

Application for SPECIAL USE PERMIT

Department of Planning and Louis lostment Roview
Land Use Administration Division
300 E. Brond Street Room 51
Roberton J. Virginia 232/9
(904) 646-6304
http://www.jshr.phdbox.com/

Application is hereby submitted for: (check one) special use permit, new special use permit, plan amendment special use permit, text only amendment	
Project Name/Location Property Address: 3500 Hanover Ave Richmond, VA Date Tax Map #: Nooo 1608007 ee: 300.00 Total area of affected site in acres: .048	11/17/22
(See page 6 for fee schedule please make check payable to the "City of Richmond")	
Zoning Current Zoning: R-48 Existing Use: Residential	
Proposed Use (Please include a detailed description of the proposed use in the required applicant's report) Residental -, Single Family Existing Use: Residental - Single Family	
Is this property subject to any previous land use cases? Yes No If Yes, please list the Ordinance Number	
Telephone: (804) 387-8780, Fax: (804) Email Melisga @ mvaugtanarchitect.com	23005
Property Owner: Angharad Waite If Business Entity, name and title of authorized signee	
(The person or persons executing or attesting the execution of this Application on behalf of the Company co- she has or have been duly authorized and empowered to so execute or attest.)	thes that he or
Mailing Address: 3500 Hanaver are City Pichmond State: A Zip Code. Telephone: (202) 744-1573 Fax () Ernail angharad, waite @ gmail.cam Property Owner Signature: The names, addresses, telephone numbers and signatures of all owners of the property are recuired. Please a sheets as needed, if a legal representative signs for a property owner, please attach an executed power of attach.	> ti ice additional
photocopied signatures will not be accepted.	

NOTE: Please attach the required plans, checklist, and a check for the application fee usee Filing Procedures for the dual use permits.



21 November 2022

Department of Planning and Development Review Land Use Administration Division 900 E. Broad Street, Room 511 Richmond, Virginia 23219

re: 3500 Hanover Avenue – Special Use Permit Plan Amendment

I. INTRODUCTION

Angharad Waite ("Applicant"), owner of 3500 Hanover Ave (the "Property") is applying for a special use permit plan amendment to provide an addition to the existing house on the basement level, first and second floor level with a loft area from the second floor to expand the current living space so that her parents to age in place with her.

The property is located on the Northeast side of Hanover Avenue, on the corner of Nansemond Street and Hanover Avenue. The property is zoned as R-48 Single Family Residential and the proposed improvements are permitted according to zoning restrictions including, lot coverage limits, height limits and setback requirements with residence having two fronts (corner lot).

II. PROPOSED DEVELOPMENT

The addition to the rear of the property will include extending the existing basement and adding a two-story addition with a loft open to the second floor. The egress from the basement to the back yard will be maintained. The secondary entrance to the residence from Nansemond Street will be moved to the rear of the property. The addition will mirror the zero-lot line of the front portion of the house. A 3'-0" setback will be introduced at the property line of the adjacent property to comply with existing zoning setbacks. The rear yard will be maintained per the 15'-0" setback requirement. The addition provides additional space for the owner to have her family age in place while also complementing the existing residence's architectural style.

III. FACTORS IN SECTION 17.11 OF THE CHARTER AND SECTION 32.1-1050.1 OF THE ZONING ORDINANCE

A. Effect on Safety, Health, Morals and General Welfare of the Community.

The proposed changes will have a positive effect on the neighborhood by adding to the character of the street. Bringing the addition façade to the street and adding the decorative English Tutor detailing to the side and back of the house will create an appealing view as one moves Southwest on Nansemond Street. The cornice height and building height adhere to the West of Boulevard guidelines and, in this sense, it will have a positive effect on the neighborhood and property values.

B. Effect on the Streets, Roads, Alleys and Public Ways and Places.

Access to the existing residence will not change. The existing primary façade on Hanover Ave will not change and the second-floor loft addition will not be able to be seen from the existing front facade because it is set back on the lot. There will be access from the alley to the backyard.

C. Effects on the Hazards from Fire, Panic and Other Dangers.

The access for emergency vehicles will be unchanged, therefore there will be no adverse effects.

D. <u>Effect of Crowding of Land and Concentration of Population.</u>

The proposed improvements are within the max lot coverage area. The existing façade has a zero-lot line on Nansemond Street and the proposed addition also has a zero-lot line on Nansemond Street which will maintain the street façade feeling. An open porch on the first floor and balcony on the second floor provide open air access and architectural interest and relief on the back elevation.

E. <u>Effect on Schools, Parks, Playgrounds, Water Supplies, Sewage Disposal, Transportation and Other Public Improvements.</u>

The property is served by public water and sewer. The demands of the City services will not be affected as the property will remain for residential use.

F. Effect on Adequate Light and Air.

The proposed improvements will not adversely affect the light and air of the adjoining parcels as required side and rear yards will be maintained allowing ample light and air to the adjacent residents.

IV. WEST OF BOULEVARD DESIGN GUIDELINES

A. The proposed addition follows the cornice height of the adjacent building, same floor elevation of the adjacent building and has sloping roof forms. The proposed addition matches the window heights of the existing and adjacent building. The small loft of the addition meets the character of the English Tudor and does not extend beyond the 35'-0" max height. Standard size brick to match the existing English bond pattern, standard size cementitious horizontal siding and cementitious paneling with English Tudor detailing will be specified and are indicated on the drawings.

V. CONCLUSION

Permitting the proposed addition adds to the character of the neighborhood as the addition extends the English Tudor style of the existing house around the corner to Nansemond Street. English Tudor column details, wood detailing, porches and roofing forms are compatible with the existing architecture of the historic house. The interior setback and rear yard setbacks are maintained and the setback on Nansemond street matches the existing setback of the front portion of the house.

Sincerely,



Melissa Vaughan, AIA President, Melissa Vaughan Architecture PC

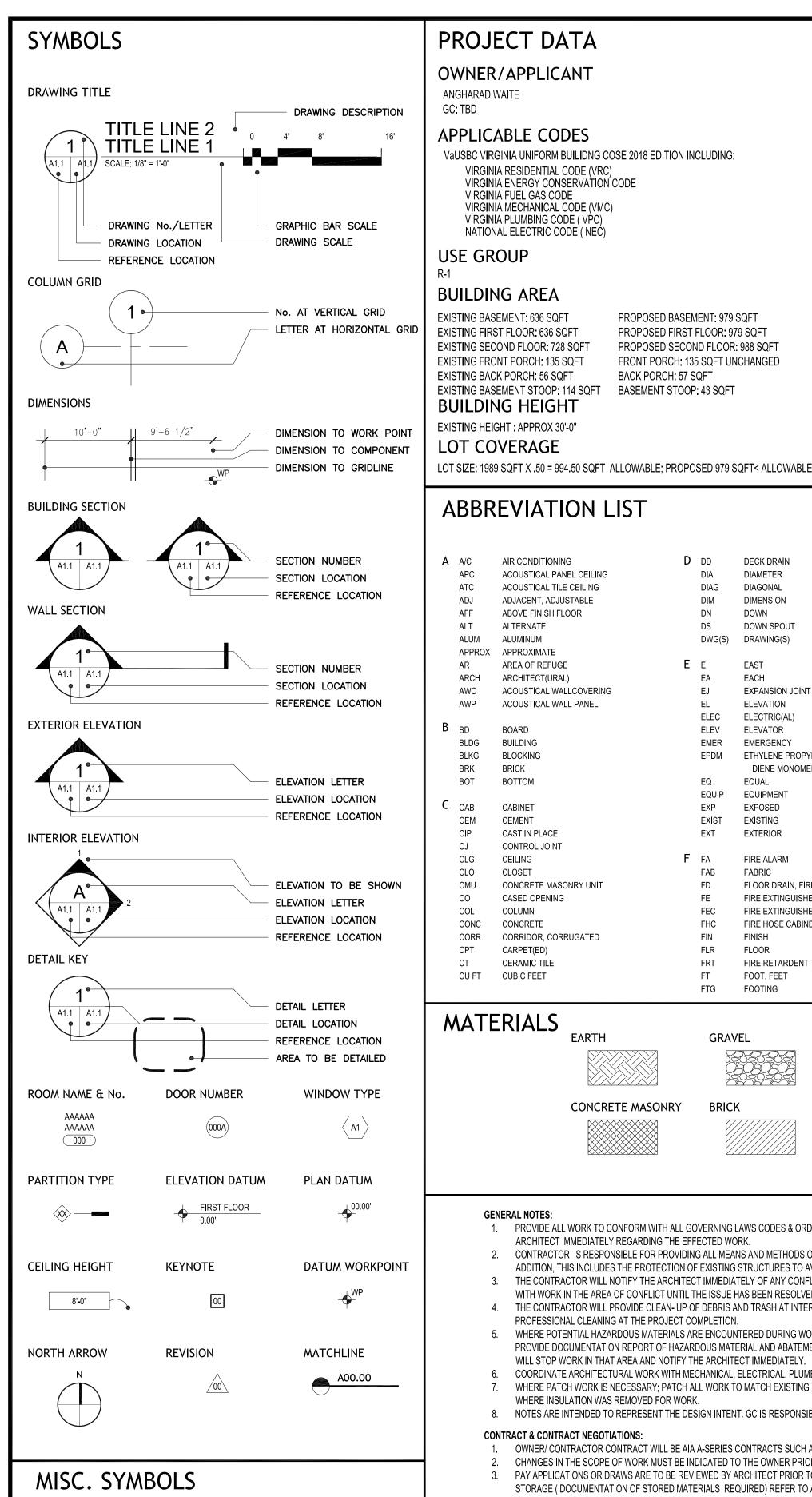
Escrow File No.: 14296341

EXHIBIT "A"

ALL that certain lot of land with all improvements thereon known as No. 3500 Hanover Avenue, lying and being and situated in the City of Richmond, Virginia, on the northern line of Hanover Avenue, and more particularly described as follows:

BEGINNING at a point marking the intersection of the northern line of Hanover Avenue with the western line of Nansemond Street, thence extending westwardly along the northern line of Hanover Avenue and fronting thereon 71.66 feet; thence extending back northwardly from said front, between converging lines, the western line of passing through center of a party wall between the dwelling hereby conveyed and to dwelling adjoining it immediately on west no. 3502, and the eastern line being the western line of Nansemond Street, 117.37 feet to an alley in the rear 15 feet wide on which said lot abuts 16.43 feet, according to plat of survey made by William M. Lewis, Certified Land Surveyor, dated October 15, 1942.

TAX ID: W0001608007



CENTERLINE

PROPERTYLINE

ANGLE

PERPENDICULAR

Ø DIAMETER

PROJECT DATA OWNER/APPLICANT **DESIGN LOAD CRITERIA** ANGHARAD WAITE GC: TBD LIVE LOADS- UNIFORM SLAB ON GRADE 100 PSF **APPLICABLE CODES** DWELLING 40 PSF WIND LOADS: VaUSBC VIRGINIA UNIFORM BUILIDNG COSE 2018 EDITION INCLUDING: BASIC SPEED: 90 MPH VIRGINIA RESIDENTIAL CODE (VRC) **EXPOSURE CATEGORY:** VIRGINIA ENERGY CONSERVATION CODE VIRGINIA FUEL GAS CODE SEISMIC LOADS: VIRGINIA MECHANICAL CODE (VMC) SEISMIC DESIGN CATEGORY: VIRGINIA PLUMBING CODE (VPC) SNOW LOADS: NATIONAL ELECTRIC CODE (NEC) GROUND SNOW LOAD: 20 PSF **USE GROUP BUILDING AREA EXISTING BASEMENT: 636 SQFT** PROPOSED BASEMENT: 979 SQFT EXISTING FIRST FLOOR: 636 SQFT PROPOSED FIRST FLOOR: 979 SQFT **EXISTING SECOND FLOOR: 728 SQFT** PROPOSED SECOND FLOOR: 988 SQFT

