



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 5 North Fifth Street, Richmond, VA 23219

Historic district Second Presbyterian Church

Date/time rec'd: _____
Rec'd by: _____
Application #: COA-033433-2018
Hearing date: 11/27/2018

APPLICANT INFORMATION

Name Katherine Hershey

Phone (804) 649-9303

Company Glave & Holmes Architecture

Email khershey@glaveandholmes.com

Mailing Address 2101 East Main Street

Richmond, VA 23223

Applicant Type: Owner Agent

Lessee Architect Contractor

Other (please specify): _____

OWNER INFORMATION (if different from above)

Name Vernon Mays

Company Second Presbyterian Church

Mailing Address 5 North Fifth Street

Richmond, VA 23219

Phone (804) 272-2802

Email vernon_mays@gensler.com

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction (Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Please refer to attached description of the proposed work. Attachments include a written description, photos of existing conditions, and drawings of the proposed design.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Vernon F. Mays

Date 10/25/18



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 5 North Fifth Street, Richmond, VA 23219

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight



October 26, 2018

Ms. Carey Jones, Secretary
Commission of Architectural Review
Division of Planning and Preservation
Room 510 - City Hall
900 East Broad Street
Richmond, VA 23219

Second Presbyterian Church Building Improvements
Commission No. 21483

Re: Commission of Architectural Review Submission Application for Certificate of Appropriateness (Resubmittal)

Dear Ms. Jones,

Thank you for the opportunity to resubmit this project for the Commission's review and approval. Since our original submission in May, we have reevaluated the proposed atrium enclosure as recommended by CAR. We hope you agree that the revised curtain wall configuration and proposed detail for connecting to the existing fabric preserves the integrity of the corner of the historic sanctuary building. This submission contains revised floor plans, elevations, details, and context photos.

This project qualifies for historic tax credits and an application for the tax credits was recently submitted to the Department of Historic Resources. DHR agreed with CAR's previous proposal to maintain the curtain wall connection to the historic fabric on the south wall. We are pleased to share with the Commission that DHR has given its approval of the revised proposed exterior work, and are attaching the approval letter to this document for your record. The approval letter includes one condition from DHR regarding interior finishes that does not pertain to the exterior of this project.

As we previously shared, the primary goal of this project is to enhance the hospitable operation of Second Presbyterian Church's facilities in the Virginia Building. The proposed work will result in upgraded finishes, character, and accessibility on the interior, and improved visibility of the primary entry door on the building's exterior. This submission includes the proposed exterior changes. Though reconfiguring the curtain wall per CAR's previous comments will not capture as much interior square footage as our original design, we are satisfied that the proposed reconfiguration will nevertheless create a more open and welcoming experience for visitors.

Please read the following written description of the intended Second Presbyterian Church Building improvements, which has been modified from our original submission in response to CAR's comments.

2101 East Main Street, Richmond, Virginia 23223
(804) 649-9303 *telephone* (804) 343-3378 *facsimile*
WWW.GLAVEANDHOLMES.COM

PROPERTY DESCRIPTION, CURRENT CONDITIONS AND ANY PRIOR ALTERATIONS OR ADDITIONS

Second Presbyterian Church (SPC) is located at 5 North Fifth Street and was originally built circa 1845. Since its original construction, SPC has acquired the Virginia Building at the corner of 5th and Main Streets, which houses the majority of the church's social, educational, and outreach programs. The sanctuary is in a City Old and Historic District designated specifically for SPC. A two-story atrium enclosed by curtain wall facade and roof was constructed to connect the two buildings in 1987. Additional minor renovations have taken place over the years, including an interior renovation to the Virginia Building in 2008.

PROPOSED WORK: PLANS TO CHANGE ANY EXTERIOR FEATURES, AND/OR ADDITION DESCRIPTION

The proposed work consists of reconfiguring a portion of the existing curtain wall system to provide better orientation for visitors entering the atrium. The proposed change will result in the new curtain wall attaching to the same face as the current curtain wall configuration, although the connection will occur approximately 3'-0" closer to the corner to avoid trapping debris between the new and existing walls. The existing curtain wall roof also attaches to the southern wall of the original church building and will be extended to enclose the increased atrium area. The atrium footprint will increase by approximately 60 square feet.

A glazed awning is proposed to cover the new entry door. Information for the basis-of-design awning product is included with this submission.

SPC is undertaking work separately from this project to relocate a fountain in the courtyard that would conflict with the new entrance. The fountain was installed in 1991. Slate pavers to match the existing paved surface will be provided in its place. Please refer to the attached photographs and drawings for more information.

CURRENT BUILDING MATERIAL CONDITIONS AND ORIGINALITY OF ANY MATERIALS PROPOSED TO BE REPAIRED OR REPLACED

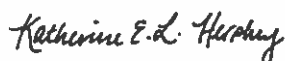
The curtain wall system to be removed and replaced is not part of the historic church fabric. The facade remains functional and in fair condition, but in need of minor maintenance. A chamfered brick curb (constructed concurrently with the curtain wall in 1987) will also be partially removed and replicated at the base of the newly configured, newly constructed curtain wall facade. The proposed brick has been selected to match the existing masonry; please refer to the attached product information.

PROPOSED NEW MATERIAL DESCRIPTION: ATTACH SPECIFICATION SHEETS IF NECESSARY

The proposed curtain wall system is Kawneer 1600 and is intended to match the existing curtain wall system. Product information sheets for the curtain wall facade and roof are included in this submission.

We believe the intended work outlined in this submission will respect the heritage of the property while accommodating the changing needs of its present-day community. Thank you for your time and consideration of our project.

Kindest regards,



Katherine Hershey, RA NCARB



COMMONWEALTH of VIRGINIA

Department of Historic Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Mat Strickler
Secretary of Natural Resources

Julie V. Langan
Director

Tel: (804) 367-2323
Fax: (804) 367-2391
www.dhr.virginia.gov

October 8th, 2018

Greta B. Peters
5 North 5th Street Tenant, LLC
c/o Sheri Highfill
5914 Morningside Drive
Richmond, VA – 23226

Re: The Virginia – Richmond
Part 2 Response
DHR # 2017-156

Ms. Peters –

Thank you for submitting the State Rehabilitation Tax Credit Application, Part 2, “Description of Rehabilitation,” for the property located at 1 North 5th Street in Richmond. We are also in receipt of the necessary State application fee and appreciate its timely submission. Based on the materials provided, the proposed scope of work is consistent with the Secretary of the Interior’s *Standards for Rehabilitation* and the project is approved provided the below condition is met.

CONDITION:

The following conditions should be met in order for the project to receive approval.

First Floor Corridor Finish – If there is historic flooring present underneath the modern carpet in the first floor corridor, the historic fabric should be retained, repaired, and remain exposed. If historic flooring no longer exists beneath the existing carpet, new carpet may be installed in this limited location.

Please be aware that DHR is conducting a physical inspection of all properties as part of the Part 3 review process. Consequently, we anticipate that review of completed projects will take approximately 60 days from the date of submission.

This conditional approval is for the Part 2 application as submitted. All new information should be sent for review and approval to the Virginia Department of Historic Resources (DHR) as an

Capital Region Office
2801 Kensington Avenue
Richmond, VA 23221
Tel: (804) 367-2323
Fax: (804) 367-2391

Western Region Office
962 Kime Lane
Salem, VA 24153
Tel: (540) 387-5443
Fax: (540) 387-5446

Northern Region Office
5357 Main Street
PO Box 519
Stephens City, VA 22655
Tel: (540) 868-7029
Fax: (540) 868-7033

Amendment to the original application; you can find the appropriate form on Page 7 of the Part 2 application or at our website.

Please feel free to contact me with questions or concerns at 804-482-6452 or by e-mail at Jessica.Ugarte@dhr.virginia.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. A. Ugarte', with a long horizontal stroke extending to the right.

Jessica Aurora Ugarte
Tax Credit Reviewer
Office of Preservation Incentives

cc: Mary Harding Sadler

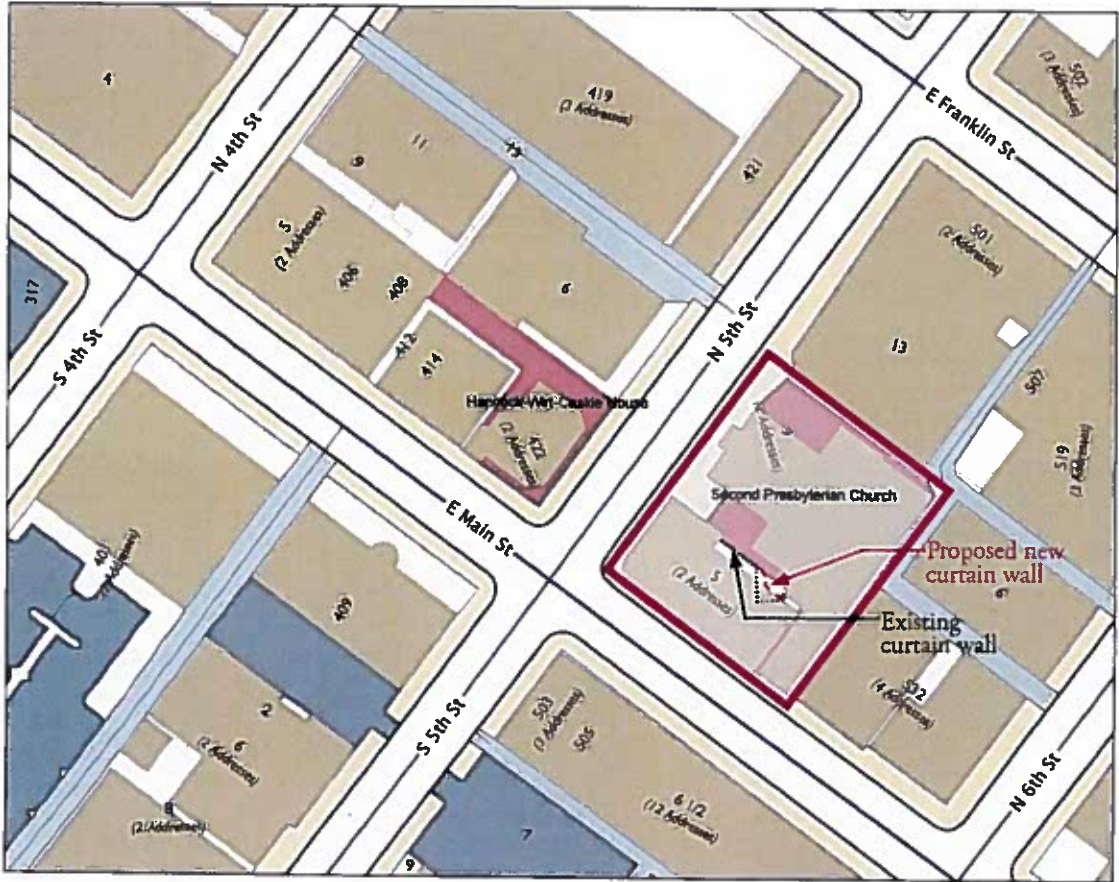
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Second Presbyterian Church - 9 N. 5th Street

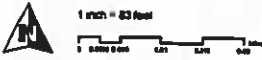
City of Richmond, VA
Geographic Information Systems



Location Reference



Disclaimer:
The City of Richmond assumes liability for any errors, omissions, or inaccuracies in the information presented herein. It is advised to consult with the appropriate authorities before using this information for any purpose.



