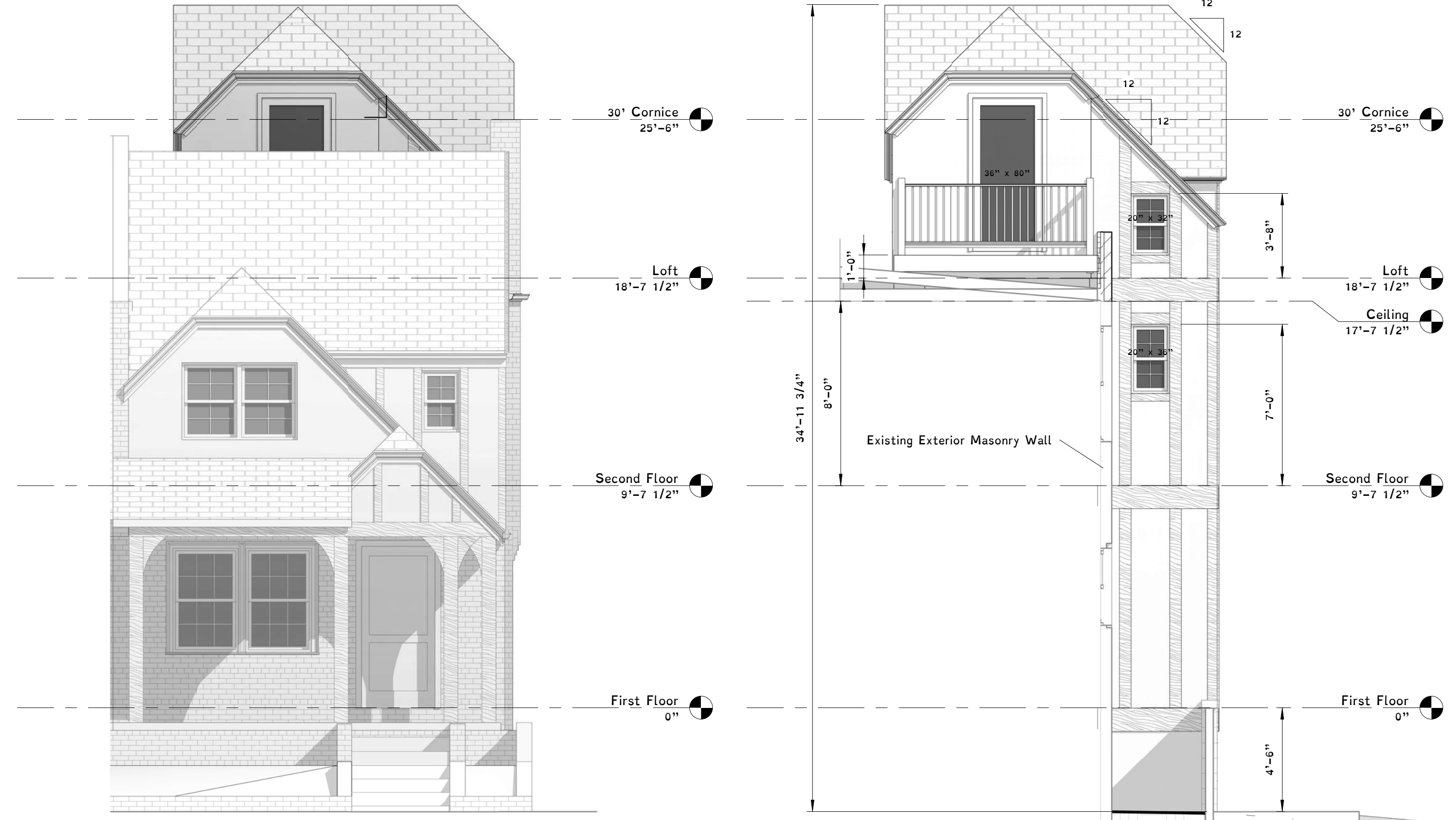


1 Loft
1/4" = 1'-0"

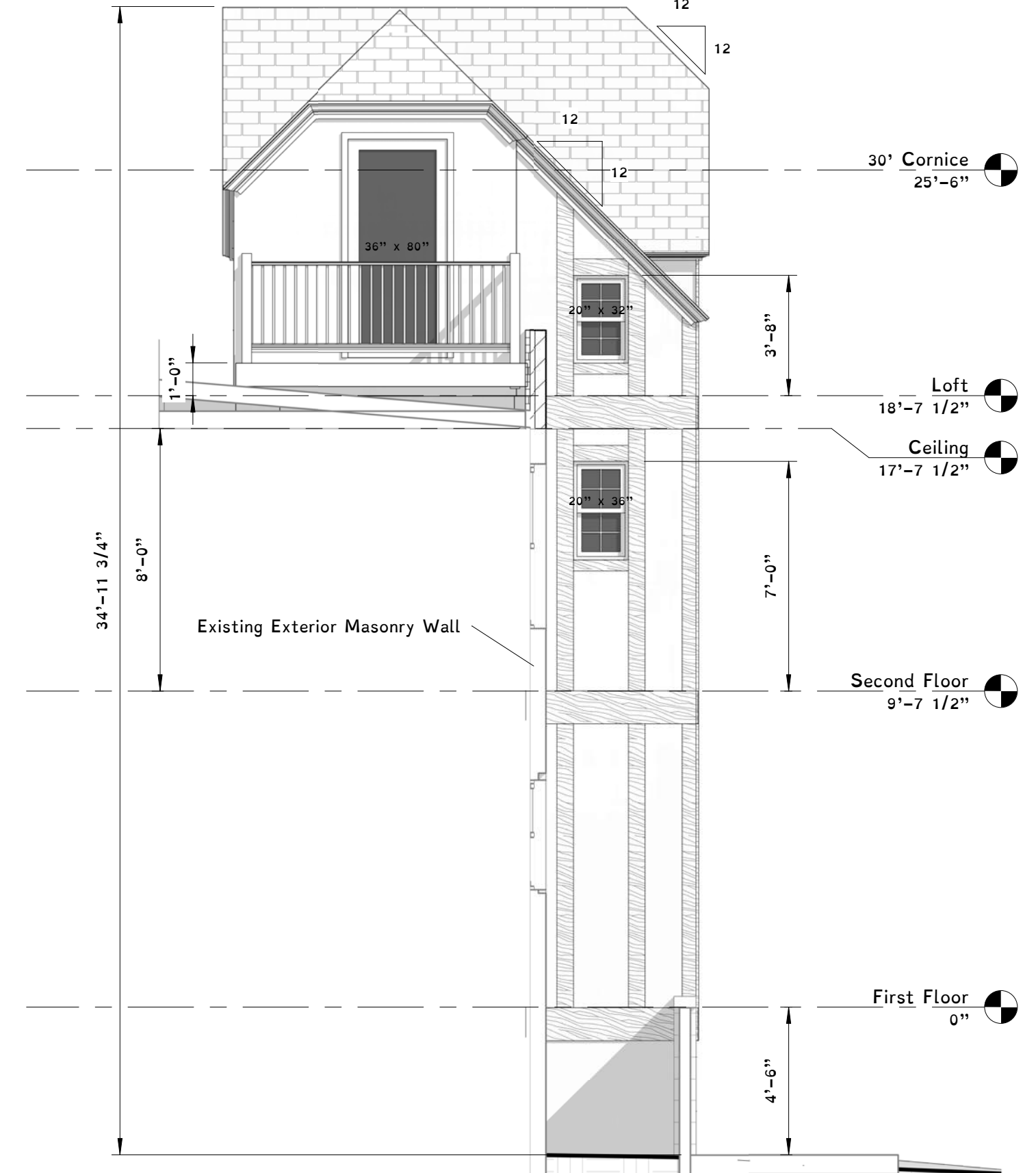




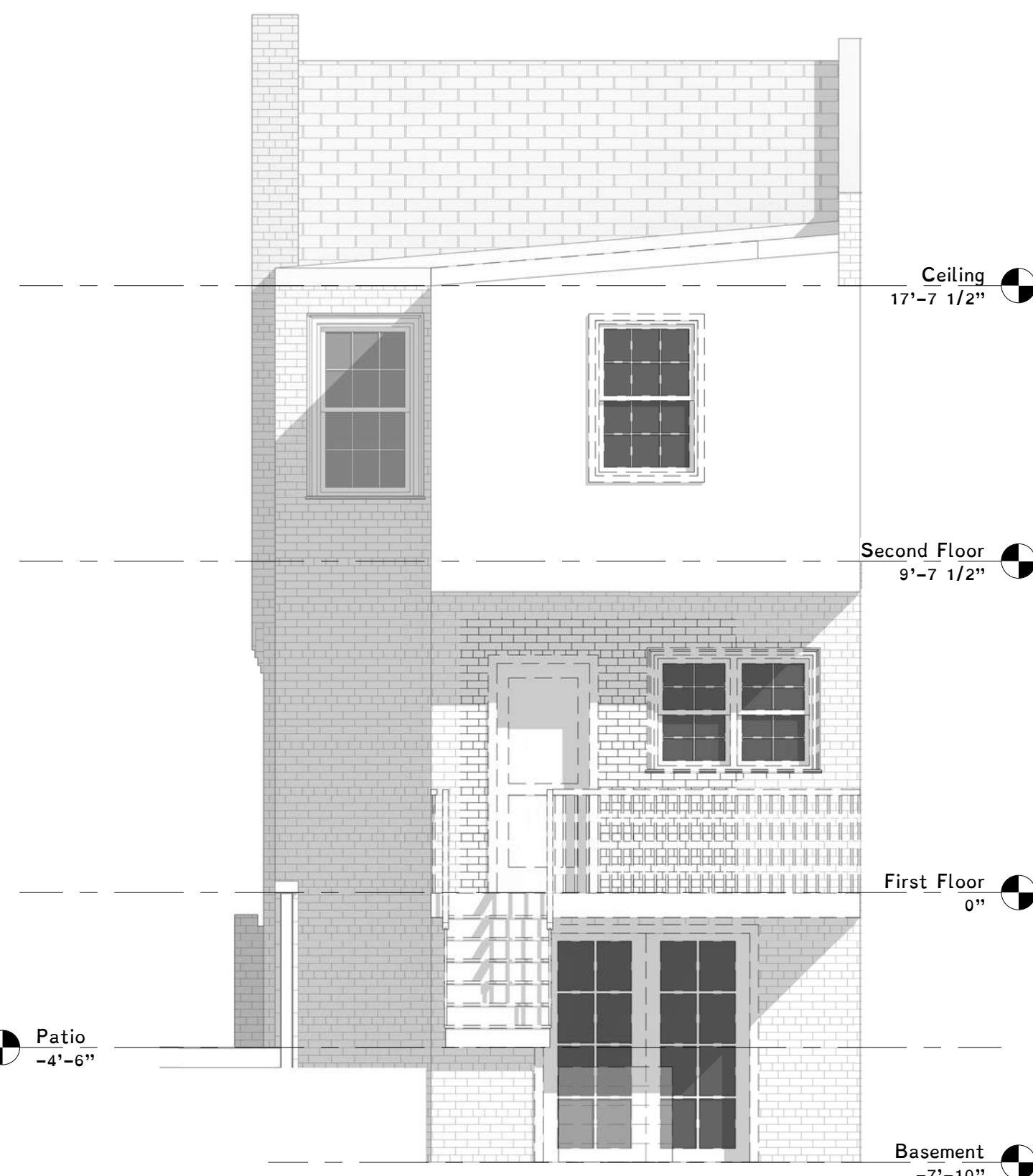
1 Existing South
1/4" = 1'-0"



