

INTRODUCED: February 24, 2025

AN ORDINANCE No. 2025-040

To authorize the special use of the properties known as 2004 Newbourne Street and 2006 Newbourne Street for the purpose of up to four single-family attached dwellings, upon certain terms and conditions.

Patron – Mayor Avula (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: MAR 24 2025 AT 6 P.M.

WHEREAS, the owner of the properties known 2004 Newbourne Street and 2006 Newbourne Street, which are situated in a R-5 Single-Family Residential District, desires to use such properties for the purpose of up to four single-family attached dwellings, which use, among other things, is not currently allowed by section 30-410.1, concerning permitted principal uses, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: MAR 24 2025 REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the properties known as 2004 Newbourne Street and 2006 Newbourne Street and identified as Tax Parcel Nos. E012-0285/027 and E012-0285/026, respectively, in the 2025 records of the City Assessor, being more particularly shown on a survey entitled “Map Showing the Improvements No. 2004 and 2006 Newbourne Street on Lots 23 and 24, Square 24, ‘Woodville,’ in the City of Richmond, VA.,” prepared by Virginia Surveys, and dated April 16, 2024, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to four single-family attached dwellings, upon certain terms and conditions, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Sketch Showing the Division of No. 2004 and 2006 Newbourne Street on Lots 23 and 24, Square 24, ‘Woodville,’ in the City of Richmond, VA.,” prepared by Virginia Surveys, dated June 7, 2024, and last revised November 13, 2024, and “2004/2004.5 & 2006/2006.5 Newbourne St.,” prepared by River Mill Development, and dated June 13, 2024, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as up to four single-family attached dwellings, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed two stories, substantially as shown

on the Plans.

(c) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(e) Prior to the issuance of a building permit for the Special Use, the establishment of up to four residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

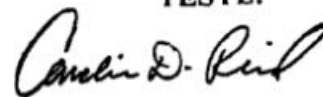
§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

APPROVED AS TO FORM:

CITY ATTORNEY'S OFFICE

A TRUE COPY:
TESTE:



City Clerk

INTRODUCED: February 24, 2025

AN ORDINANCE No. 2025-040

To authorize the special use of the properties known as 2004 Newbourne Street and 2006 Newbourne Street for the purpose of up to four single-family attached dwellings, upon certain terms and conditions.

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WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: MAR 24 2025 REJECTED: _____ STRICKEN: _____

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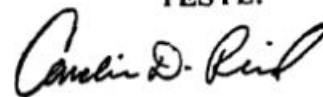
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APPROVED AS TO FORM:

CITY ATTORNEY'S OFFICE

A TRUE COPY:
TESTE:



City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Master

File Number: Admin-2024-1545

File ID: Admin-2024-1545

Type: Request for Ordinance or Resolution

Status: Regular Agenda

Version: 1

Reference:

In Control: City Attorney

Department:

File Created: 12/17/2024

Subject:

Final Action:

Title:

Internal Notes:

Agenda Date: 02/24/2025

Patron(s):

Enactment Date:

Attachments: Admin-2024-1545 - Application Packet,
Admin-2024-1545 - AATF

Enactment Number:

Contact:

Introduction Date:

Drafter:

Effective Date:

Related Files:

Approval History

| Version | Seq # | Action Date | Approver | Action | Due Date |
|---------|-------|-------------|------------------|---------|-----------|
| 1 | 1 | 1/27/2025 | Matthew Ebinger | Approve | 1/29/2025 |
| 1 | 3 | 1/27/2025 | Kevin Vonck | Approve | 2/3/2025 |
| 1 | 5 | 1/28/2025 | Sharon Ebert | Approve | 1/29/2025 |
| 1 | 7 | 2/5/2025 | Jeff Gray | Approve | 1/30/2025 |
| 1 | 8 | 2/6/2025 | Sabrina Joy-Hogg | Approve | 2/7/2025 |
| 1 | 9 | 2/10/2025 | Mayor Avula | Approve | 2/10/2025 |