Legend

City Old & Historic Sites

Map printed by ArcGIS on 2009-11-13
Document Path: C:\DOCUMENTS\Footer\LOCALS-IT\Temp-DP48781.mxd



SITE MAP

North Fifth Street



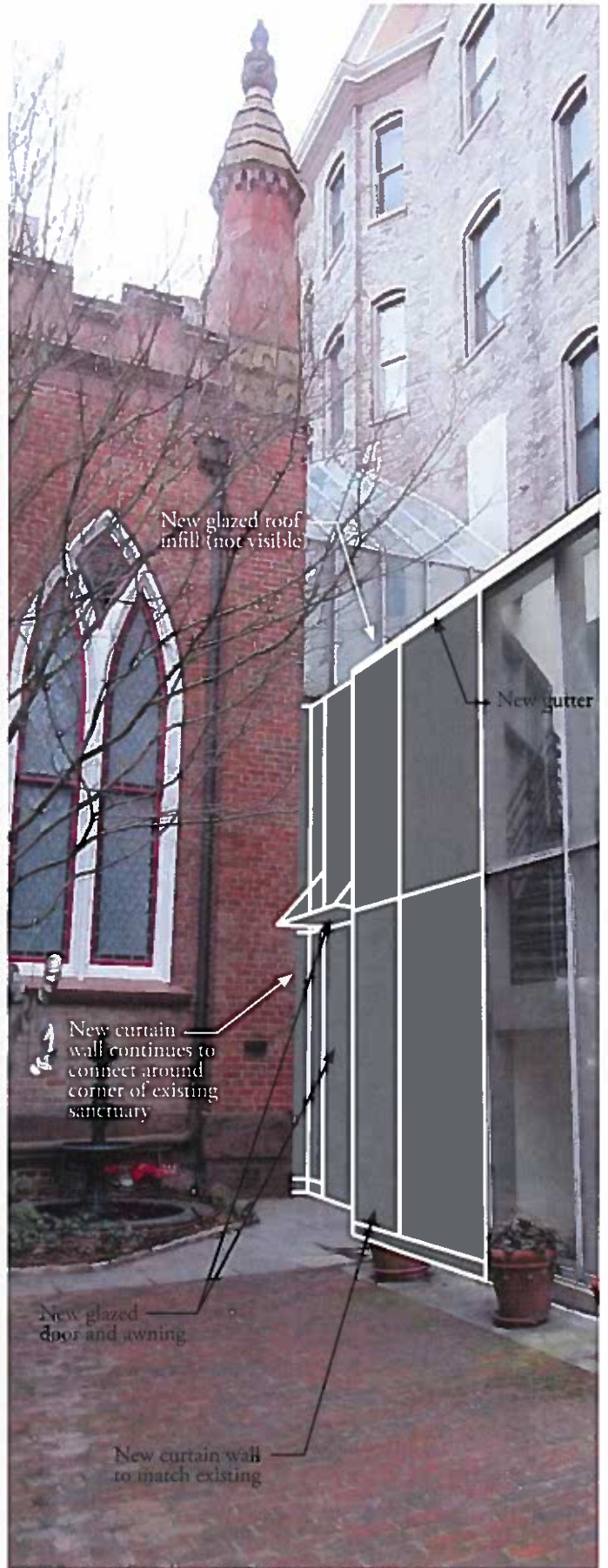
VIEW FROM NORTH FIFTH STREET LOOKING EAST



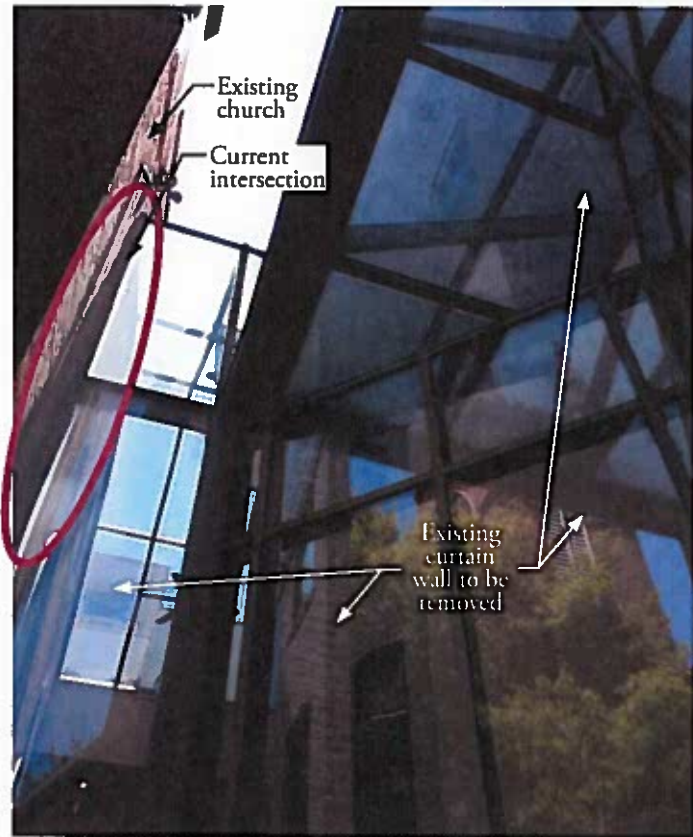
VIEW FROM NORTH FIFTH STREET LOOKING EAST



VIEW INSIDE COURTYARD LOOKING EAST TOWARD ENTRY



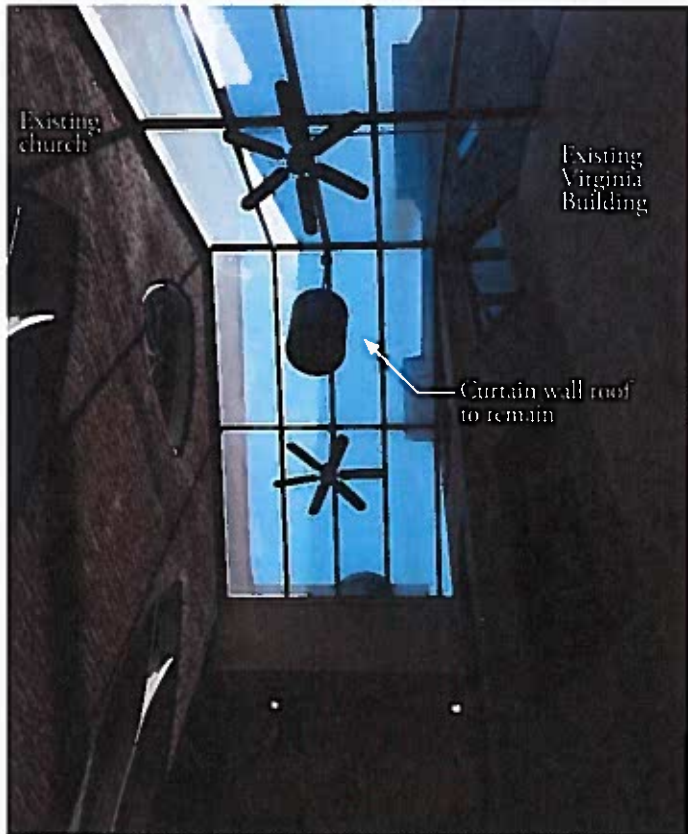
VIEW INSIDE COURTYARD LOOKING EAST TOWARD ENTRY - PROPOSED SKETCH



VIEW FROM COURTYARD LOOKING UP AT CURTAIN WALL ROOF COVER AND INTERSECTION TO EXISTING CHURCH BUILDING



VIEW FROM COURTYARD OF EXISTING DOOR AND PAVERS TO BE REMOVED; BRICK CURB PROFILE TO BE REPLICATED AT NEW CURTAIN WALL SILL



VIEW INSIDE ATRIUM SHOWING INTERSECTION OF CURTAIN WALL ROOF WITH EXISTING CHURCH AND VIRGINIA BUILDING



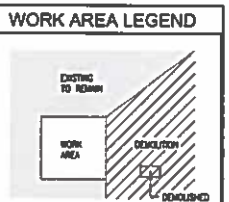
VIEW FROM INTERIOR LOOKING WEST AT EXISTING CURTAIN WALL CONFIGURATION AND INTERSECTION WITH EXISTING CHURCH

DEMOLITION SYMBOL LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	REMOVE AND REPAIR APPLIED TO EXISTING FLOOR
	COLUMN TO REMAIN

- DEMOLITION GENERAL NOTES**
- REMOVE ADHESIVES, MORTAR SETTING BEDS, ETC. WHERE WALL AND FLOOR FINISHES ARE REMOVED. EXISTING AND NEW SUBFLOORS SHALL BE PREPARED PER MANUFACTURER'S RECOMMENDATION FOR SCHEDULED FINISHES. ADJACENT SURFACES SHALL BE RETURNED TO "NEW" CONDITION AND MATCH ADJACENT SURFACE IN FORM, COLOR, AND TEXTURE. VERIFY EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, ETC.) AND NOTIFY THE ARCHITECT OF DISCREPANCIES.
 - PROVIDE SHOPPING, FORM WORK AND BRACING REQUIREMENTS FOR DEMOLITION OF EXISTING CONSTRUCTION.
 - REFER TO STRUCTURAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION, CUTTING, AND PATCHING REQUIRED FOR INSTALLATION OF NEW WORK.
 - COORDINATE DEMOLITION WITH OTHER WORK. PERFORM DEMOLITION AND REMOVAL OF EXISTING ELEMENTS IN THEIR ENTIRETY UNLESS OTHERWISE INDICATED TO PERFORM CONSTRUCTION. DEMOLITION SHALL INCLUDE ASSOCIATED MECHANICAL, ELECTRICAL, AND PLUMBING SERVICES WHETHER OR NOT SPECIFICALLY INDICATED.
 - INTERIOR FINISHES TO REMAIN UNLESS OTHERWISE INDICATED INCLUDING BUT NOT LIMITED TO INTERIOR CROWN MOULDING, CHAIR RAIL, BASE TRIM AND WOOD TRIM ALONG PERIMETER WALLS & INTERIOR WALLS.
 - REMOVE FURNITURE PRIOR TO CONSTRUCTION. OWNER TO STORE FURNITURE.