FRONT PORCH: 135 SQFT UNCHANGED

PROJECT TITLE

WAITE RESIDENCE

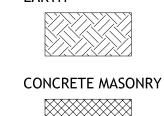
3500 HANOVER AVE RICHMOND, VA 23221

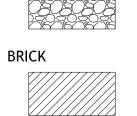


ABBREVIATION LIST

APC	RRAZZO CK(NESS) P OF MASONRY P OF STEEL P OF WALL EVISION
ATC ACQUISTICAL TILE CELLING DIAG DIAGO DIAGONAL GC GENERAL CONTRACTOR MAX MAXIMUM PVC POLYVINYL CHLORIDE TEL TELPHE	EPHONE RRAZZO CK(NESS) P OF MASONRY P OF STEEL P OF WALL EVISION
ADJ ADJACENT, ADJUSTABLE DIM DIMENSION GYP GYPSUM MECH MECHANICAL TERRAZZ A FF ABOVE FINISH FLOOR DIVIDIO DOWN GWB GYPSUM WALL BOARD MED MEDIUM R RAD RADIUS THK THOKNE ALLT ALTERNATE DS DOWN SPOUT FWE ALLT A	RRAZZO CK(NESS) P OF MASONRY P OF STEEL P OF WALL EVISION
AFF ABOVE FINISH FLOOR DN DOWN GWIS GYBS GYPSUM WALL BOARD MED MEDIUM R R RAD RADIUS THK THICK/NE ALT ALTERNATE DS DOWN SPOUT TO TOW TOP OF ALTERNATION SPOUT TO TOW TOW TOW TOW TOW TOW TOW TOW TOW	CK(NESS) P OF MASONRY P OF STEEL P OF WALL EVISION
ALT ALTERNATE DS DOWN SPOUT ALUM ALUMINUM DWG(S) DAWING(S) H H C HOLLOW CORE MIN MINIMUM RD ROCE FORAN TO STOP OF A APPROXIMATE ARCH AREA OF REFUGE E E E AST HDWD HARDWARE MIR MIRROR RE: REFER TO TOW TOP OF WIND ARCH ARCH ARCH ARCH ARCH ARCH ARCH ARCH	P OF MASONRY P OF STEEL P OF WALL EVISION
ALUM ALUMNUM ALUMNUM ALUMNUM APPROXIMATE APPROX APPROXIMATE AR APREA FREFUGE (A F. E.	P OF STEEL P OF WALL EVISION
APPROX APPROXIMATE APPROXIMATE ARCH ARCH OF REFLUGE B E SAST HDWD HARDWOOD HARDWOOD HMW HARDWOOD HMW HARDWOOD HMW HARDWOOD HMW HOLLOW METAL HDWD HARDWOOD HMW HOLLOW METAL HDWD HARDWOOD HMW HOLLOW METAL HDWD HARDWOOD MISC MISCELLANEOUS REF REFRIGERA(NT), (TOR) REINF REINFORC(JE, (ED), (ING) REINF REINFORC(JE, (ED), (ING) TYP TYICAL MO MASONRY OPENING REOD RECUIRED HELEV ELEVATION HTW HEIGHT HTW HEIGHT HTW HEIGHT HTW HEATING/ HTW HARDWOOD HTW HORLOW METAL MIC MASONRY OPENING REOD RECUIRED REV REVISION REV REVISION WEVE REVISION TYP TYICAL METAL RES RESILANT U UNO UNLESS I REV REVISION WEVEN VERTIVE REPORTED WE VIRGATE TO NOM NOMINAL RES RESILANT U UNO UNLESS I WEVEN REPROPORTION, (TOR) WE VERTIVE REVISION WE VERTIVE REVISION WE VERTIVE REVISION WE VERT VERTICAL WE VERTIVE REVISION WE VERTIVE REVISI	OF WALL EVISION
REFIGEA(NT), (TOR) TV TELEVISI ARCH ARCHITECTIURAL) ARCH ARCHITECTIURAL) ARCH ACQUISTICAL WALLCOVERING AWC ACQUISTICAL WALLCOVERING AWC ACQUISTICAL WALLCOVERING AWC ACQUISTICAL WALLCOVERING AWC ACQUISTICAL WALLCOVERING BUB BOARD BUB BOARD BUB BOARD BUB BOARD BUB BORRO BUB BORRO BUB BORRO BUB BORRO BUB BULDING BUR BERGBROY BUR	EVISION
ARCH ARCHITECT(URAL) EA EACH HM HOLLOW METAL MLDG MOLDING REINF REINFORC(E), (RD), (NG) TYP TYPICAL AWC ACOUSTICAL WALLCOVERING EJ EXPANSION JOINT HOR HORIZONTAL MO MASONRY OPENING REQD REQUIRED AWP ACOUSTICAL WALL PANEL EL ELECTRICAL) HT HEIGHT MTL METAL RES RESILIANT U UNO UNLESS I BLOG BUILDING ELEC ELECTRICAL) HTG HEATING/ENTILATING/ N N NORTH REV REVISION BLOG BUILDING EMER EMERGENCY HAVE DEIEWATOR HVAC HEATING/VENTILATING/ N N NORTH ROUND REV REVISION BLOG BUILDING EMER EMERGENCY AIR CONDITIONING NIC NOT IN CONTRACT RM ROOM VERT VERTICAL NO.,# NUMBER BRICK BRICK DIENEMONOMER I DIENEMONOMER I DIENEMONOMER I DIENEMONOMER I NOLUDIE), (ED), (ING) NOT NORTH RT RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RT RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH REV RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT NORTH RUBBER TILE VIN VINYL CREST VERTICAL NO.,# NOT N	
AWC ACOUSTICAL WALL COVERING EJ EXPANSION JOINT HOR HORIZONTAL MO MASONRY OPENING REQD REQUIRED AWP ACOUSTICAL WALL PANEL ELE ELEVATION HT HEIGHT MIL METAL RES RESILIANT U UNO UNLESS I BLOC ELECTRIC(AL) HTG HEATING BLOC ELEVATOR HVAC HEATING/VENTILATING/ N N NORTH BLDG BUILDING EMER EMERGENCY AIR CONDITIONING NIC NOT IN CONTRACT RM ROOM BLOCKING EPDM ETHYLENE PROPYLENE BRK BRICK EDIEM MONOMER I ID INSIDE DIAMETER BOTTOM BOTTOM EQ EQUIL INSULAT(E), (ED), (ING) C CAB CABINET CABINET EXPOSED INT INTERIOR O O CC ON CENTER S S SOUTH W W WEST, W	
AWP ACOUSTICAL WALL PANEL EL ELEVATION HT HEIGHT MIL METAL RES RESILIANT UNION UNLESS IN SUITH HEIGHT MIL METAL RES RESILIANT UNION UNLESS IN SUITH HEIGHT METAL RES RESILIANT UNION UNLESS IN SUITH WIND UNLESS IN SUITH W	ICAL
B BD BOARD ELEV ELEVATOR HVAC HEATING/VENTILATING/ N N NORTH REV REVISION BLKG BLOCKING EPDM ETHYLENE PROPYLENE BRK BRICK BOT BOTTOM EQ EQUAL INCL INCLUD(E), (ED), (ING) INSUL INSULAT(E), (ED), (ING), (ION) C C BB CABINET BRV REVISION REV REVISION NOTH REV REVISION REV REVISION NOTH REV REVISION V VCT VINYL CC NOT IN CONTRACT REV REVISION REV REVISION REV REVISION V VCT VINYL CC NOT IN CONTRACT REV REVISION NOT IN CONTRACT REV REVISION V VCT VINYL CC NOT IN CONTRACT REV REVISION V VCT VINYL CC NOT IN CONTRACT REV REVISION REV REVISION V VCT VINYL CC NOT IN CONTRACT REV REVISION NOT IN CONTRACT REV REVISION NOT IN CONTRACT REV REVISION V VCT VINYL CC NOT IN CONTRACT REV REVISION REV REVISION NOT IN CONTRACT REV REVISION REV REVISION REV REVISION NOT IN CONTRACT REV REVISION REVER PUSH REV REVISION REVISION REVER PUSH REV REVISION REV REVISION REVER PUSH REV REVISION REVER PUSH REV REVIS	
B BD BOARD ELEV ELEVATOR HVAC HEATING/VENTILATING/ N N NORTH RL RAIN LEADER V VCT VINYL CO BLDG BUILDING EMER EMERGENCY AIR CONDITIONING NIC NOT IN CONTRACT RM ROOM VERT VERTICAL BLKG BLOCKING EPDM ETHYLENE PROPYLENE No.,# NUMBER RO ROUGH OPENING VIF VERIFY IN BRK BRICK DIENE MONOMER I ID INSIDE DIAMETER NOM NOMINAL RT RUBBER TILE VIN VINYL BOT BOTTOM EQ EQUAL INCL INCLUD(E), (ED), (ING) NTS NOT TO SCALE R RIDGE V VALLEY EQUIP EQUIPMENT INSULAT(E), (ED), (ING), (ION)	ESS NOTED OTHERWISE
BLDG BUILDING EMER EMERGENCY AIR CONDITIONING NIC NOT IN CONTRACT RM ROOM VERT VERTICAL BLKG BLOCKING EPDM ETHYLENE PROPYLENE No.,# NUMBER RO RO ROUGH OPENING VIF VERIFY IN VERTEY IN VER	
BLDG BUILDING EMER EMERGENCY AIR CONDITIONING NIC NOT IN CONTRACT RM ROOM VERT VERTICAL BLKG BLOCKING EPDM ETHYLENE PROPYLENE No.,# NUMBER RO ROUGH OPENING VIF VERIFY IN STATE OF THE NUMBER ROUGH OPENING VIF VERIFY IN STATE OF THE NUMBER ROUGH OPENING VIF VERIFY IN STATE OF THE NUMBER ROUGH OPENING VIF VERIFY IN STATE OF THE NUMBER ROUGH OPENING VIF VERIFY IN STATE OF THE NUMBER ROUGH OPENING VIF VERIFY IN STATE OF THE NUMBER ROUGH OPENING VIF VERIFY IN STATE OF THE NUMBER ROUGH OPENING VIF VERTICAL RO	YL COMPOSITION TILE
BRK BRICK DIENE MONOMER I ID INSIDE DIAMETER NOM NOMINAL RT RUBBER TILE VIN VINYL BOT BOTTOM EQ EQUAL INCL INCLUD(E), (ED), (ING) NTS NOT TO SCALE R RIDGE V VALLEY EQUIP EQUIPMENT INSUL INSULAT(E), (ED), (ING), (ION) C CAB CABINET EXP EXPOSED INT INTERIOR O OC ON CENTER S S SOUTH W WEST, W	TICAL
BOT BOTTOM EQ EQUAL INCL INCLUD(E), (ED), (ING) NTS NOT TO SCALE R RIDGE V VALLEY EQUIP EQUIPMENT INSUL INSULAT(E), (ED), (ING), (ION) C CAB CABINET EXP EXPOSED INT INTERIOR O OC ON CENTER S S SOUTH W WEST, W	RIFY IN FIELD
EQUIP EQUIPMENT INSUL INSULAT(E), (ED), (ING), (ION) C CAB CABINET EXP EXPOSED INT INTERIOR O OC ON CENTER S S SOUTH W WEST, W	/L
C CAB CABINET EXP EXPOSED INT INTERIOR O OC ON CENTER S S SOUTH W WEST, W	LEY
	ST, WIDE, WIDTH
CEM CEMENT OD OUTSIDE DIAMETER SCHED SCHEDUL(E), (ED) W/ WITH	Н
CIP CAST IN PLACE EXT EXTERIOR J JAN JANITOR OPNG OPENING SD STORM DRAIN W/O WITHOUT	HOUT
CJ CONTROL JOINT OPP OPPOSITE SHT SHEET WC WALLCO	LCOVERING, WATER-
CLG CEILING F FA FIRE ALARM CLOSE	LOSET
CLO CLOSET FAB FABRIC K KIT KITCHEN P PERF PERFORAT(E), (ED), (ION) SQ SQUARE WD WOOD	DD
CMU CONCRETE MASONRY UNIT FD FLOOR DRAIN, FIRE DAMPER KO KNOCK OUT PL PLATE SS STAINLESS STEEL, SOLID WT WEIGHT	GHT
CO CASED OPENING FE FIRE EXTINGUISHER PLANT PLASTIC LAMINATE SURFACE	
COL COLUMN FEC FIRE EXTINGUISHER CABINET L L LENGTH PLAS PLASTER STD STANDARD	
CONC CONCRETE FHC FIRE HOSE CABINET LAB LABORATORY PLYWO PLYWOOD STL STEEL	
CORR CORRIDOR, CORRUGATED FIN FINISH LAM LAMINAT(E), (ED), (ION) PNL PANEL STN STAIN(ED)	
CPT CARPET(ED) FLR FLOOR LAV LAVATORY AFF ABOVE FINISH FLOOR SUSP SUSPEND(ED)	
CT CERAMIC TILE FRT FIRE RETARDENT TREATED LINO LINOLEUM PNT PAINT(ED)	
CU FT CUBIC FEET FT FOOT, FEET LT LIGHT PSF POUNDS PER SQUARE FOOT	
FTG FOOTING PSI POUNDS PER SQUARE INCH	

MATERIALS

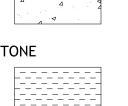




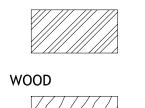
GRAVEL



CONCRETE



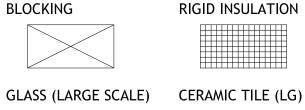




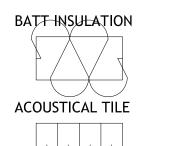
ALUMINUM











GENERAL NOTES:

- 1. PROVIDE ALL WORK TO CONFORM WITH ALL GOVERNING LAWS CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO THE VIRGINIA CONSTRUCTION CODE 2015. IF POTENTIAL CONFLICTS ARISE, THE CONTRACTOR WILL NOTIFY THE ARCHITECT IMMEDIATELY REGARDING THE EFFECTED WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS OF CONSTRUCTION. THIS INCLUDES ON SITE PROCEDURES AS THEY RELATE TO THE SAFETY OF THE CONSTRUCTION CREW AND THE GENERAL PUBLIC. IN ADDITION, THIS INCLUDES THE PROTECTION OF EXISTING STRUCTURES TO AVOID DAMAGE RELATING TO OR ARISING FROM WORK WITHIN THIS CONTRACT.

STEEL

- 3. THE CONTRACTOR WILL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION. THE CONTRACT WILL NOT PROCEED
- WITH WORK IN THE AREA OF CONFLICT UNTIL THE ISSUE HAS BEEN RESOLVED. 4. THE CONTRACTOR WILL PROVIDE CLEAN- UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION. THE CONTRACTOR WILL PROVIDE A
- PROFESSIONAL CLEANING AT THE PROJECT COMPLETION. WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR USING THE NECESSARY PRECAUTIONS DURING WORK AND/OR DISPOSAL.
- PROVIDE DOCUMENTATION REPORT OF HAZARDOUS MATERIAL AND ABATEMENT PROCEDURES GOVERNED BY THE STATE LAWS. IF UNFORESEEN MATERIALS ARE UNCOVERED DURING THE WORK WITHIN THIS CONTRACT, THE CONTRACTOR WILL STOP WORK IN THAT AREA AND NOTIFY THE ARCHITECT IMMEDIATELY.
- COORDINATE ARCHITECTURAL WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, & OTHER TRADES AND NOTIFY THE ARCHITECT IN THE EVENT OF DISCREPANCIES. WHERE PATCH WORK IS NECESSARY: PATCH ALL WORK TO MATCH EXISTING FINISHES; REROUTE ANY PIPING AS NECESSARY FOR WORK; REPLACE ALL OUTLETS AND SWITCHES TO COORDINATE WITH NEW WORK & REPLACE INSULATION
- WHERE INSULATION WAS REMOVED FOR WORK. 8. NOTES ARE INTENDED TO REPRESENT THE DESIGN INTENT. GC IS RESPONSIBLE FOR INSTALLATION OF MATERIALS AND BUILDING ASSEMBLIES PER NATIONAL INDUSTRY STANDARDS & BEST PRACTICES.

CONTRACT & CONTRACT NEGOTIATIONS:

- OWNER/ CONTRACTOR CONTRACT WILL BE AIA A-SERIES CONTRACTS SUCH AS A101-2017, A102-2017, A104-2017 OR A105-2017. CONTRACT TYPE TO BE DETERMINED AT THE ONSET OF BIDDING AND REVIEWED BY ARCHITECT
- CHANGES IN THE SCOPE OF WORK MUST BE INDICATED TO THE OWNER PRIOR TO INSTALLATION OF WORK-REFER TO AIA CONTRACT PAY APPLICATIONS OR DRAWS ARE TO BE REVIEWED BY ARCHITECT PRIOR TO PAYMENT. REVIEW WILL INCLUDE WORK INSTALLED, WORK INSTALL ACCORDING TO INTENT OF CONTRACT DOCUMENTS, MATERIALS ON SITE AND MATERIALS IN
- STORAGE (DOCUMENTATION OF STORED MATERIALS REQUIRED) REFER TO AIA CONTRACT FEE SCHEDULE IS AT THE DISCRETION OF THE OWNER AND WILL FOLLOW THE APPROXIMATE PERCENTAGES BASED ON GMP OR ESTIMATED GMP DEPENDING ON CONTRACT TYPE: 10% DEPOSIT; 15% AT FRAMING ROUGH IN FINAL; 20% AT
 - FINISHED EXTERIOR; 35% DIVIDED PER FINISHES INSTALLATION; 20% AT COMPLETION OF WORK.
- 5. CHANGE ORDERS FEES TO BE REVIEWED PRIOR TO INSTALL AND PAID AT TIME OF INSTALL OR PROVIDE A FEE SCHEDULE FOR EACH CHANGE ORDER.