History of Legislative File

| Ver- sion: | Acting Body: | Date: | Action: | Sent To: | Due Date: | Return Date: | Result: |
|---------------|--------------|-------|---------|----------|-----------|-----------------|---------|
|---------------|--------------|-------|---------|----------|-----------|-----------------|---------|

Text of Legislative File Admin-2024-1545

O&R Transmittal Memo

DATE: January 27, 2025

TO: The Honorable Members of City Council

THROUGH: The Honorable Dr. Danny Avula, Mayor (by request)

(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Sabrina Joy-Hogg, Interim Chief Administrative Officer

THROUGH: Sharon L. Ebert, DCAO for Economic Development and Planning

FROM: Kevin J. Vonck, Director of Planning & Development Review

RE: To authorize the special use of the properties known as 2004 Newbourne Street and 2006 Newbourne Street for the purpose of four single-family attached dwellings, upon certain terms and conditions.

PURPOSE: The owner of the properties known 2004 Newbourne Street and 2006 Newbourne Street which are situated in a R-5 Single-Family Residential District, desires to use such properties for the purpose of four single-family attached dwellings, which use, among other things, is not currently allowed by section Sec. 30-410.1, concerning permitted principal uses.

BACKGROUND: The property is located in the Eastview neighborhood, on the north side of Newbourne Street between N 21st Street and Tuskegee Street. The property is currently a 5896 sq. ft. (.135 acre) parcel of land. The City's Richmond 300 Master Plan designates a future land use for the subject property as Neighborhood Mixed-Use, which is defined as "Existing or new highly-walkable urban neighborhoods that are predominantly residential with a small, but critical, percentage of parcels providing retail, office, personal service, and institutional uses.

Building heights are generally two to four stories. Buildings taller than four stories may be found along major streets (see Street Typologies Map). Parcels are generally between 1,500 and 5,000 sq. ft., with primarily single-story homes and some two-story homes. Primary Uses: Single-family houses, accessory dwelling units, duplexes, small multi-family buildings (typically 3-10 units), and open space. The residential density of the proposed is four units upon .135 acres, or 29.62 units per acre.

COMMUNITY ENGAGEMENT: There is not a neighborhood association for this property. Additional community notification will take place by staff after introduction.

STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL: Richmond 300 Master Plan

FISCAL IMPACT: \$300 application fee.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: February 24, 2025

CITY COUNCIL PUBLIC HEARING DATE: March 24, 2025

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Planning Commission March 18, 2025

AFFECTED AGENCIES: Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey

STAFF:

Matthew Ebinger, Planning Supervisor, Land Use Administration (Room 511) 646-6308

Madison Wilson, Land Use Administration (Room 511) 646-7436

**Application for SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304

<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- ☒ special use permit, new
☐ special use permit, plan amendment
☐ special use permit, text only amendment

Project Name/Location

Property Address: 2004, 2006 Newbourne Street Date: _____

Parcel I.D. #: E0120285027, E01 Fee: \$300

Total area of affected site in acres: 0.29

(See page 6 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-5

Richmond 300 Land Use Designation: Neighborhood Mixed-Use

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Four (4) single-family attached dwellings configured as two pairs

Existing Use: One single-family detached dwelling

Is this property subject to any previous land use cases?

Yes ☐ No ☒ If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Will Gillette

Company: Baker Development Resources

Mailing Address: 530 East Main Street, Suite 730

City: Richmond State: VA Zip Code: 23219

Telephone: (864) 377-9140 Fax: ()

Email: will@bakerdevelopmentresources.com

Property Owner: Decem Design Build LLC

If Business Entity, name and title of authorized signee: Chris Coiner, member

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 1700 Bridgewater Ct

City: Maidens State: VA Zip Code: 23102

Telephone: () Fax: ()

Email: _____

Property Owner Signature: [Signature]

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

June 26th, 2024

Special Use Permit Request

2004 & 2006 Newbourne Street, Richmond, Virginia

Map Reference Numbers: E012-0285/027 & E012-0285/026

Submitted to:

City of Richmond

Department of Planning and Development Review

Land Use Administration

900 East Broad Street, Suite 511

Richmond, Virginia 23219

Submitted by:

Baker Development Resources

530 East Main Street, Suite 730

Richmond, Virginia 23219

Introduction

The property owner is requesting a special use permit (the "SUP") for the properties known as 2004 and 2006 Newbourne Street (the "Property"). The SUP would authorize the construction of four new, single-family dwellings, configured as two attached pairs, on the Property, which are consistent with Richmond 300 Master Plan designation of Neighborhood Mixed-Use for the Property but do not conform to the underlying R-5 Single-Family Residential district zoning requirements.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is located on the north side of Newbourne Street between N 21st and Tuskegee Streets and consists of two lots (Lots 23 & 24) from Block 24 of the original Woodville Subdivision and is referenced by the City Assessor as tax parcels E012-0285/026-027. The Property is irregularly shaped with 76.46 feet of frontage along Newbourne Street and 138.83' of frontage along the rear alley with a total of approximately 12,701 square feet of lot area. Access is provided by means of an east-west alley located to the rear of the Property which connects to the Tuskegee Street right of way and Newbourne Street.



Properties along Newbourne Street are developed with a range of residential uses. Single-family dwellings in the area are a mixture of one- and two-story structures. Multiple Special Use Permits have been approved along Newbourne Street for new two-family dwellings. To the southeast, at the intersection of Newbourne and N 21st Street lies a ten unit, "garden-style", apartment complex. Further east along Newbourne Street lies the Fairfield Court development which is managed by the Richmond Redevelopment and Housing Authority.

EXISTING ZONING

The Property and those to the north and west are zoned R-5 Single-Family Residential. Properties to the east and south lie within an R-53 Multifamily Residential district.

MASTER PLAN DESIGNATION

The Richmond 300 Master Plan (the "Master Plan") suggests "Neighborhood Mixed-Use" use for the Property. The Master Plan describes this land use designation as "existing or new highly-walkable urban neighborhoods that are predominantly residential with a small, but critical, percentage of parcels providing retail, office, personal service, and institutional uses." Recommended development styles are described as featuring "a variety of building types that are close to one another and create a unified street wall. The building size, density, and zoning districts for these areas vary depending on historical densities and neighborhood characteristics. Single-family, two-family, and small multi-family buildings are contemplated as the primary uses in these areas

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request:

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to "Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options."
 - b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 136 (Diverse Economy Chapter), Objective 11.1 to "Increase the areas of appropriately zoned land near various transportation modes and housing to retain, create, and attract employers."
 - d. Encourage the development of a variety of quality housing types to house employees across the economic spectrum (see Goal 14).
- Page 150 (Inclusive Housing Chapter), Objective 14.1 to "Increase city-wide awareness of the importance of integrating housing at all income levels into every residential neighborhood so every household has housing choice throughout the city."
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.4 to "Increase the number of mixed-income communities along enhanced transit corridors."
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.5 to "Encourage more housing types throughout the city and greater density along enhanced transit corridors and at Nodes (shown in Figure 38 [p.153]) by amending the Zoning Ordinance. "

- e) Allow the development of middle housing (2- to 4- unit buildings) by-right within 1/2 mile of high-frequency transit stops.
- Page 155 (Inclusive Housing Chapter), Objective 14.8 to “Develop inclusionary and equitable housing options for our gentrifying neighborhoods to prevent involuntary displacement.”
- Page 159 (Thriving Environment Chapter) Objective 15.1 to “Reduce air pollution related to transportation.”
 - a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).
- Page 86 (High-Quality Places Chapter), Objective 1.4, to “maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards”
- Page 100 (High Quality Places Chapter), Objective 4.1, to “create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City,” as the request introduces thoughtfully designed new construction in a manner not otherwise assured by-right.

Proposal

PROJECT SUMMARY

The proposed development includes the construction of four two-story single-family dwellings, configured as two attached pairs.

PURPOSE OF REQUEST

The Property owner is proposing to remove the existing dwelling on 2006 Newbourne Street and construct four single-family attached dwellings on the Property. While a range of dwellings exist within the neighborhood and the R-5 district permits single-family dwellings, it does not permit the proposed single-family attached use, therefore, a SUP is required.