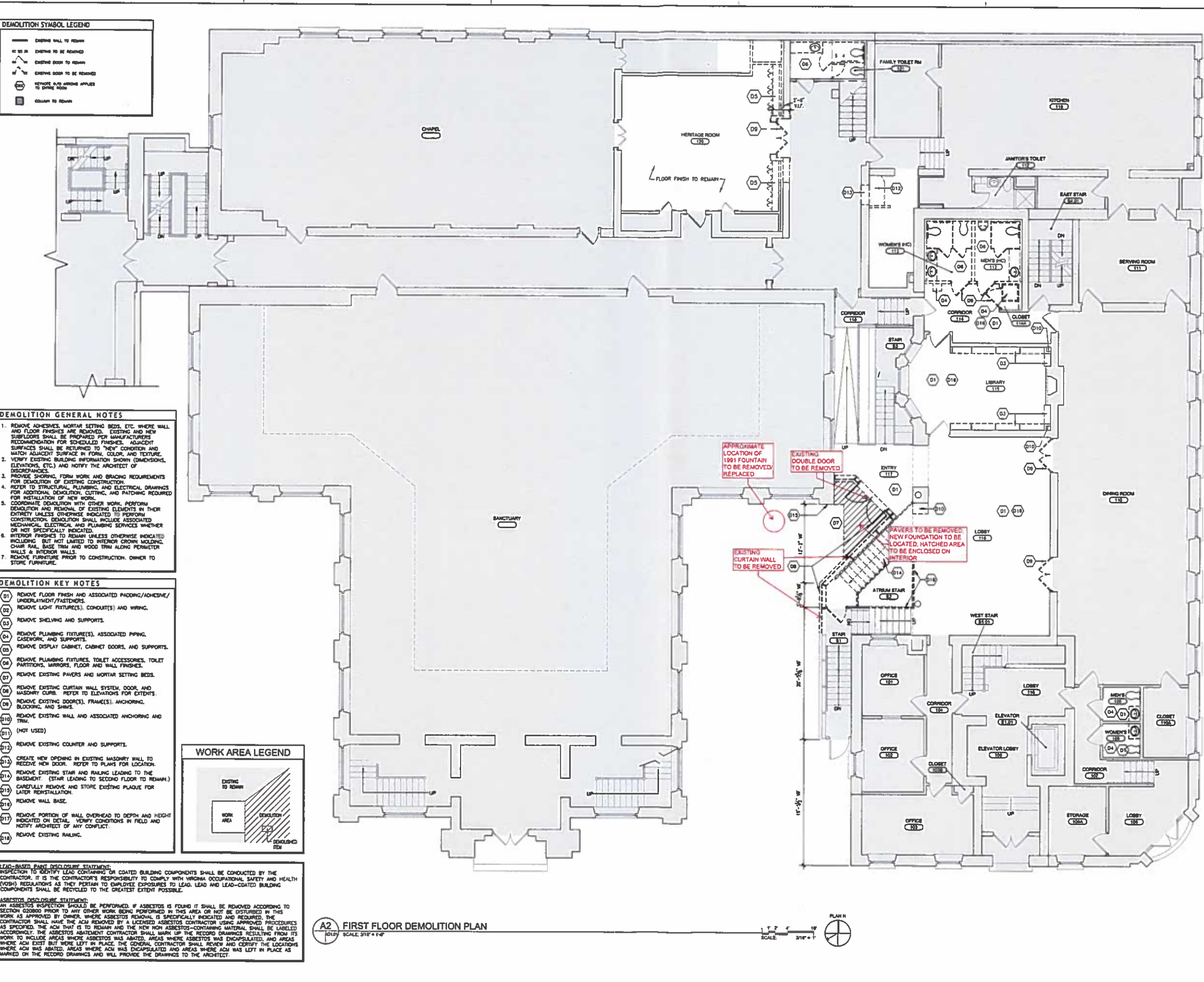
- DEMOLITION KEY NOTES**
- REMOVE FLOOR FINISH AND ASSOCIATED PADDING/ADHESIVE/UNDERLAYMENT/FASTENERS.
 - REMOVE LIGHT FIXTURE(S), CONDUIT(S) AND WIRING.
 - REMOVE SHELVING AND SUPPORTS.
 - REMOVE PLUMBING FIXTURE(S), ASSOCIATED PIPING, CASEWORK, AND SUPPORTS.
 - REMOVE DISPLAY CABINET, CABINET DOORS, AND SUPPORTS.
 - REMOVE PLUMBING FIXTURES, TOILET ACCESSORIES, TOILET PARTITIONS, MIRRORS, FLOOR AND WALL FINISHES.
 - REMOVE EXISTING PAVERS AND MORTAR SETTING BEDS.
 - REMOVE EXISTING CURTAIN WALL SYSTEM, DOOR AND MASONRY CURB. REFER TO ELEVATIONS FOR EXTENTS.
 - REMOVE EXISTING DOOR(S), FRAME(S), ANCHORING, BLOODING, AND SHIMS.
 - REMOVE EXISTING WALL AND ASSOCIATED ANCHORING AND TRIM.
 - (NOT USED)
 - REMOVE EXISTING COUNTER AND SUPPORTS.
 - CREATE NEW OPENING IN EXISTING MASONRY WALL TO RECEIVE NEW DOOR. REFER TO PLANS FOR LOCATION.
 - REMOVE EXISTING STAIR AND RAILING LEADING TO THE BASEMENT. (STAIR LEADING TO SECOND FLOOR TO REMAIN.)
 - CAREFULLY REMOVE AND STORE EXISTING PLAQUE FOR LATER REINSTALLATION.
 - REMOVE WALL BASE.
 - REMOVE PORTION OF WALL OVERHEAD TO DEPTH AND HEIGHT INDICATED ON DETAIL. VERIFY CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY CONFLICT.
 - REMOVE EXISTING RAILING.



LEAD-BASED PAINT DISCLOSURE STATEMENT:
INSPECTION TO IDENTIFY LEAD CONTAINING OR COATED BUILDING COMPONENTS SHALL BE CONDUCTED BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH VIRGINIA OCCUPATIONAL SAFETY AND HEALTH (VOSH) REGULATIONS AS THEY PERTAIN TO EMPLOYEE EXPOSURES TO LEAD. LEAD AND LEAD-COATED BUILDING COMPONENTS SHALL BE RECYCLED TO THE GREATEST EXTENT POSSIBLE.

ASBESTOS DISCLOSURE STATEMENT:
AN ASBESTOS INSPECTION SHOULD BE PERFORMED. IF ASBESTOS IS FOUND IT SHALL BE REMOVED ACCORDING TO SECTION 020800 PRIOR TO ANY OTHER WORK BEING PERFORMED IN THIS AREA OR NOT BE DISTURBED IN THIS WORK AS APPROVED BY OWNER. WHERE ASBESTOS REMOVAL IS SPECIFICALLY INDICATED AND REQUIRED, THE CONTRACTOR SHALL HAVE THE ACM REMOVED BY A LICENSED ASBESTOS CONTRACTOR USING APPROVED PROCEDURES AS SPECIFIED. THE ACM THAT IS TO REMAIN AND THE NEW NON-ASBESTOS-CONTAINING MATERIAL SHALL BE LABELED ACCORDINGLY. THE ASBESTOS REMOVAL CONTRACTOR SHALL MARK UP THE RECORD DRAWINGS RESULTING FROM ITS WORK TO INCLUDE AREAS WHERE ASBESTOS WAS ABATED, AREAS WHERE ASBESTOS WAS ENCAPSULATED, AND AREAS WHERE ACM EXIST BUT WERE LEFT IN PLACE. THE GENERAL CONTRACTOR SHALL REVIEW AND CERTIFY THE LOCATIONS WHERE ACM WAS ABATED, AREAS WHERE ACM WAS ENCAPSULATED AND AREAS WHERE ACM WAS LEFT IN PLACE AS MARKED ON THE RECORD DRAWINGS AND WILL PROVIDE THE DRAWINGS TO THE ARCHITECT.

A2 FIRST FLOOR DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



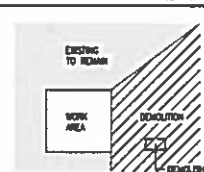
DEMOLITION GENERAL NOTES

- REMOVE ADHESIVES, MORTAR SETTING BEDS, ETC. WHERE WALL AND FLOOR FINISHES ARE REMOVED. EXISTING AND NEW SUBFLOORS SHALL BE PREPARED FOR MANUFACTURERS RECOMMENDATION FOR SCHEDULED FINISHES. ADJACENT SURFACES SHALL BE RETURNED TO "NEW" CONDITION AND MATCH ADJACENT SURFACE IN FORM, COLOR, AND TEXTURE.
- VERIFY EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, ETC.) AND NOTIFY THE ARCHITECT OF DISCREPANCIES.
- PROVIDE SHORING, FORM WORK AND BRACING REQUIREMENTS FOR DEMOLITION OF EXISTING CONSTRUCTION.
- REFER TO STRUCTURAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION, CUTTING, AND PATCHING REQUIRED FOR INSTALLATION OF NEW WORK.
- COORDINATE DEMOLITION WITH OTHER WORK. PERFORM DEMOLITION AND REMOVAL OF EXISTING ELEMENTS IN THEIR ENTIRETY UNLESS OTHERWISE INDICATED TO PERFORM CONSTRUCTION. DEMOLITION SHALL INCLUDE ASSOCIATED MECHANICAL, ELECTRICAL AND PLUMBING SERVICES WHETHER OR NOT SPECIFICALLY INDICATED.
- INTERIOR FINISHES TO REMAIN UNLESS OTHERWISE INDICATED INCLUDING BUT NOT LIMITED TO INTERIOR CROWN MOULDING, CHAIR RAIL, BASE TRIM AND WOOD TRIM ALONG PERIMETER WALLS & INTERIOR WALLS.
- REMOVE FURNITURE PRIOR TO CONSTRUCTION. OWNER TO STORE FURNITURE.