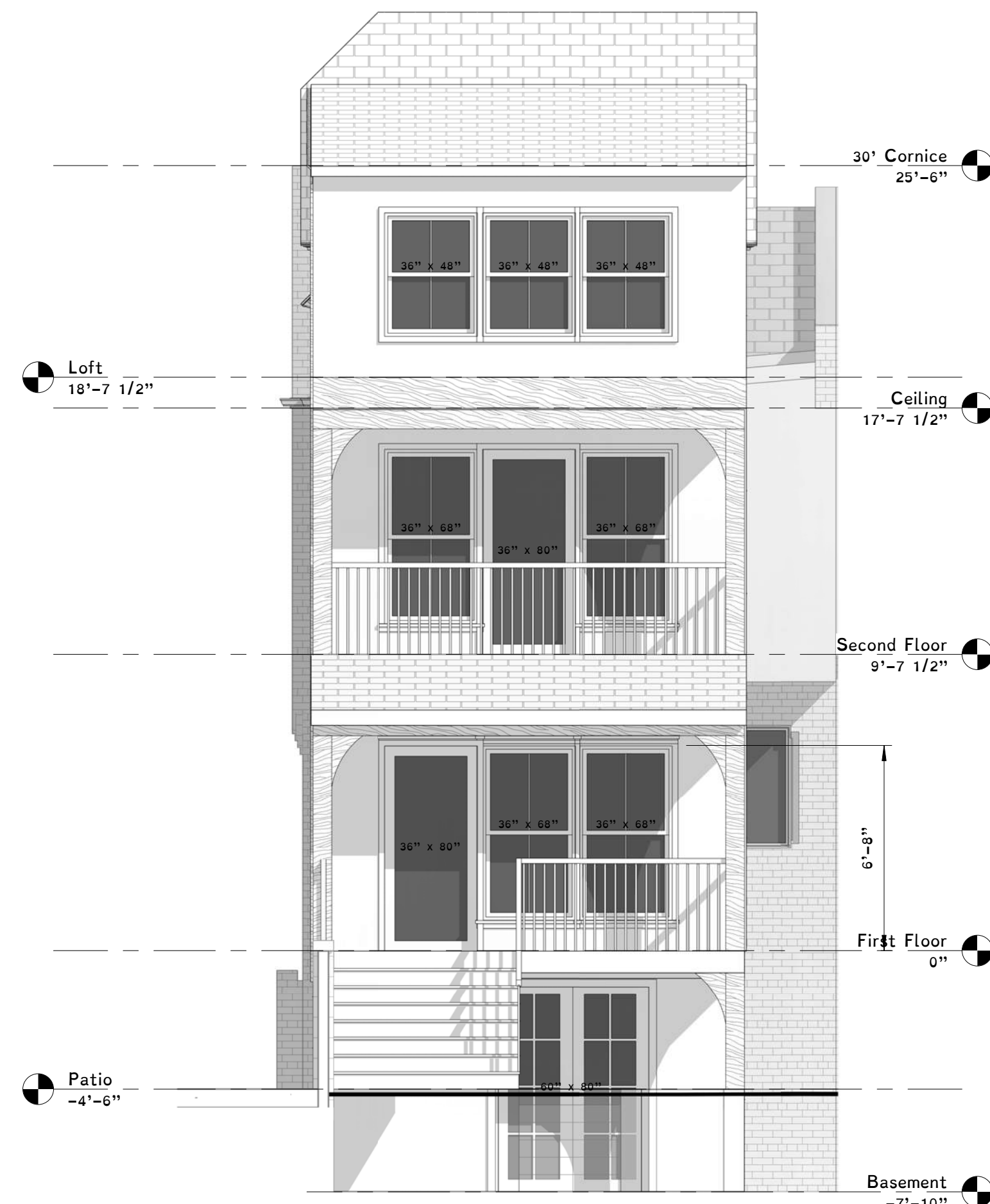
2 Proposed South
1/4" = 1'-0"



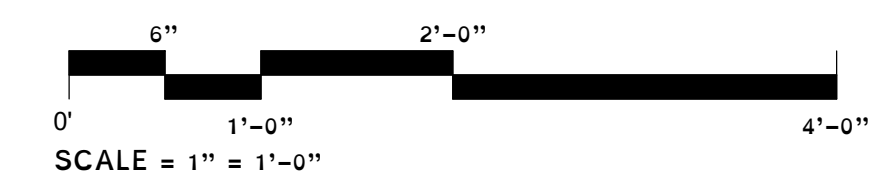
5 Proposed North - Loft Deck
1/4" = 1'-0"



3 Existing North
1/4" = 1'-0"



4 Proposed North
1/4" = 1'-0"



MVA

Architect
MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Arch D

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:30 PM

Issued / Revised

No.	Date	Description

Project Title
Waite Residence

Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title
Front & Rear Elevations

Drawing No.

A2.1

Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:54 PM

Issued / Revised

No.	Date	Description

Project Title

Waite Residence

Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

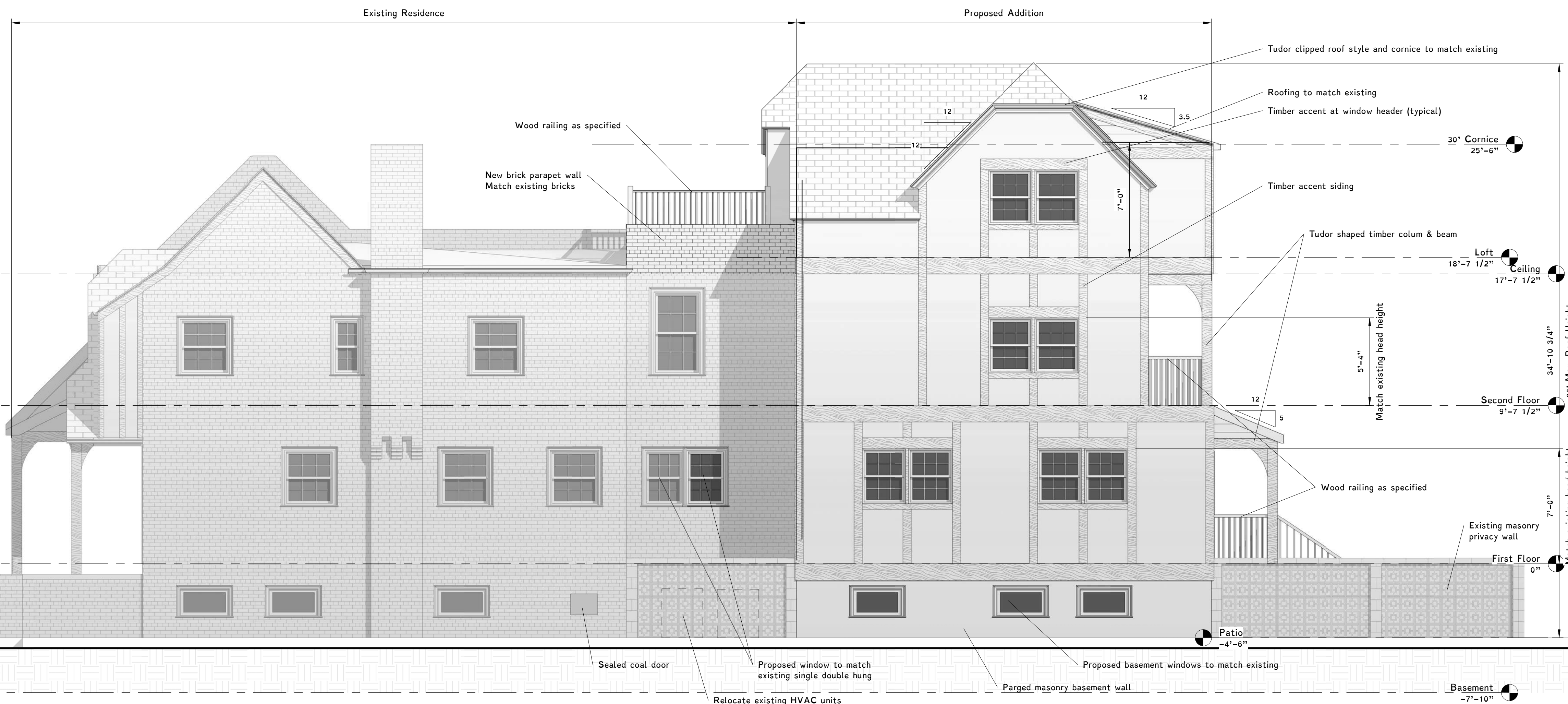
Side Elevations

Drawing No.

