



CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
BOARD OF ZONING APPEALS

July 9, 2021

Paul Vincent Lenz and Mary Susan Peebles
1922 Grove Avenue
Richmond, Virginia 23220

Oxford Contracting Services LLC
8245 Halstead Road
Richmond, VA 23235
Attn: Robert Farinholt

To Whom It May Concern:

RE: **BZA 43-2021**

You are hereby notified that the Board of Zoning Appeals will hold an electronic public hearing on Wednesday, August 4, 2021 due to the disaster represented by the spread of COVID-19 pursuant to and in compliance with Ordinance 2021-181 to consider an application for a building permit to construct a rear covered porch on an existing single-family detached dwelling at 1922 GROVE AVENUE (Tax Parcel Number W000-0857/030), located in an R-6 (Single-Family Attached Residential) District.

Please be advised that the applicant or applicant's representative is required to participate in the electronic public hearing by calling 804-316-9457 and entering code 330 500 226# beginning at 1:00 p.m. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2021 drop-down, click meeting details for August 4, 2021 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at William.Davidson@richmondgov.com for assistance. In accordance with Ordinance No. 2021-181, please be advised that an inability to access one of the enumerated public hearing through video means shall not be considered a prerequisite for participating in the subject public hearing. It will be necessary for you to stay on the line until such time as your case is called. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 43-2021

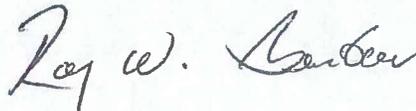
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July 9, 2021

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups> . Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in black ink that reads "Roy W. Benbow". The signature is written in a cursive style with a large initial "R".

Roy W. Benbow, Secretary

Phone: (804) 240-2124

Fax: (804) 646-5789

E-mail: Roy.Benbow@richmondgov.com

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

1913 Grove Avenue LLC
1925 Grove Ave
Richmond, VA 23220

1915 Grove Avenue LLC
1925 Grove Ave
Richmond, VA 23220

Aponte Natanael Jr
2003 Grove Ave
Richmond, VA 23220

Bauer Matthew Scott And Hodges Olivia
Brent
208 N Meadow St
Richmond, VA 23220

Bearden Carter Eugene Iii And Michaela
Ranaldi
7020 Hartford Oaks Ct
Mechanicsville, VA 23116

Bisceglia Kathleen E And Michael C And
Maura O
1923 Hanover Ave
Richmond, VA 23220

Brickhouse William D And Peebles Gale D
1927 Hanover Ave
Richmond, VA 23220

Brown Viola J
3029 Monument Ave #6
Richmond, VA 23333

Cutting Judith H Revocable Trust Trs
2004 Grove Ave
Richmond, VA 23220

Dunn Steven Hoyle And Burkhardt Thomas
Austin
1908 Grove Ave
Richmond, VA 23220

Fitzhugh William G
3816 Old Gun Rd West
Midlothian, VA 23113

Gray Margaret T
1918 Grove Ave
Richmond, VA 23220

Hanson Elizabeth C Living Trust Trustees
1912 Grove Ave
Richmond, VA 23220

Haug Brian James & Jessica M
9008 Mohawk Ln
Bethesda, MD 20817

Jackson 2001 Grove Avenue LLC
4520 Harling Ln
Bethesda, MD 20814

Kerr Anne L
1917 Hanover Ave
Richmond, VA 23220

Lewis Clarence E
2000 Grove Ave
Richmond, VA 23220

Loden Randy M And Armour Evanne
207 N Meadow St
Richmond, VA 23220

Mcclellan Arthur Greg And Joan L
1910 Grove Ave
Richmond, VA 23220

Mcqueen Kevin S And Lorraine R
1915 Hanover Ave
Richmond, VA 23220

Meadows At Hanover Condominium Unit
Owners Association
2001 Hanover Ave
Richmond, VA 23221

Moody Ashleigh R Ii
203 N Meadow St
Richmond, VA 23220

Muller John M Jr
2002 Grove Avenue
Richmond, VA 23220

Pagan John R
208 N Granby St
Richmond, VA 23220

Peters Henry Jackson And Charles Deidre
Kay
1828 Park Ave #3
Richmond, VA 23220

Pruitt Christopher
1925 Hanover Ave
Richmond, VA 23220

Ricard Darryl A And Kathryn B
1921 Hanover Ave
Richmond, VA 23220

Riccio Nicholas And Agatha
43123 Arundell Ct
Broadlands, VA 20148

Rudnick Alan A And Marciano M Villamiel
1916 Grove Ave
Richmond, VA 23220

Solomson Allison H And Klabunde Jonathan
Mark
206 N Meadow St
Richmond, VA 23220

Tabernacle Baptist Church Tr
1925 Grove Ave
Richmond, VA 23220

Tattersall Thomas K And Kelly F
6111 Three Chopt Rd
Richmond, VA 23226

Tollett Justin R And Anne H
1919 Hanover Ave
Richmond, VA 23220

Tomlinson Sallie C
P.o. Box 428
Irvington, VA 22480

Vanvoorhees Steven C And Peggy L Hombs
1914 Grove Ave
Richmond, VA 23220

Wallace Steven J And Denise C Perret
1924 Grove Ave
Richmond, VA 23220

Property: 1922 Grove Ave Parcel ID: W0000857030

Parcel

Street Address: 1922 Grove Ave Richmond, VA 23220-
Owner: LENZ PAUL VINCENT AND PEEBLES MARY SUSAN
Mailing Address: 1922 GROVE AVE, RICHMOND, VA 23220
Subdivision Name : NONE
Parent Parcel ID:
Assessment Area: 216 - Fan District 1
Property Class: 120 - R Two Story
Zoning District: R-6 - Residential (Single Family Attached)
Exemption Code: -

Current Assessment

Effective Date: 01/01/2021
Land Value: \$205,000
Improvement Value: \$550,000
Total Value: \$755,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 3250
Acreage: 0.075
Property Description 1: 0025.00X0130.00 0000.000
State Plane Coords(?): X= 11783165.481374 Y= 3726049.030565
Latitude: 37.55152576 , **Longitude:** -77.46431712

Description

Land Type: Residential Lot B
Topology: Level
Front Size: 25
Rear Size: 130
Parcel Square Feet: 3250
Acreage: 0.075
Property Description 1: 0025.00X0130.00 0000.000
Subdivision Name : NONE
State Plane Coords(?): X= 11783165.481374 Y= 3726049.030565
Latitude: 37.55152576 , **Longitude:** -77.46431712

Other

Street improvement: Paved
Sidewalk: Yes

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2021	\$205,000	\$550,000	\$755,000	Reassessment
2020	\$200,000	\$545,000	\$745,000	Reassessment
2019	\$200,000	\$507,000	\$707,000	Reassessment
2018	\$180,000	\$471,000	\$651,000	Reassessment
2017	\$145,000	\$290,000	\$435,000	Reassessment
2016	\$135,000	\$283,000	\$418,000	Reassessment
2015	\$135,000	\$277,000	\$412,000	Reassessment
2014	\$125,000	\$276,000	\$401,000	Reassessment
2013	\$120,000	\$257,000	\$377,000	Reassessment
2012	\$120,000	\$257,000	\$377,000	Reassessment
2011	\$120,000	\$270,000	\$390,000	CarryOver
2010	\$120,000	\$270,000	\$390,000	BOR
2009	\$119,600	\$353,700	\$473,300	Reassessment
2008	\$112,800	\$360,500	\$473,300	Reassessment
2007	\$112,800	\$360,500	\$473,300	Reassessment
2006	\$112,800	\$360,500	\$473,300	Reassessment
2005	\$63,300	\$272,500	\$335,800	Reassessment
2004	\$58,100	\$250,000	\$308,100	Reassessment
2003	\$58,100	\$250,000	\$308,100	BOR
2002	\$49,200	\$244,200	\$293,400	Reassessment
2001	\$40,300	\$200,200	\$240,500	Correction
2000	\$35,000	\$154,000	\$189,000	Reassessment
1998	\$35,000	\$140,000	\$175,000	Not Available

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
11/04/2020	\$974,950	TRIBLE PAUL S III & BRITTANY G	ID2020-26123	1 - VALID SALE-Valid, Use in Ratio Analysis
07/15/2016	\$715,000	CHALKLEY CLYDE R JR AND TRACEY	ID2016-13506	1 - VALID SALE-Valid, Use in Ratio Analysis
08/18/2015	\$405,000	A SOLODAR PROPERTIES	ID2015-15519	1 - VALID SALE-DO NOT USE
09/19/2014	\$369,500	JEFFRIES ADDISON Q & MARY A	ID2014-16412	2 - INVALID SALE-Foreclosure, Forced Sale etc.
11/01/1996	\$163,500	Not Available	09600-22932	
03/14/1988	\$164,500	Not Available	000159-00229	
12/10/1985	\$127,500	Not Available	000063-00710	

Planning

Master Plan Future Land Use: NH-MU
Zoning District: R-6 - Residential (Single Family Attached)
Planning District: Near West
Traffic Zone: 1095
City Neighborhood Code: FAN
City Neighborhood Name: The Fan
Civic Code:
Civic Association Name: Fan Area Business Alliance
Subdivision Name: NONE
City Old and Historic District:
National historic District: Fan Area
Neighborhoods in Bloom:
Redevelopment Conservation Area:

Economic Development

Care Area: -
Enterprise Zone:

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	1008	0410001	041000
1990	109	0410001	041000

Schools

Elementary School: Fox
Middle School: Binford
High School: Jefferson

Public Safety

Police Precinct: 3
Police Sector: 313
Fire District: 10
Dispatch Zone: 036A

Public Works Schedules

Street Sweep: TBD
Leaf Collection: TBD
Refuse Collection: Wednesday
Bulk Collection: TBD

Government Districts

Council District: 2
Voter Precinct: 208
State House District: 71
State Senate District: 9
Congressional District: 4

Extension 1 Details

age

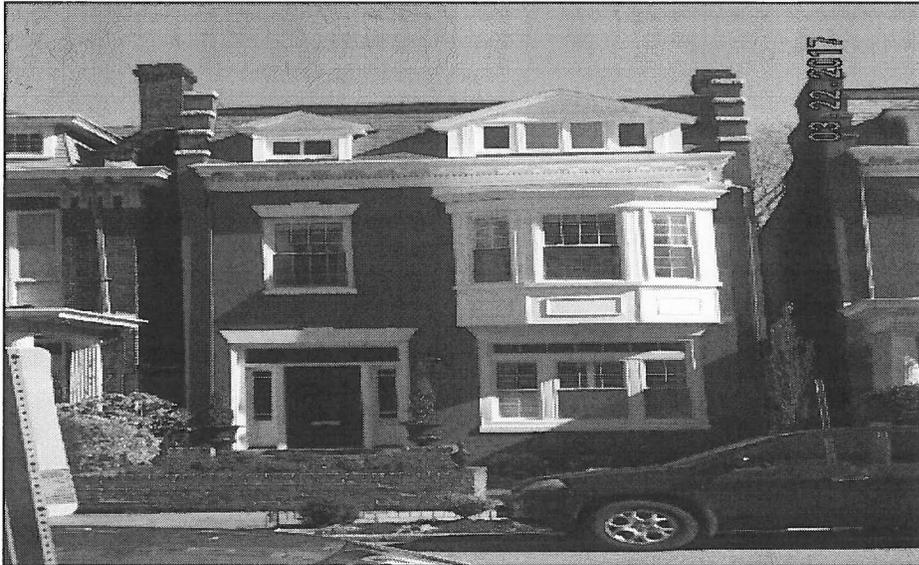
Extension Name: R01 - Residential record #01**Year Built:** 1914**Stories:** 2**Units:** 0**Number Of Rooms:** 7**Number Of Bed Rooms:** 4**Number Of Full Baths:** 3

1

Number Of Half Baths:**Condition:** very good for**Foundation Type:** 1/4 Bsmt, 3/4 Crawl**1st Predominant Exterior:** Brick**2nd Predominant Exterior:** N/A**Roof Style:** Flat or Shed**Roof Material:** Metal**Interior Wall:** Sheetrock**Floor Finish:** Vinyl sheet**Heating Type:** Heat pump**Central Air:** Y**Basement Garage Car #:** 0**Fireplace:** Y**Building Description (Out Building and
Yard Items) :** Miscellaneous**Extension 1 Dimensions****Finished Living Area:** 2919 Sqft**Attic:** 0 Sqft**Finished Attic:** 0 Sqft**Basement:** 493 Sqft**Finished Basement:** 0 Sqft**Attached Garage:** 0 Sqft**Detached Garage:** 0 Sqft**Attached Carport:** 0 Sqft**Enclosed Porch:** 0 Sqft**Open Porch:** 33 Sqft**Deck:** 355 Sqft

Property Images

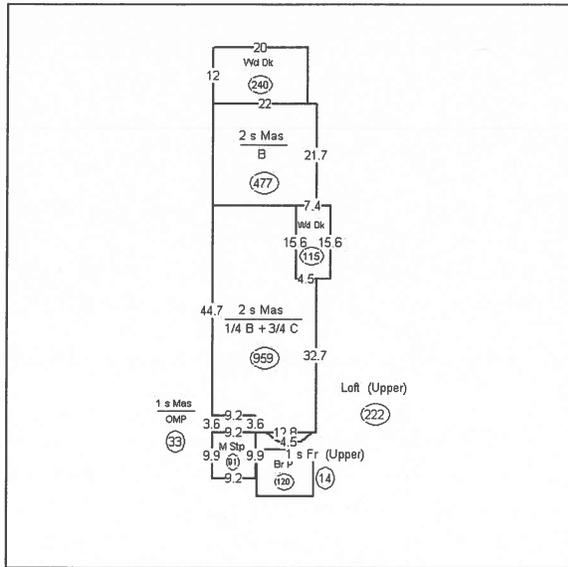
Name:W0000857030 Desc:R01



[Click here for Larger Image](#)

Sketch Images

Name:W0000857030 Desc:R01



RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



**THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804)646-6340**

TO BE COMPLETED BY THE APPLICANT

PROPERTY Paul Vincent Lenz And Mary Susan Peebles PHONE: (Home) () () (Mobile) () ()
OWNER: 1922 Grove Avenue FAX: (Home) () () (Mobile) () ()
(Name/Address) Richmond, VA 23220 E-mail Address: _____
OWNER'S Oxford Contracting Services LLC PHONE: (Home) () () (Mobile) (804) 357-1816
REPRESENTATIVE Robert Farinholt FAX: (Home) () () (Mobile) () ()
(Name/Address) 8245 Haldstead Road E-mail Address: bobfarinholt@gmail.com
Richmond VA 23235

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES): 1922 Grove Avenue
TYPE OF APPLICATION: VARIANCE SPECIAL EXCEPTION OTHER _____
ZONING ORDINANCE SECTION NUMBERS(S): 30-300, 30-412.5 (2b) & 30-710.1
APPLICATION REQUIRED FOR: a building permit to build a rear covered porch.
TAX PARCEL NUMBER(S): W000-0857/030 ZONING DISTRICT: R-6 Single Family Attached Residential
REQUEST DISAPPROVED FOR THE REASON THAT: The side yard (setback) and parking requirements are not met. A side yard (setback) of three feet (3') is required for the rear porch addition along the northwestern property line; 1.01' is proposed. One (1) parking space is required, none is proposed.

DATE REQUEST DISAPPROVED: 5/26/2021 FEE WAIVER: YES NO

DATE FILED: 6/9/2021 TIME FILED: 2:48 P.M. PREPARED BY: Andrea Cuffee RECEIPT NO. BZAR-093518-2021

AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:

SECTION 17.20 PARAGRAPH(S) _____ OF THE CHARTER OF THE CITY OF RICHMOND
SECTION 15.2 -2309.2 OF THE CODE OF VIRGINIA [OR]
SECTION 1040.3 PARAGRAPH(S) (1) & (11) OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter*
I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.
SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] DATE: 7/06/21

***** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS *****

CASE NUMBER: BZA 43-2021 HEARING DATE: August 4, 2021 AT 1:00 P.M.