DRAWING INDEX

T1.1 PROJECT INFORMATION

ARCHITECTURAL

SITE PLAN & ZONING DIAGRAM

STRUCTURAL

- FIRST FLOOR PLAN
- SECOND FLOOR PLAN
- PROPOSED LOFT FLOOR PLAN FRONT & REAR ELEVATIONS
- A2.2 SIDE ELEVATIONS A2.3 SIDE ELEVATIONS
- EXT PERSPECTIVE RENDERINGS

GENERAL NOTES:

- PROVIDE ALL WORK TO CONFORM WITH ALL GOVERNING LAWS CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO THE VIRGINIA CONSTRUCTION CODE 2018. IF POTENTIAL CONFLICTS ARISE, THE CONTRACTOR WILL NOTIFY THE ARCHITECT IMMEDIATELY REGARDING THE EFFECTED WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS OF CONSTRUCTION. THIS INCLUDES ON SITE PROCEDURES AS THEY RELATE TO THE SAFETY OF THE CONSTRUCTION CREW AND THE GENERAL PUBLIC. IN ADDITION, THIS INCLUDES THE PROTECTION OF EXISTING STRUCTURES TO AVOID DAMAGE RELATING TO OR ARISING FROM WORK WITHIN THIS CONTRACT.
- THE CONTRACTOR WILL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION. THE CONTRACT WILL NOT PROCEED WITH WORK IN THE AREA OF CONFLICT UNTIL THE ISSUE HAS BEEN RESOLVED.
- THE CONTRACTOR WILL PROVIDE CLEAN- UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION. THE CONTRACTOR WILL PROVIDE A PROFESSIONAL CLEANING AT THE PROJECT COMPLETION.
- WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR USING THE NECESSARY PRECAUTIONS DURING WORK AND/OR DISPOSAL. PROVIDE DOCUMENTATION REPORT OF HAZARDOUS MATERIAL AND ABATEMEN' PROCEDURES GOVERNED BY THE STATE LAWS. IF UNFORESEEN MATERIALS ARE UNCOVERED DURING THE WORK WITHIN THIS CONTRACT, THE CONTRACTOR WILL STOP WORK IN THAT AREA AND NOTIFY THE ARCHITECT IMMEDIATELY.
- COORDINATE ARCHITECTURAL WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, & OTHER TRADES AND NOTIFY THE ARCHITECT IN THE EVENT OF DISCREPANCIES. WHERE PATCH WORK IS NECESSARY: PATCH ALL WORK TO MATCH EXISTING
- FINISHES; REROUTE ANY PIPING AS NECESSARY FOR WORK; REPLACE ALL OUTLETS AND SWITCHES TO COORDINATE WITH NEW WORK & REPLACE INSULATION WHERE INSULATION WAS REMOVED FOR WORK.

GENERAL STRUCTURAL NOTES: PROVIDE STRUCTURE IN ACCORDANCE WITH THE PROVISIONS OF THE VIRGINIA

- CONSTRUCTION CODE 2018.
- 2. STRUCTURAL NOTES ARE ON THE ARCHITECTURAL DRAWINGS. 3. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL PERMANENT SUPPORTS AND LATERAL BRACING ARE IN PLACE.

CAST IN PLACE CONCRETE NOTES:

1. CONCRETE SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) 301, 305 AND 318. 2. CONCRETE SHALL BE NORMAL WEIGHT AND SHALL OBTAIN 28 DAY COMPRESSIVE

STRENGTHS AS FOLLOWS:SLAB ON GRADE 3,500 PSI CONCRETE NOT OTHERWISE NOTED: 3,000 PSI

3. REINFORCING MATERIALS SHALL BE AS FOLLOWS: REINFORCING BARS- ASTM A 615. GRADE 60, DEFORMED WELDED WIRE REINFORCEMENT- ASTM A 185, WELDED STEEL WIRE REINFORCEMENT; PROVIDE SHEET TYPE, ROLL TYPE IS NOT ACCEPTABLE. ALL REINFORCING BARS AND EMBEDDED ITEMS SUCH AS ANCHOR RODS AND WELD PLATES SHALL BE ACCURATELY PLACE AND ADEQUATELY TIED AND SUPPORTED BEFORE CONCRETE IS PLACED TO PREVENT DISPLACEMENT BEYOND PERMITTED TOLERANCES. 4. CONCRETE COVER TO REINFORCING BARS ALL CONFORM TO THE MINIMUM COVER RECOMMENDATIONS IN ACI 318, UNLESS THE DRAWINGS SHOW GREATER COVER REQUIREMENTS.

ROUGH CARPENTRY NOTES:

- 1. ROUGH CARPENTRY SHALL BE IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOC (AF&PA) " NATIONAL DESIGN SPECIFICATIONS FOR WOOD
- CONSTRUCTION. 2. UNLESS OTHERWISE NOTED, ALL NAILING SHALL CONFORM TO THE 'FASTENING SCHEDULE" OF THE VIRGINIA CONSTRUCTION CODE 2018. WOOD FRAMING MEMBERS SHALL COMPLY WITH PS 20 " AMERICAN SOFTWOOD LUMBER STANDARDS" AND THE FOLLOWING REQUIREMENT MOISTURE CONTENT -SEASONED WITH 19 PERCENT MAX MOISTURE CONTENT GRADE 2 OR BETTER UNO;
- SPECIES: SOUTHERN PINE GRADED UNDER SPIB RULES 3. CONSTRUCTION PANELS SHALL COMPLY WITH PS 1 " US PRODUCT STANDARDS FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" FOR PLYWOOD CONSTRUCTION PANELS AND THE FOLLOWING REQUIREMENTS:

EXT WALL SHEATHING: \(\frac{3}{8}\)" APA RATED SHEATHING, EXPOSURE 1 DURABILITY CLASSIFICATION FLOOR SHEATHING: $\frac{3}{4}$ " TONGUE AND GROOVE, APA RATED SHEATHING, EXPOSURE 1 DURABILITY CLASSIFICATION ROOF SHEATHING: $\frac{3}{4}$ " TONGUE AND GROOVE, APA RATED

TONGUE AND GROOVE EDGES AND USE PLY CLIPS AT MIDSPAN BETWEEN EACH SUPPORT 4. ALL WOOD FRAMING MEMBERS PERMANENTLY EXPOSED TO THE WEATHER AND ALL SILL PLATES AROUND THE PERIMETER SHALL BE PRESERVATIVE TREATED

SHEATHING, EXPOSURE 1 DURABILITY CLASSIFICATION. PROVIDE

- LUMBER IN ACCORDANCE WITH TGE SPECS 5. ALL CONNECTION HARDWARE IN CONTACT WITH PRESERVATIVE TREATED LUMBER
- SHALL BE HOT DIPPED GALVANIZED. 6. METAL FRAMING ANCHORS, HOLD DOWNS, HURRICANE TIES, HANGERS, ETC SHALL COMPLY WITH ASTM A 653 AND BE CAPABLE OF SUPPORTING THE REACTION SHOW.
- WHERE PRODUCTS OF A SPECIFIC MANUFACTURER ARE SHOWN, EQUAL PRODUCTS OF ANOTHER MANUFACTURER MAY BE USED. STEEL PLATE CONNECTORS SHALL COMPLY WITH ASTM A36 SPECS. BOLTS CONNECTING WOOD SHALL COMPLY WITH ASTM 307 COMMON STEEL BOLTS AND

SHALL BE $\frac{3}{4}$ " IN DIAMETER, UNO

MVA

Architect

MVA

131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineer

OBSIDIAN, INC

515 N 22ND STREE Richmond, VA 23223 804-647-1589

PROJECT ADDRESS 3500 HANOVER AVE

Architect / Engineers Seal

RICHMOND, VA 23221

Issued / Revised

Date Description 01 05/12/2022 SCHEMATIC REVIEW 02 10/30/2022 PRELIM REVIEW

Project Title

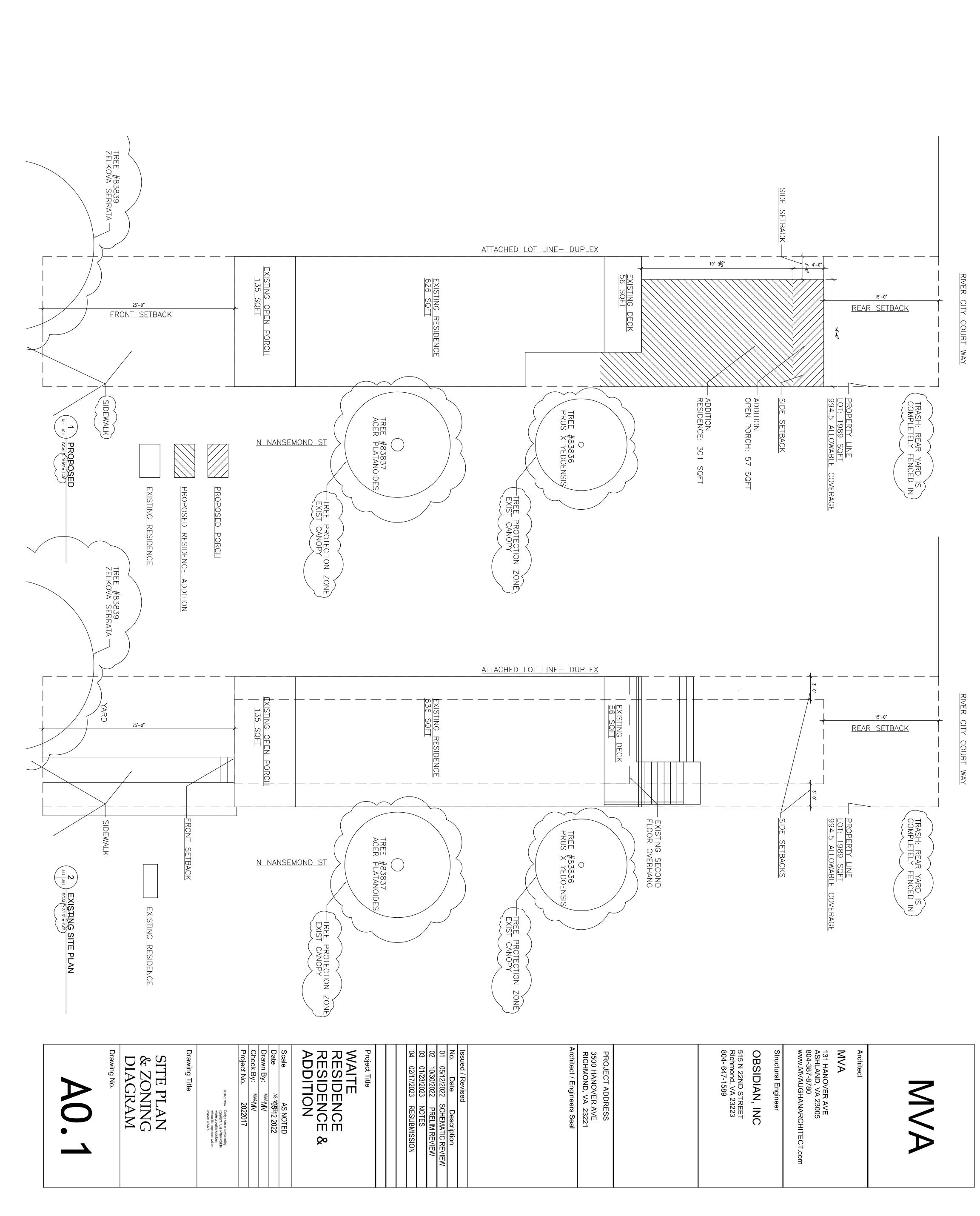
WAITE RESIDENCE RESIDENCE & **ADDITION**

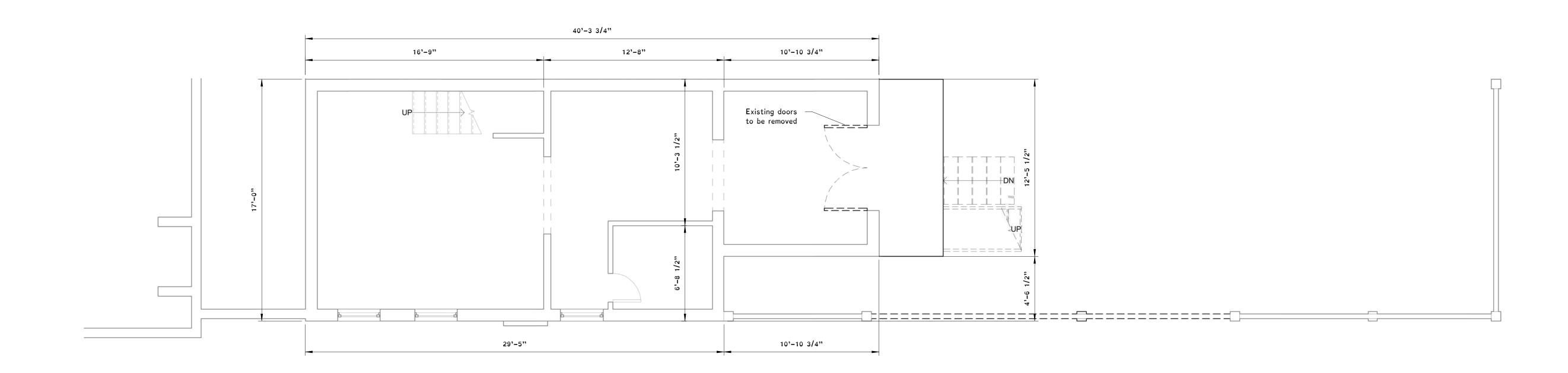
Scale	AS NOTED
Date	05 12 2022
Drawn By:	MV
Check By:	MV
Project No.	2022017

© 2022 MVA Design herein is covered by copyright. Use of this work in without the expressed written