DEMOLITION KEY NOTES

- 01 REMOVE FLOOR FINISH AND ASSOCIATED PADDING/ADHESIVE/ UNDERLAYMENT/TASTENERS.
- 02 REMOVE LIGHT FIXTURE(S), CONDUIT(S) AND WIRING.
- 03 REMOVE SHELVING AND SUPPORTS.
- 04 REMOVE PLUMBING FIXTURE(S), ASSOCIATED PIPING, CASEWORK, AND SUPPORTS.
- 05 REMOVE DISPLAY CABINET, CABINET DOORS, AND SUPPORTS.
- 06 REMOVE PLUMBING FIXTURES, TOILET ACCESSORIES, TOILET PARTITIONS, MIRRORS, FLOOR AND WALL FINISHES.
- 07 REMOVE EXISTING PAVERS AND MORTAR SETTING BEDS.
- 08 REMOVE EXISTING CURTAIN WALL SYSTEM, DOOR AND MASONRY CURB. REFER TO ELEVATIONS FOR EXTENTS.
- 09 REMOVE EXISTING DOOR(S), FRAME(S), ANCHORING, BLOCKING, AND SHIMS.
- 010 REMOVE EXISTING WALL AND ASSOCIATED ANCHORING AND TRIM.
- 011 (NOT USED)
- 012 REMOVE EXISTING COUNTER AND SUPPORTS.
- 013 CREATE NEW OPENING IN EXISTING MASONRY WALL TO RECEIVE NEW DOOR. REFER TO PLANS FOR LOCATION.
- 014 REMOVE EXISTING STAIR AND RAILING LEADING TO THE BASEMENT. (STAIR LEADING TO SECOND FLOOR TO REMAIN.)
- 015 CAREFULLY REMOVE AND STORE EXISTING PLUQUE FOR LATER REINSTALLATION.
- 016 REMOVE WALL BASE.
- 017 REMOVE PORTION OF WALL OVERHEAD TO DEPTH AND HEIGHT INDICATED ON DETAIL. VERIFY CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY CONFLICT.
- 018 REMOVE EXISTING RAILING.

WORK AREA LEGEND

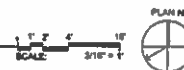


LEAD-BASED PAINT DISCLOSURE STATEMENT:
INSPECTION TO DETERMINE LEAD CONTAINING OR COATED BUILDING COMPONENTS SHALL BE CONDUCTED BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH VIRGINIA OCCUPATIONAL SAFETY AND HEALTH (VOHS) REGULATIONS AS THEY PERTAIN TO EMPLOYEE EXPOSURES TO LEAD. LEAD AND LEAD-COATED BUILDING COMPONENTS SHALL BE RECYCLED TO THE GREATEST EXTENT POSSIBLE.

ASBESTOS DISCLOSURE STATEMENT:
AN ASBESTOS INSPECTION SHALL BE PERFORMED. IF ASBESTOS IS FOUND IT SHALL BE REMOVED ACCORDING TO SECTION 602000 PRIOR TO ANY OTHER WORK BEING PERFORMED IN THIS AREA OR NOT BE DISTURBED IN THIS WORK AS APPROVED BY OWNER. WHERE ASBESTOS REMOVAL IS SPECIFICALLY INDICATED AND REQUIRED, THE CONTRACTOR SHALL HAVE THE ACM REMOVED BY A LICENSED ASBESTOS CONTRACTOR USING APPROVED PROCEDURES AS SPECIFIED. THE ACM THAT IS TO REMAIN AND THE NEW HIGH ASBESTOS-CONTAINING MATERIAL SHALL BE LABELED ACCORDINGLY. THE ASBESTOS REMOVAL CONTRACTOR SHALL MARK UP THE RECORD DRAWINGS RESULTING FROM ITS WORK TO INCLUDE AREAS WHERE ASBESTOS WAS ABATED, AREAS WHERE ASBESTOS WAS ENCAPSULATED, AND AREAS WHERE ACM EXIST BUT WERE LEFT IN PLACE. THE GENERAL CONTRACTOR SHALL REVIEW AND CERTIFY THE LOCATIONS WHERE ACM WAS ABATED, AREAS WHERE ACM WAS ENCAPSULATED AND AREAS WHERE ACM WAS LEFT IN PLACE AS MARKED ON THE RECORD DRAWINGS AND WILL PROVIDE THE DRAWINGS TO THE ARCHITECT.

A2 SECOND FLOOR DEMOLITION PLAN

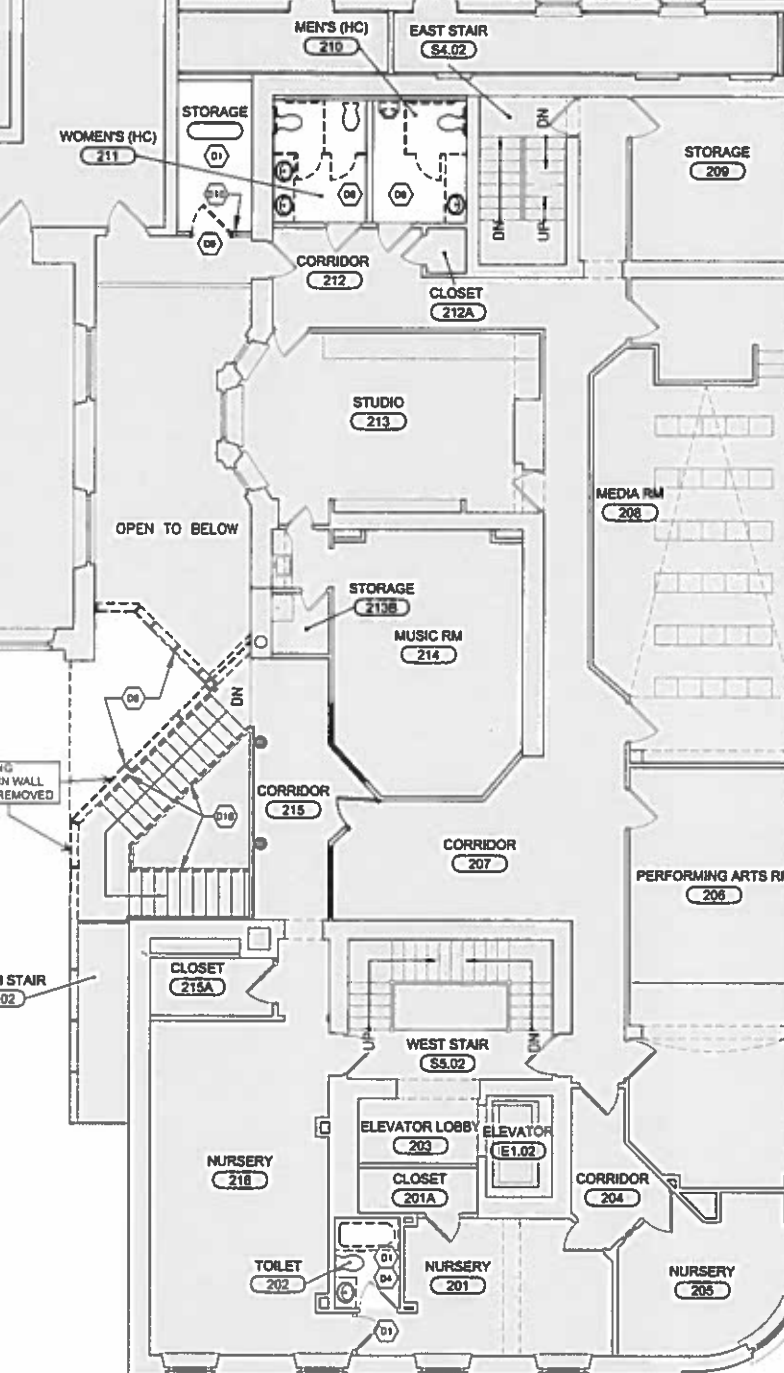
SCALE: 3/16" = 1'-0"