The proposed lot widths of roughly 21.6' and area of 2,550-5,051 square feet compatible with other lots in the vicinity, which frequently reflect the original 30' subdivision lots. Based on this historic development and lot pattern, many lots in the vicinity were developed as single subdivision lots and are nonconforming with regard to lot area and lot width. That is consistent with what is being requested here.

In exchange for the SUP, the intent of this request is to ensure a high-quality infill development that is consistent with the objectives of the Master Plan. The overall project would be appropriately efficient and would be compatible with the existing development in the vicinity. The quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.

PROJECT DETAILS

The proposed single-family dwellings have been designed to be compatible with other dwellings in the area. They would be two stories in height and the building design is intended to respect the traditional building styles found in the vicinity with Italianate features and full-width front porches.

The dwellings would be configured as two pairs of attached dwellings, with each dwelling containing approximately 1,536 square feet of finished floor area. Each dwelling unit would have three bedrooms and two-and-one-half baths. The first floor would include the kitchen and living areas while the second floor would contain three bedrooms including a primary bedroom suite with en suite bathroom. The dwellings will be constructed with quality building materials, including cementitious horizontal lap siding, that provide a durable and low-maintenance exterior. Parking spaces, accessible from the rear alley, will be provided for each of the dwellings.

Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed special use permit for high-quality infill construction will not impact the safety, health, morals and general welfare of the nearby neighborhoods.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed special use permit will not result in significant traffic impacts to nearby residential neighborhoods. The negligible traffic generation related to the proposed dwellings and the proposed off-street parking will result in no congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The proposed special use permit will not tend to over crowd the land or create an undue concentration of population.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The special use permit would not adversely affect the above referenced City services.

- ***Interfere with adequate light and air.***

The light and air available to the subject and adjacent properties will not be affected. The proposed dwellings are of compatible massing and spacing to the existing dwellings throughout the neighborhood. As a result, this request will not interfere with the provision of adequate light and air to the adjacent buildings.

Summary

In summary we are enthusiastically seeking approval for the construction of four single-family attached dwellings. The dwellings have been thoughtfully designed in order to provide appropriate, high quality infill development. The request offers compatibility with goals contained within the City's Master Plan and would contribute to the ongoing revitalization of the neighborhood, upgrading the Property while maintaining a desirable variation in housing style and density in the vicinity and providing for continued economic diversity in housing options within the neighborhood. It will help encourage a pedestrian friendly traditional neighborhood streetscape in the vicinity. This would contribute to the vibrancy of the block through the provision of additional street life in the form of pedestrian traffic. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than what might otherwise be developed by right in the vicinity.

This is a detailed survey map of a property located on Tuskegee Street. The property is a 5621 Sq.Ft. lot, bounded by a gravel area to the north and a concrete sidewalk to the south. The lot is divided into two main sections: a larger rear section and a smaller front section. The rear section contains a 1-story frame house (No. 2006) with a patio. The front section contains a 1-story frame house (No. 2008). The map shows various setbacks and dimensions, including a 22.5'± alley to the north, a 30'± R/W to the west, and a 40'± R/W to the south. The map also includes a scale bar and a north arrow.

Property Details:

- Lot 24:** 5621 Sq.Ft. (Catherine M. Meredith, PAR.ID: E0120285027, DEED: N/A)
- Lot 23:** 7080 Sq.Ft. (Ironwood Investment Group LLC, PAR.ID: E0120285026, DEED: 2023-17342)
- Lot 22:** 39 Forever LLC (PAR.ID: E0120285023, DEED: 2008-4524)

Setbacks and Dimensions:

- North:** 22.5'± ALLEY
- West:** 30'± R/W (Tuskegee Street)
- South:** 40'± R/W (Newbourne Street)
- East:** 240' TO THE W/LINE OF N 21st St

Structures and Features:

- 1-Story Frame No. 2006:** 17.85' wide, 21.53' deep, 14.7' wide, 27.4' deep, 27.7' wide, 27.4' deep, 100'29'20" wide.
- Patio:** 17.85' wide, 20.3' deep.
- 1-Story Frame No. 2008:** 120.00' wide, 120.00' deep.
- Frame Shed:** Located near the gravel area.
- Concrete Sidewalk:** Located along the south boundary.
- Gravel:** Located along the north boundary.
- Stone Found:** Located near the gravel area.