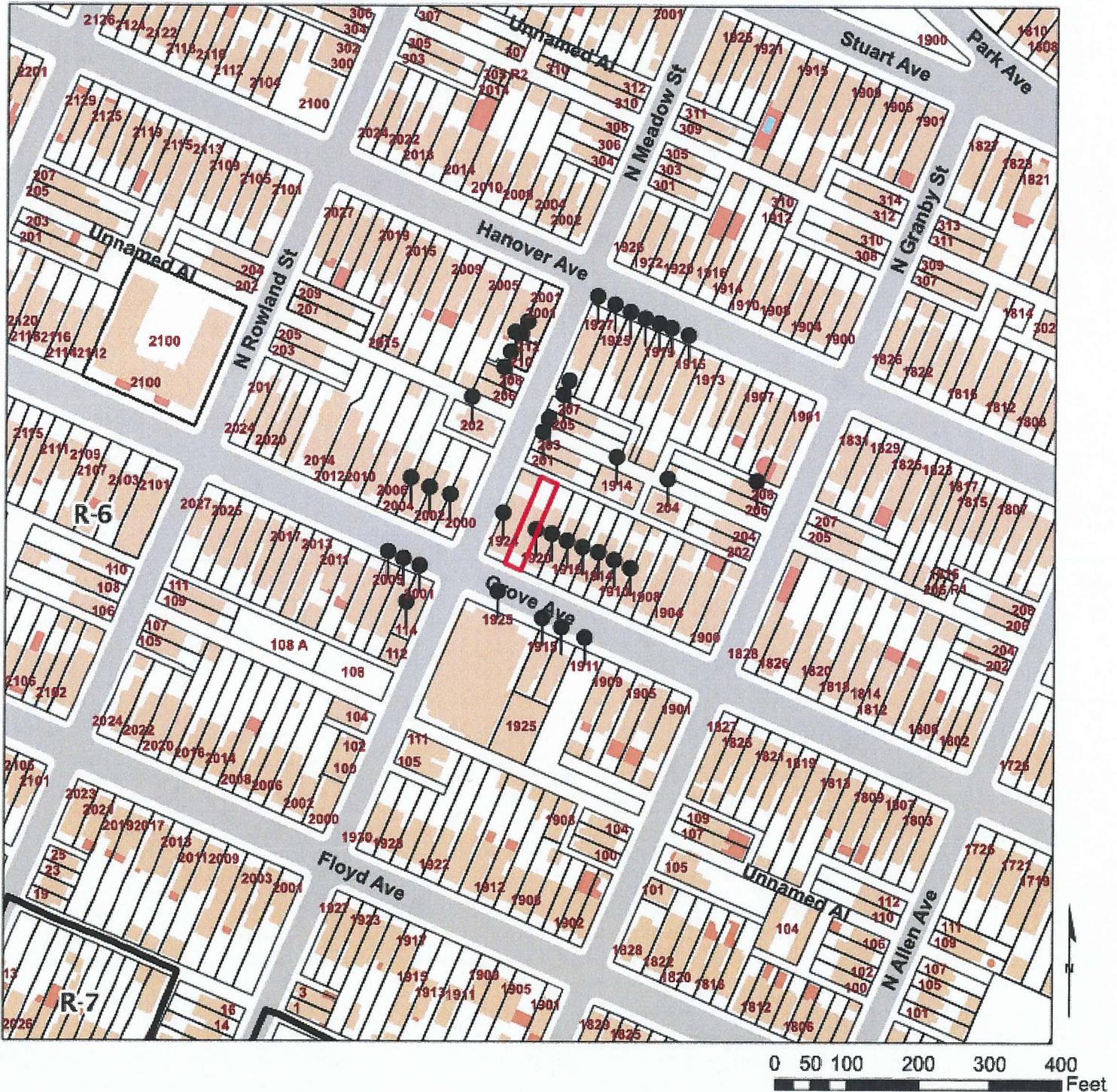
BOARD OF ZONING APPEALS CASE BZA 43-2021
150' Buffer

APPLICANT(S): Paul Vincent Lenz and Mary Susan Peebles

PREMISES: 1922 Grove Avenue
(Tax Parcel Number W000-0857/030)

SUBJECT: A building permit to construct a rear covered porch on an existing single-family detached dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300, 30-412.5 (2b) & 30-710.1 of the Zoning Ordinance for the reason that:
The side yard (setback) and off-street parking requirements are not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

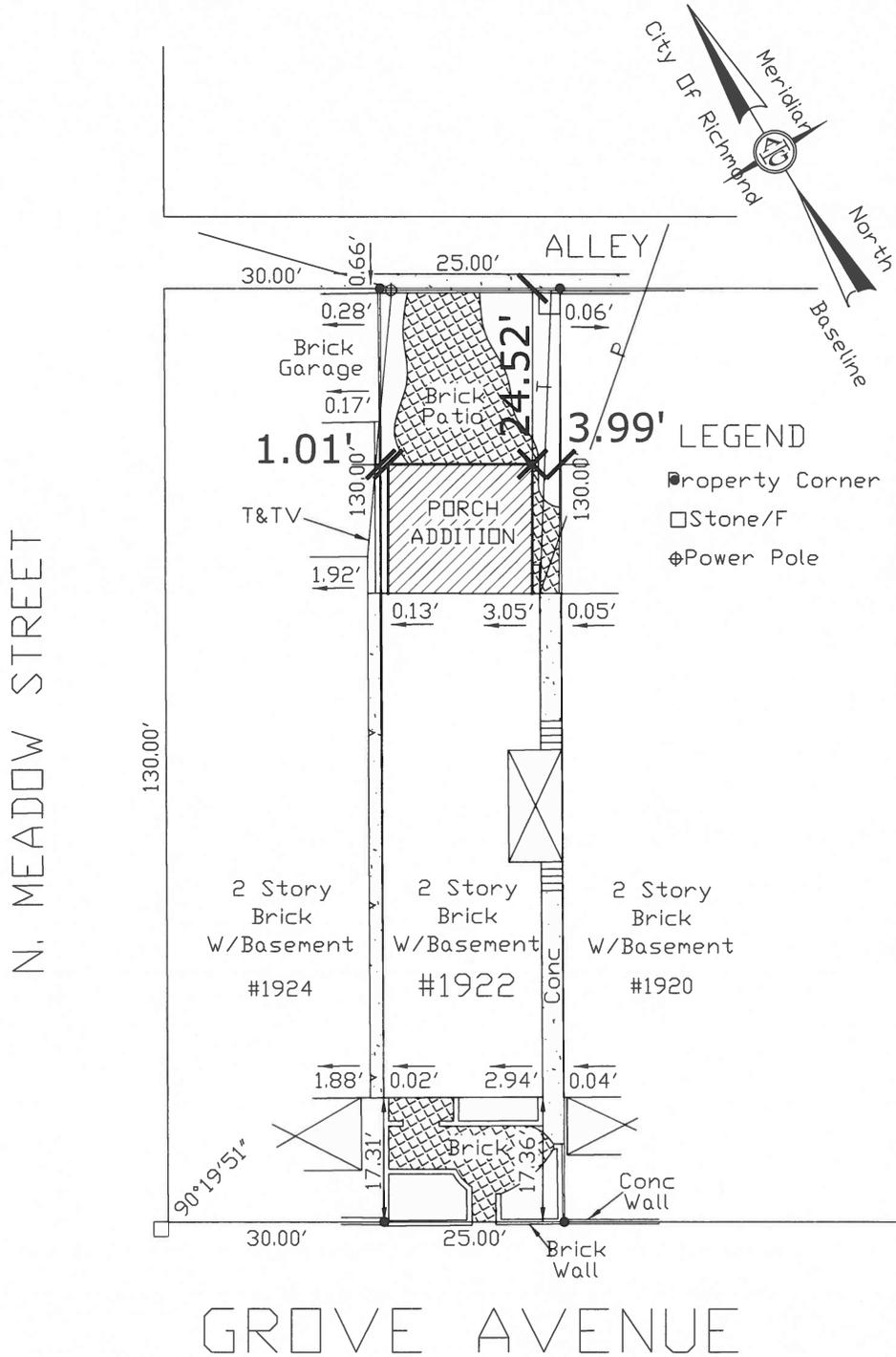
4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing. The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: Bob Lubel

This is to certify that on 2/3/21
 I made an accurate field survey of the known premises shown hereon; that all improvements known or visible are shown hereon; that there are no encroachments by improvements either from adjoining premises, or from subject premises upon adjoining premises, other than shown hereon.

NOTE: THIS LOT APPEARS TO BE IN FEMA FLOOD ZONE X AS SHOWN ON HUD COMMUNITY PANEL NUMBERS 5101290037D

NOTE: This survey has been prepared without the benefit of a title report and does not therefore necessarily indicate all encumbrances on the property.



SURVEY OF
 LOT AND IMPROVEMENTS THEREON LOCATED AT
 #1922 GROVE AVENUE
 RICHMOND, VIRGINIA

JN 50258

A. G. HAROCOPOS & ASSOCIATES, P.C.

CERTIFIED LAND SURVEYOR AND CONSULTANT

4920 E. MILLRIDGE PKWY. SUITE 200 MIDLOTHIAN VA. 23112
 Office 804 744 2630 FAX 804 744 2632
 E-MAIL AGHAROCOPOS72@GMAIL.COM

NOTE: PLAT PREPARED FOR THE EXCLUSIVE
 USE OF SUSAN PEEBLES

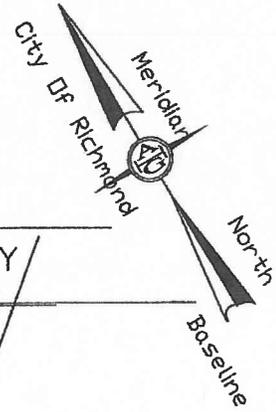
Scale 1"=20' Date 2/3/21 Drawn by GAH

This is to certify that on 2/3/21
 I made an accurate field survey of the known premises
 shown hereon; that all improvements known or visible
 are shown hereon; that there are no encroachments by
 improvements either from adjoining premises, or from
 subject premises upon adjoining premises, other than
 shown hereon.