Drawing Title

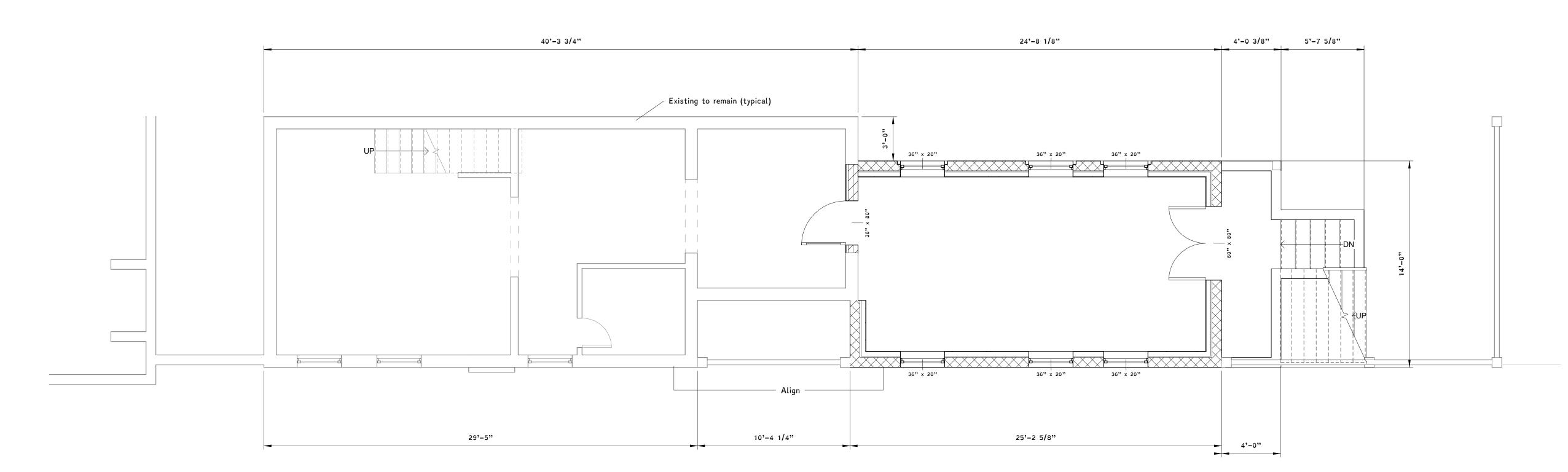
PROJECT INFORMATION





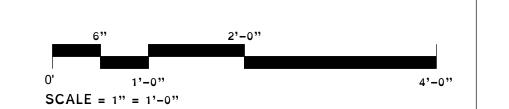
Basement - Existing

1/4" = 1'-0"



Basement - Proposed

1/4" = 1'-0"



MVA

Architect

MVA

131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised

No. Date Description

Project Title

Waite Residence

October 29, 2022

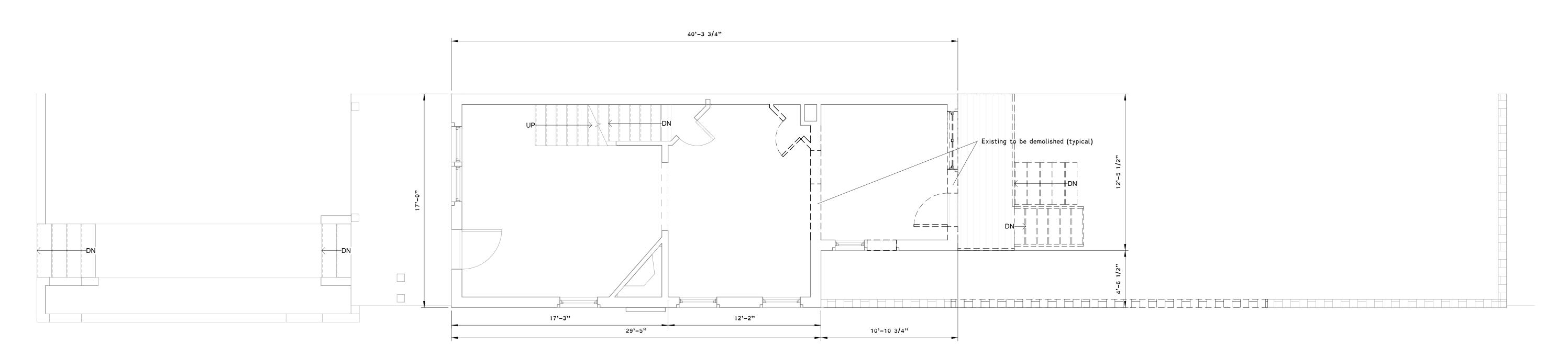
© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

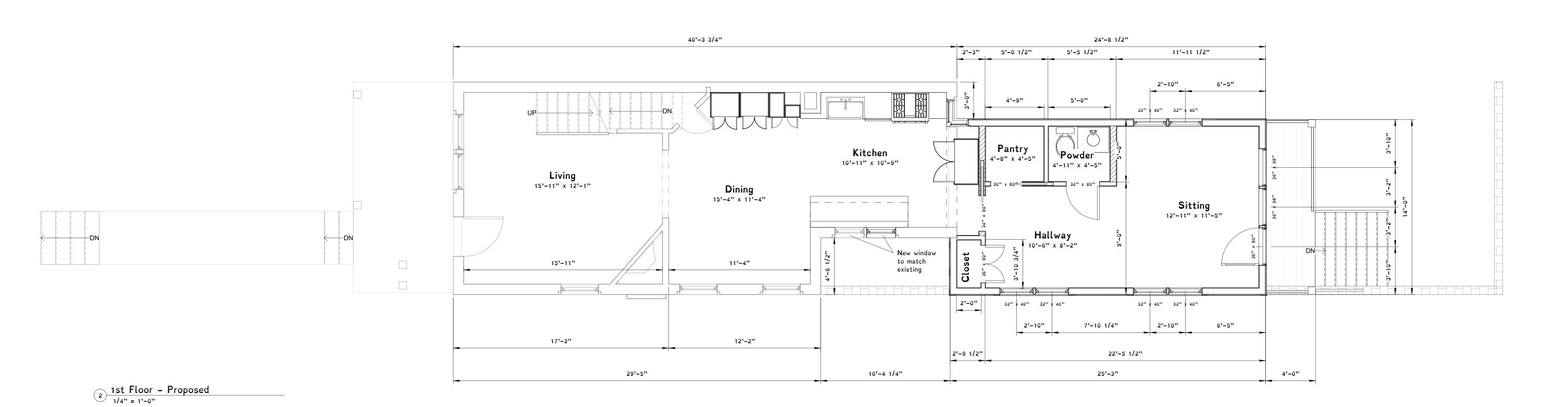
Basement Floor Plan

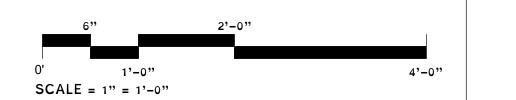
Drawing No.

A1.1



1st Floor - Existing
1/4" = 1'-0"







Architect

MVA 131 HANOVE

131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Keriann Steinruck

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised

No. Date Description

Project Title

Waite Residence

Oate October 29, 2022

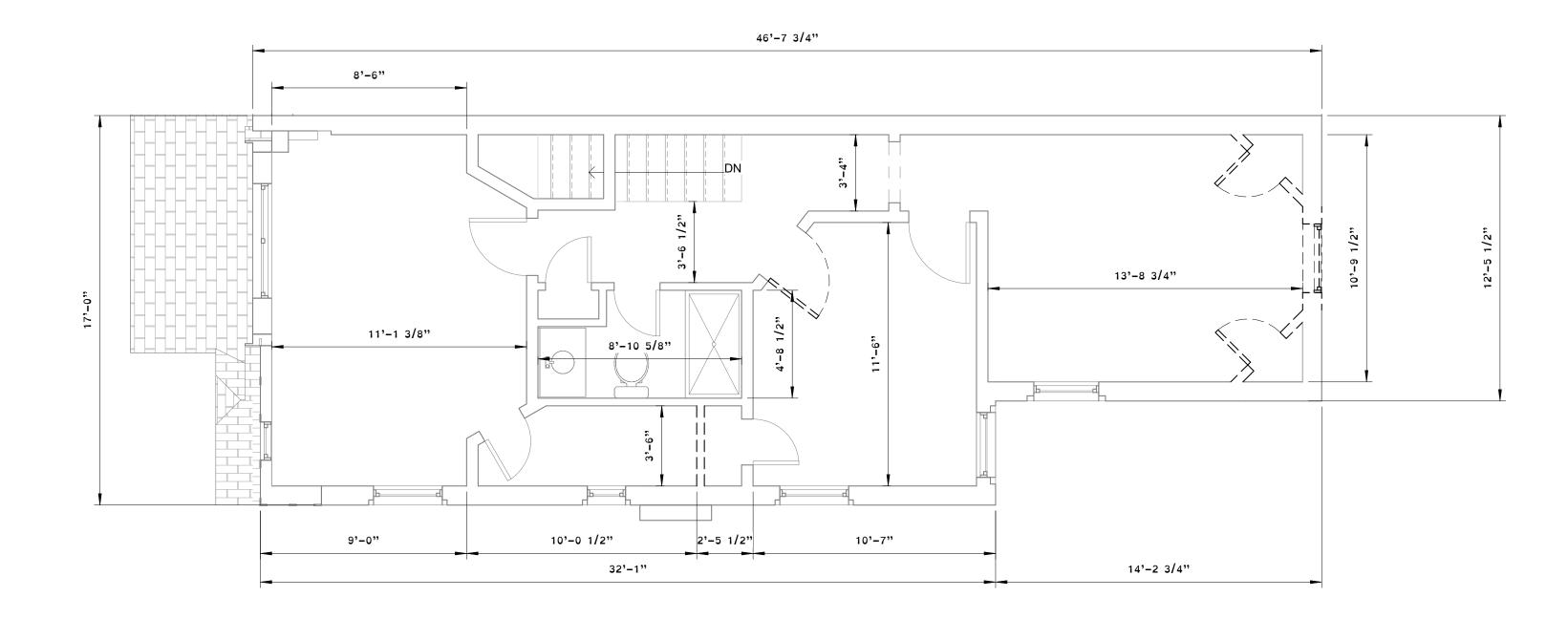
© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

First Floor Plan

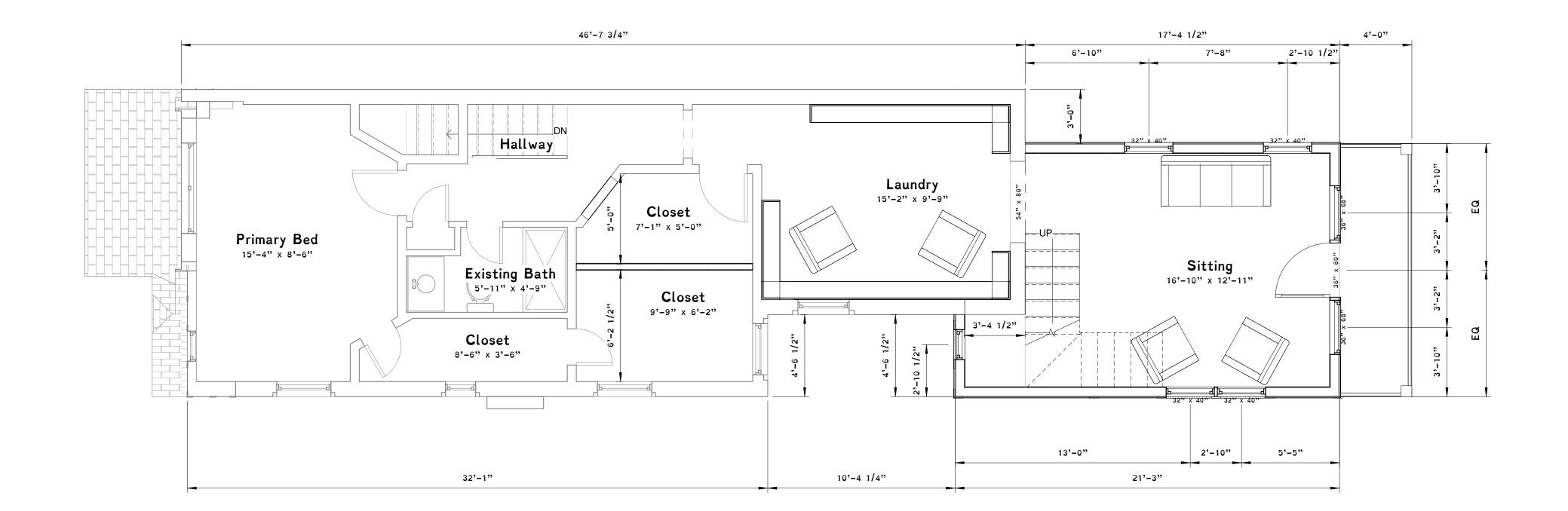
Drawing No.

A1.2



2nd Floor - Existing

1/4" = 1'-0"



2nd Floor - Proposed
1/4" = 1'-0"



Architect

MVA

131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised

No. Date Description

Project Title

Waite Residence

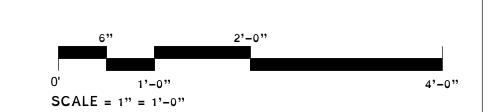
ate October 29, 2022

© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

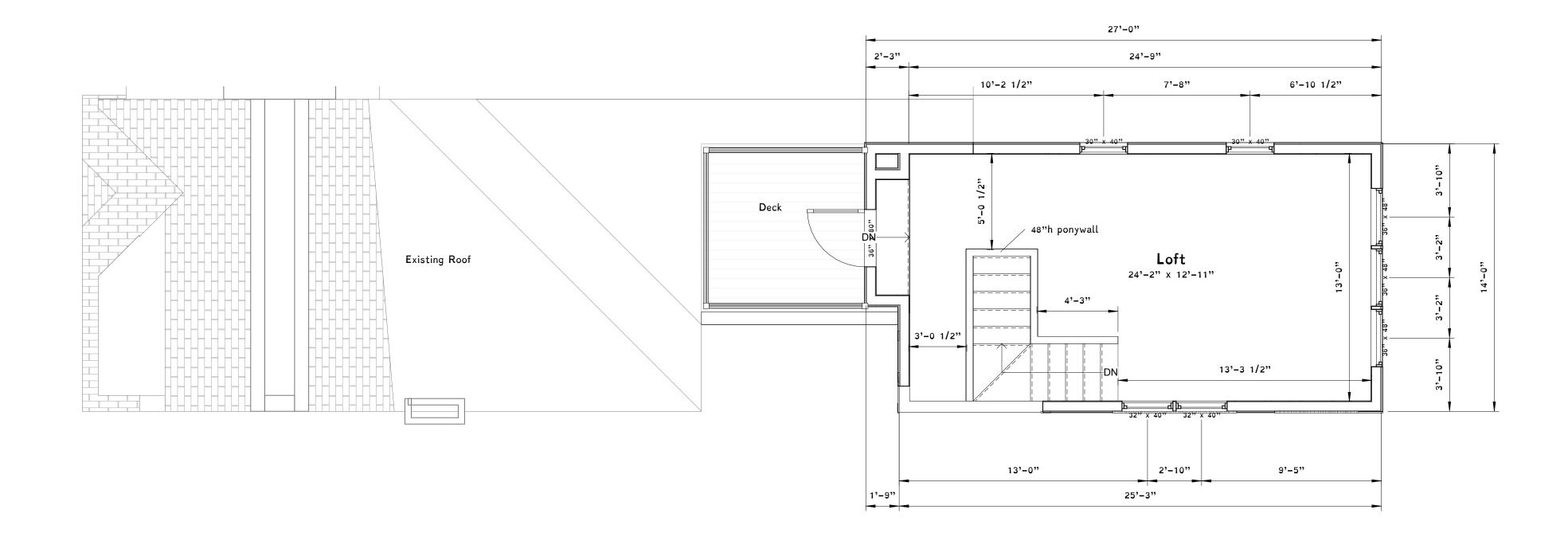
Drawing Title

Second Floor Plan

Drawing No.