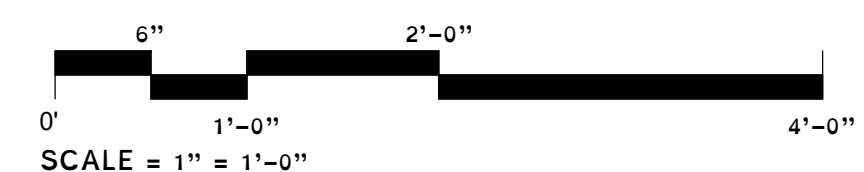
A2.2



1 Existing East
1/4" = 1'-0"



2 Proposed East
1/4" = 1'-0"



Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:14:16 PM

Issued / Revised

No.	Date	Description

Project Title

Waite Residence

Date October 29, 2022

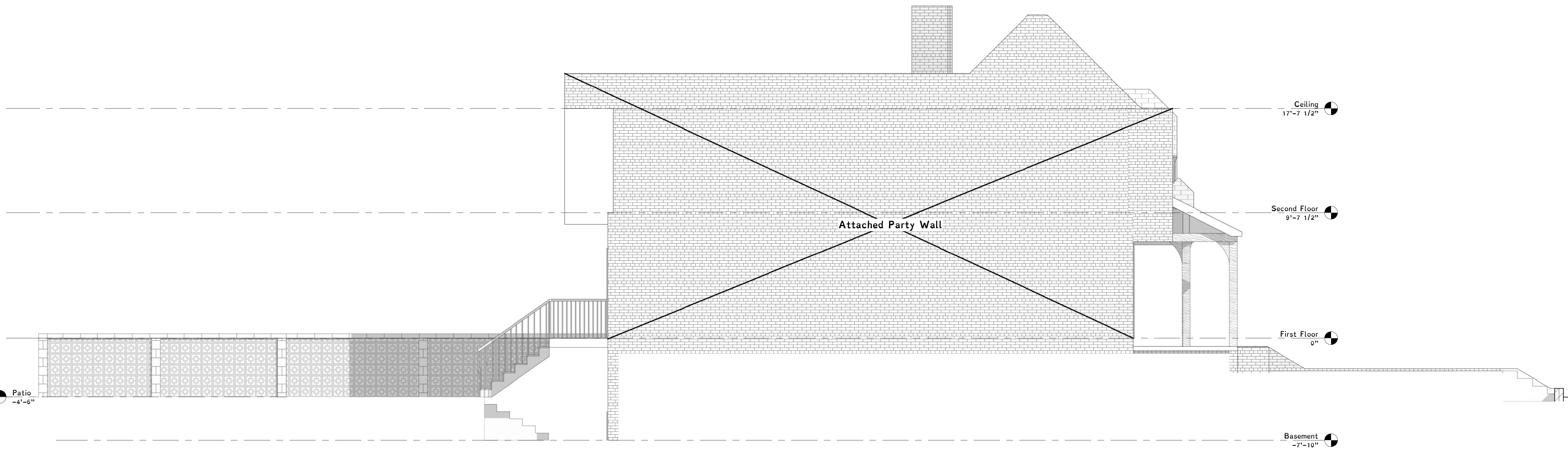
© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

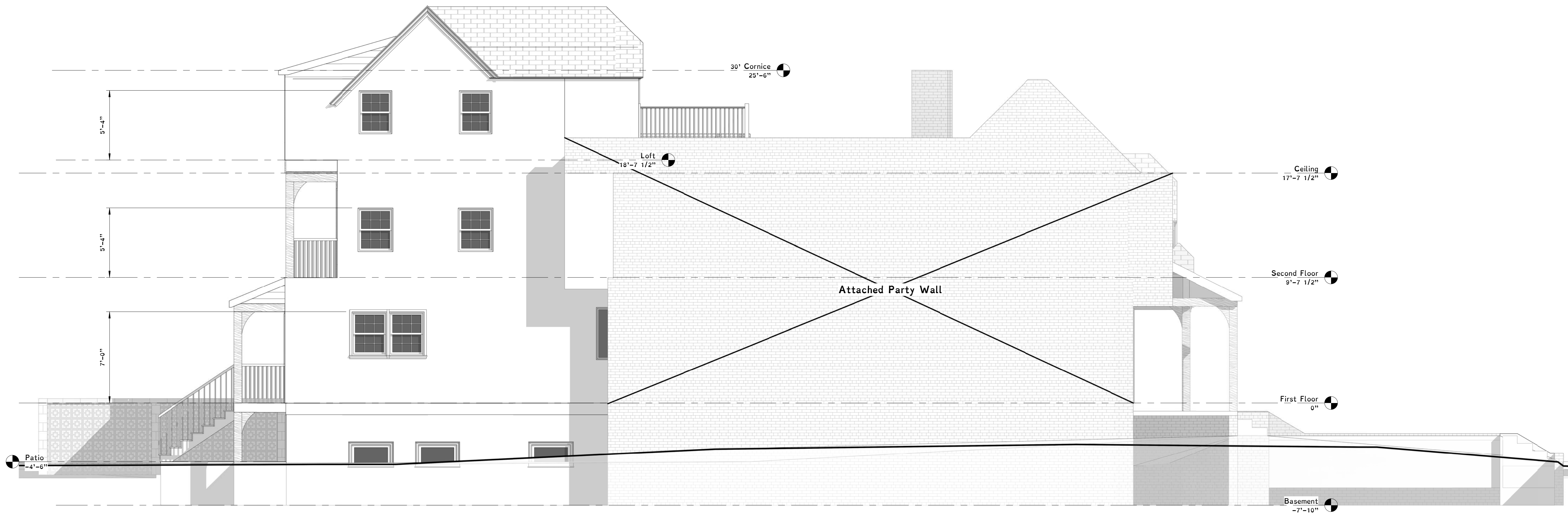
Side Elevations

Drawing No.

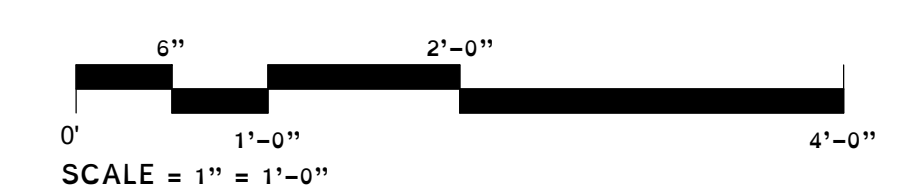
A2.3



1 Existing West
1/4" = 1'-0"



2 Proposed West
1/4" = 1'-0"





MVA

Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Arch D

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:14:17 PM

Issued / Revised

No.	Date	Description

Project Title

Waite Residence

Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

Exterior Perspective Renderings

Drawing No.

A9.1

RIVER CITY COURT WAY

RIVER CITY COURT WAY

MVA

Architect

MVA

131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineer

OBSIDIAN, INC

515 N 22ND STREET
Richmond, VA 23223
804- 647-1589

PROJECT ADDRESS
3500 HANOVER AVE
RICHMOND, VA 23221
Architect / Engineers Seal

Issued / Revised	No.	Date	Description
	01	05/12/2022	ZONING REVIEW

Project Title
**WAITE
RESIDENCE
RESIDENCE &
ADDITION**

Scale AS NOTED
Date AS NOTED
Drawn By: M/MV
Check By: M/MV
Project No. 2022017

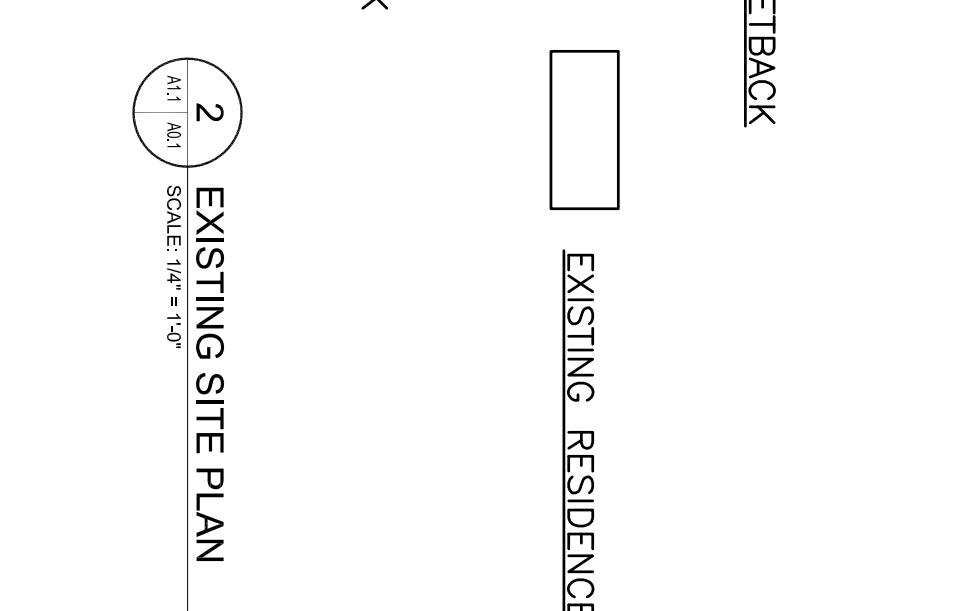
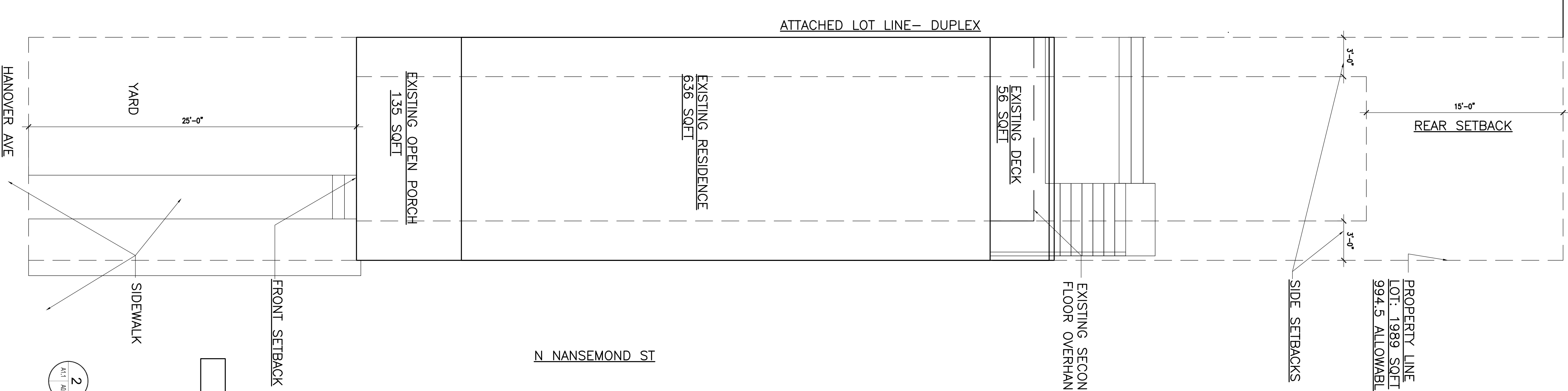
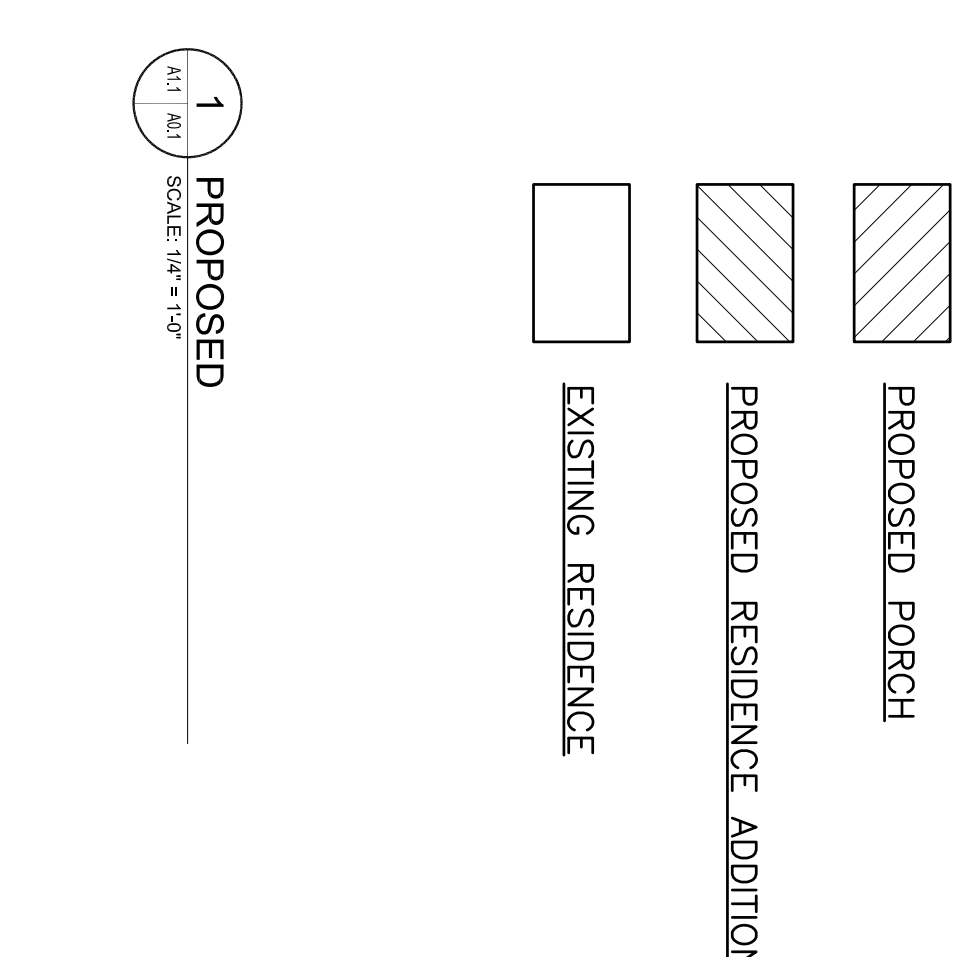
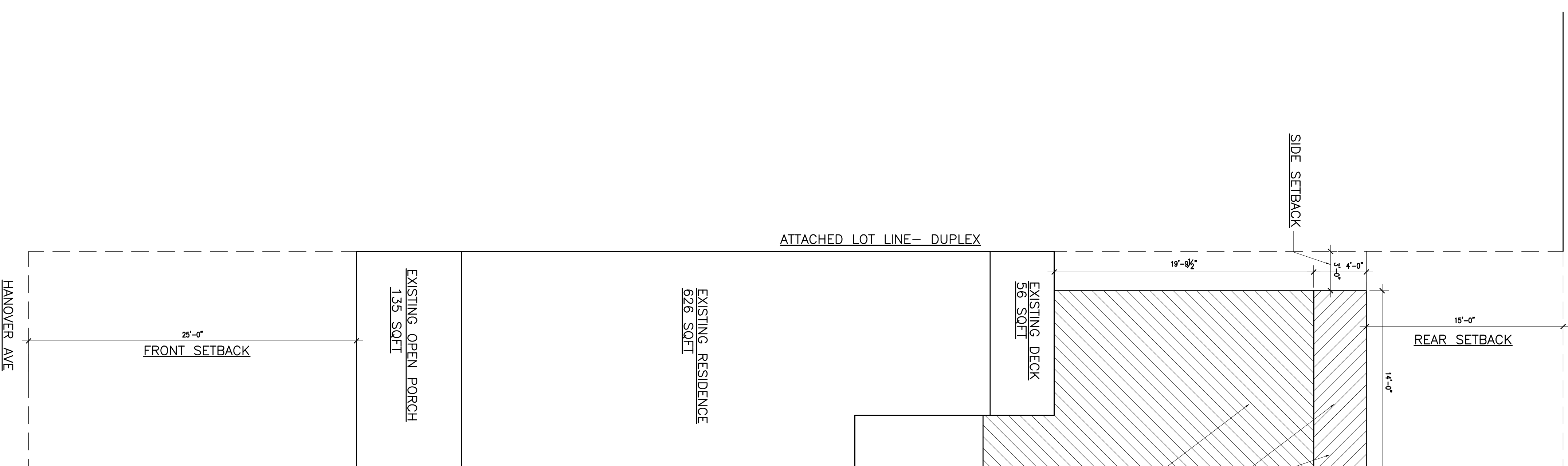
© 2022 MVA. Duplication or reuse of any part of this drawing without the expressed written consent of MVA.