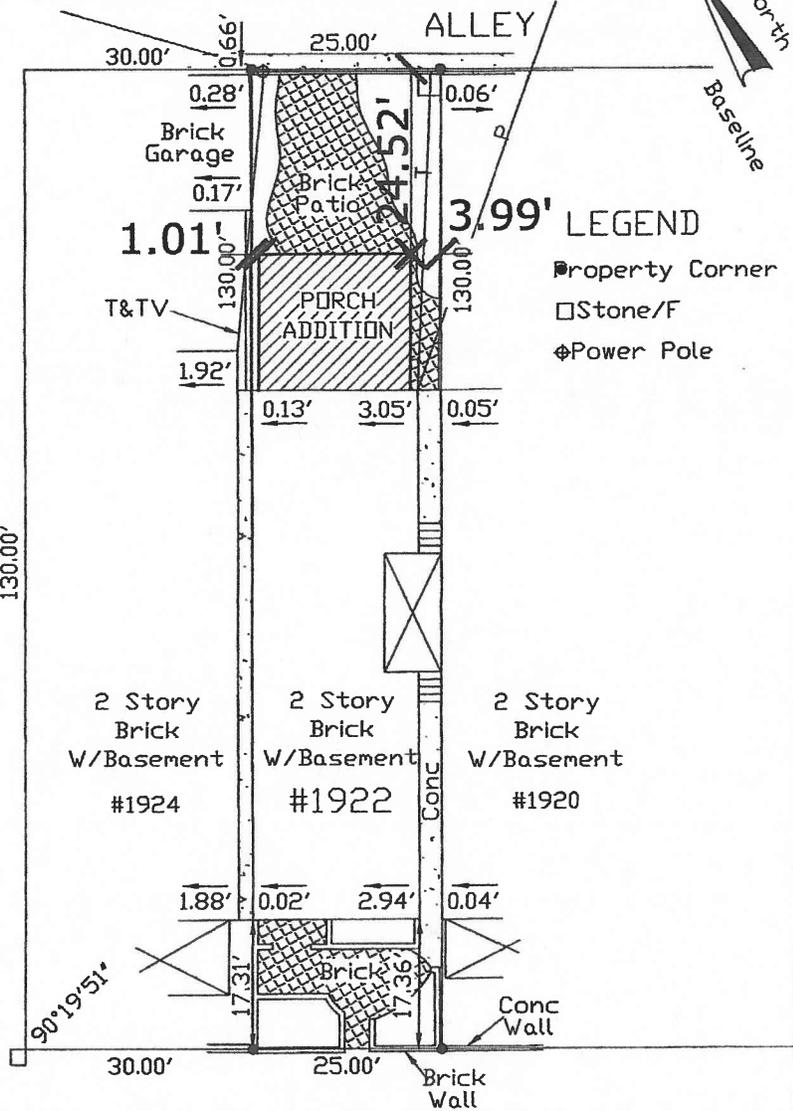
NOTE: THIS LOT APPEARS
 TO BE IN FEMA FLOOD ZONE
 X AS SHOWN ON HUD
 COMMUNITY PANEL NUMBERS
 5101290037D

NOTE:
 This survey has been prepared without
 the benefit of a title report and does
 not therefore necessarily indicate all
 encumbrances on the property.

Area labeled
 Porch addition
 20' wide
 18' deep
 2/3/21
 Charles Shack
 P.L. Shade Design



N. MEADOW STREET



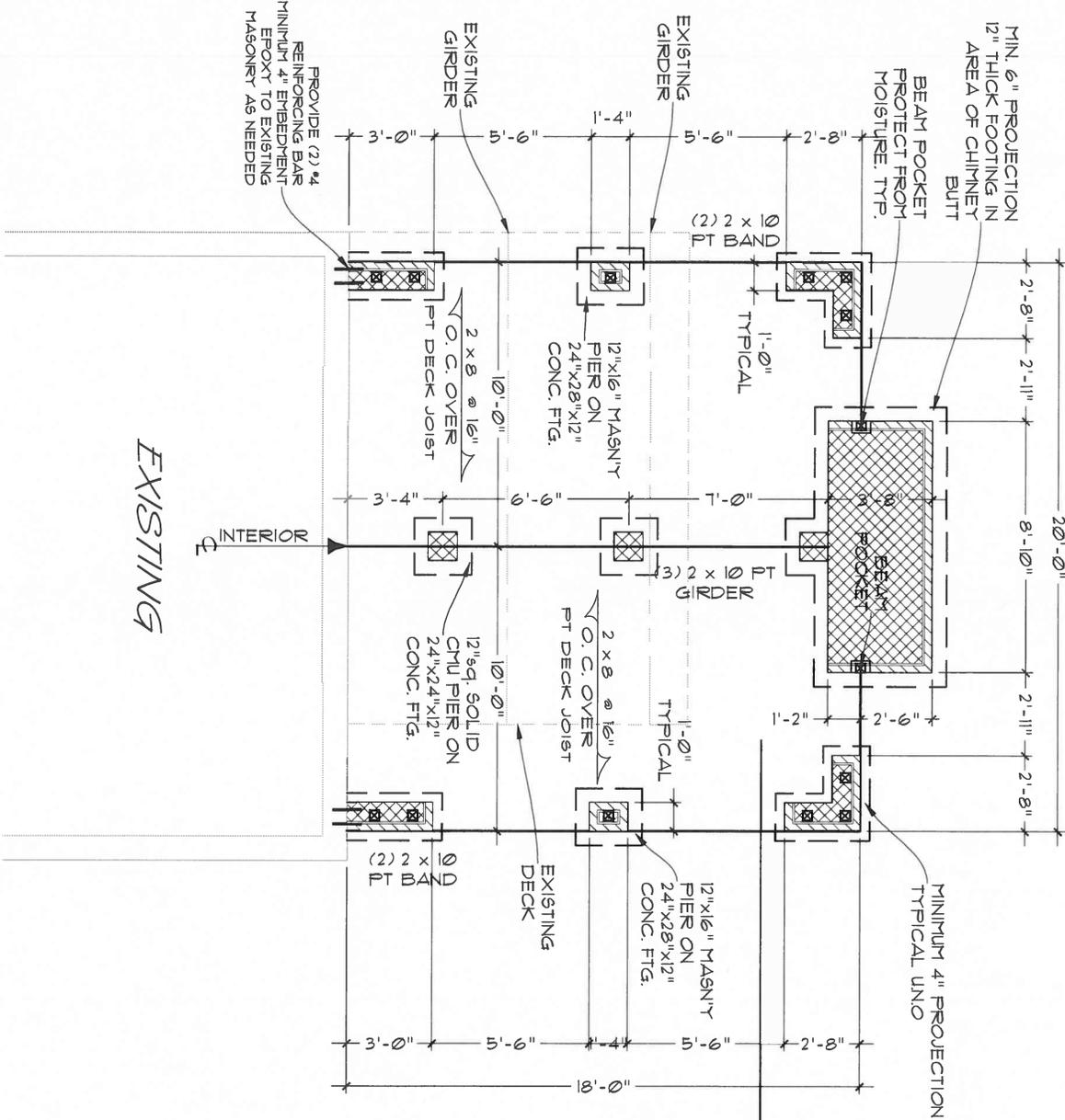
GROVE AVENUE

SURVEY OF
 LOT AND IMPROVEMENTS THEREON LOCATED AT
 #1922 GROVE AVENUE
 RICHMOND, VIRGINIA

JN 50258

A. G. HAROCOPOS & ASSOCIATES, P.C.
 CERTIFIED LAND SURVEYOR AND CONSULTANT
 4920 E. MILLRIDGE PKWY. SUITE 200 MIDLOTHIAN VA. 23112
 Office 804 744 2630 FAX 804 744 2632
 E-MAIL AGHAROCOPOS72@GMAIL.COM
 Scale 1"=20' Date 2/3/21 Drawn by GAH

NOTE: PLAT PREPARED FOR THE EXCLUSIVE
 USE OF SUSAN PEEBLES



- STAIRS TO BE PROVIDED PER BUILDER AND GRADE
- GRIP RAIL REQUIRED IF 4 OR MORE RISERS TO LANDING
- RAIL REQUIRED IF PORCH FLOOR GREATER THAN 30" ABOVE FINISHED GRADE

A1

SCALE: 1/4" = 1'-0"