41.3







Architect

MVA 131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised No. Date Description

Project Title

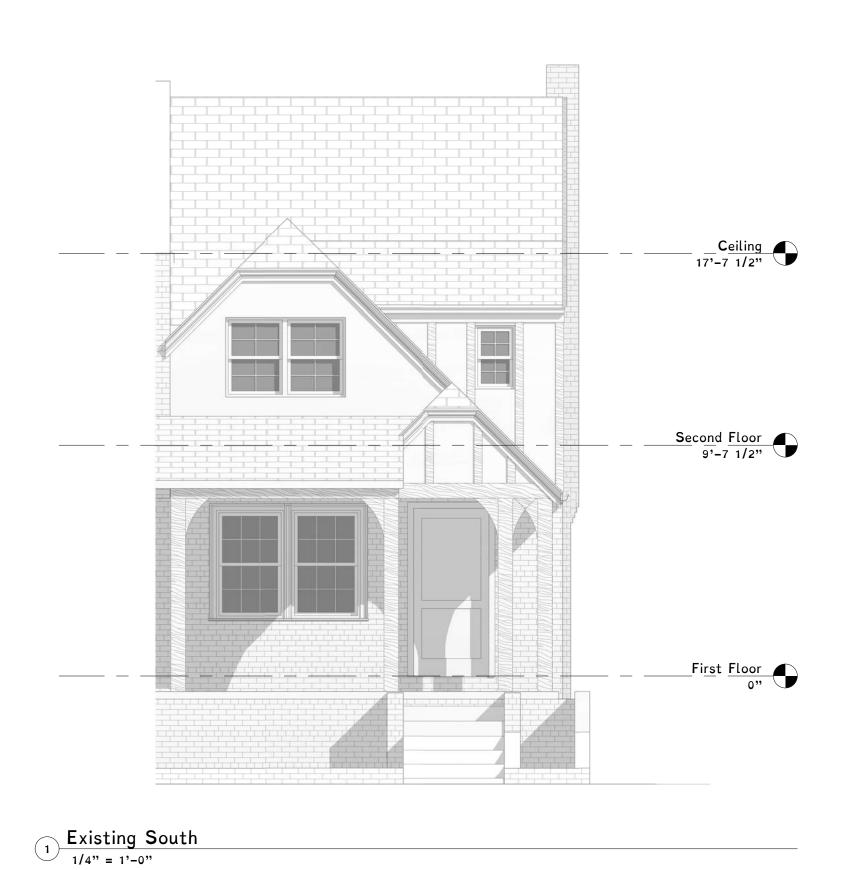
Waite Residence

October 29, 2022

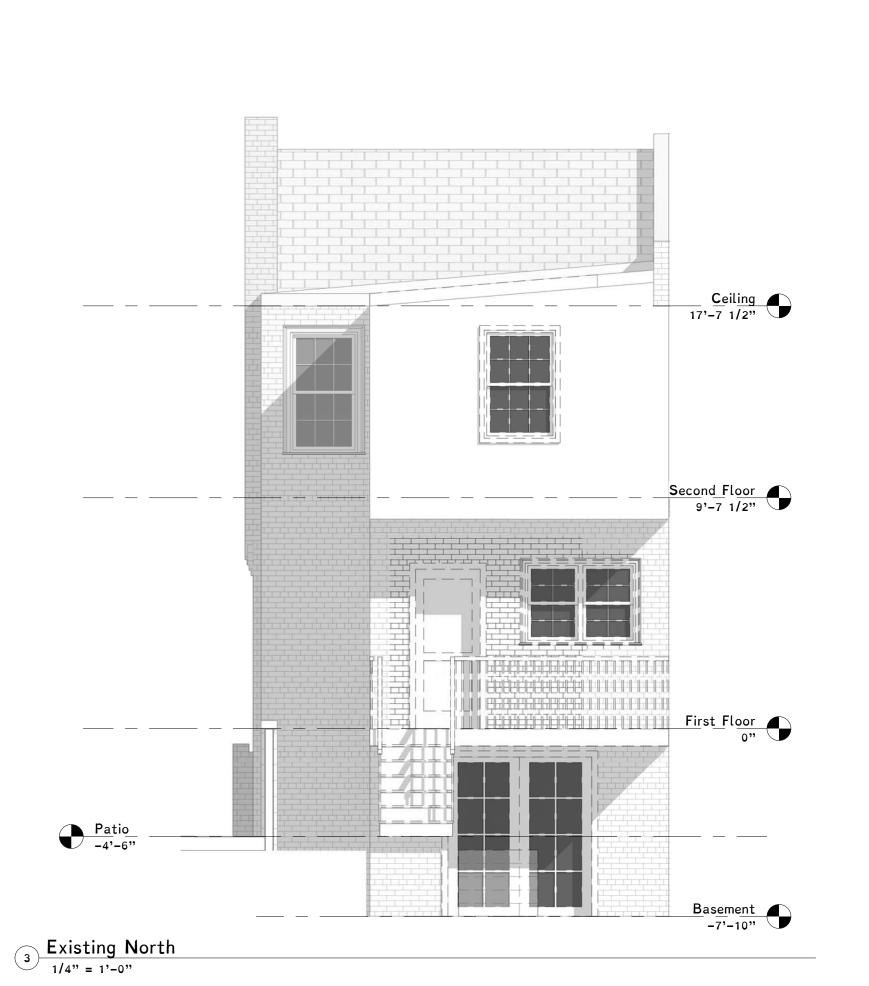
© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

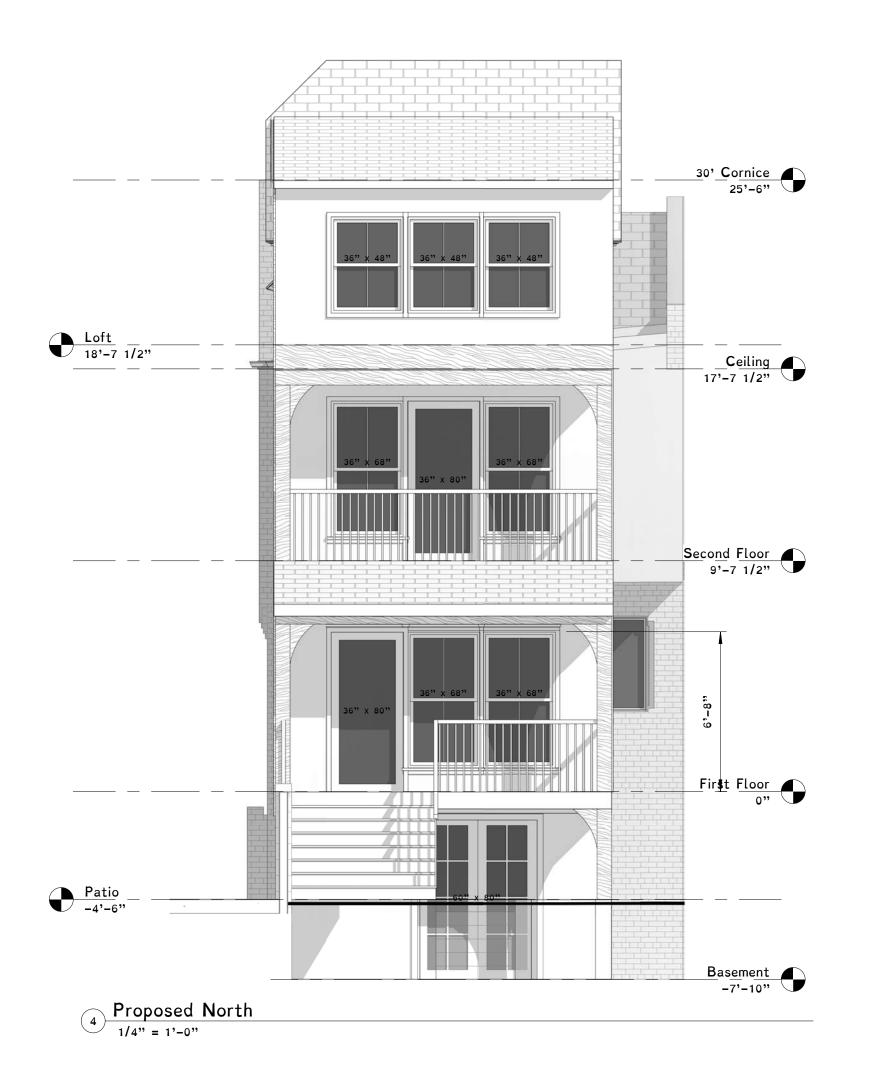
Drawing Title

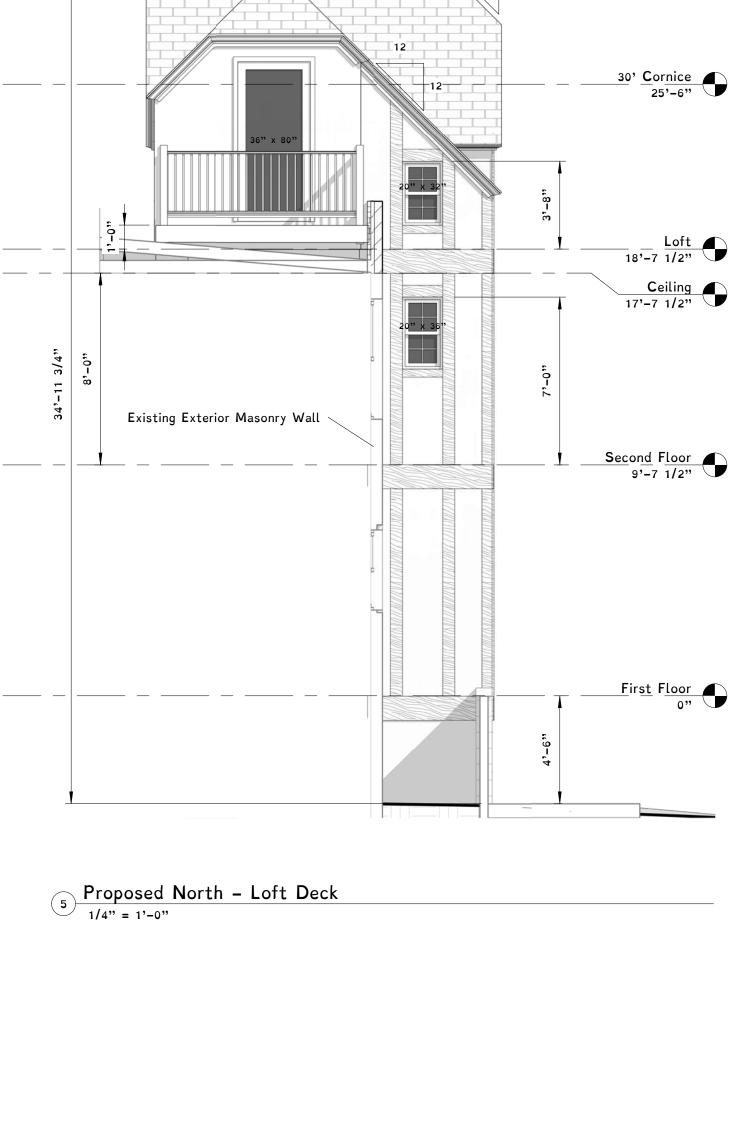
Proposed Loft Floor Plan











MVA

Architect

MVA 131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Arch D

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised No. Date Description

Project Title

Waite Residence

October 29, 2022

© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

Front & Rear Elevations

1) Existing East 1/4" = 1'-0"

2 Proposed East 1/4" = 1'-0"

Print plans at 24" x 36", Arch D

Existing Residence Proposed Addition Tudor clipped roof style and cornice to match existing Roofing to match existing Timber accent at window header (typical) Wood railing as specified 30' Cornice 25'-6" New brick parapet wall Match existing bricks Timber accent siding Tudor shaped timber colum & beam Second Floor 9'-7 1/2" Wood railing as specified Existing masonry privacy wall First Floor Sealed coal door Proposed window to match existing single double hung Proposed basement windows to match existing Parged masonry basement wall Basement -7'-10" Relocate existing HVAC units

MVA

Architect

MVA

131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



No. Date Description

Project Title

Waite Residence

e October 29, 2022

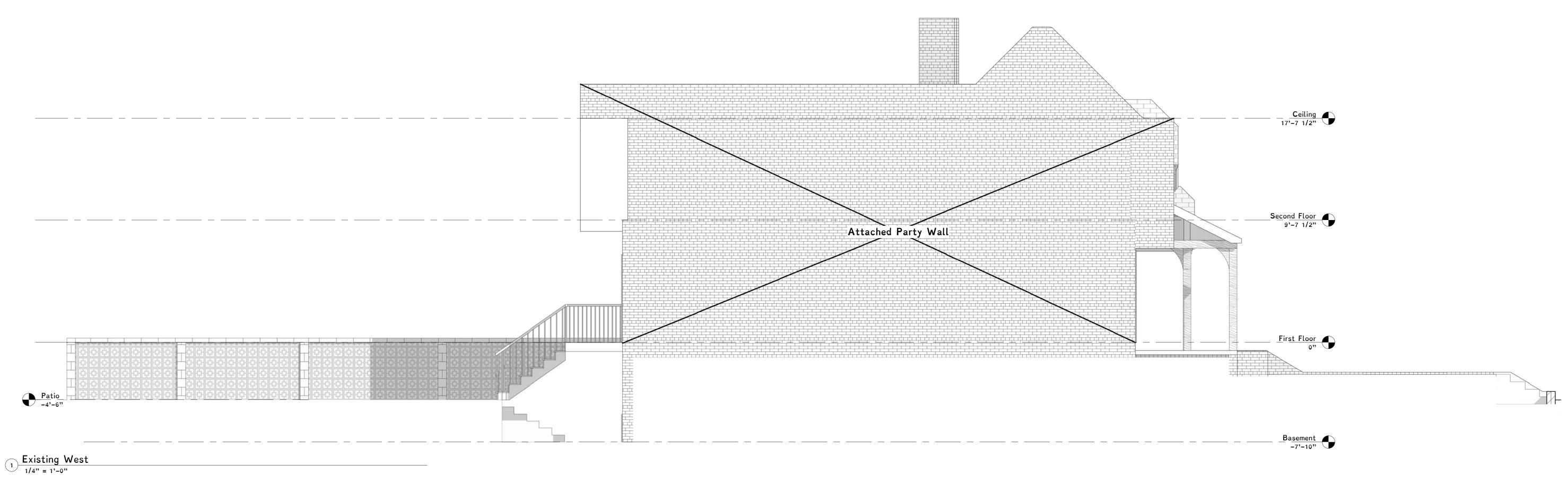
© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