Drawing Title

**SITE PLAN
& ZONING
DIAGRAM**

Drawing No.

A0.1



Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:10 PM

Issued / Revised

No.	Date	Description

Project Title
Waite Residence

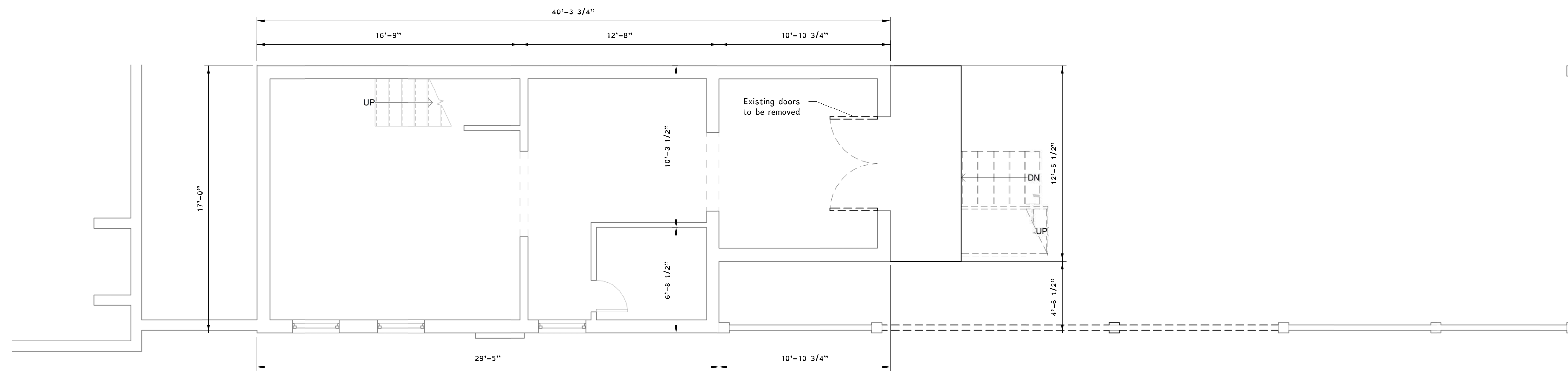
Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

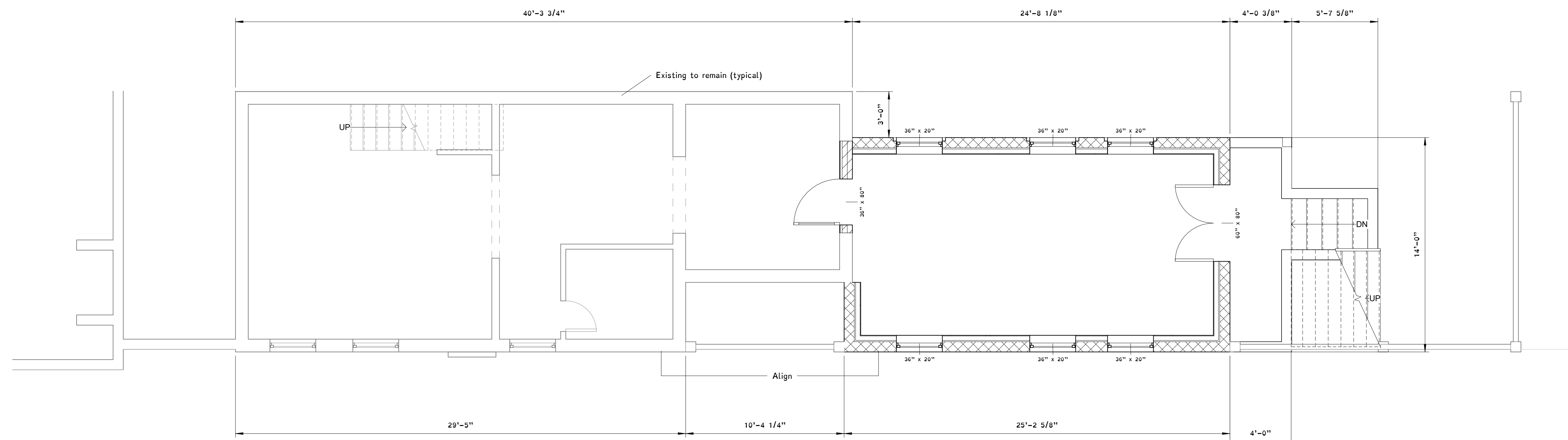
Drawing Title
Basement Floor Plan

Drawing No.

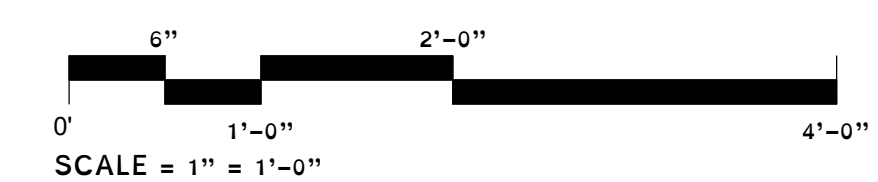
A1.1



1 Basement - Existing
1/4" = 1'-0"



2 Basement - Proposed
1/4" = 1'-0"



Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Keriann Steinruck

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:10 PM

Issued / Revised

No.	Date	Description

Project Title
Waite Residence

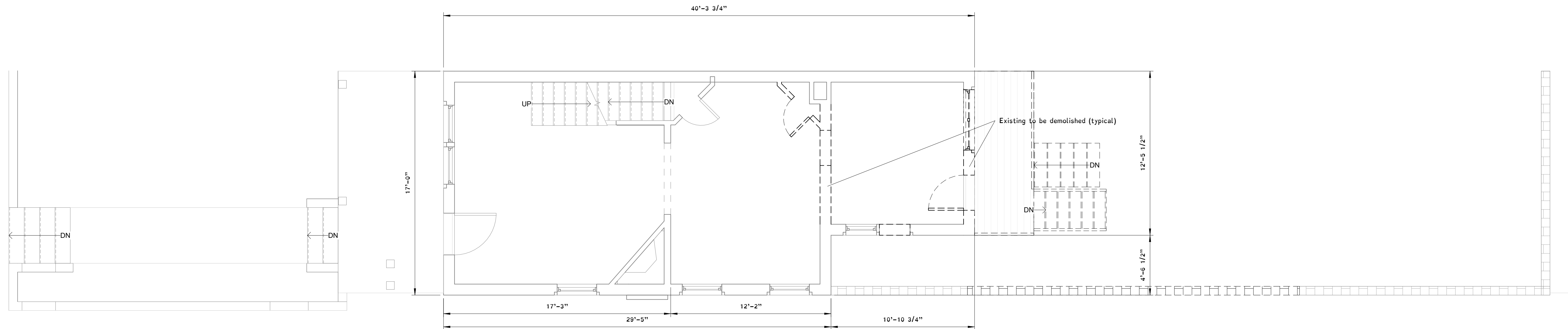
Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