Job #: 20-128A-3-4-21

NEW ADDITION FOR PEEBLES/LENZ ADDITION

1922 GROVE AVENUE

FOUNDATION PLAN

DATE: 8.12.2019

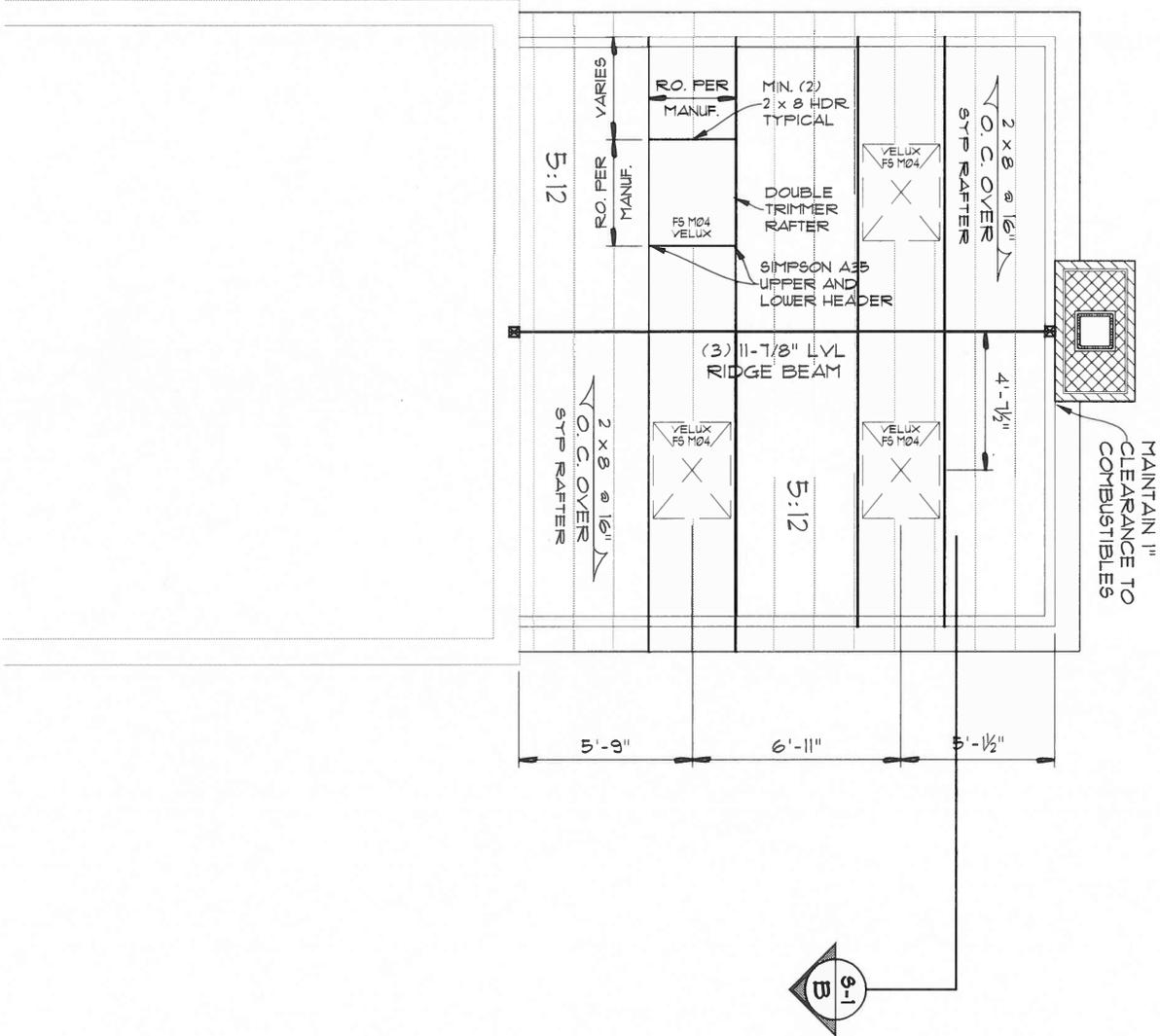
DRAWN BY: CSHADE

REVISIONS:

C. L. Shade Drafting

RESIDENTIAL DRAFTING & DESIGN

7703 Wood Road P-804-405-4931
Henrico, Virginia 23229-6942 @cshadedesign
clshade@cshadedesign.com



A3

 SCALE:

 1/4" = 1'-0"

Job #: 20-128A-3-4-21

 NEW ADDITION FOR

 PEEBLES/LENZ ADDITION

 1922 GROVE AVENUE

 ROOF PLAN

DATE: 8.12.2019

 DRAWN BY: CSHADE

 REVISIONS:

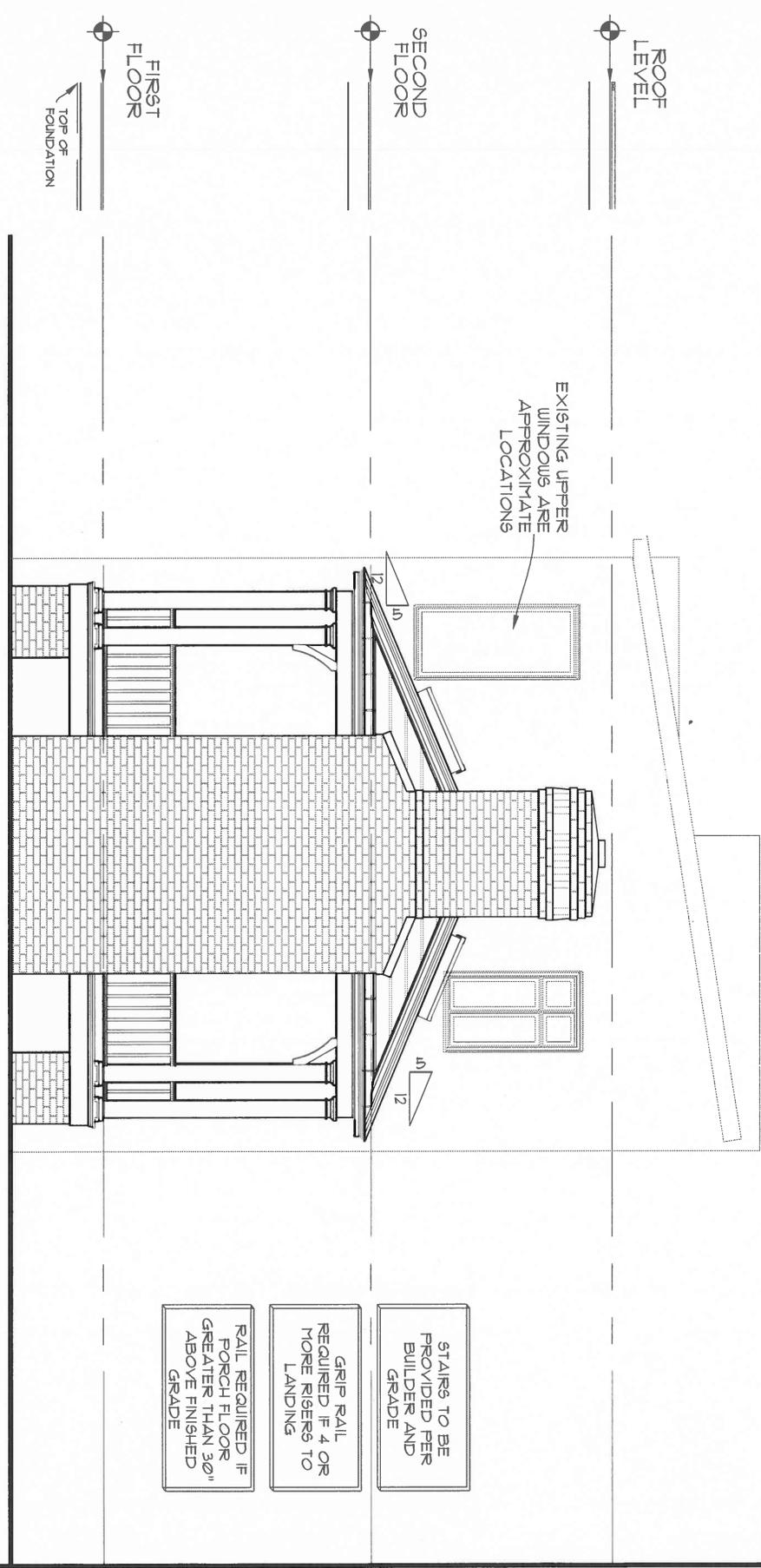
C. L. Shade Drafting

 RESIDENTIAL DRAFTING & DESIGN

 7703 Wood Road P-804-405-4931

 Henrico, Virginia 23229-6942 @cshadedesign

 clshade@cshadedesign.com



FIRST FLOOR
TOP OF FOUNDATION

SECOND FLOOR

ROOF LEVEL

EXISTING UPPER WINDOWS ARE APPROXIMATE LOCATIONS

STAIRS TO BE PROVIDED PER BUILDER AND GRADE

GRIP RAIL REQUIRED IF 4 OR MORE RISERS TO LANDING

RAIL REQUIRED IF PORCH FLOOR GREATER THAN 30" ABOVE FINISHED GRADE

SCALE:
1/4" = 1'-0"

A4

Job #: 20-128A-3-4-21

NEW ADDITION FOR PEEBLES/LENZ ADDITION
1922 GROVE AVENUE

REAR PORCH ELEV

DATE: 8.12.2019

DRAWN BY: C.SHADE

REVISIONS:

C. L. Shade Drafting

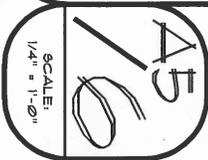
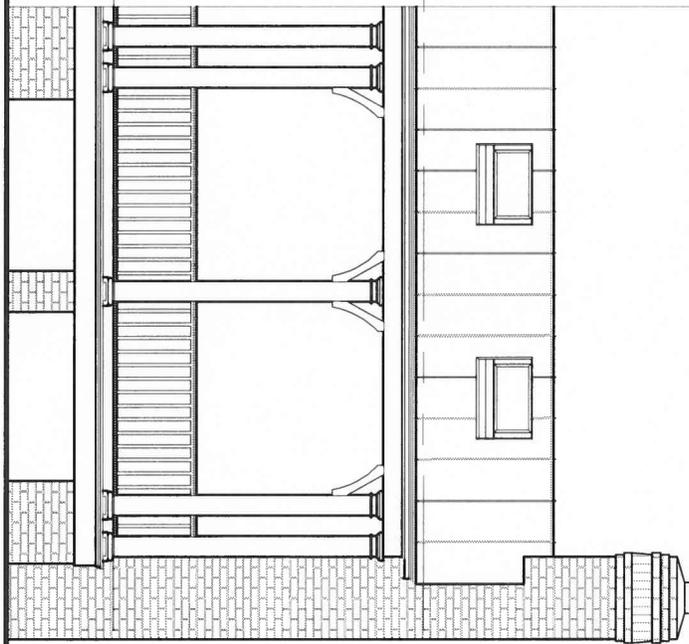
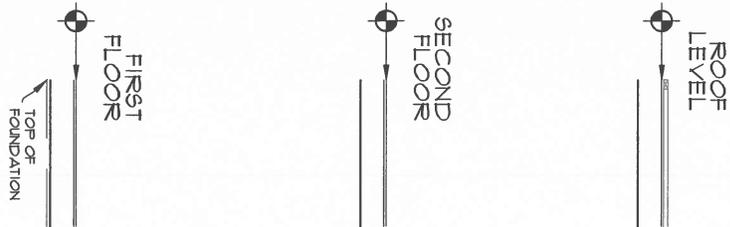
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2021