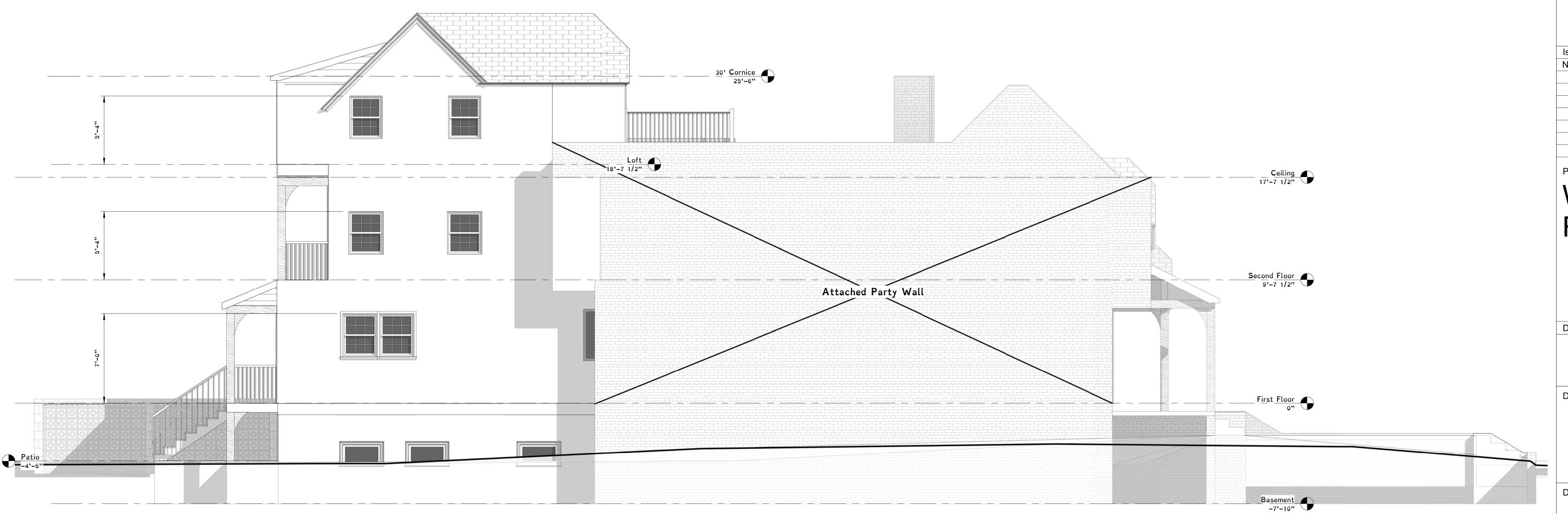
Drawing Title

Side Elevations

Drawing No.

0' 1'-0" SCALE = 1" = 1'-0" A2.2





MVA

Architect

MVA 131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised No. Date Description

Project Title

Waite Residence

October 29, 2022

© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

Side Elevations

Drawing No.

0' 1'-0" SCALE = 1" = 1'-0"











Architect

MVA 131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Arch D

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised No. Date Description

Project Title

Waite Residence

October 29, 2022

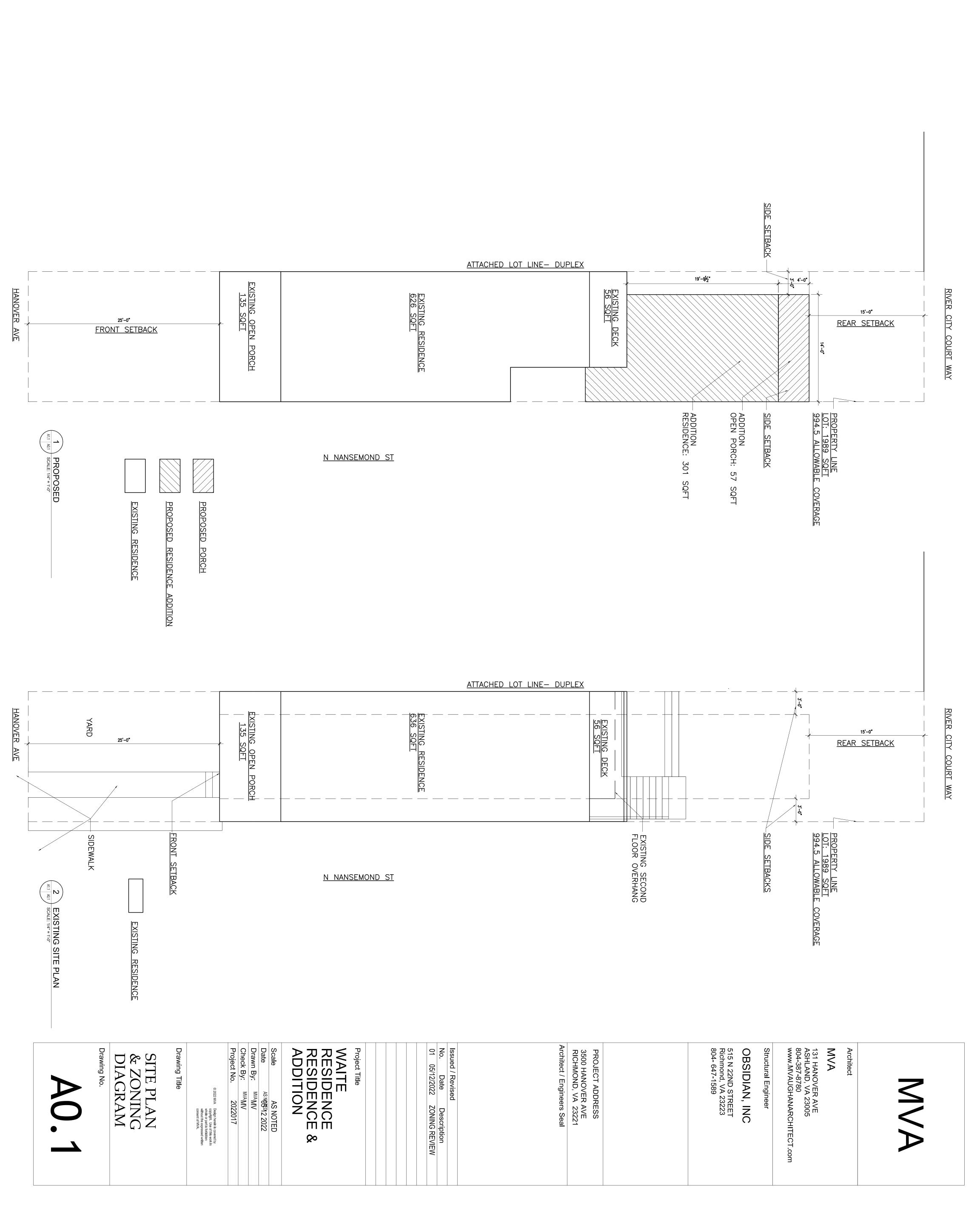
© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

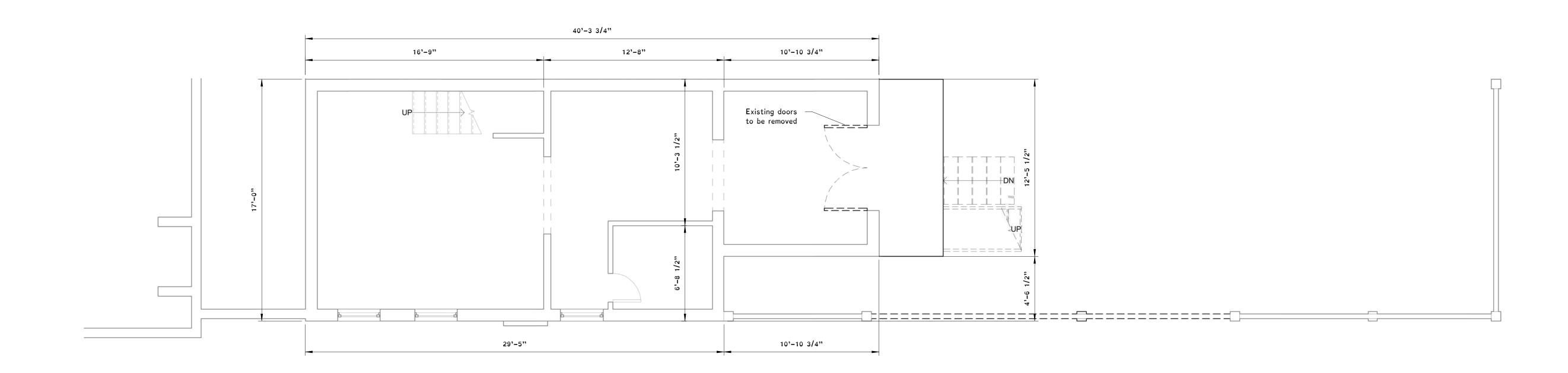
Drawing Title

Exterior Perspective Renderings



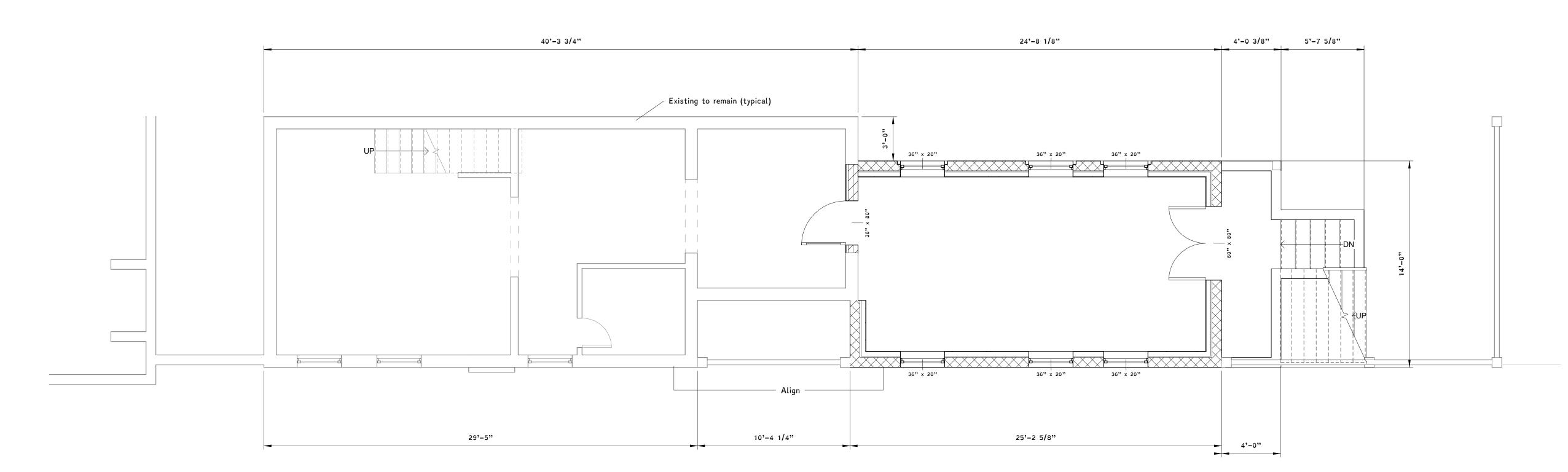






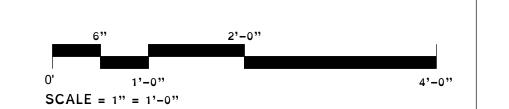
Basement - Existing

1/4" = 1'-0"



Basement - Proposed

1/4" = 1'-0"



MVA

Architect

MVA

131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised

No. Date Description

Project Title

Waite Residence

October 29, 2022

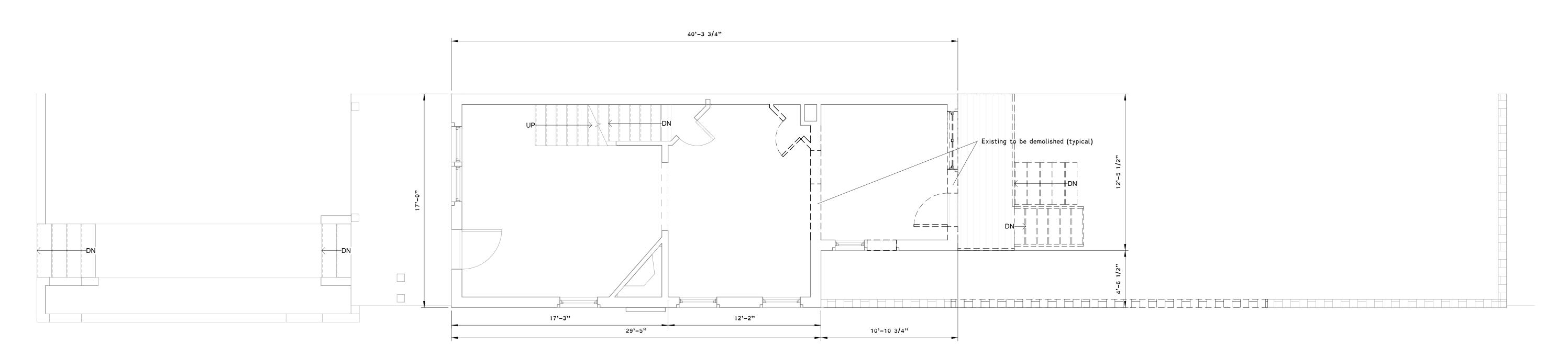
© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

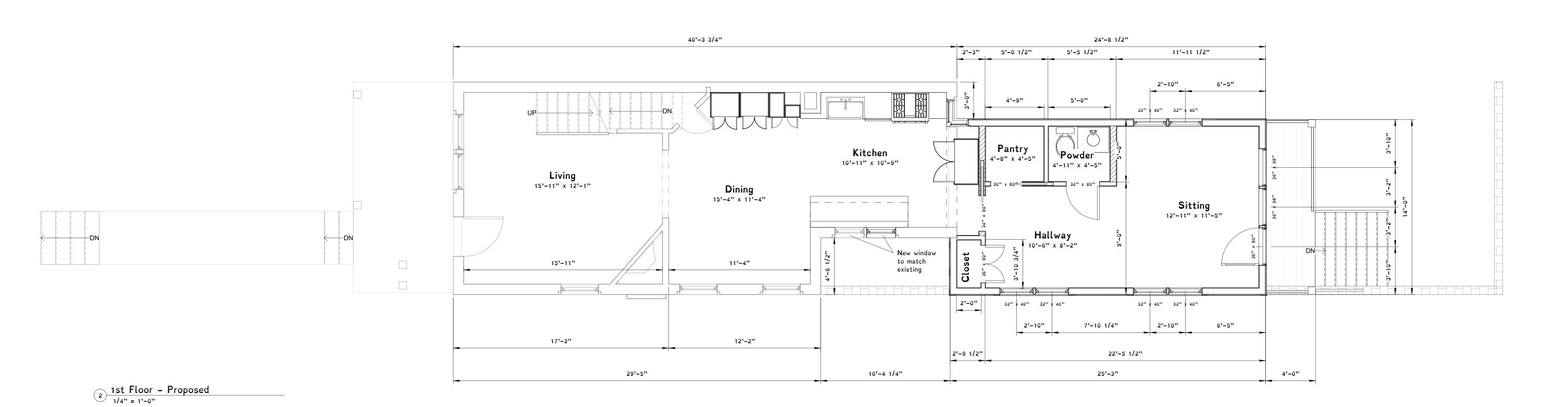
Basement Floor Plan

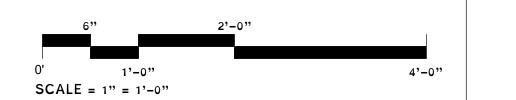
Drawing No.