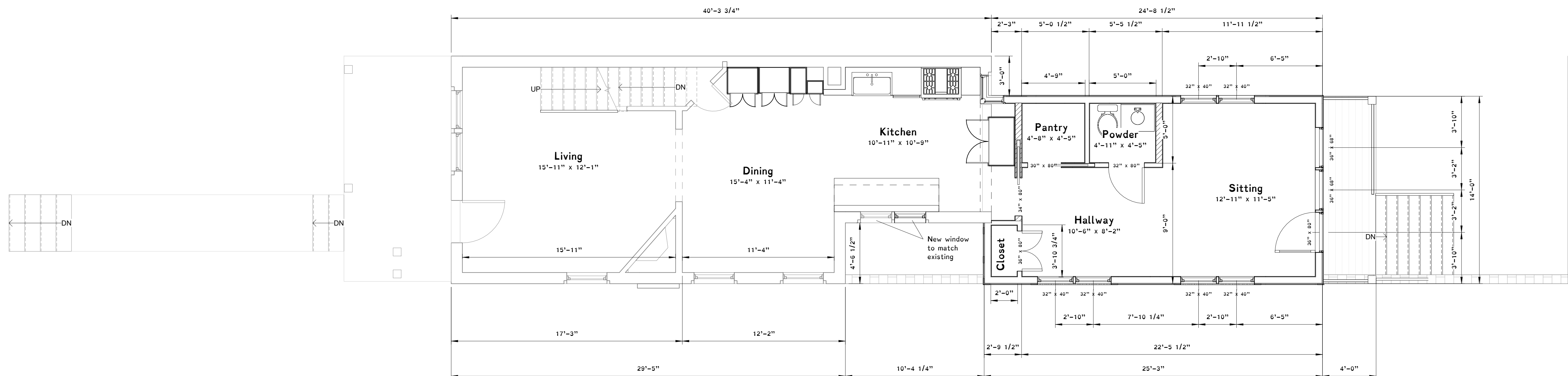
Drawing Title
First Floor Plan

Drawing No.

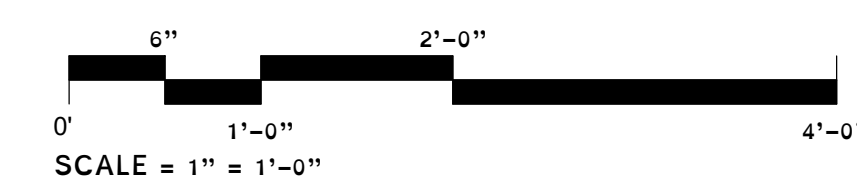
A1.2

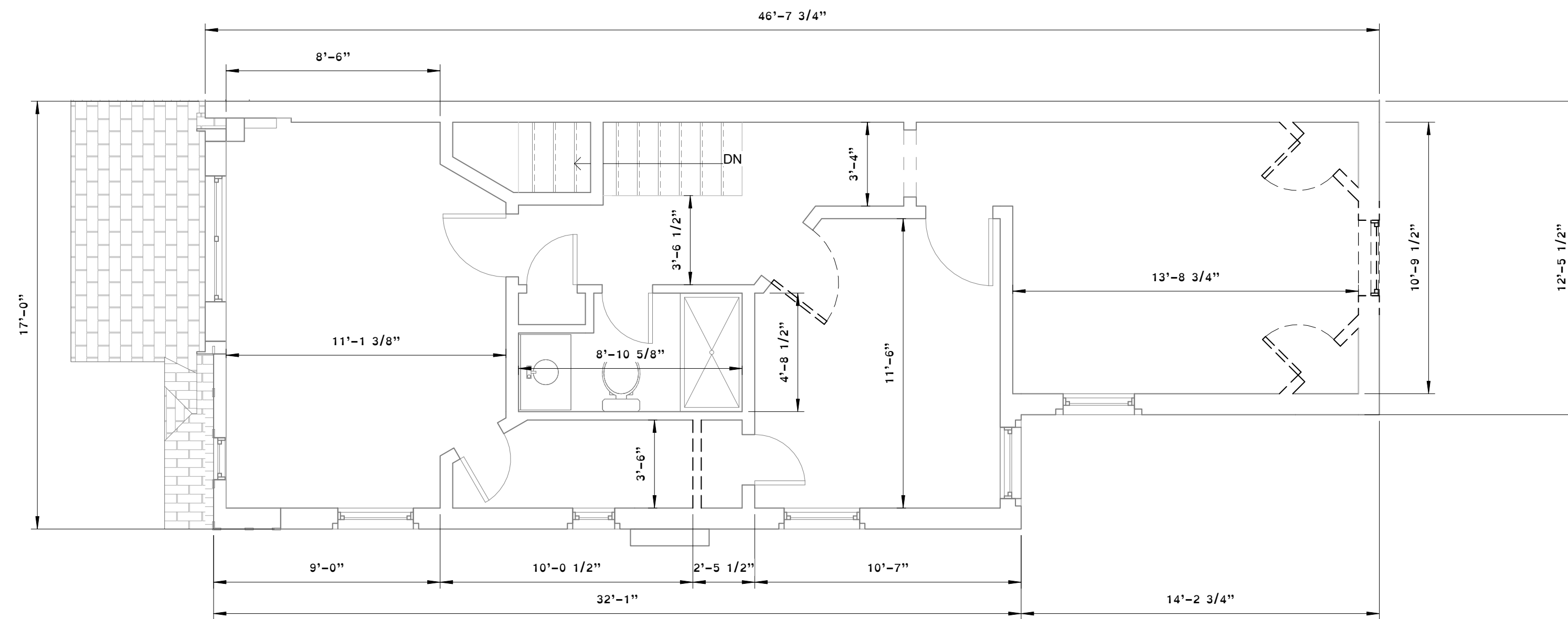


1 1st Floor - Existing
1/4" = 1'-0"

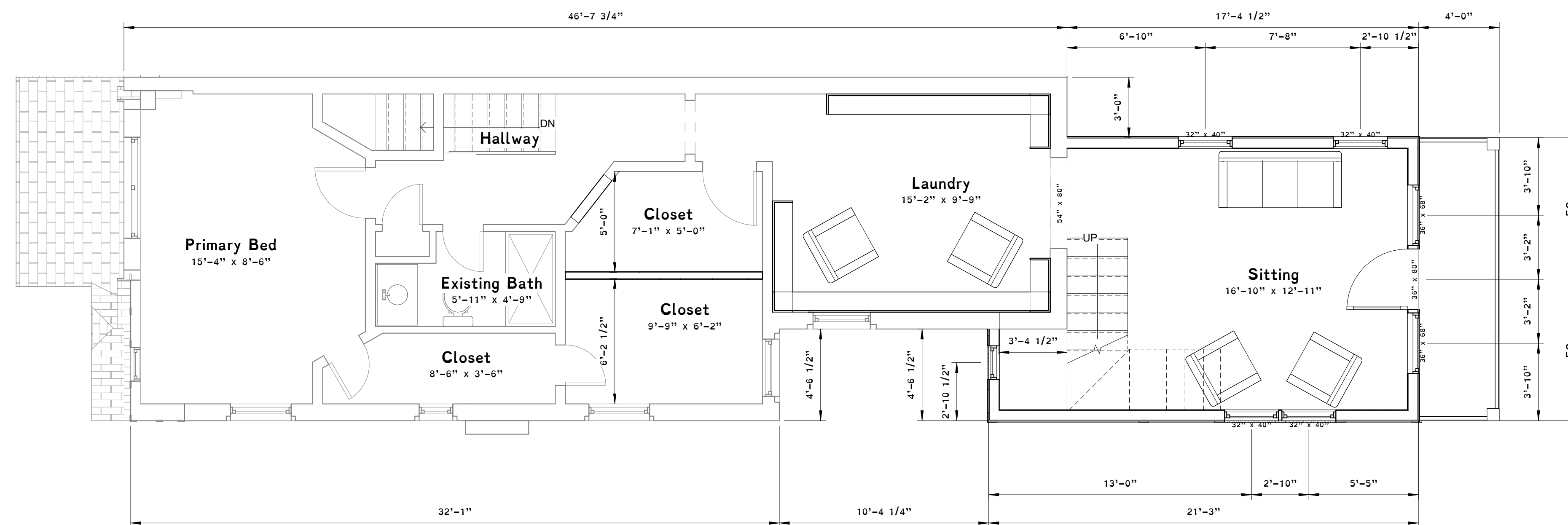


2 1st Floor - Proposed
1/4" = 1'-0"

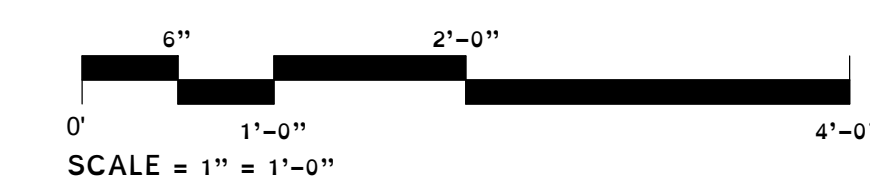




1 2nd Floor - Existing
1/4" = 1'-0"



2 2nd Floor - Proposed
1/4" = 1'-0"



MVA

Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:11 PM

Issued / Revised

No.	Date	Description

Project Title
Waite Residence

Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title
Second Floor Plan

Drawing No.