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SCALE:
1/4" = 1'-0"

Job #: 20-128A-3-4-21

NEW ADDITION FOR
PEEBLES/LENZ ADDITION
1922 GROVE AVENUE

SIDE ELEVATION

DATE: 8.12.2019

DRAIN BY: CSHADE

REVISIONS:

C. L. Shade Drafting

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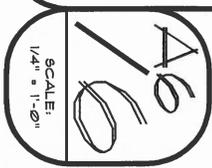
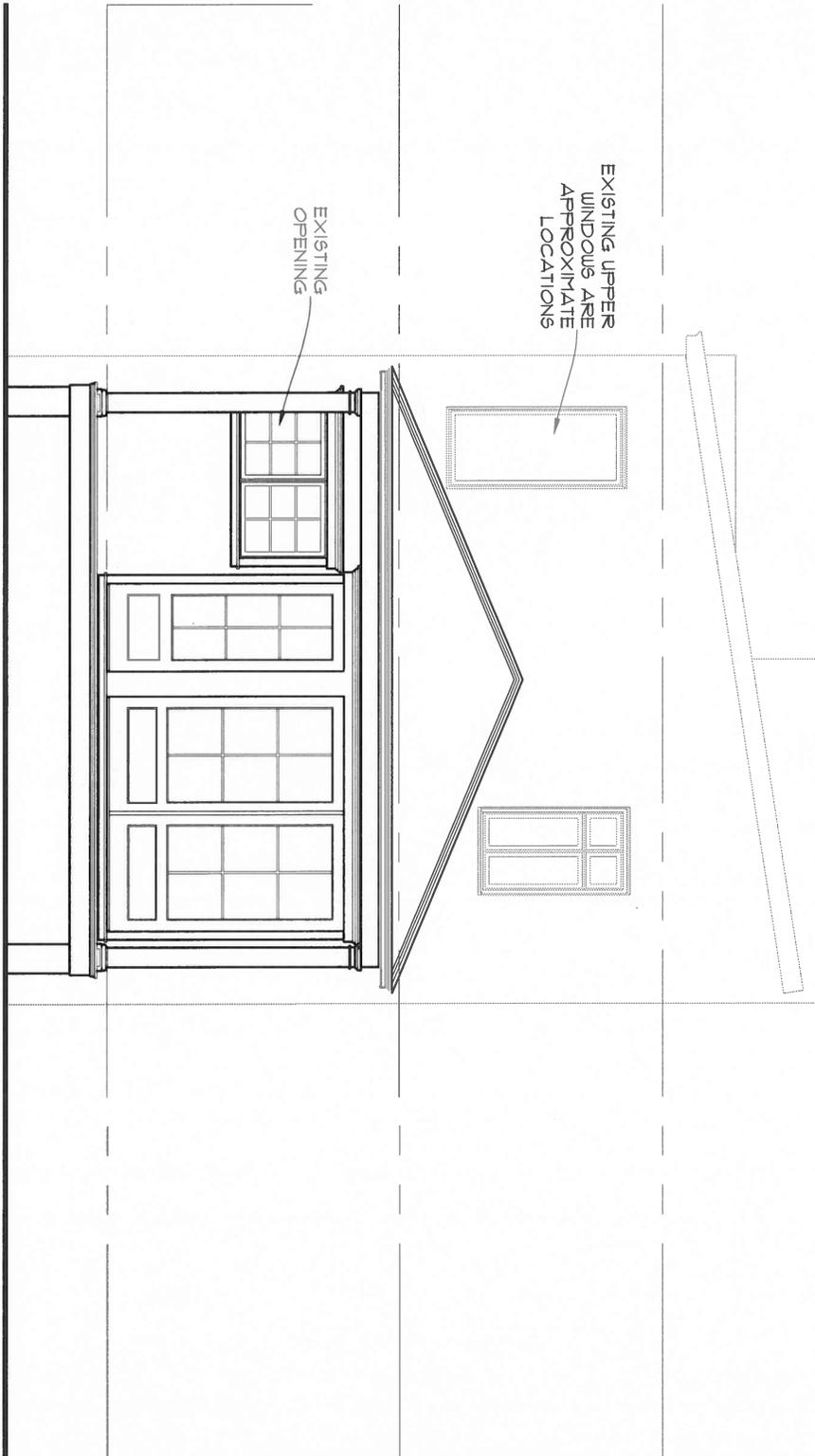
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FIRST FLOOR
TOP OF FOUNDATION

SECOND FLOOR

ROOF LEVEL



Job #: 20-128A-3-4-21
 NEW ADDITION FOR
 PEEBLES/LENZ ADDITION
 1922 GROVE AVENUE
 REAR HOUSE ELEV

DATE: 8.12.2019
 DRAWN BY: C.SHADE
 REVISIONS:

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GENERAL NOTES

1. THE GENERAL CONTRACTOR AND EACH TRADE CONTRACTOR SHALL BE REQUIRED TO CHECK AND BE RESPONSIBLE FOR THE CORRECTNESS OF THESE PLANS WITH ALL REQUIREMENTS OF THE CITY OF CHARLOTTESVILLE, VIRGINIA, THE STATE OF VIRGINIA LOCAL ORDINANCES, BUILDING CODES, AND MANUFACTURERS RECOMMENDATIONS PRIOR TO BEGINNING WORK AND DURING CONSTRUCTION.
 2. THE DRAWINGS ARE DIAGNOSTIC, INTENDING TO OUTLINE GENERAL DESIGN REQUIREMENTS ONLY, AND ARE NOT INTENDED TO BE COMPLETE IN ALL DETAILS. SPECIFIC IMPLEMENTATION OF THE CONTRACT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 3. THE GENERAL CONTRACTOR AND EACH TRADE CONTRACTOR SHALL PROTECT THEMSELVES AND OTHERS WORK FROM DAMAGE DUE TO THEIR OPERATION AND SHALL REPAIR OR REPLACE AS REQUIRED, ALL DAMAGED WORK TO THE SATISFACTION OF THE OWNER.
 4. MEASUREMENTS AND WORKING CONDITIONS FOR ALL WORK SHALL BE TAKEN AT THE SITE AND COORDINATED WITH THE CONTRACTOR WITH EACH OTHER TRADE CONTRACTOR. ALL WALLS ARE DRAIN 6" WIDTH WITH DIRECTION TAKEN EDGE TO EDGE. ADJUST AS NEEDED FOR PREFABRICATED TUBS, STAIRS, AND OTHER APPLIANCES.
 5. EACH TRADE CONTRACTOR SHALL VERIFY THESE DRAWINGS BEFORE LAYING OUT OR PROCEEDING WITH WORK AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS RESULTING FROM THEIR FAILURE TO EXERCISE SUCH VERIFICATION.
 6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE DESIGN OF THE SITE, HVAC, PLUMBING, AND ELECTRICAL TRADE CONTRACTORS. ANY PLUMBING, HVAC, OR ELECTRICAL DRAWINGS INCLUDED IN THIS PLAN ARE ONLY FOR INFORMATION AND NOT TO BE PLACED; NOT NECESSARILY THE FINAL PLACEMENT.
- FOOTINGS**
1. SOIL BEARING CAPACITY IS ASSUMED TO BE 1500 PSF WITH FOOTINGS PLACED ON CLEAN UNDISTURBED SOIL OR COMPACTED FILL AS REQUIRED BY AN INDEPENDENT ENGINEERING FIRM. DESIGN SHALL NOT ALLOW FOR VARIATION IN BEARING UNLESS OTHERWISE NOTED.
- CONCRETE**
1. CONCRETE TO BE MINIMUM COMPRESSIVE STRENGTH PER IRC §402.2
 2. ALL CONCRETE PLACED ON ELEVATED PAN AND/OR BEAM CONSTRUCTION SHALL BE SUPPORTED AT ALL INTERMEDIATE POINTS PLACEMENT AND CURING, TILL SLABS ATTAIN 15% OF ITS SPECIFIED COMPRESSIVE STRENGTH.
 3. FORMED PANS SHALL BE GALVANIZED OR EQUAL. ALL PANS SPECIFIED SHALL CONFORM TO WILDCRAFT STEEL ROOF AND FLOOR DECK GUIDELINES AS DIRECTED BY THE STEEL DECK MANUFACTURER. (FOR APPROVED EQUAL) IN CONCRETE SHALL HAVE A MINIMUM 3" COVER TO ALL EDGES.
- FOUNDATION**
1. GROUND COLLAR JOINT SOLID IN COMPOSITE MASONRY FOUNDATION WALL CONSTRUCTION UNDER ALL BEARING POINTS WHERE INDICATED ON PLAN.
 2. IN AREAS WHERE COLUMNS OR POSTS ARE SHOWN ON FOUNDATION PLAN THE CHU CELLS SHALL BE FILLED SOLID.
 3. BRICK COLUMNS SUPPORTING RAISED DECKS AND PORCHES SHALL BE FILLED SOLID FROM FOOTING TO CAP.