Legal Descriptions:

- Woodville Subdivision and Baseline Sheet 23NW:** Property line according to this subdivision.
- Ironwood Investment Group LLC:** PAR.ID: E0120285026, DEED: 2023-17342
- Catherine M. Meredith:** PAR.ID: E0120285027, DEED: N/A
- 39 Forever LLC:** PAR.ID: E0120285023, DEED: 2008-4524

Scale and Orientation:

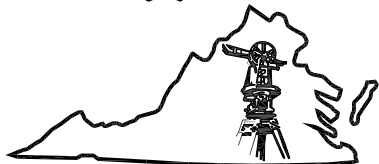
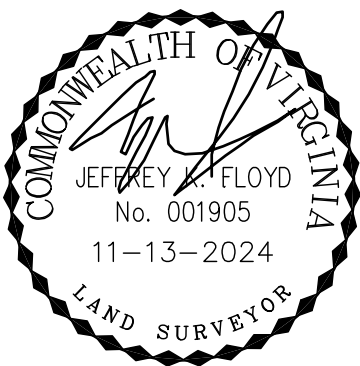
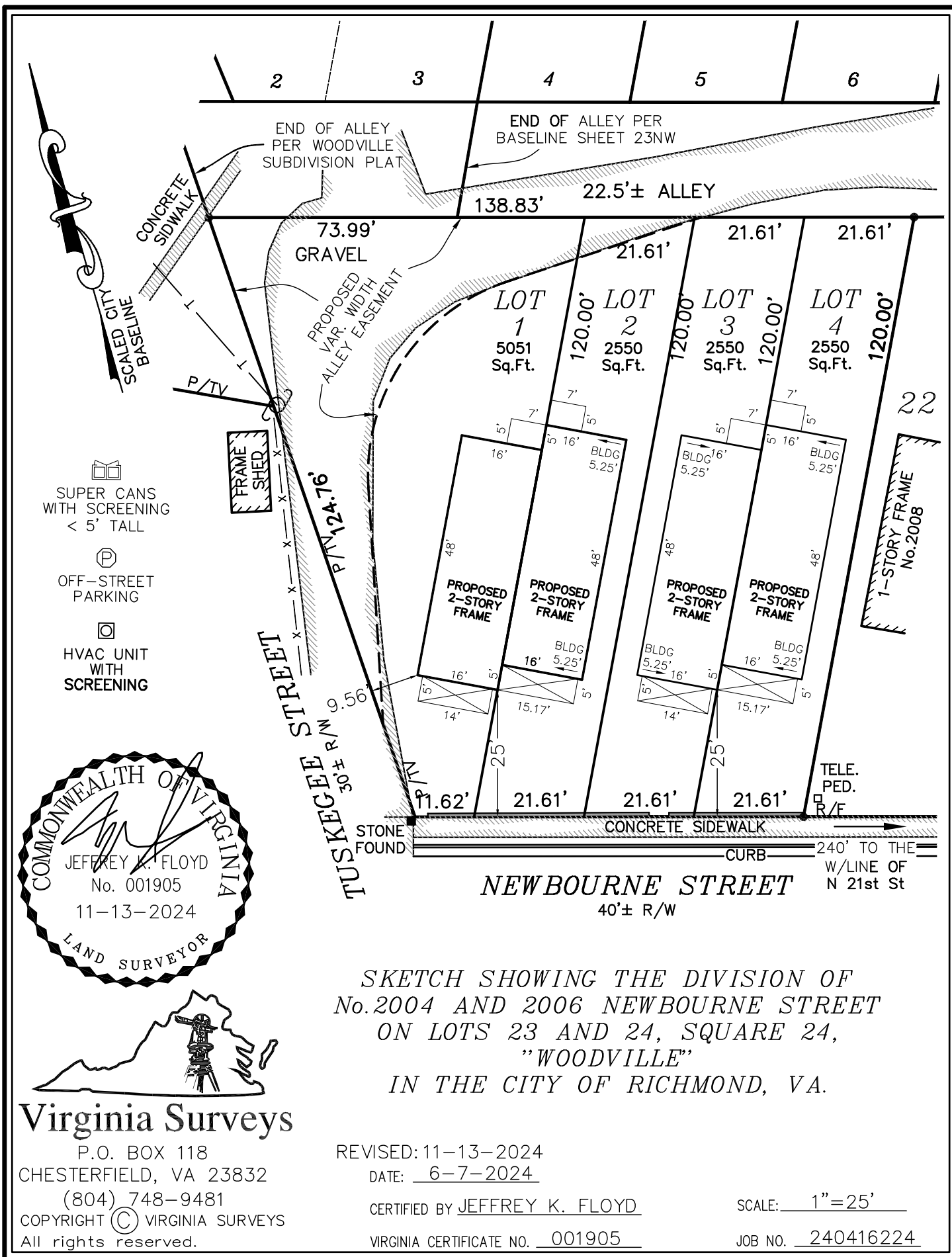
- Scale:** 1" = 100'
- North Arrow:** Points towards the top of the map.