A1.3

Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:11 PM

Issued / Revised

No.	Date	Description

Project Title

Waite Residence

Date October 29, 2022

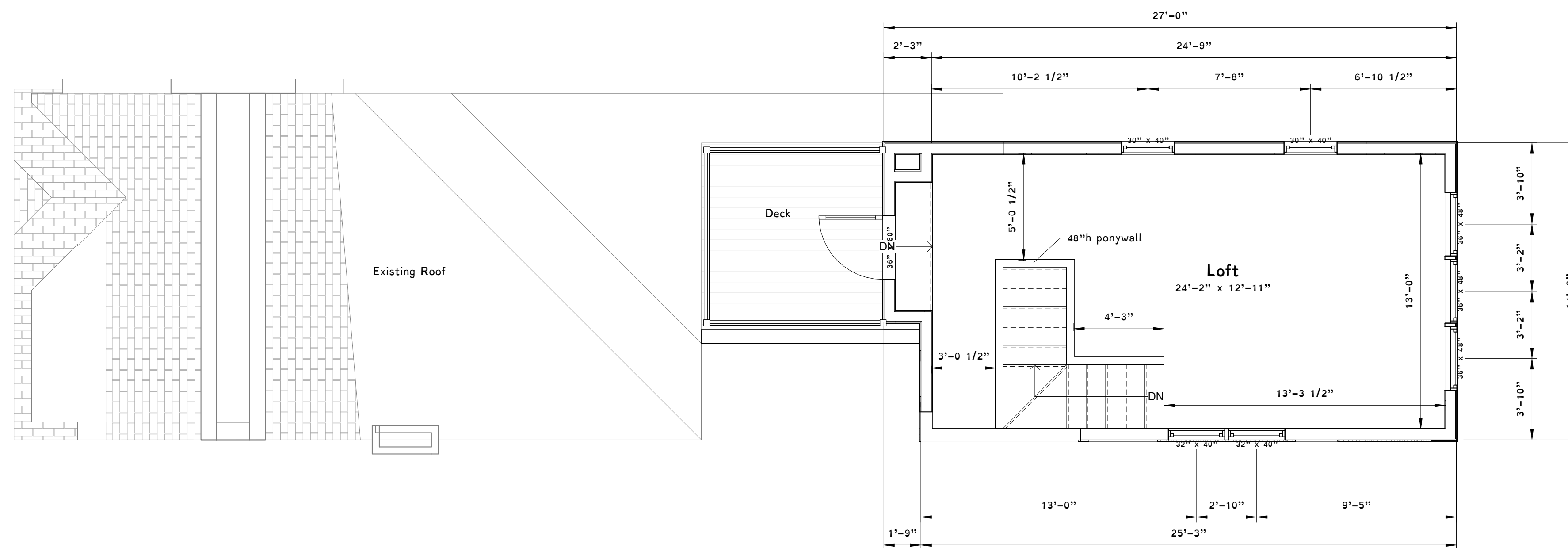
© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

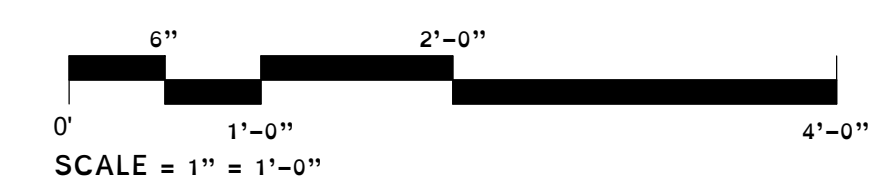
Proposed Loft Floor Plan

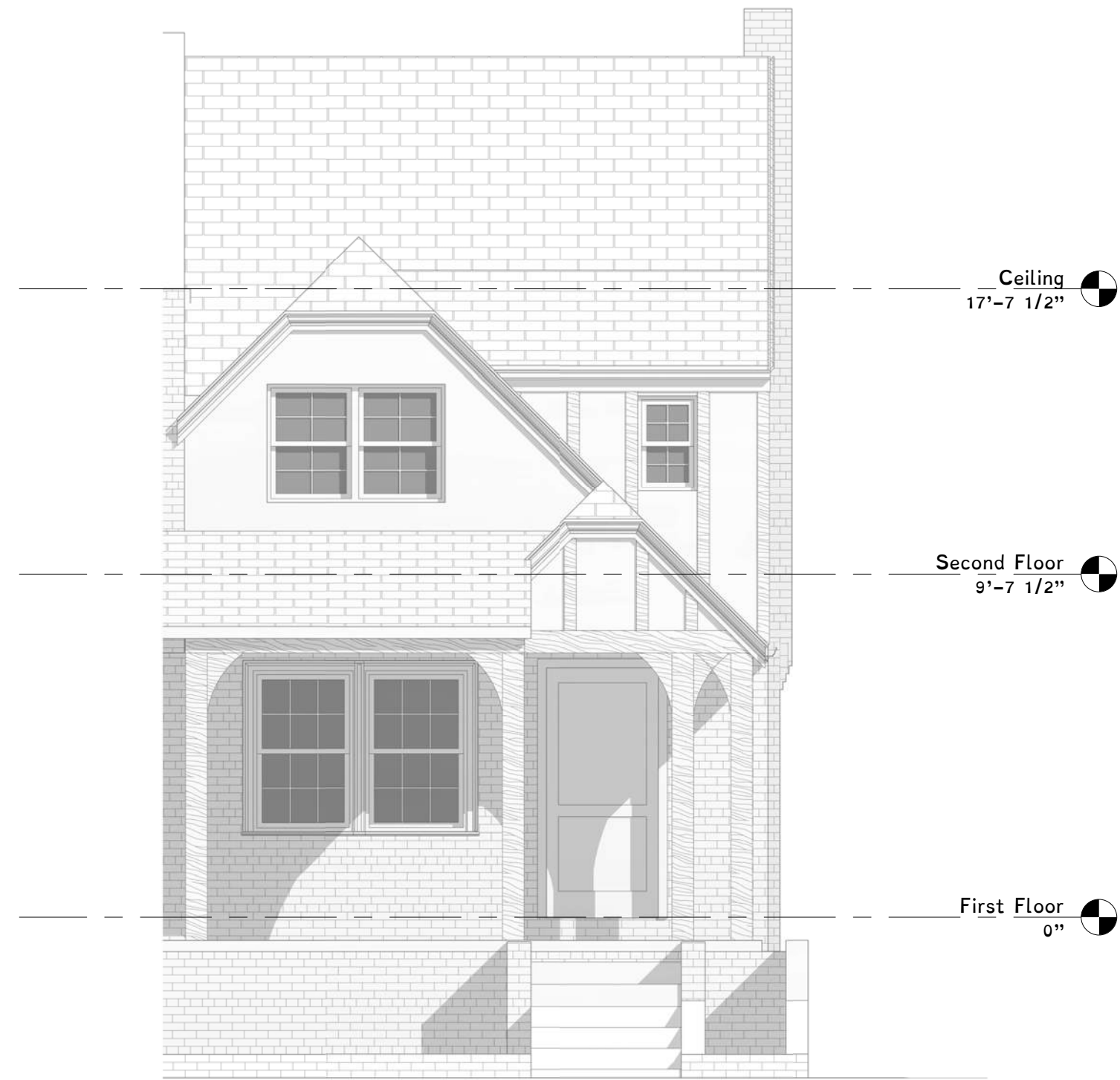
Drawing No.