4. ALL GULLS IN CONTACT WITH MASONRY TO BE PRESSURE TREATED (PT) MATERIAL. FASTENERS IN CONTACT WITH PT MATERIAL TO BE HOT DIPPED GALVANIZED CONCERNING TO ASTM A153 EXCEPT FOUNDATION BOLTS GREATER THAN 1/2" DIA. FASTENINGS
 1. WOOD MEMBERS ARE DESIGNED AS SOUTHERN YELLOW PINE (SP) MATERIAL, UNLESS NOTED OTHERWISE. (UNO.) FLOOR JOISTS, CEILING JOISTS, RAFTERS, ETC. ARE ASSUMED TO BE SP. MATERIAL UNLESS NOTED OTHERWISE. RAFTERS OVER 18" IN HEIGHT SHALL BE 2X8 OR GREATER. JOISTS UP TO 20" AS NOTED. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THESE MATERIALS PRIOR TO CONSTRUCTION.
 2. HEADERS DESIGNED IN ACCORDANCE WITH IRC TABLE 502.3(1), 300#F SNOW LOAD, 36" BUILDING WIDTH, ROOF CEILING AND ONE CENTER BEARING FLOOR.
 3. DIMENSIONS TO BE AS AN APPROXIMATE CENTER PLACEMENT, AND ARE INTENDED TO BE AN APPROXIMATE CENTER PLACEMENT.
 4. TRUSS DRAWINGS ON ARCHITECTURAL PLANS ARE INTENDED TO BE DIAGNOSTIC ONLY. MANUFACTURERS TRUSS DESIGN WILL SUPERSEDE ANY OTHER DRAWING.
 5. DESIGN LOADS PER IRC TABLE R401.5 WHERE APPLICABLE SHALL BE USED. RAFTERS: 120 PSF DEAD LOAD, 20 PSF FLOOR LOAD, 20 PSF FLOOR LIVE LOAD, 40 PSF DEAD LOAD, 40 PSF FLOOR LIVE LOAD, 40 PSF ATTIC LIVE LOAD, 40 PSF FOR CLEAR HEIGHT GREATER THAN 42"
 6. RAFTERS PLACED TO RIDGE MEMBERS, RIDGE HIP VALLEY, LABELLED BEAM ARE REQUIRED TO BE MECHANICALLY FASTENED WITH MINIMUM SIMPSON L359 OR EQUIVALENT.
 1. OVERHEAD DOOR BEAMS ARE NOT SIZED FOR CONTINUOUS SPAN ACROSS ALL DOORS.
 2. C. L. SHADE DRAFTING DOES NOT RECOGNIZE THIS INSTALLATION METHOD AND RECOMMENDS AN INDEPENDENT ENGINEER VERIFY INSTALLATION OR ADDITIONAL BRACING THAT MAY BE REQUIRED.
 3. WHERE APPLICABLE TEMPORARY TRUSS BRACING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS AGENTS AND SHALL FOLLOW RECOMMENDATIONS OF THE TRUSS PLATE INSTALLATION GUIDE "BC01-1-03 guide to good practice for Handling, Handling, & Bracing of Metal Plate Connected Wood Trusses".
 4. BRACED WALL PANELS TO BE PLACED IN ACCORDANCE WITH IRC §602.2.10 OR ENGINEER DESIGN AS INDICATED ON PLAN WHERE IRC PROSCRIBITIVE METHODS ARE USED AND INDICATED ON PLAN. MINIMUM DIMENSION OF PANEL SHALL GOVERN PLACEMENT OF ROUGH OPENINGS FOR OPENINGS IN EXTERIOR AND INTERIOR WALLS AND MAY OVERRIDE CENTER DIMENSION OF OPENING SPAN.
 5. WHERE ACCESS IS PROVIDED TO ATTIC AREAS OVER TWO STORIES, THERE SHALL BE A RATED SCORING AND CRACKING RESISTANT FIRST FLOOR WALLS TO BE RATED IN ACCORDANCE WITH IRC §602.3.1 AND TABLES 602.3(5) AND 602.3.1. DOUBLE STUDS AT 16" O.C. MAY BE PROVIDED AT FIRST FLOOR WALLS TO SATISFY THIS CONDITION.
- ROOFING AND VENTILATION**
1. FOLLOW MANUFACTURERS RECOMMENDATIONS FOR VENTILATION OF EXTERIOR COLUMNS.
 2. VENTILATION OF SPACES IS SHOWN AS A GUIDE TO AREAS REQUIRING VENTILATION AND APPROXIMATE "A" AND TYPE OF VENTS THAT MAY BE USED. THE GENERAL CONTRACTOR SHALL PROVIDE AS SHOWN OR AN EQUIVALENT VENTILATION THAT MEETS OR

- EXCEEDS THE FOLLOWING PARAMETERS:
- LOHANO 150 VENT: APPROX AREA 104 sqft.
 LOHANO OR-4 RIDGE VENT: APPROX AREA 150 sqft.
 LOHANO 150 ROUND VENT: APPROX AREA 110 sqft.
 LOHANO 195 ROUND VENT: APPROX AREA 171 sqft.
3. FOUNDATION VENTILATION SHALL BE DETERMINED BY THE GENERAL CONTRACTOR TO CONFORM WITH APPLICABLE BUILDING CODES IN ACCORDANCE WITH VENTED OR UN-VENTED CRAWL SPACE DESIGN.
 4. ICE AND WATER SHIELD SHALL BE APPLIED AT THE EAVES TO 24" INSIDE THE EXTERIOR WALL LINE.
 5. ROOFING MATERIAL DEAD LOADS BASED ON: CERTAINTED 40 YR COMPOSITE SHINGLE: 3.0 lbs/sqft
 ECOSTAR MAJESTIC SYNTHETIC SLATE: 2.9 lbs/sqft
 QUARRIED SLATE: 11 lbs/sqft
 CONCRETE TILE: 12.5 lbs/sqft
 MATERIAL SELECTED AS SHOWN ON PLANS
- EXTERIOR**
1. EXTERIOR DETAIL (e.g. columns, shutters, decorative items, etc.) ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. WINDOW AND DOOR GRILL PATTERNS ARE ILLUSTRATIVE ONLY AND WILL BE DETERMINED BY THE MANUFACTURER OF THE WINDOW SPECIFIED. THE GENERAL CONTRACTOR SHALL DETERMINE THE FINAL PLACEMENT AND MATERIALS FOR ALL EXTERIOR DETAILS AS WELL AS REQUIREMENTS FOR EXPOSURE OF SIDING REVEAL AND OTHER ITEMS THAT MAY BE FASTENED TO THE EXTERIOR CLADDING OR VENEER.
 2. EXTERIOR DETAIL MAY VARY AS PRESCRIBED IN ELEVATION DRAWINGS. FIELD CONDITIONS AND MATERIAL AVAILABILITY OR SUBSTITUTIONS MAY AFFECT FINAL FEATURE CONSIDERATIONS AND DESIGN.
 3. ROOF OVERHANG, ALIGNMENT, AND DOOR OR WINDOW ALIGNMENT MAY DIFFER FROM ELEVATIONS DEFLECTIONS AS DRAIN EGRESS / WINDOWS / DOORS
 1. ALL EGRESSES OPENINGS FROM BEDROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5'1" SQUARE FEET BE NOT MORE THAN 44" FROM FINISHED FLOOR TO SILL HEIGHT AND HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20".
 2. CONTRACTOR TO VERIFY HEIGHT OF WINDOW SILL ABOVE GRADE AND DETERMINE NEED FOR GLAZED RAIL OR OTHER REVEAL IF OVER 6" FROM FINISHED GRADE AT EXTERIOR.
 3. SEGMENT ELLIPSE HALF ROUND TRANSOMS AND OTHER ACCENT FEATURES ABOVE EXTERIOR OPENINGS ARE GENERALLY CONSIDERED TO BE PLACED ABOVE THE SPRINGLINE AS MARKED ON THE ELEVATIONS SHOWING HEADER HEIGHT ABOVE SILL COLOR CONTRACTOR TO VERIFY PLACEMENT FOR EXTERIOR FINISH FEATURES AND CLEARANCE TO INTERIOR TRIMS AS NEEDED.
 4. ALL EXTERIOR OPENINGS SHALL BE PROTECTED FROM WATER INTRUSION BY THE MANUFACTURER'S BUILDING PRACTICES AND AS REQUIRED BY THE VIRGINIA USBC.
 5. HANDRAILS SHALL BE CONTINUOUS, THE FULL LENGTH OF THE STAIRS AND ENDS SHALL BE RETURNED OR TERMINATED IN NEELI POSTS. HANDRAIL PORTIONS SHALL NOT BE MORE THAN 2'-5/8" IN CROSS SECTIONAL DIMENSION OR AS APPROVED BY THE BUILDING OFFICIAL.
- DECKS**
- DECKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE American Forest and Paper Association Guide For Prescriptive Residential Wood Deck Construction Guide AND THE International Residential Building Code IN FORCE DURING CONSTRUCTION