E
D
C
B
A

EXISTING STAIR

OPEN TO BELOW



EXISTING STAIR

MEN'S (HC) 210

WOMEN'S (HC) 211

EAST STAIR S4.02

CORRIDOR 212

CLOSET 212A

OPEN TO BELOW

STUDIO 213

MUSIC RM 214

CORRIDOR 215

CORRIDOR 207

CLOSET 215A

WEST STAIR S5.02

ELEVATOR LOBBY 203

CLOSET 201A

NURSERY 201

TOILET 202

NURSERY 205

STORAGE 209

MEDIA RM 208

PERFORMING ARTS RM 206

NURSERY 201

NURSERY 205

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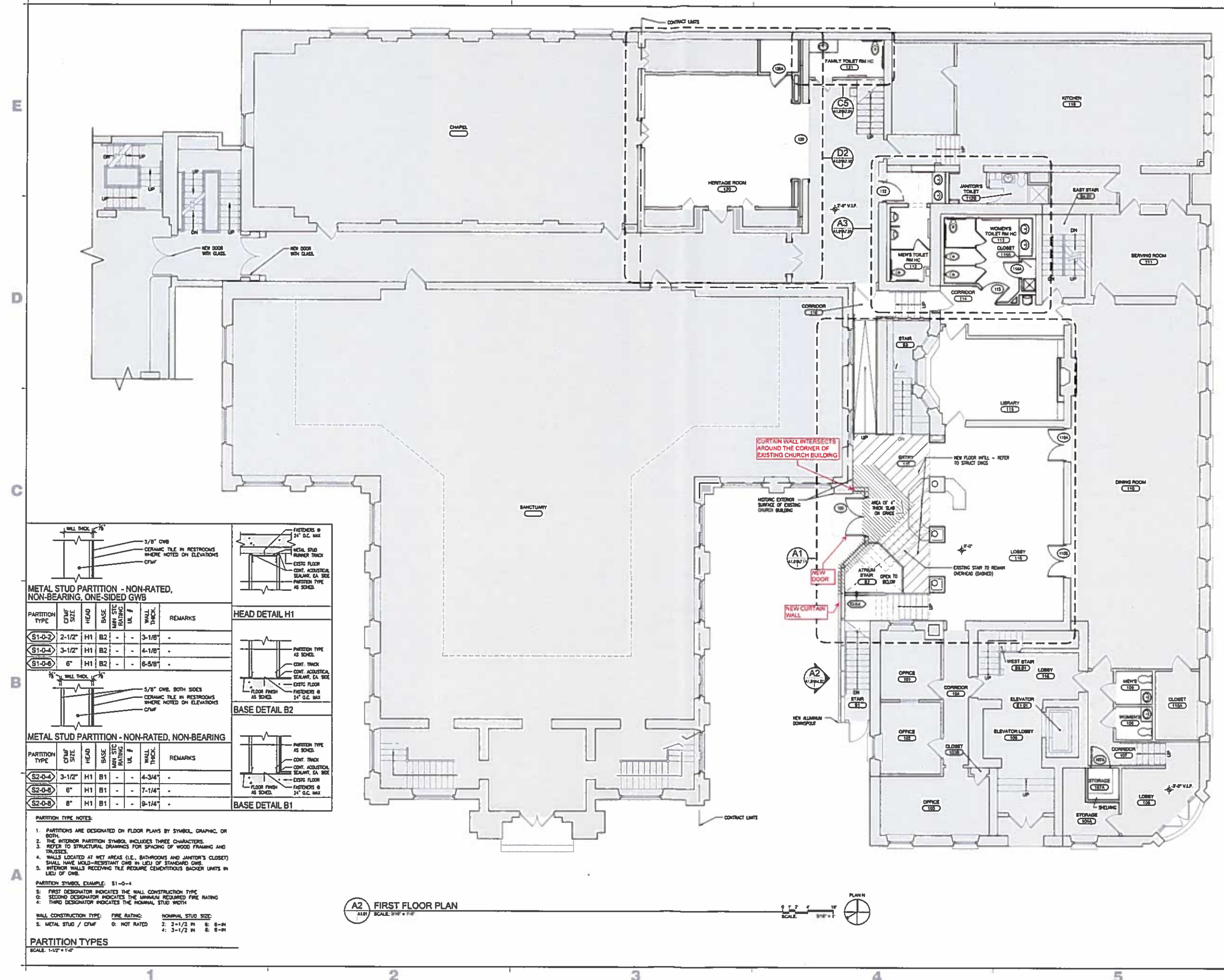
2

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4

5

NO.	DATE	DESCRIPTION



METAL STUD PARTITION - NON-RATED, NON-BEARING, ONE-SIDED GWB						
PARTITION TYPE	CMF SIZE	HEAD	BASE	MIN STC RATING UL / F	WALL THICK.	REMARKS
S1-0-2	2-1/2"	H1	B2	-	3-1/8"	-
S1-0-4	3-1/2"	H1	B2	-	4-1/8"	-
S1-0-6	6"	H1	B2	-	6-5/8"	-

METAL STUD PARTITION - NON-RATED, NON-BEARING						
PARTITION TYPE	CMF SIZE	HEAD	BASE	MIN STC RATING UL / F	WALL THICK.	REMARKS
S2-0-4	3-1/2"	H1	B1	-	4-3/4"	-
S2-0-6	6"	H1	B1	-	7-1/4"	-
S2-0-8	8"	H1	B1	-	9-1/4"	-

PARTITION TYPE NOTES:

- PARTITIONS ARE DESIGNATED ON FLOOR PLANS BY SYMBOL GRAPHIC ON BOTH.
- THE INTERIOR PARTITION SYMBOL INCLUDES THREE CHARACTERS.
- REFER TO STRUCTURAL DRAWINGS FOR SPACING OF WOOD FRAMING AND TRUSSES.
- WALLS LOCATED AT WET AREAS (I.E., BATHROOMS AND JANITOR'S CLOSET) SHALL HAVE MOIST-RESISTANT GWB IN LIEU OF STANDARD GWB.
- INTERIOR WALLS RECEIVING TILE REQUIRE CONTINUOUS BACKER UNITS IN LIEU OF GWB.

PARTITION SYMBOL EXAMPLE: S1-0-4

S: FIRST DESIGNATOR INDICATES THE WALL CONSTRUCTION TYPE
 0: SECOND DESIGNATOR INDICATES THE MINIMUM REQUIRED FIRE RATING
 4: THIRD DESIGNATOR INDICATES THE NOMINAL STUD WIDTH

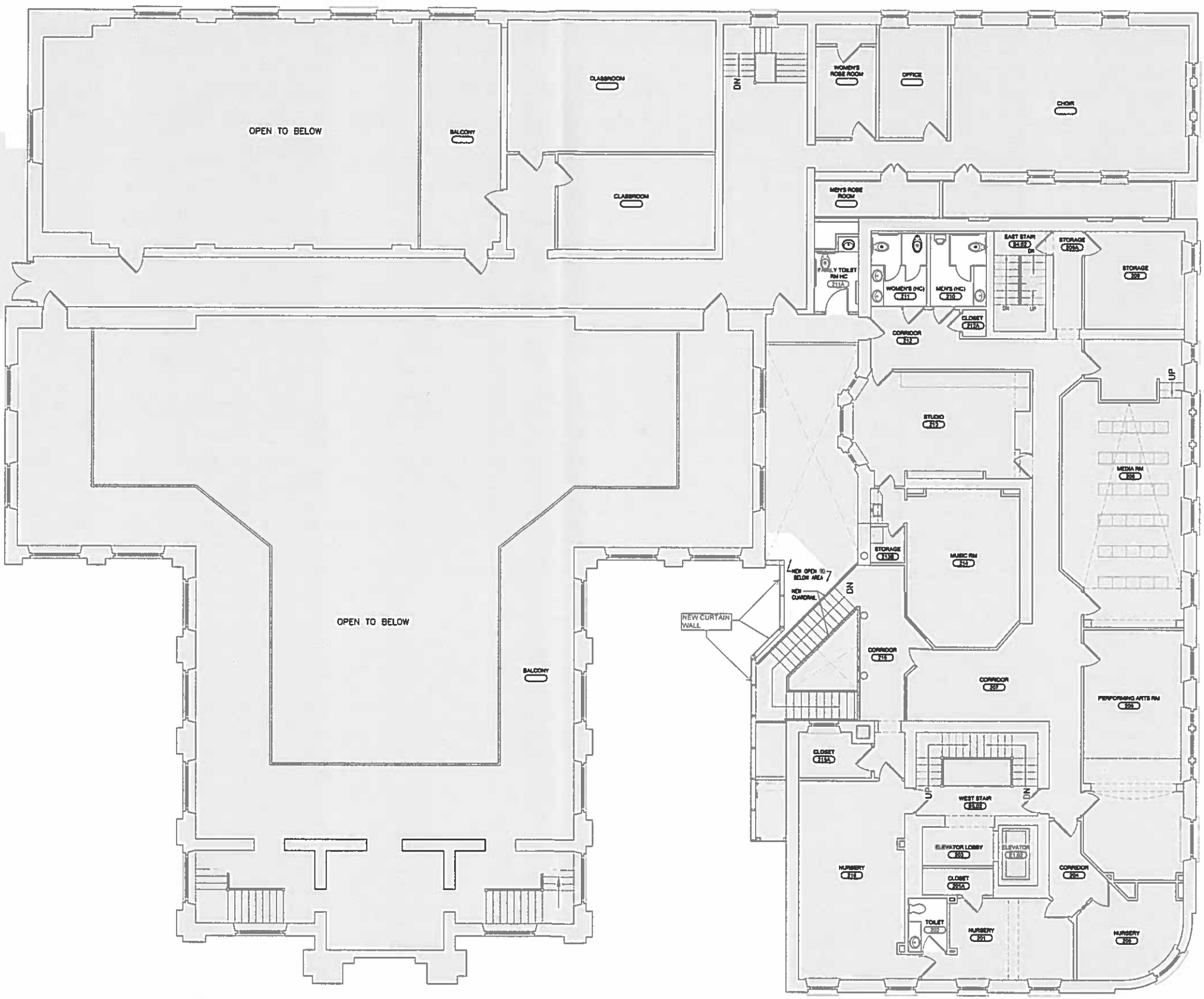
WALL CONSTRUCTION TYPE: FIRE RATING: NOMINAL STUD SIZE:
 S: METAL STUD / CMF 0: NOT RATED 2: 2-1/2 IN 6: 6-IN
 4: 3-1/2 IN 8: 8-IN

PARTITION TYPES
 SCALE: 1/4" = 1'-0"

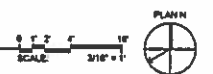
A2 FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

E
D
C
B
A

EXISTING STAIR



A2 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



GLAVÉ & HOLMES ARCHITECTURE

2101 East Main Street
Richmond, Virginia 23223
T 804 649 9303 F 804 343 3378
W www.glavendholmes.com

PROJECT TITLE
SECOND PRESBYTERIAN CHURCH RENOVATIONS

RICHMOND, VA

CONSULTANTS
STRUCTURAL ENGINEER
DHWPV
1025 BOULDERS PARKWAY, SUITE 310
RICHMOND, VA 23225
T 804 323 0656 F 804 272 3916
MEP ENGINEER
DUNLAP & PARTNERS ENGINEERS
2112 W. LABURNUM AVE., SUITE 205
RICHMOND, VA 23227
T 804 358 9200 F 804 358 2928