A1.4

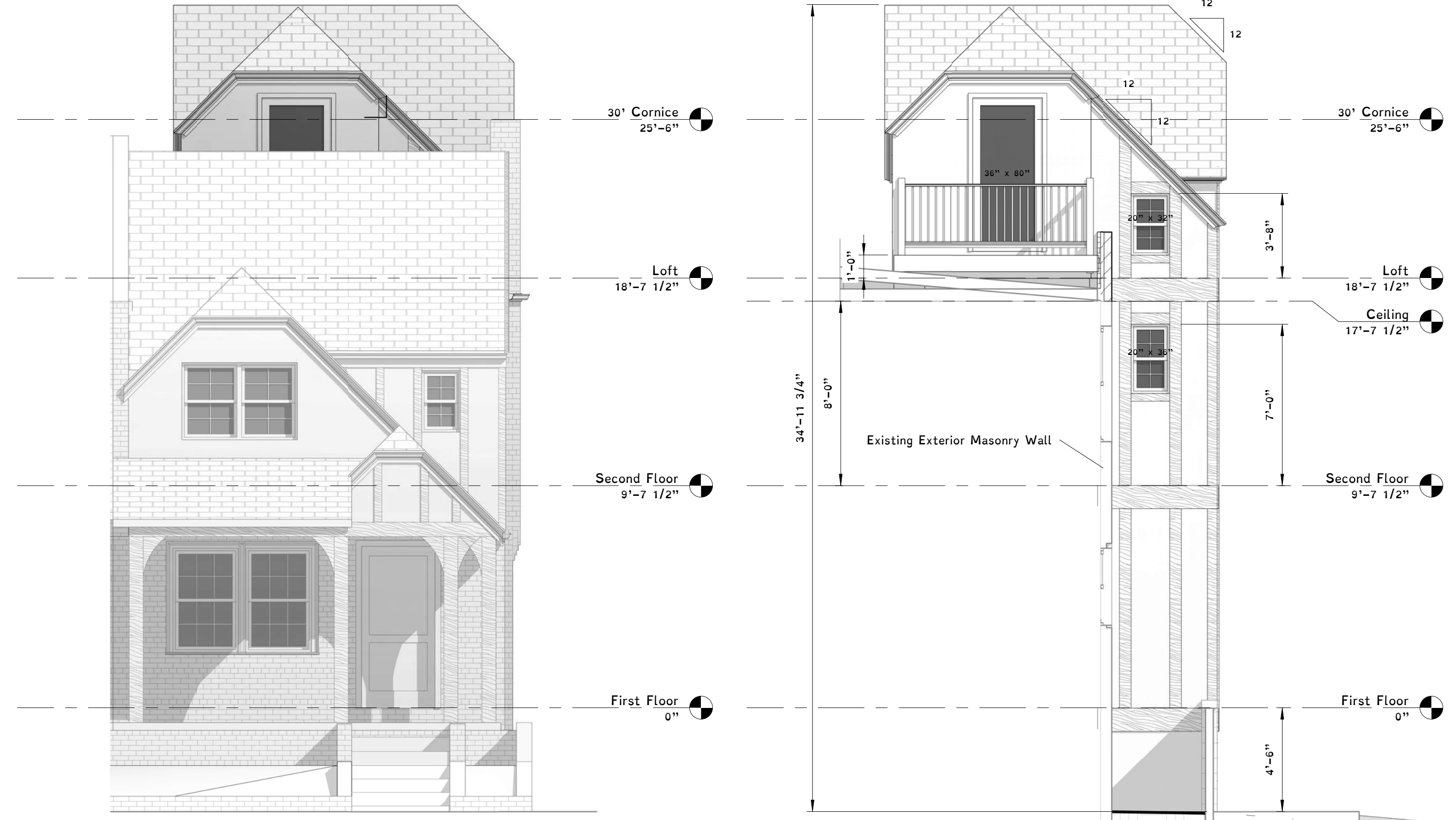


1 Loft
1/4" = 1'-0"

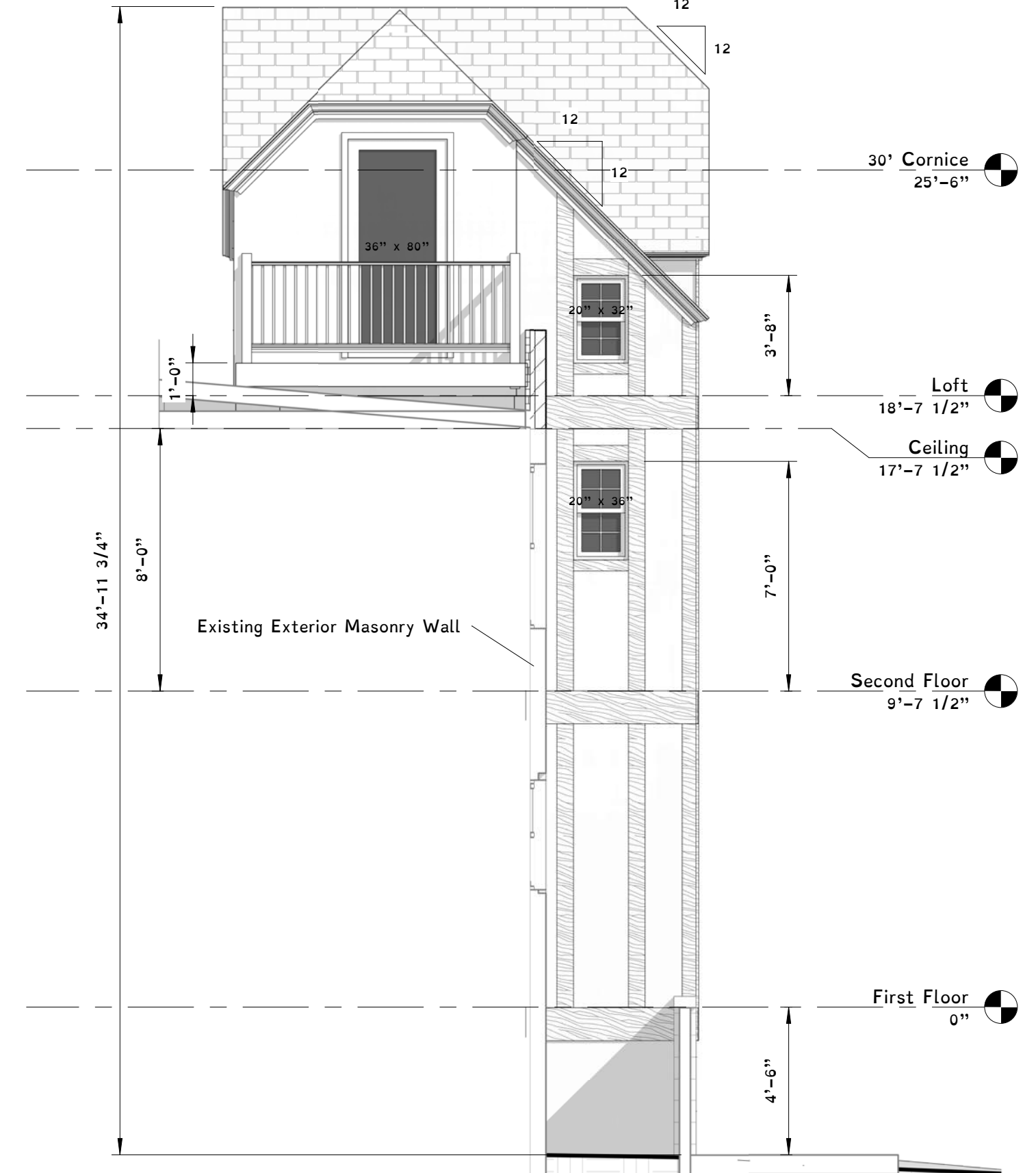




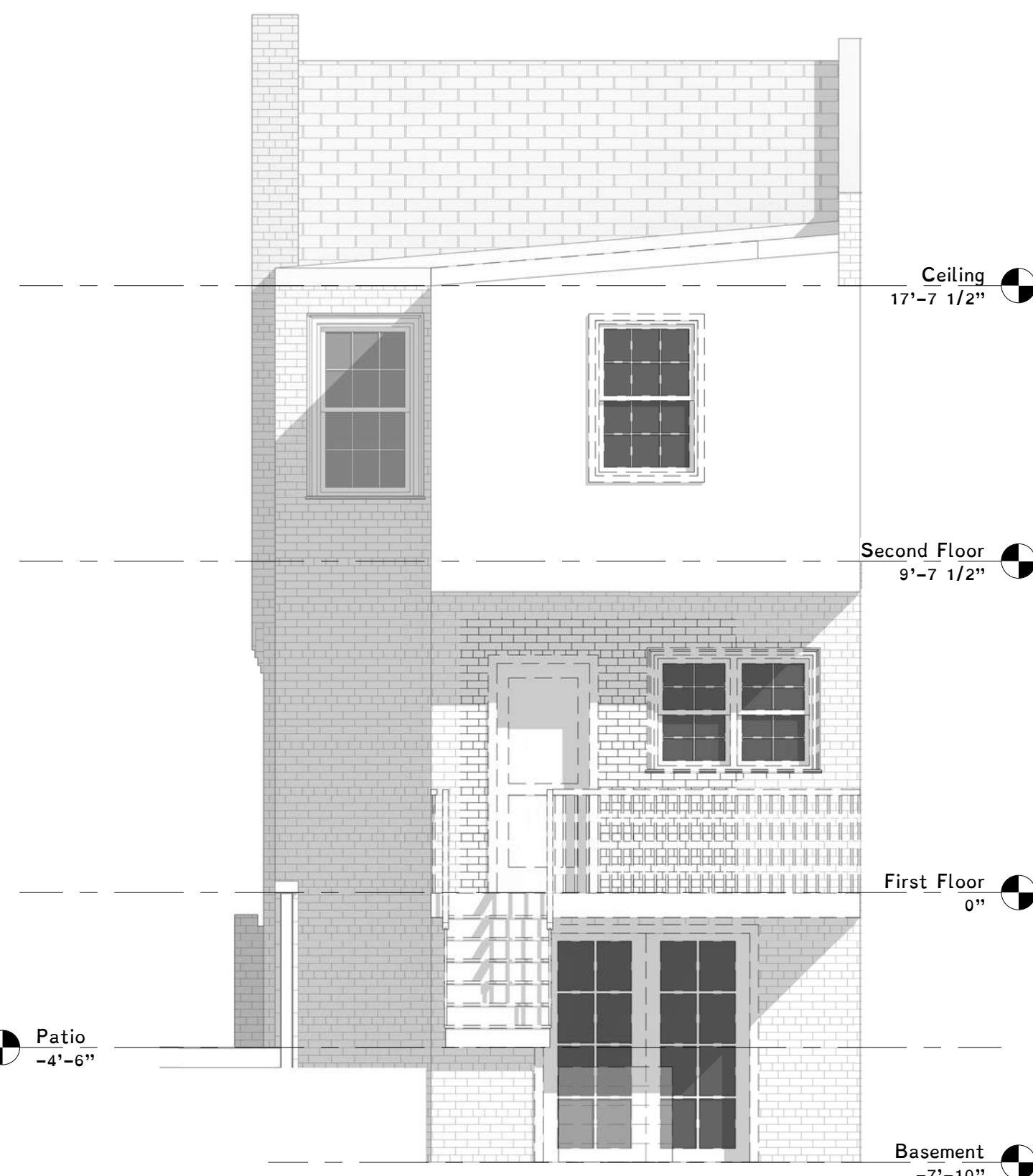
1 Existing South
1/4" = 1'-0"



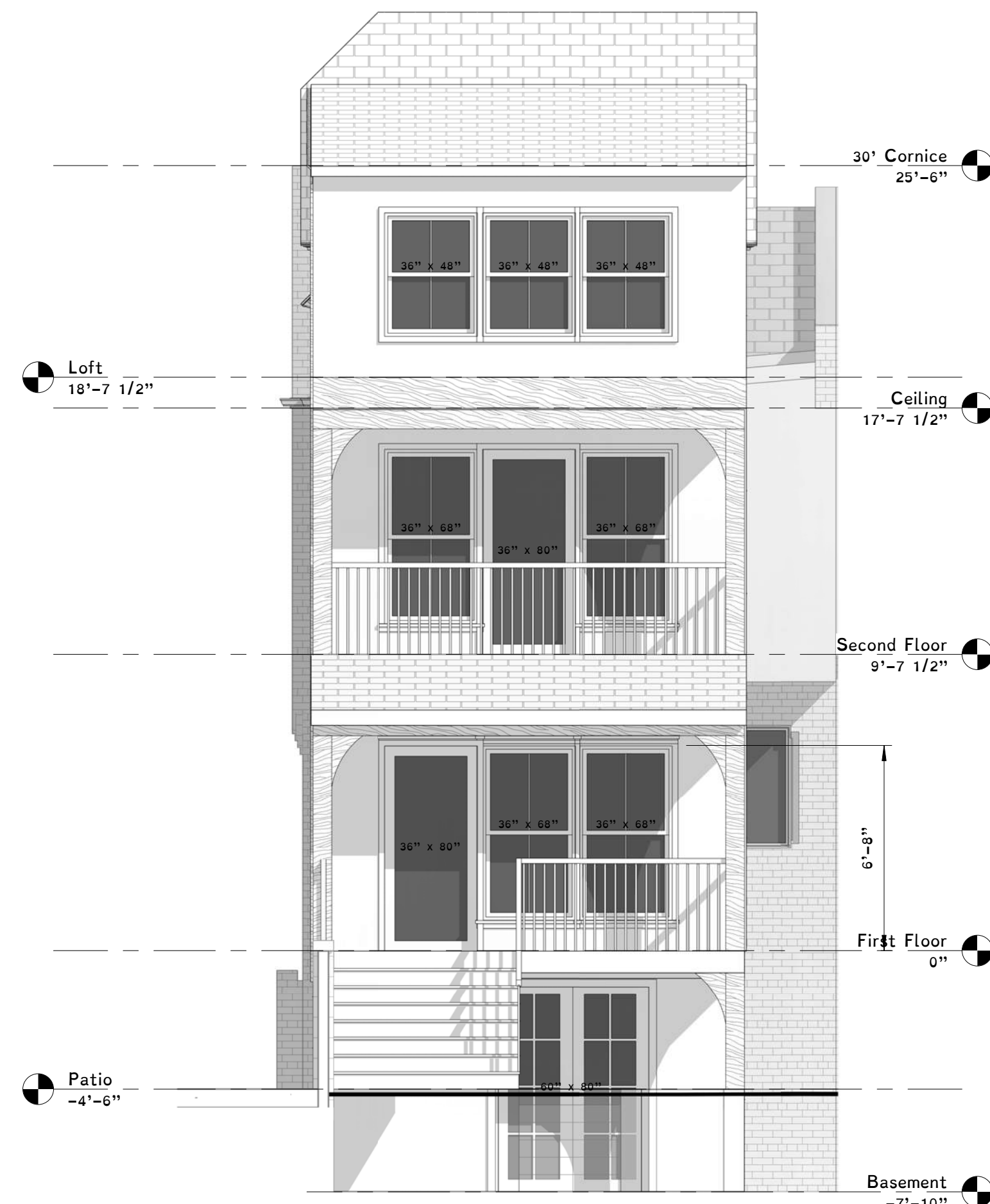
2 Proposed South
1/4" = 1'-0"



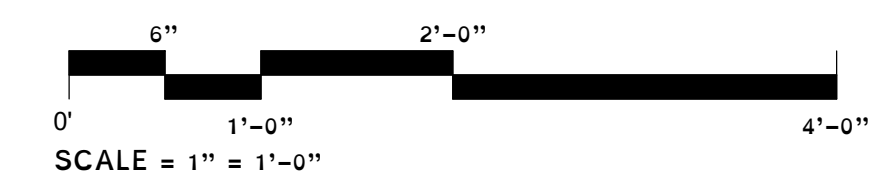
5 Proposed North - Loft Deck
1/4" = 1'-0"



3 Existing North
1/4" = 1'-0"



4 Proposed North
1/4" = 1'-0"



MVA

Architect
MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Arch D

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:30 PM

Issued / Revised

No.	Date	Description

Project Title
Waite Residence

Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title
Front & Rear Elevations

Drawing No.