A1.1



1st Floor - Existing
1/4" = 1'-0"







Architect

MVA 131 HANOVE

131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Keriann Steinruck

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised

No. Date Description

Project Title

Waite Residence

Oate October 29, 2022

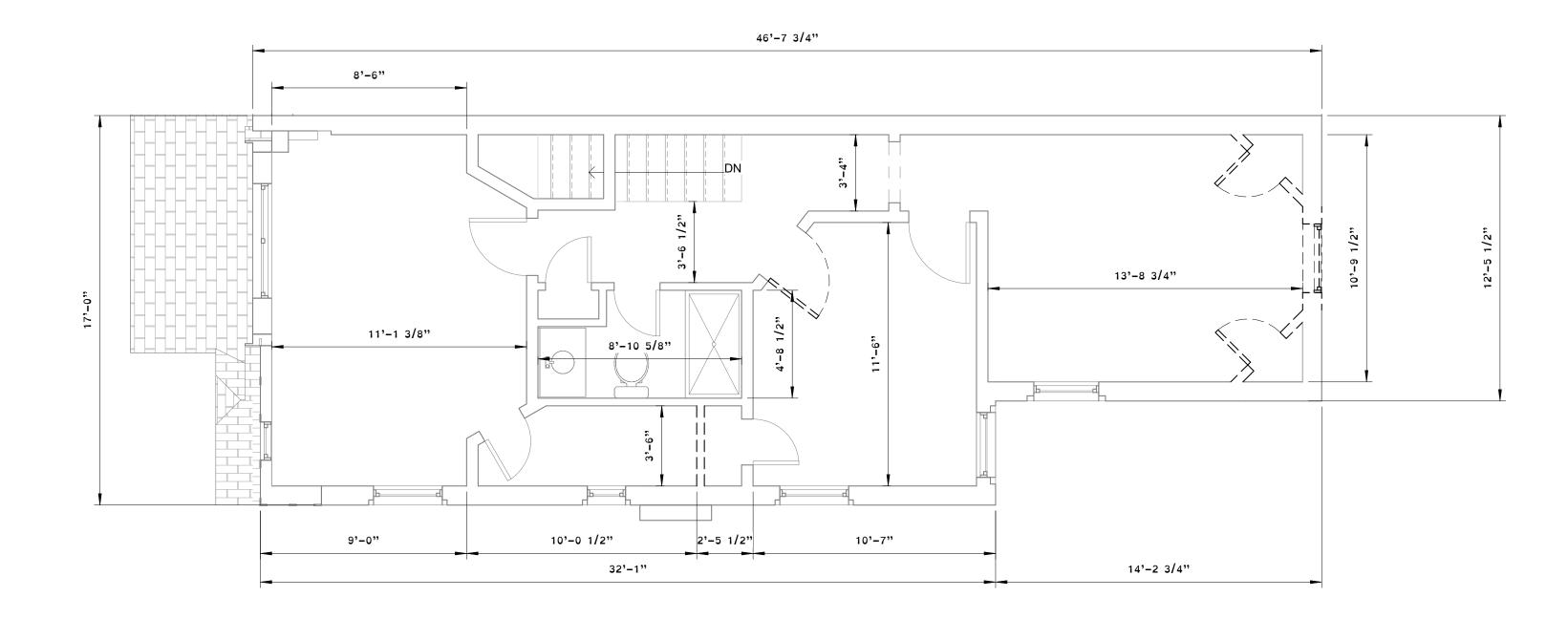
© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

First Floor Plan

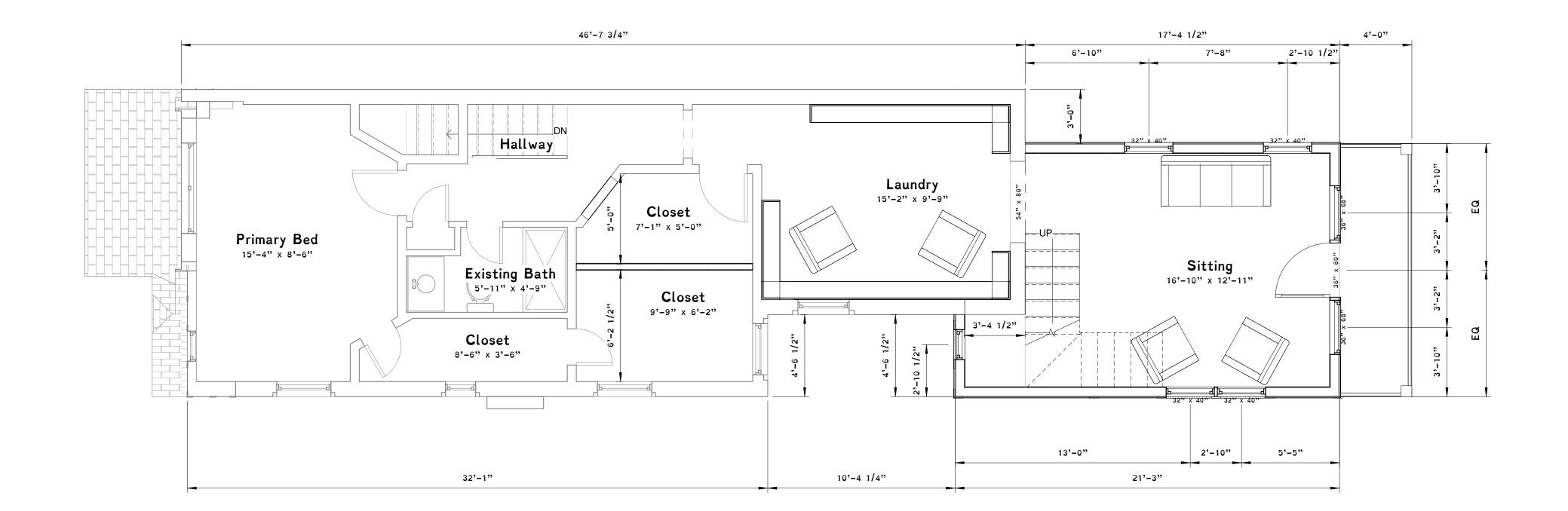
Drawing No.

A1.2



2nd Floor - Existing

1/4" = 1'-0"



2nd Floor - Proposed
1/4" = 1'-0"



Architect

MVA

131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised

No. Date Description

Project Title

Waite Residence

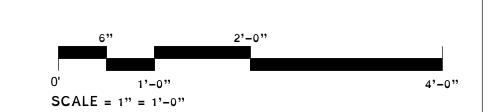
ate October 29, 2022

© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

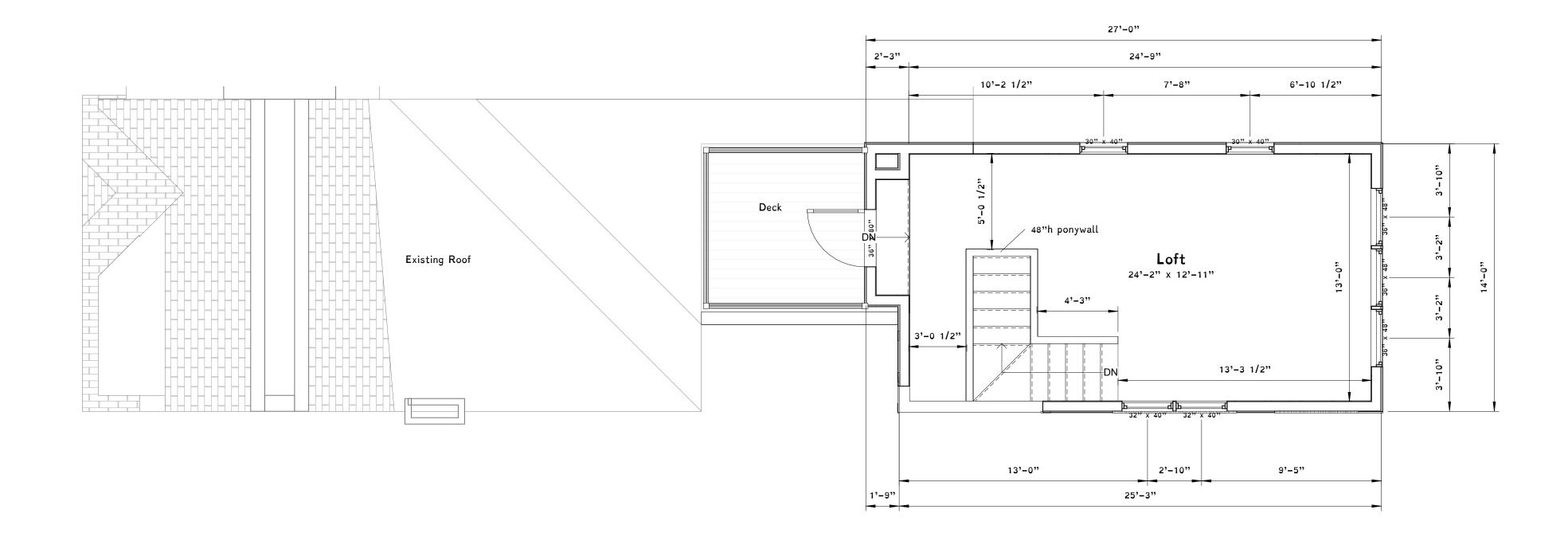
Drawing Title

Second Floor Plan

Drawing No.



41.3







Architect

MVA 131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised No. Date Description

Project Title

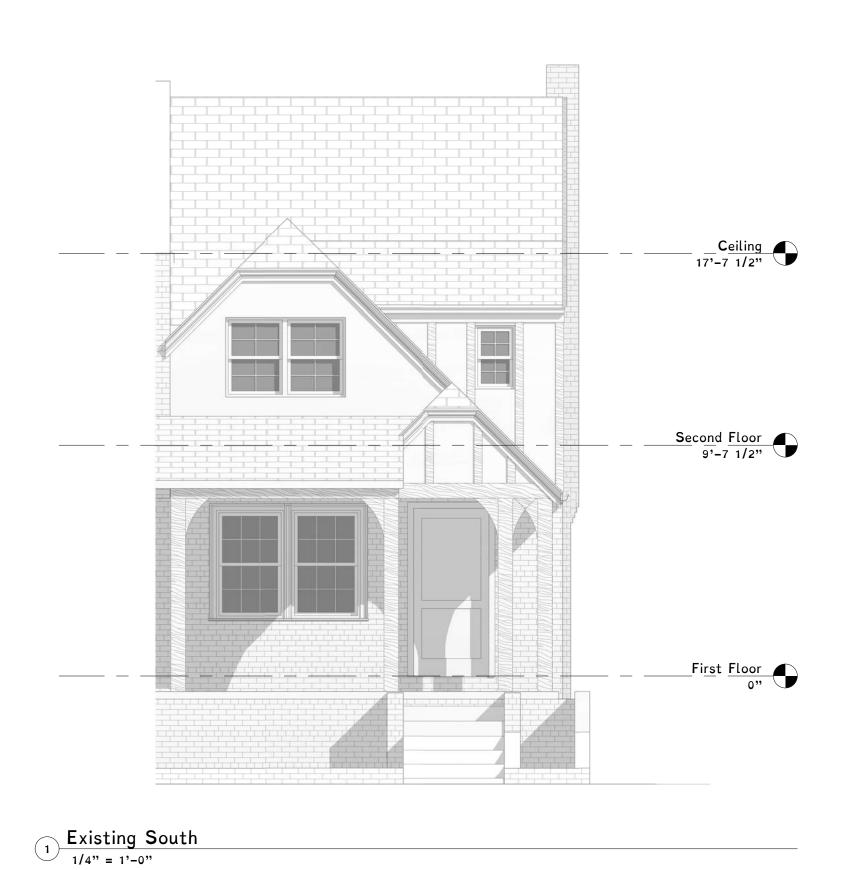
Waite Residence

October 29, 2022

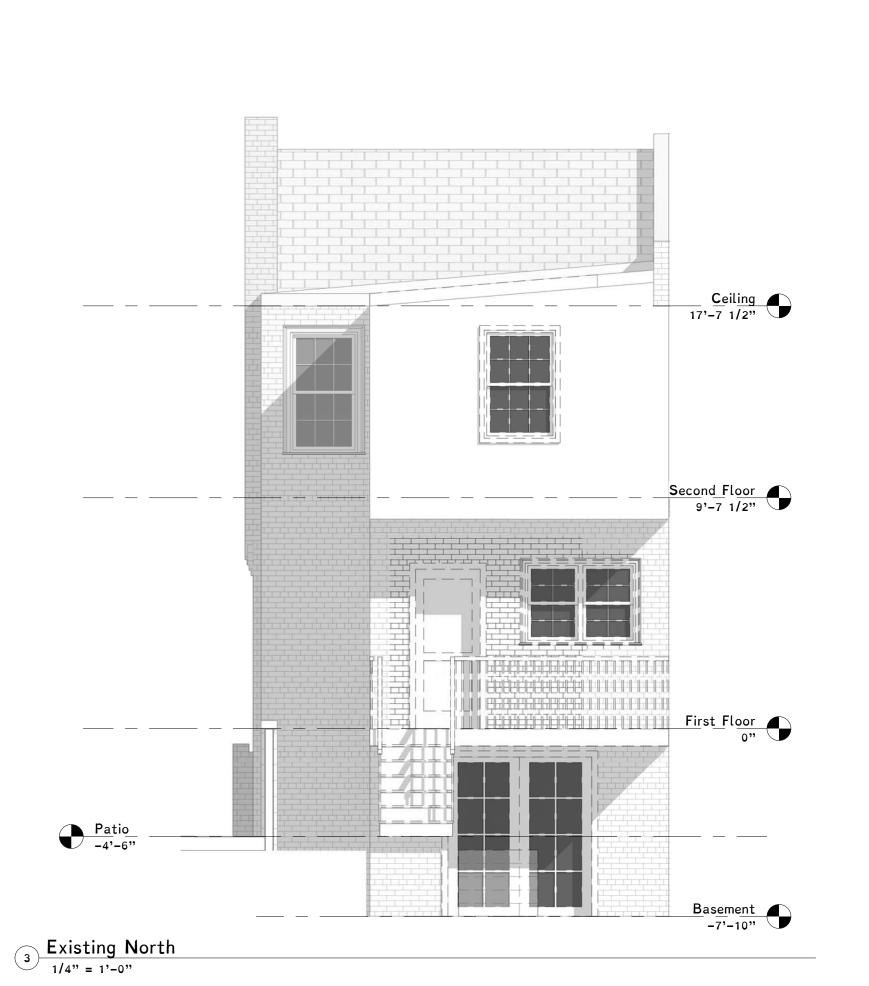
© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