SEAL

DESIGN DEVELOPMENT

PROJECT NUMBER
21483

DATE
APRIL 16, 2018

DRAWN BY: SPH CHECKED BY: JC

REVISIONS

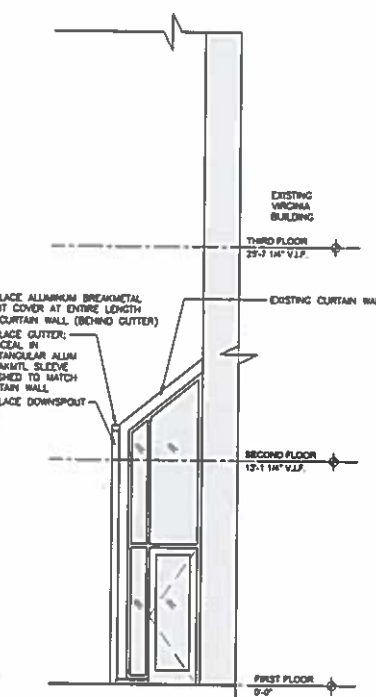
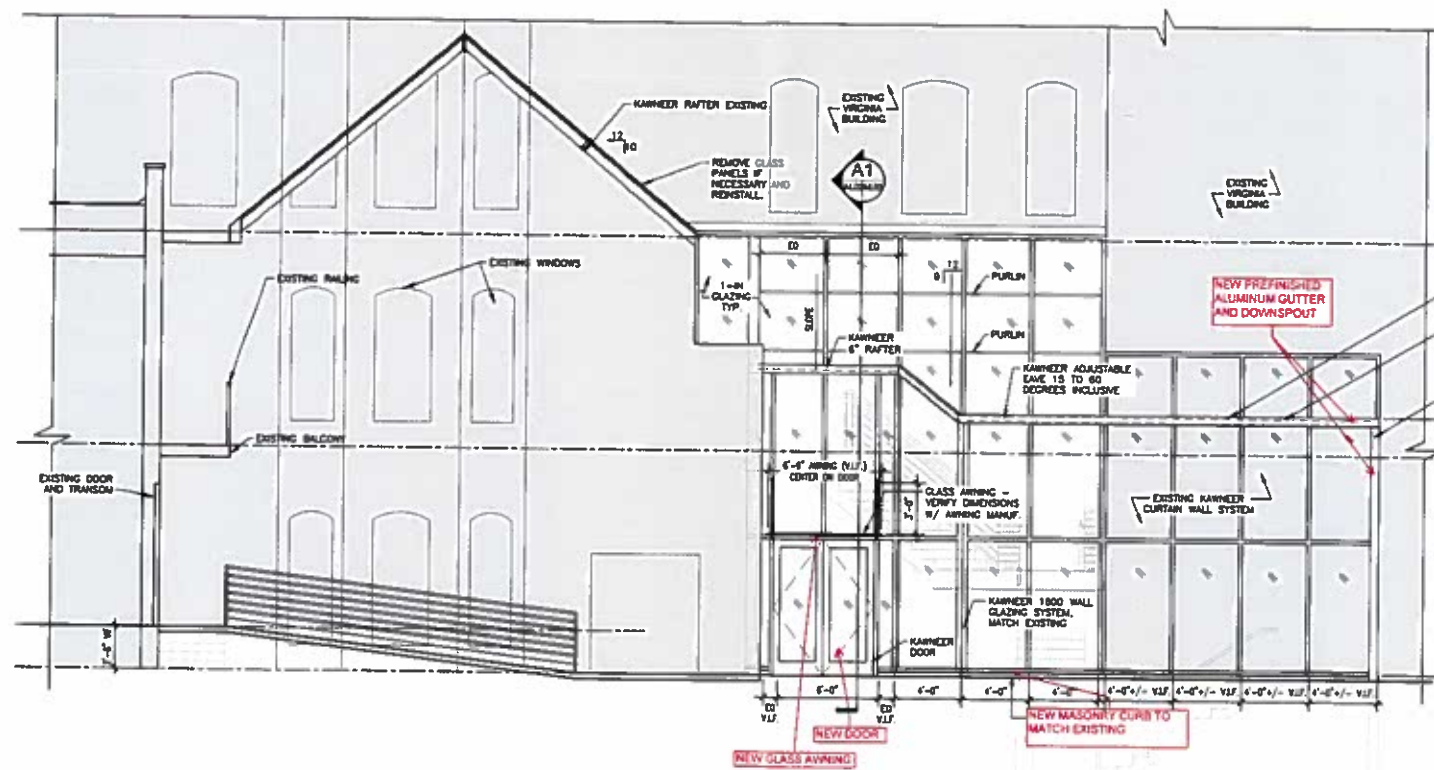
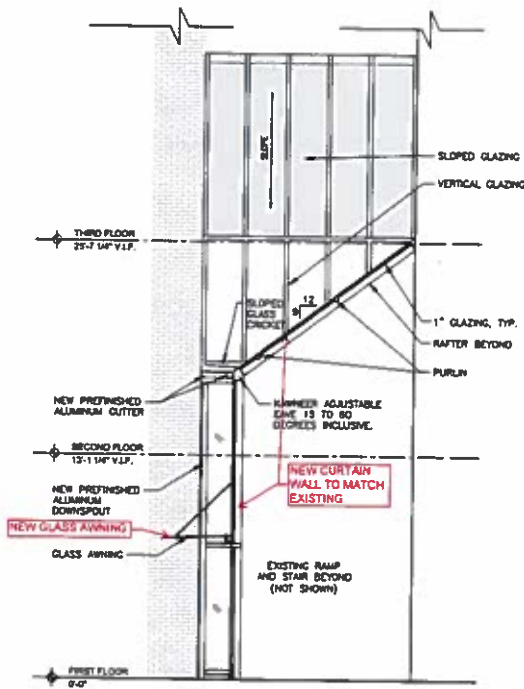
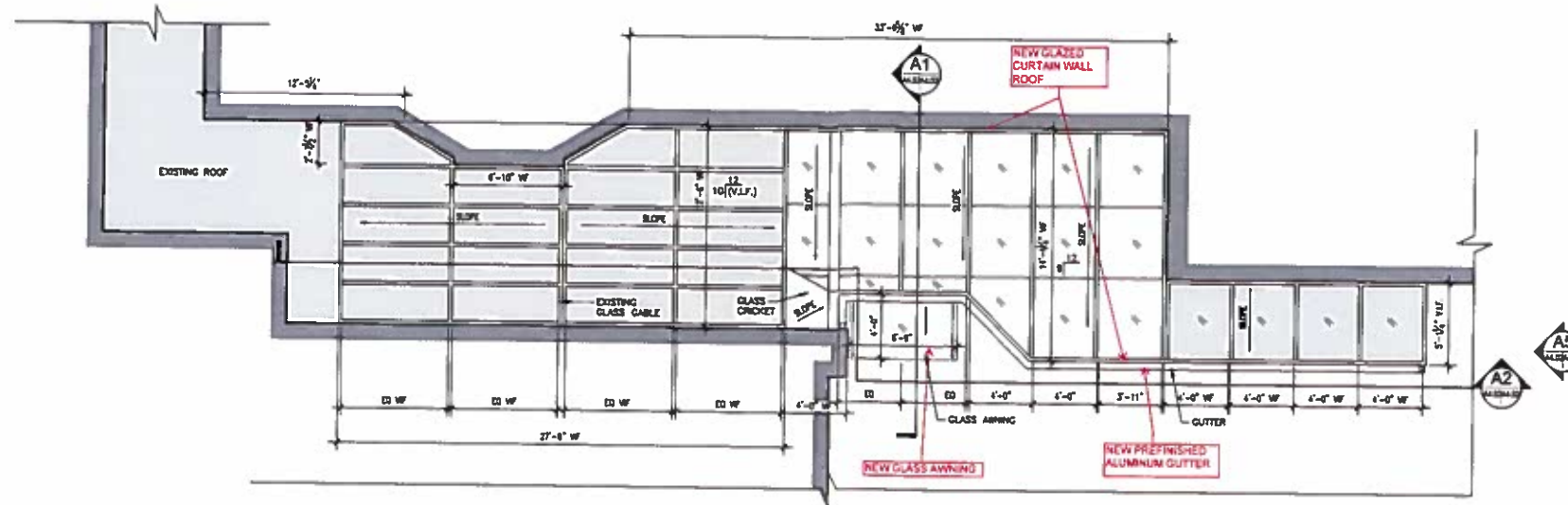
NO.	DATE	DESCRIPTION

SHEET TITLE
SECOND FLOOR PLAN

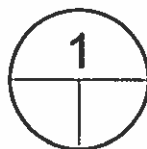
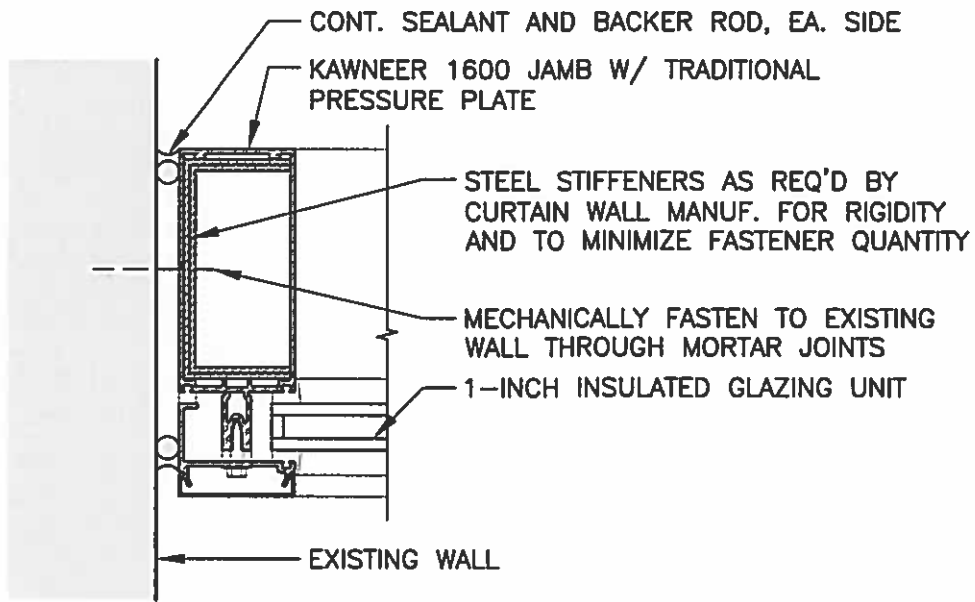
SHEET NUMBER
A1.02

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1 2 3 4 5



GENERAL NOTE: ALL DETAILS TAKEN FROM KAWNEER 1800 CURTAIN WALL SYSTEM AND SLOPED GLAZING. SIMILAR TO EXISTING. INSTALL AS RECOMMENDED BY FABRICATOR.