A2.1

Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:13:54 PM

Issued / Revised

No.	Date	Description

Project Title

Waite Residence

Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

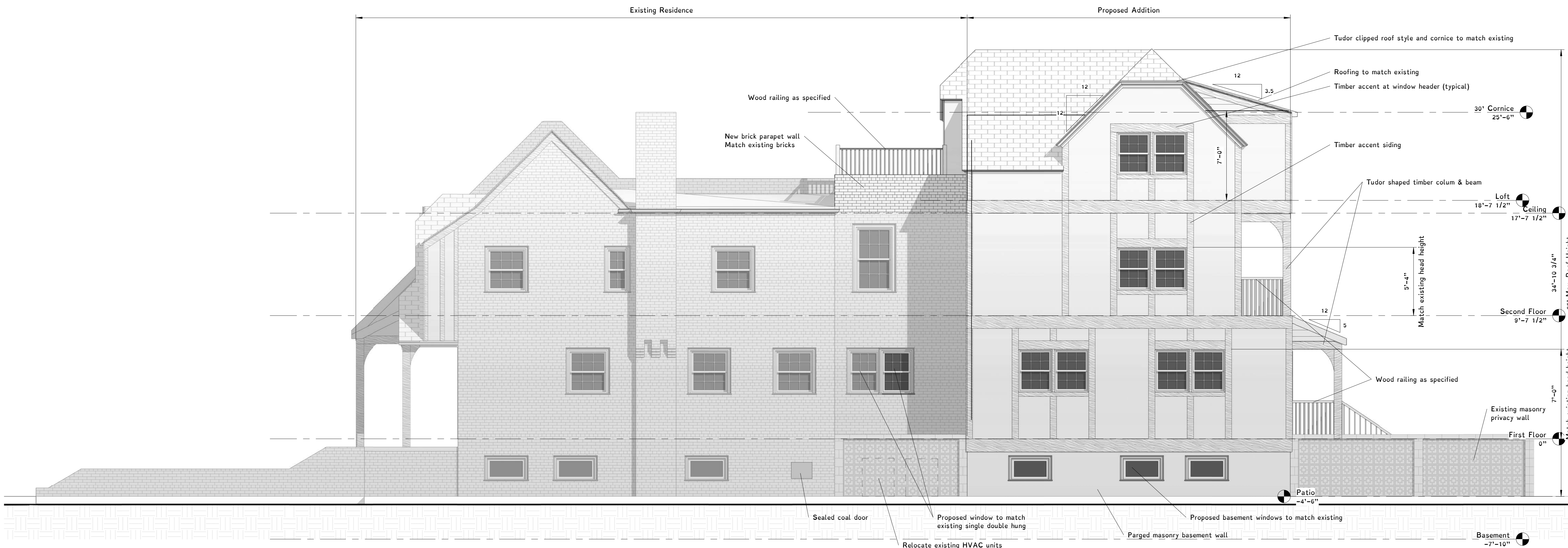
Side Elevations

Drawing No.

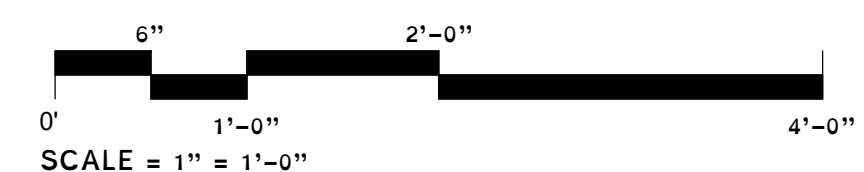
A2.2



1 Existing East
1/4" = 1'-0"



2 Proposed East
1/4" = 1'-0"



Architect

MVA
131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804-647-1589
www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue
City of Richmond, VA

Architect / Engineers Seal

Draft
10/29/2022
1:14:16 PM

Issued / Revised

No.	Date	Description

Project Title

Waite Residence

Date October 29, 2022

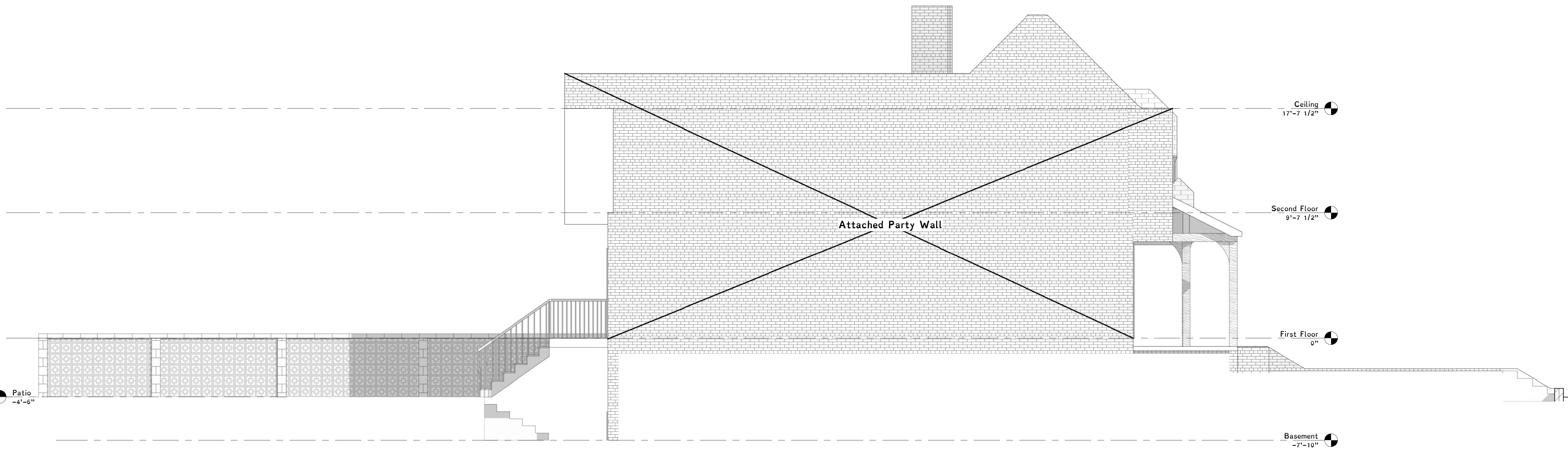
© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

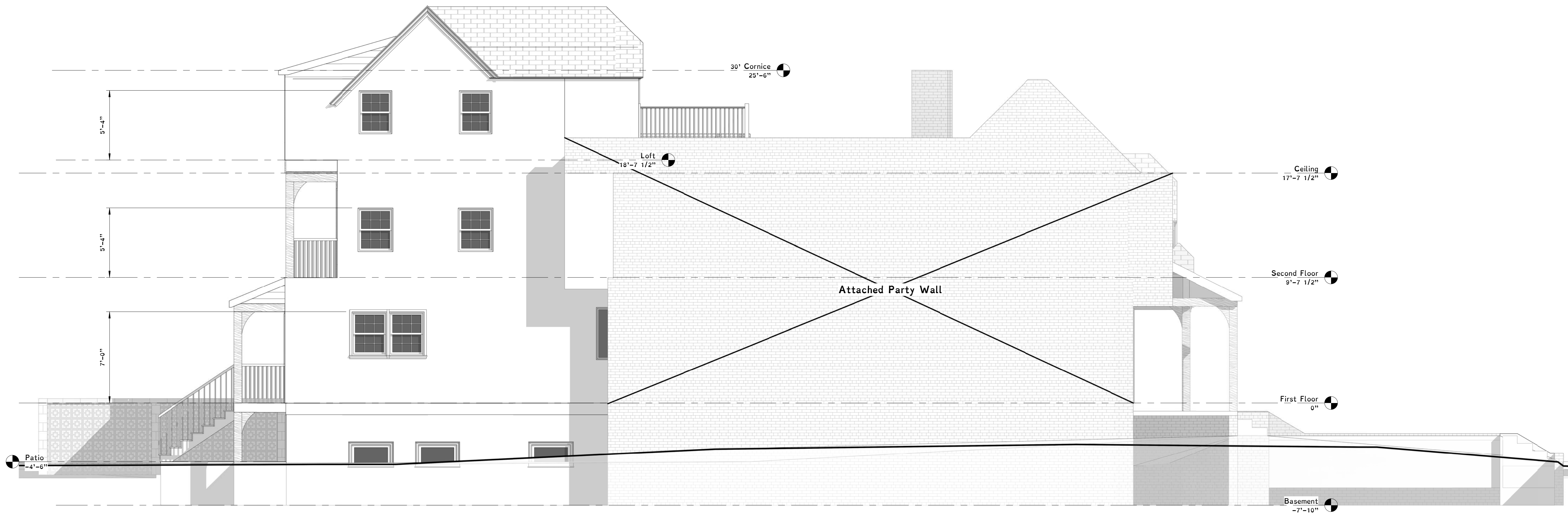
Side Elevations

Drawing No.

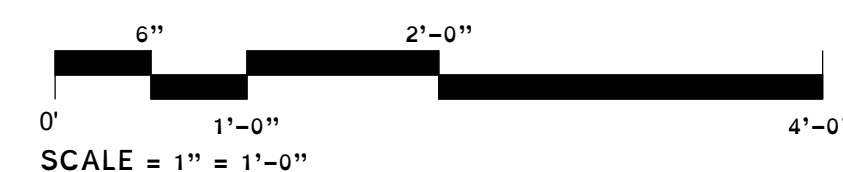
A2.3



1 Existing West
1/4" = 1'-0"



2 Proposed West
1/4" = 1'-0"





MVA

Architect
MVA
 131 HANOVER AVE
 ASHLAND, VA 23005
 804-387-8780
 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc.
 417 North 22nd Street
 Richmond, VA 23223
 804-647-1589
 www.obsidian.pro

Drawn By: Arch D

3500 Hanover Avenue
 City of Richmond, VA

Architect / Engineers Seal

Draft
 10/29/2022
 1:14:17 PM

Issued / Revised
 No. Date Description

No.	Date	Description

Project Title
**Waite
 Residence**

Date October 29, 2022

© 2015 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title
**Exterior Perspective
 Renderings**

Drawing No.

A9.1