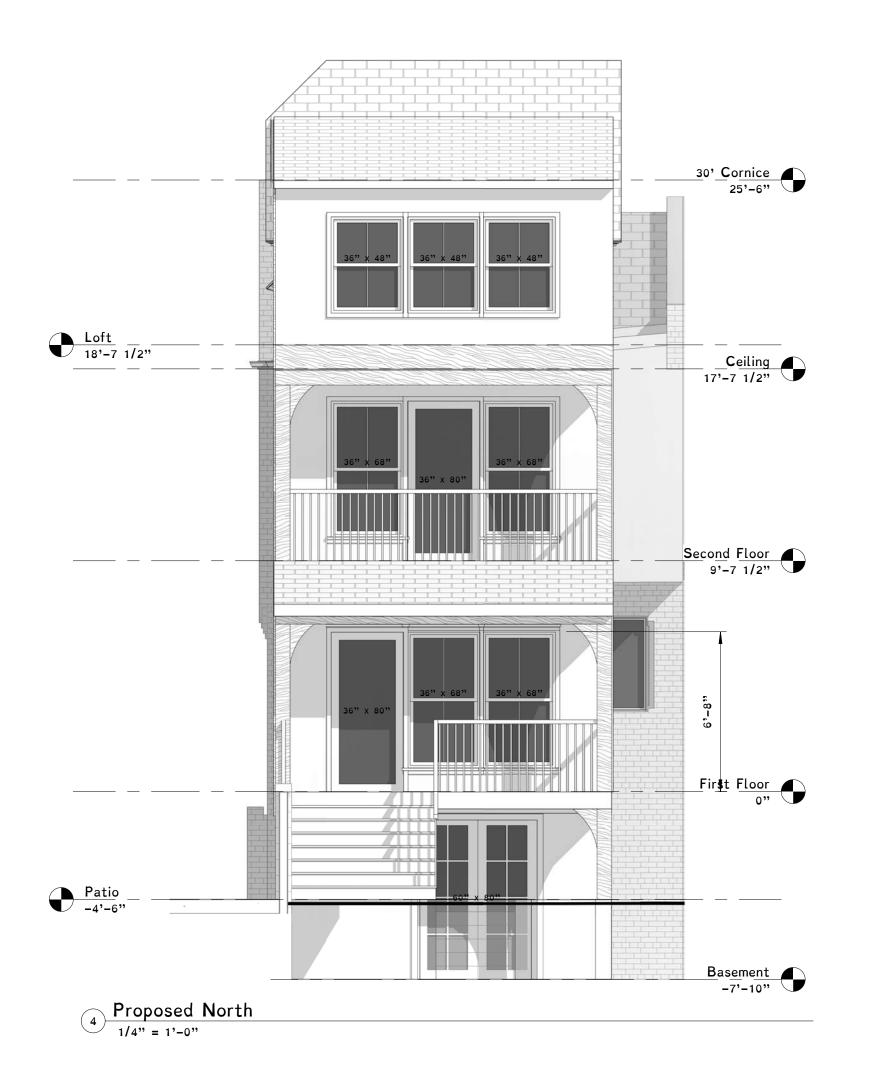
Drawing Title

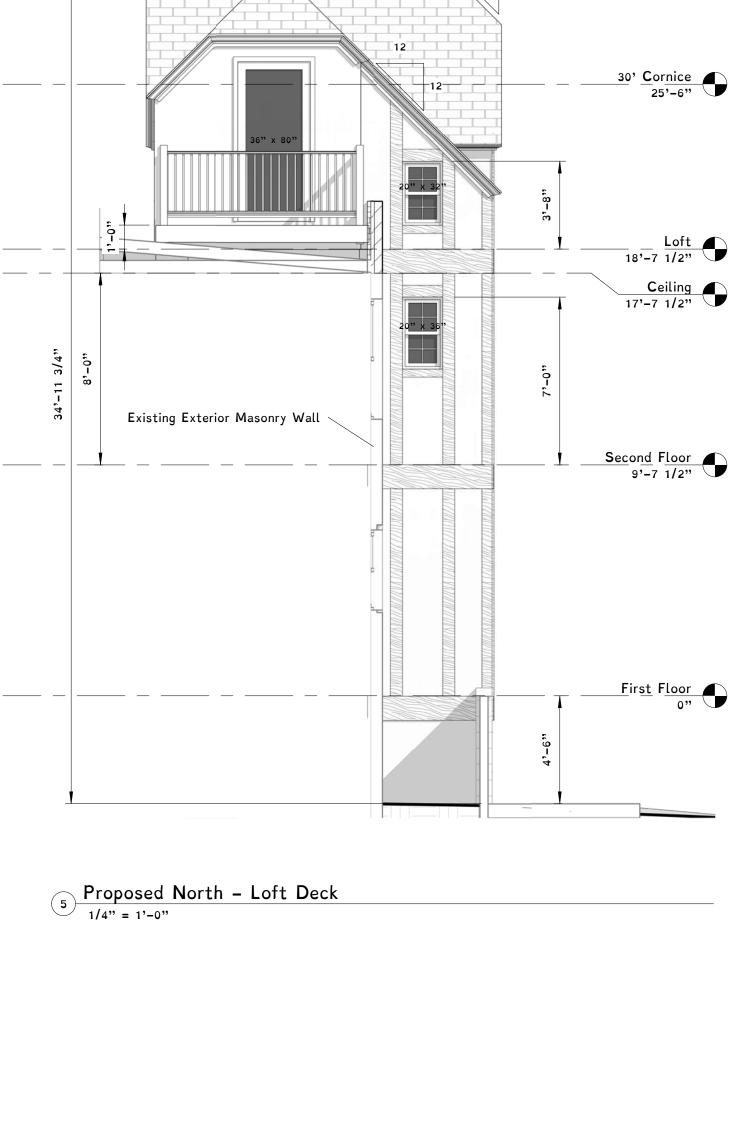
Proposed Loft Floor Plan











MVA

Architect

MVA 131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Arch D

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised No. Date Description

Project Title

Waite Residence

October 29, 2022

© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

Front & Rear Elevations

1) Existing East 1/4" = 1'-0"

2 Proposed East 1/4" = 1'-0"

Print plans at 24" x 36", Arch D

Existing Residence Proposed Addition Tudor clipped roof style and cornice to match existing Roofing to match existing Timber accent at window header (typical) Wood railing as specified 30' Cornice 25'-6" New brick parapet wall Match existing bricks Timber accent siding Tudor shaped timber colum & beam Second Floor 9'-7 1/2" Wood railing as specified Existing masonry privacy wall First Floor Sealed coal door Proposed window to match existing single double hung Proposed basement windows to match existing Parged masonry basement wall Basement -7'-10" Relocate existing HVAC units

MVA

Architect

MVA

131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



No. Date Description

Project Title

Waite Residence

e October 29, 2022

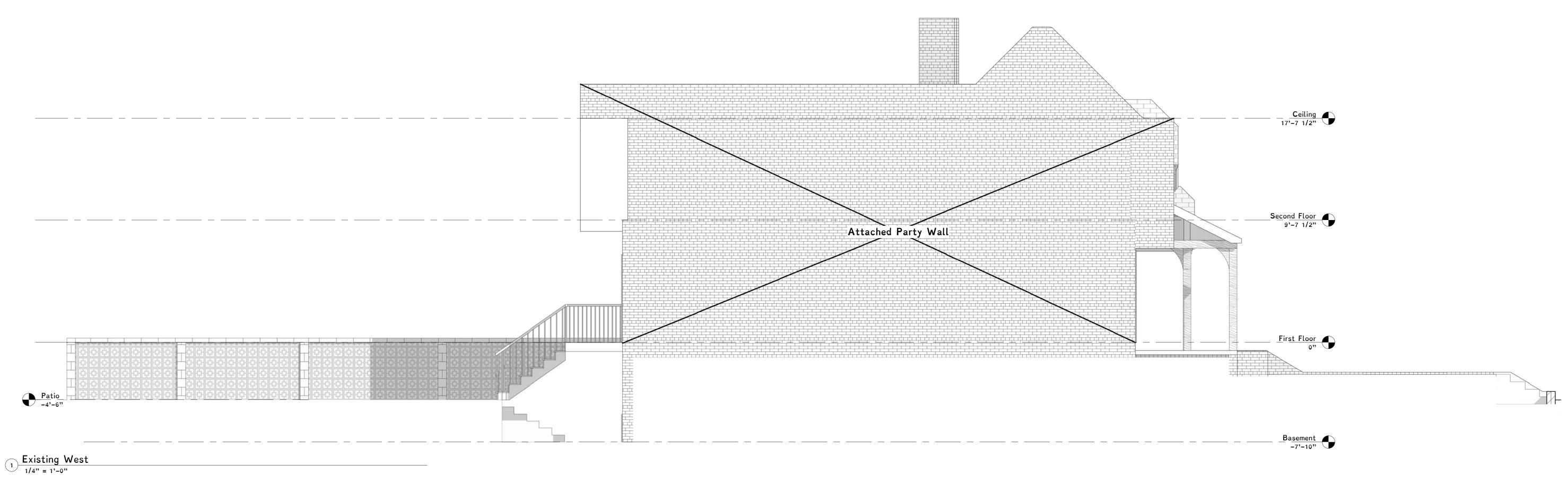
© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

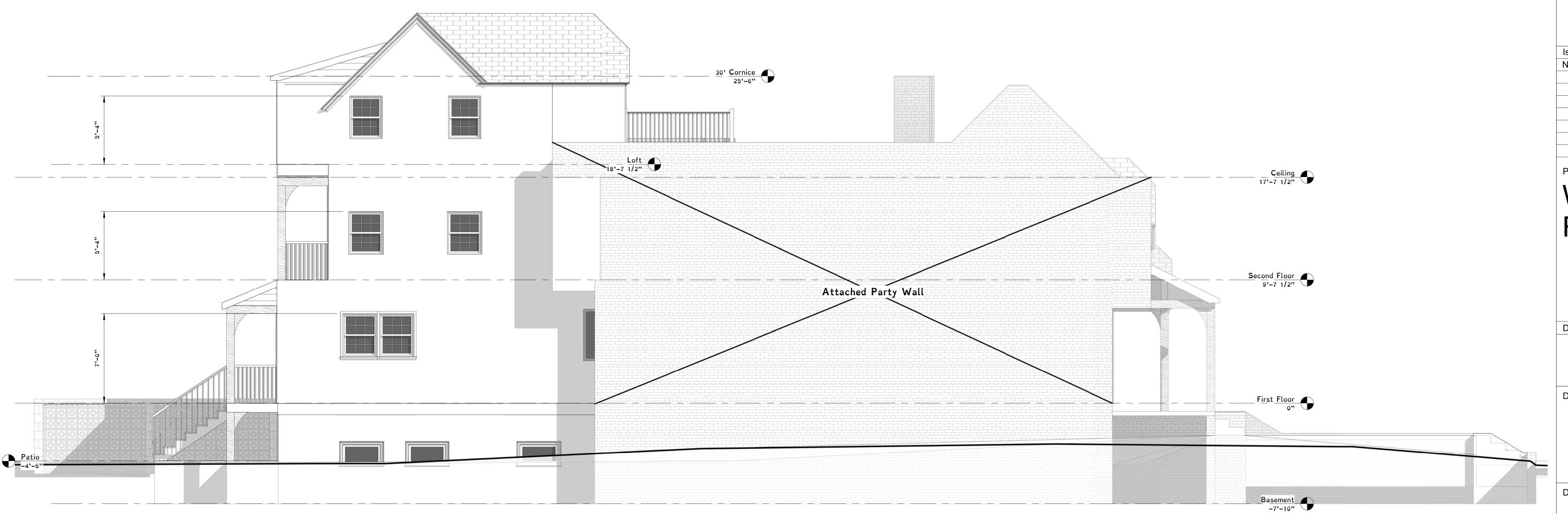
Drawing Title

Side Elevations

Drawing No.

0' 1'-0" SCALE = 1" = 1'-0" A2.2





MVA

Architect

MVA 131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Author

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised No. Date Description

Project Title

Waite Residence

October 29, 2022

© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

Side Elevations

Drawing No.

0' 1'-0" SCALE = 1" = 1'-0"











Architect

MVA 131 HANOVER AVE ASHLAND, VA 23005 804-387-8780 www.MVAUGHANARCHITECT.com

Structural Engineers

Obsidian, Inc. 417 North 22nd Street Richmond, VA 23223 804-647-1589 www.obsidian.pro

Drawn By: Arch D

3500 Hanover Avenue City of Richmond, VA

Architect / Engineers Seal



Issued / Revised No. Date Description

Project Title

Waite Residence

October 29, 2022

© 2015 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

Exterior Perspective Renderings