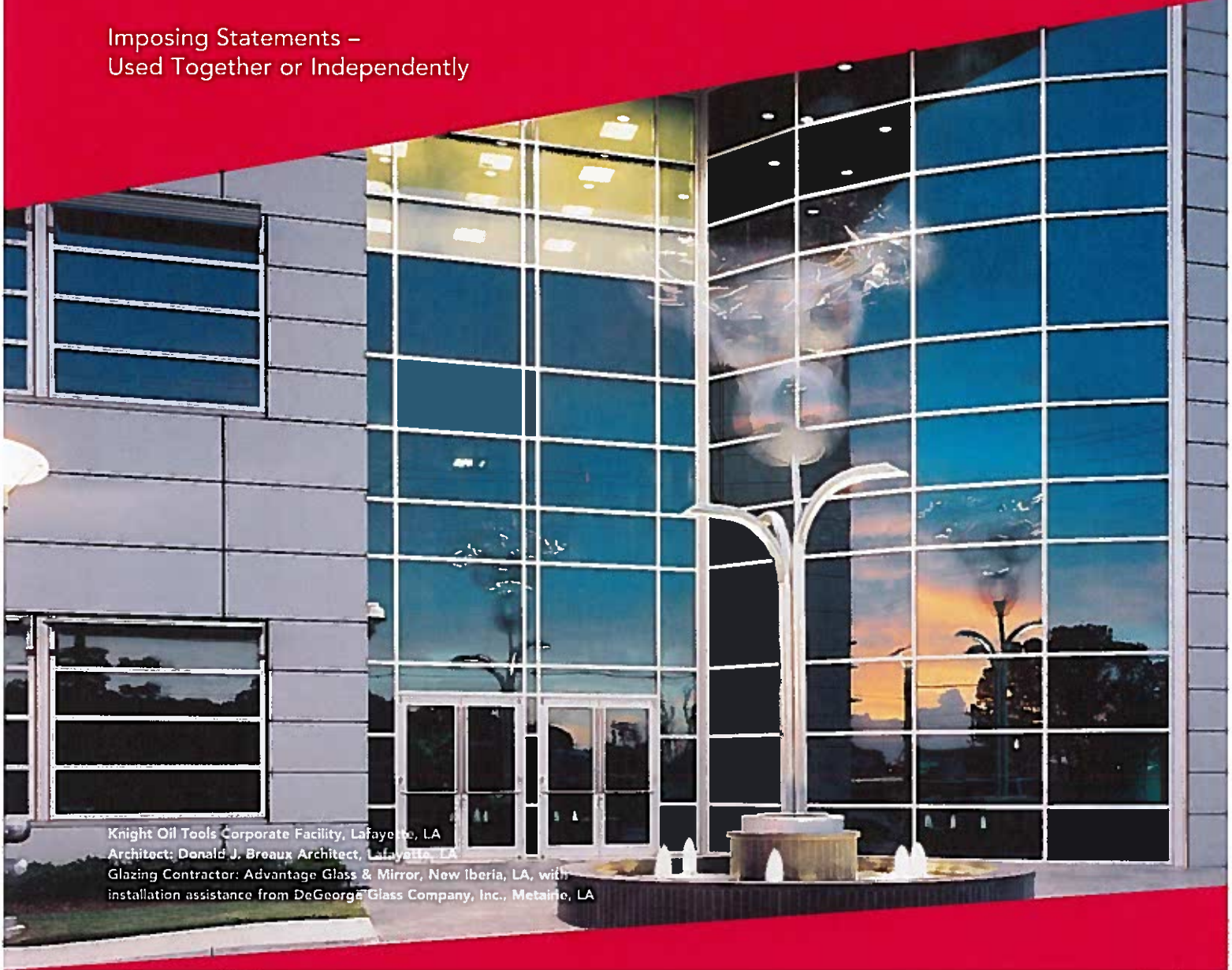
CURTAIN WALL JAMB DETAIL

SCALE: 3" = 1'-0"

1600 Wall System™1 / System™2

PROPOSED
CURTAIN WALL
SYSTEM

Imposing Statements –
Used Together or Independently



Knight Oil Tools Corporate Facility, Lafayette, LA
Architect: Donald J. Breaux Architect, Lafayette, LA
Glazing Contractor: Advantage Glass & Mirror, New Iberia, LA, with
installation assistance from DeGeorge Glass Company, Inc., Metairie, LA

Building on the proven success of Kawneer's 1600 Wall System™ which set the standards for curtain wall engineering, 1600 Wall System™1 and 1600 Wall System™2 provide reliability with versatile features. Both are stick-fabricated, pressure glazed curtain walls for low-to-mid-rise applications and are designed to be used independently or as an integrated system to provide visual impact for almost any type of building.

- 1600 Wall System™1 is an outside glazed, captured curtain wall
- 1600 Wall System™2 is a Structural Silicone Glazed (SSG) curtain wall

Aesthetics

Even the smallest details of 1600 System™1/1600 Wall System™2 reflect the aesthetics and reliability that derive from Kawneer's precise engineering and experience. The joinery for both systems is accomplished with concealed fasteners to create unbroken lines and a monolithic appearance. When using optional, open back horizontal mullions, the fillers snap at the edge, producing an uninterrupted sight line.

Performance

Key aspects of 1600 System™1 and 1600 Wall System™2 are enhanced for higher performance. Pressure equalization has been designed into the system and all components are silicone compatible to provide superior longevity. For installations where severe weather conditions are prevalent, 1600 Wall System™1 has been large missile hurricane impact and cycle tested. Proven through years of high performance, both systems are tested according to industry standards:

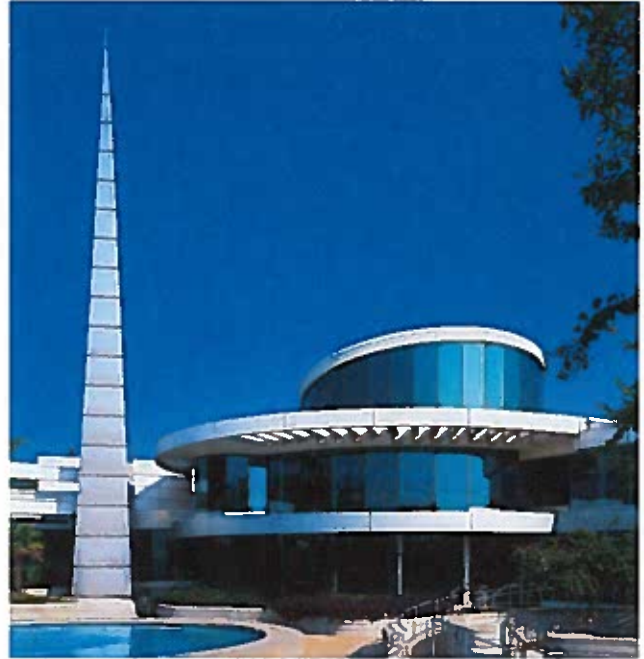
Air Performance	ASTM E-283
Static Water Penetration	ASTM E-331
Dynamic Water Penetration	AAMA 501.1
Structural Performance	ASTM E-330
"U" Value, CRF	AAMA 1503.1
Sound Transmission Rating	ASTM E 90-90
Seismic Performance	AAMA 501.4

For the Finishing Touch

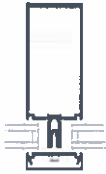
Architectural Class I anodized aluminum finishes are available in clear and Permanodic™ color choices.

Painted Finishes, including fluoropolymer, that meet AAMA 2605 are offered in many standard choices and an unlimited number of specially-designed colors.

Solvent-free powder coatings add the green element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.



Hunter Henry Center at Mississippi State University,
Mississippi State, MS
Architect: Foil Wyatt Architects & Planners, P.A., Jackson, MS
Glazing Contractor: American Glass Company, Inc., Columbus, MS



1600 Wall System™1



1600 Wall System™2

1600 Wall System™1/1600 Wall System™2:

- for reliability
- for performance
- for versatility
- for a smooth, monolithic appearance
- for uninterrupted sight lines

Kawneer Company, Inc.
Technology Park / Atlanta
555 Guthridge Court
Norcross, GA 30092

kawneer.com
770 . 449 . 5555

 **KAWNEER**
AN ARCONIC COMPANY



1600 S.G. (Sloped Glazing)

PROPOSED
CURTAIN WALL
ROOF SYSTEM

Offering Multiple Glazing Options
and Spectacular Aesthetics with
Curtain Wall Performance



Farm Family Insurance Companies, Glenmont, New York, USA
Architect: Crozier Associates, P.C., Albany, New York, USA

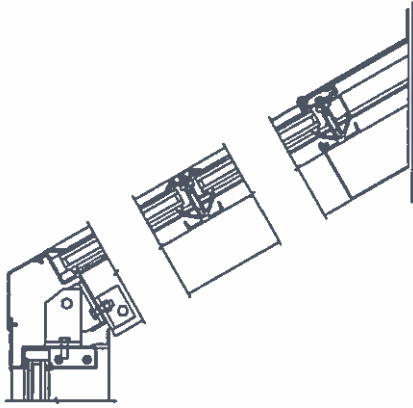
Kawneer's 1600 S.G. is a standardized aluminum wall system for sloped glazing that delivers curtain wall performance. It is adaptable to three basic applications: (1) sloped glazing integrated with vertical curtain wall; (2) slopes terminating on a parapet wall or curb; and (3) slopes applied to a steel grid subframe. The 1600 S.G. system may also be used on inside or outside corner applications.

Aesthetics

The system has a flush grid exterior with a 2-1/2" (63.5 mm) sightline. Rafters are available in 3-1/8" (79.4 mm), 4-3/4" (120.7 mm) and 6" (152.4 mm) depths to meet design or performance requirements. Additionally, an 8-5/8" (219.1 mm) rafter is available for longer spans. 1600 S.G. accepts 3/16" (4.8 mm) to 1-5/16" (33.3 mm) thick glazing material. Glazing is accomplished (from the exterior) with pressure plates and wet sealed.

Economy

1600 S.G. is factory fabricated, shipped knocked down and installed as a stick system. Screw spline fastening at purlin-to-rafter joints substantially reduces construction labor and also eliminates unsightly bolts and exposed fasteners.