Job #: 20-128A-3-4-21

NEW ADDITION FOR PEEBLES/LENZ ADDITION
 1922 GROVE AVENUE

PLAN GENERAL NOTES

SCALE: NONE = 1"=0'

DATE: 0122019

DRAWN BY: C.SHADE

REVISIONS:

C. L. Shade Drafting
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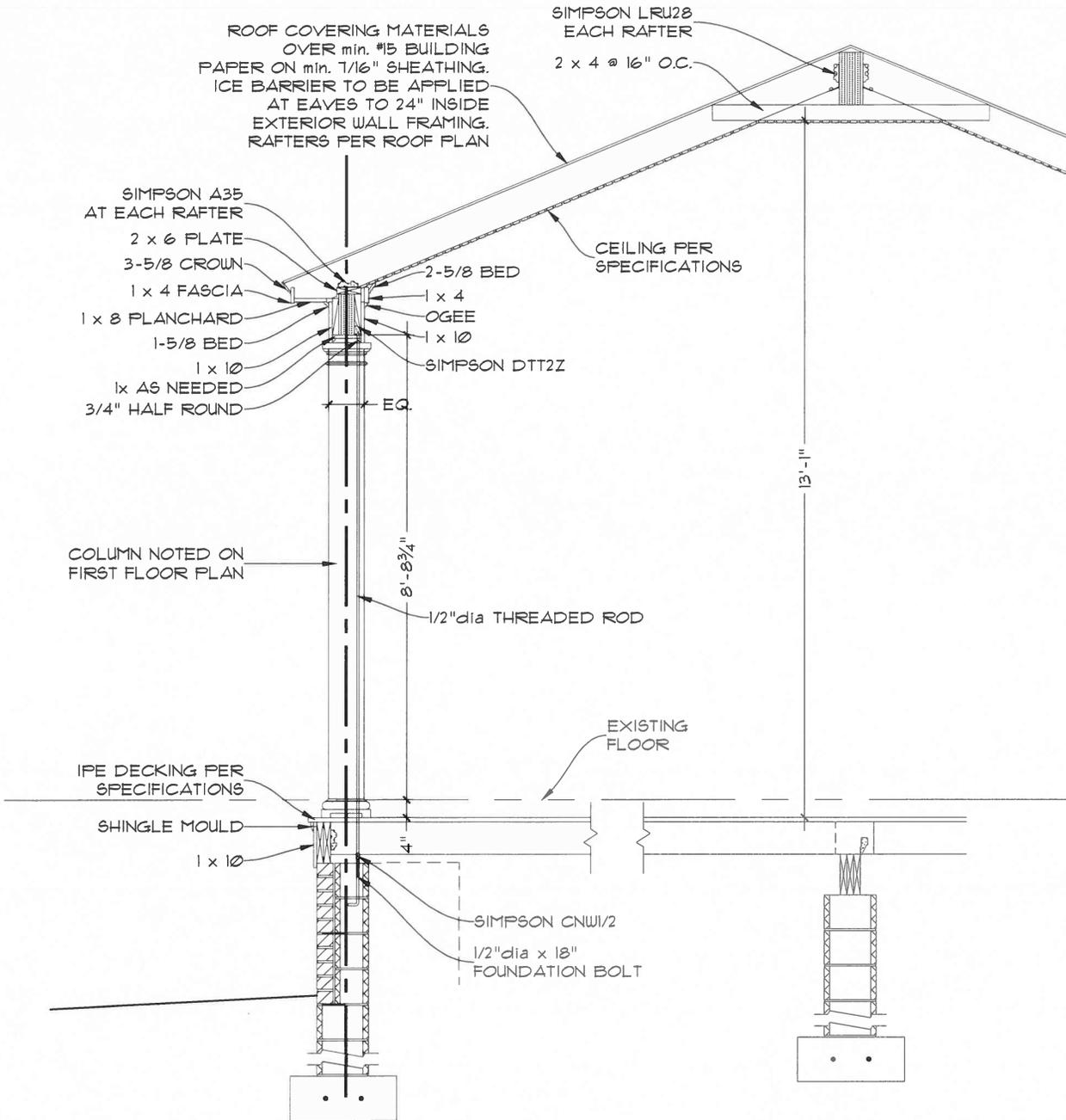
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SECTION: B / S - 1

Scale: 1/2" = 1'-0"

3/16/2021 1:45:03 PM, 1:1

SCALE: 1/2" = 1'-0"

51

1/2

Job #: 20-128A-3-4-21

NEW ADDITION FOR PEEBLES/LENZ ADDITION 1922 GROVE AVENUE

DRAWN BY: C.SHADE

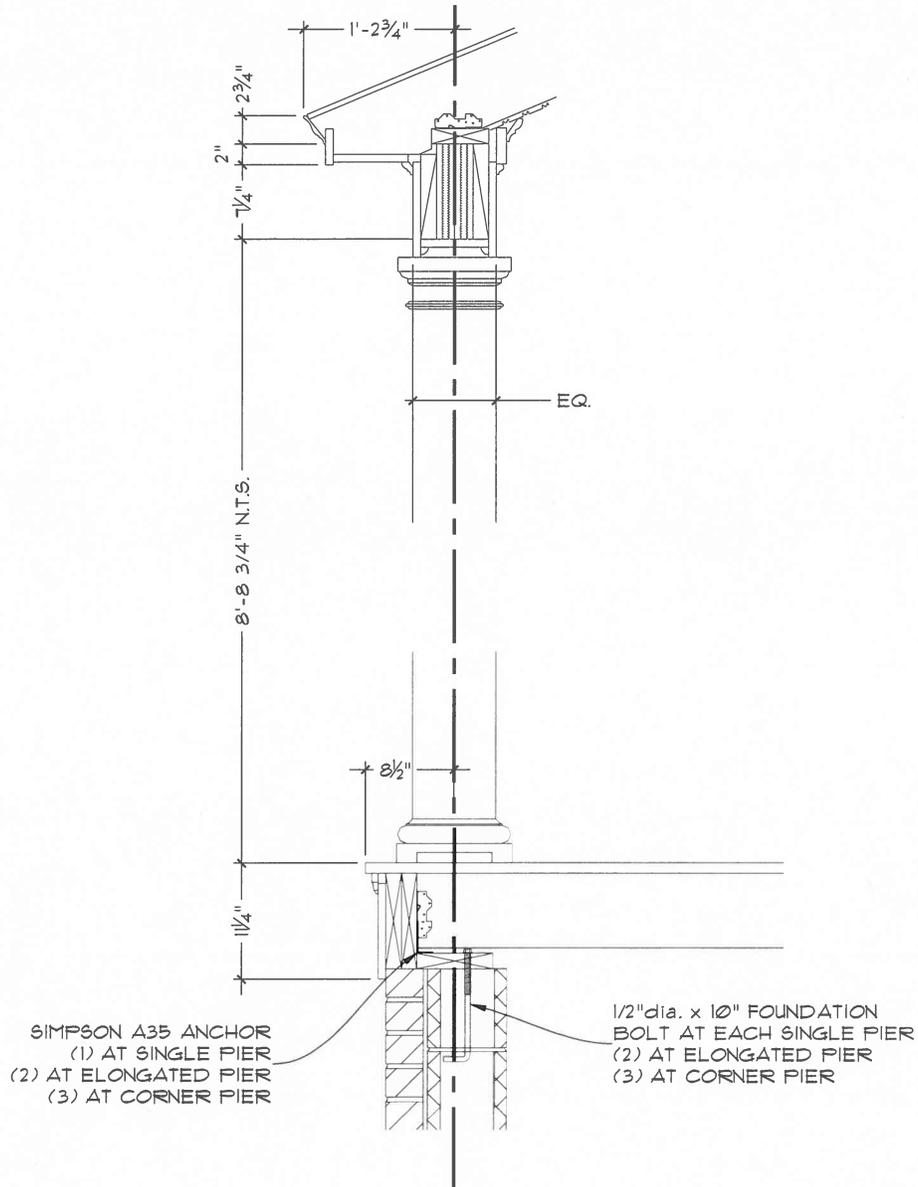
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WALL SECTION



3/16/2021 1:45:04 PM, 1:1

SCALE:
1/2" = 1'-0"

S2

2

Job #: 20-128A-3-4-21

NEW ADDITION FOR
PEEBLES/LENZ ADDITION
1922 GROVE AVENUE

WALL SECTION DIMS

DRAWN BY: CSHADE

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