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CHESTERFIELD, VA 23832

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REVISED: 11-13-2024

DATE: 6-7-2024

CERTIFIED BY JEFFREY K. FLOYD

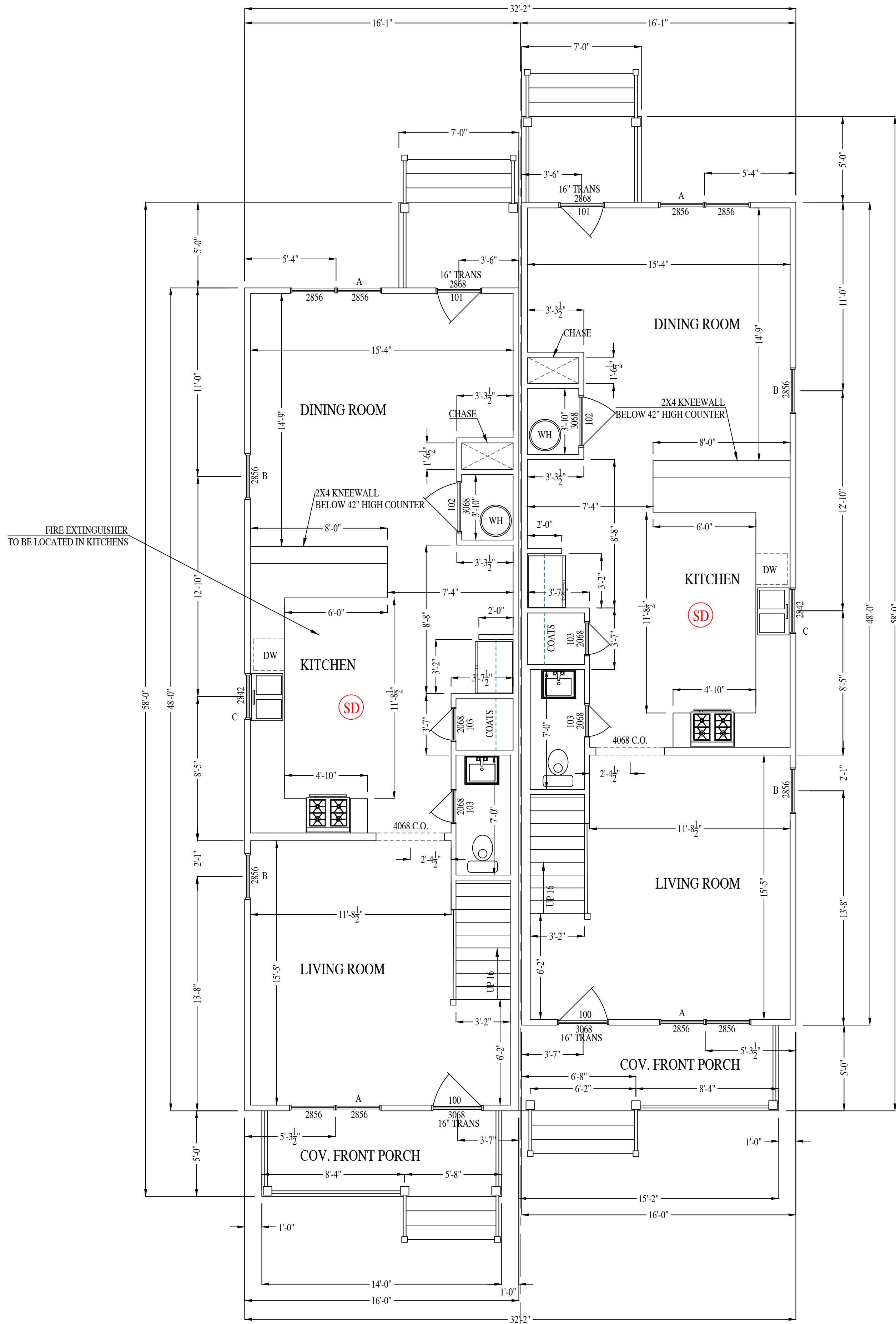
VIRGINIA CERTIFICATE NO. 001905

SCALE: 1"=25'