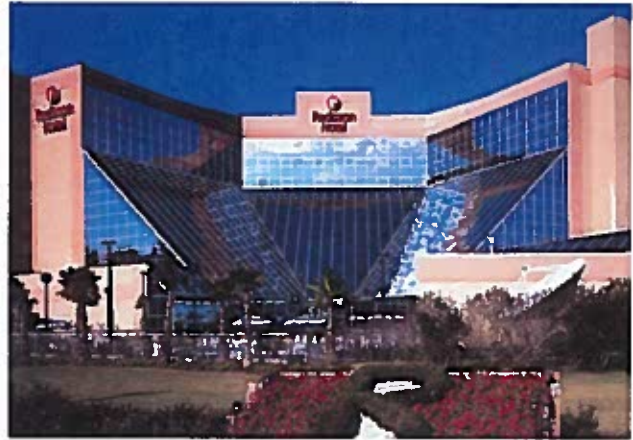
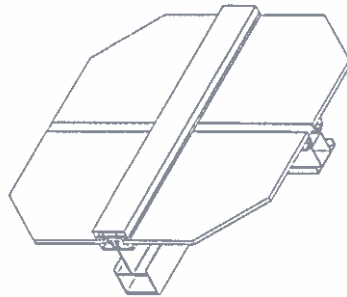


Performance

An insulating thermal break is placed at the exterior of the glass plane to minimize heat loss and condensation. A drainage system in the rafters and purlins allows condensed moisture to be channeled through a continuous sill gutter to the exterior. The system has been tested in accordance with ASTM procedures for air, water and structural performance. Certified test reports are available upon request.

1600 S.G. features:

- Provides passive solar value
- Multiple glazing options
- High performance
- Positive drainage system



Radisson Hotel-Airport, Orlando, Florida, USA

Architect: Archiplan International, Ltd., Rolling Meadows, Illinois, USA

For the Finishing Touch

Permanodic™ anodized finishes are available in Class I and Class II in seven different color choices.

Painted finishes, including fluoropolymer, that meet or exceed AAMA 2605 are offered in many standard choices and an unlimited number of specially designed colors.

Solvent-free powder coatings add the "green" element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.

Kawneer Company, Inc.
Technology Park / Atlanta
555 Guthridge Court
Norcross, GA 30092

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 **KAWNEER**
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1600 PowerShade™, 1600 Wall System™1 and Permanodic™ are trademarks of Kawneer Company, Inc.



Kawneer Anodize finishes

Kawneer gives you a wide variety of anodized finishes with attractive alternatives. The benefit of a durable, anodized finish is married to the beauty of some very dynamic and exciting colors.

At the start of every design, there's a choice of how you want to finish. Contact your Kawneer sales rep for the information on these and other finishes available from Kawneer.

	KAWNEER FINISH NO.	COLOR	ALUMINUM ASSOCIATION SPECIFICATION	OTHER COMMENTS
	#14	CLEAR	AA-M10C21A41 / AA-M45C22A41	Architectural Class I (.7 mils minimum)
COLOR TO MATCH EXISTING ADJACENT CURTAIN WALL TO BE RETAINED				
	#17	CLEAR	AA-M10C21A31	Architectural Class II (.4 mils minimum)
	#18	CHAMPAGNE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#26	LIGHT BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#28	MEDIUM BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#40	DARK BRONZE	AA-M10C21A44 / AA-M45C22A44	Architectural Class I (.7 mils minimum)
	#29	BLACK	AA-M10C21A44	Architectural Class I (.7 mils minimum)

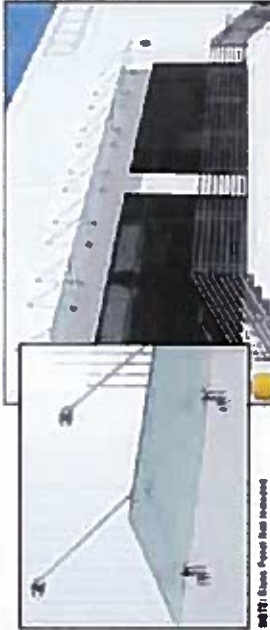
CRL GLASS AWNINGS

CRL Glass Awning Support System

- Complete Hardware System for 8'16" (14 mm) Tempered Laminated Glass Awnings
- Provides Protection From the Weather Without Obstructing the View
- Adjustable Slope for Most Weather Conditions
- All High Grade 316 Alloy Stainless Steel Components for Panel Sizes Up to 48" (1219 mm) Wide and 72" (1829 mm) Long With Two Rods and Mounting Kits
- Easy Installation Allows an Economical and Elegant Solution for Both Commercial and Residential Applications

RECOMMENDATIONS:
 Minimum 316 alloy stainless steel hardware.
 Typical panel size: 14' x 14' (14 mm) thick tempered laminated glass.
 Maximum panel size: 48' x 72' (14 mm) thick tempered laminated glass.
 Maximum panel weight: 150 lbs (68 kg).
 Maximum panel slope: 15 degrees.

Glass Fabrication Requirements:
 Two 8' x 16' (14 mm) and two 14' x 14' (14 mm) diameter tempered glass panels.
 One pair of 316 alloy stainless steel connecting rods and two mounting kits are required for each panel.

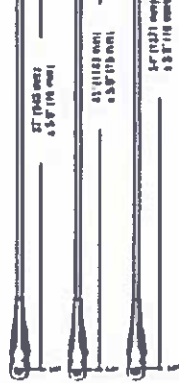


For Pricing on CRL Products Call Toll Free (800) 421-8144 or visit www.crl.com

The CRL Glass Awning Support System will give you complete protection from the weather. With the use of tempered laminated glass you can add a range of glass treatments, and special glass that provides UV protection and special glass that provides the design of any building.

The use of eye and bolt connectors makes the installation of our Awning System quick and easy. The Connecting Rods are designed to make field adjustments on varying gas conditions a snap. All components are 316 Alloy Stainless Steel for durability in even the harshest of environments.

For additional information, contact CRL Architectural and Commercial Metal Technical Sales at (800) 421-8144 in the U.S., (877) 431-8144 from Canada, or (323) 566-1983 International. Ask for Est. 7770. You can also e-mail us through our web site at estimates@crl.com. From the home page click on Contact Us, and then click on Technical Sales.



CAT. NO. GAS31785
316 Connecting Rod



CAT. NO. GAS14585
45 Connecting Rod



CAT. NO. GAS31905
316 Connecting Rod



Brushed Stainless Finish



Order the Mounting Bracket and Eye Bolt Kit for use with the 316 stainless steel hardware. It comes in three different sizes to fit the mounting holes.

CAT. NO. GAS19005
Mounting Kit



CAT. NO. GAS12285
316 Connecting Rod

GLASS AWNING SYSTEM COMPONENTS

- CAT. NO. GAS19795: 316 Alloy Mount and Pin Kit
- CAT. NO. GAS14585: 45 Connecting Rod
- CAT. NO. GAS31785: 316 Connecting Rod
- CAT. NO. GAS31905: 316 Connecting Rod

For more information on our Glass Awning System, or for a quote, contact CRL Architectural and Commercial Metal Technical Sales at (800) 421-8144 in the U.S., (877) 431-8144 from Canada, or (323) 566-1983 International. Ask for Est. 7770. You can also e-mail us through our web site at estimates@crl.com. From the home page click on Contact Us, and then click on Technical Sales.

1.80.00 TO CRL ARCHITECTURAL AND COMMERCIAL METAL SERVICES
 (800) 421-8144 | FAX (800) 382-3253 TOLL FREE FROM ANYWHERE IN THE U.S. OR CANADA | M159



PROPOSED GLASS AWNING

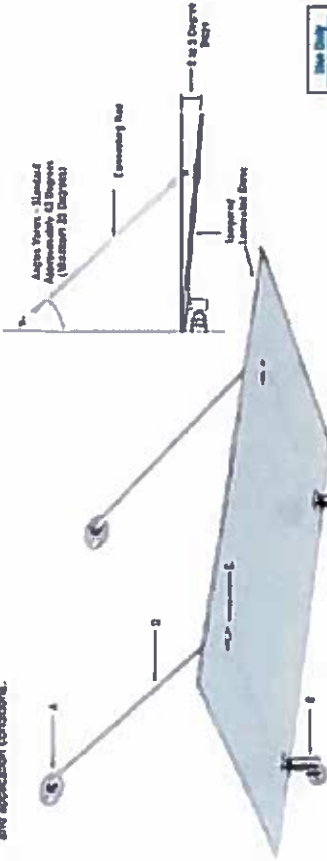
CRL GLASS AWNINGS CRL Glass Awning Support System

System Components

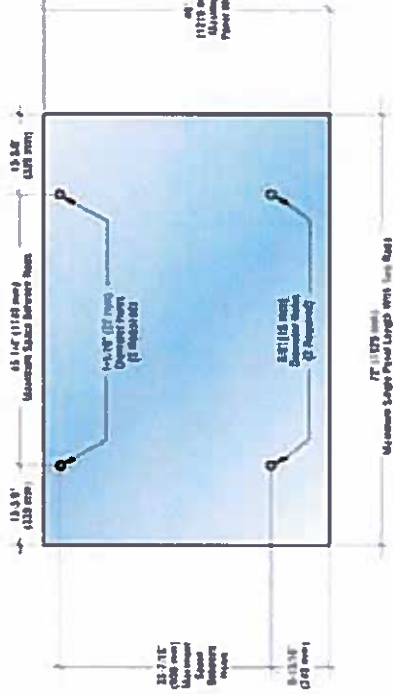
Stainless Steel Mounts (A and B) and Physics (C) are contained in the QAS19005 Mounting Kit. Order Connecting Rods (D) to suit detail with application conditions.

Typical Installation Conditions

The slope of the Awning Panel is limited to a maximum of a 9 degree negative slope from level.



Fabrication and Dimensional Information for Awning Panel



For more information on our Glass Awning System, or for a quote, contact CRL Architectural and Commercial Metal Technical Sales at (800) 421-8144 in the U.S., (877) 431-8144 from Canada, or (323) 566-1983 International. Ask for Est. 7770. You can also e-mail us through our web site at estimates@crl.com. From the home page click on Contact Us, and then click on Technical Sales.

1.80.00 TO CRL ARCHITECTURAL AND COMMERCIAL METAL SERVICES
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STANDARD FINISH
FOR GLAZED AWNING
METAL COMPONENTS

ARCHITECTURAL METALS FINISHES AND COLORS



Brushed Stainless

Aluminum Composite Colors



Metal Composite Finishes



Solid Metal Colors



Move Your Mouse Over An Image
To View Finishes