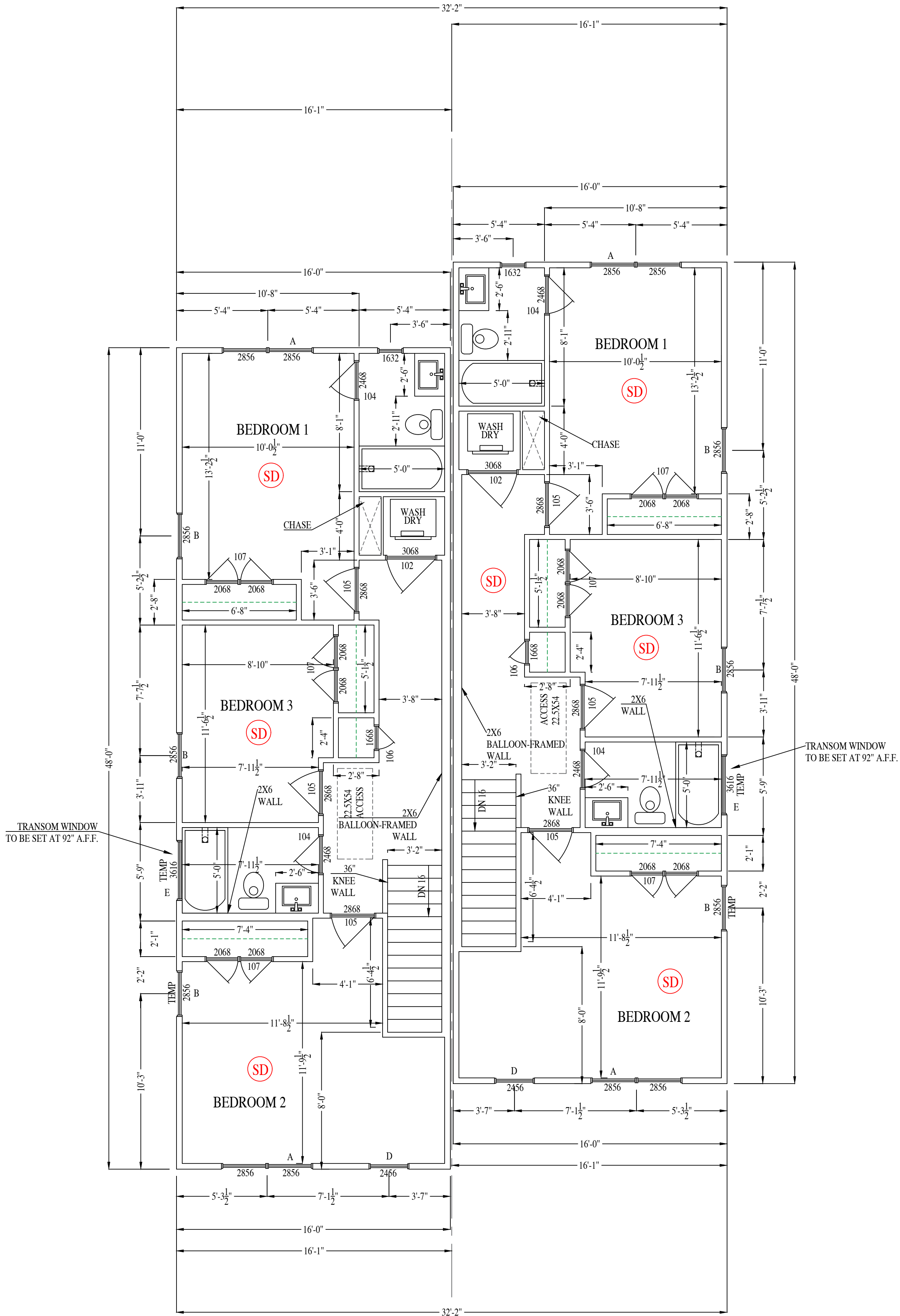
JOB NO. 240416224

SKETCH SHOWING THE DIVISION OF
No. 2004 AND 2006 NEWBOURNE STREET
ON LOTS 23 AND 24, SQUARE 24,
"WOODVILLE"
IN THE CITY OF RICHMOND, VA.

NOTE: DOOR & WINDOW GLAZING SHALL HAVE A MAX U-FACTOR OF 0.32
NOTE: DOOR & WINDOW GLAZING SHALL HAVE A MAX SOLAR HEAT GAIN COEFFICIENT (SHGC) OF 0.4



FIRST FLOOR PLAN



SECOND FLOOR PLAN

SMOKE DETECTOR SD

2004/2004.5 & 2006/2006.5

NEWBOURNE ST.

RIVER MILL DEVELOPMENT

RIVERMILLDEVELOPMENT@GMAIL.COM

PHONE: (434) 774-4535

REVISION NOTES

| DATE | START |
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SCALE:

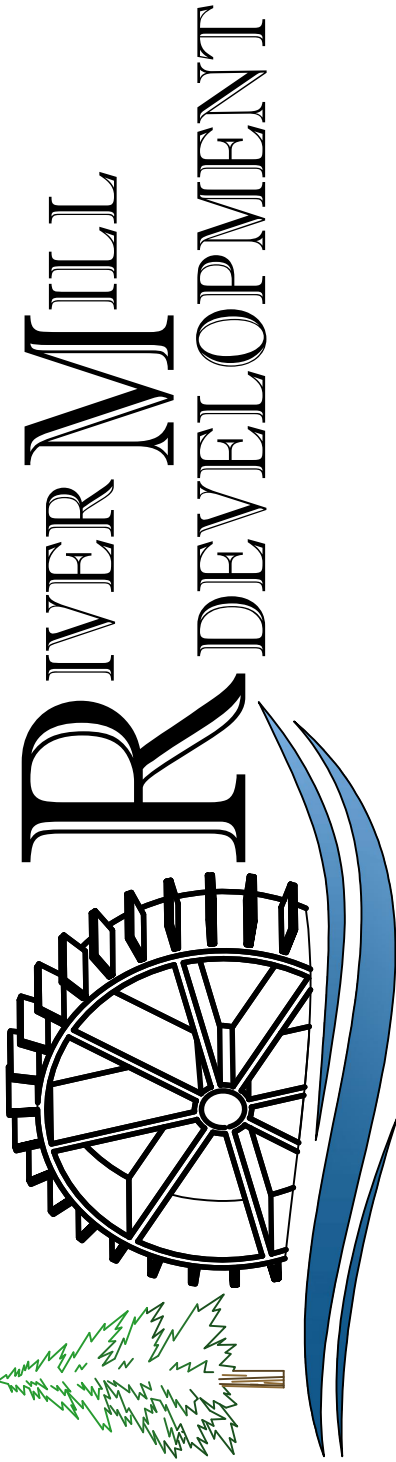
1/4" = 1'-0"

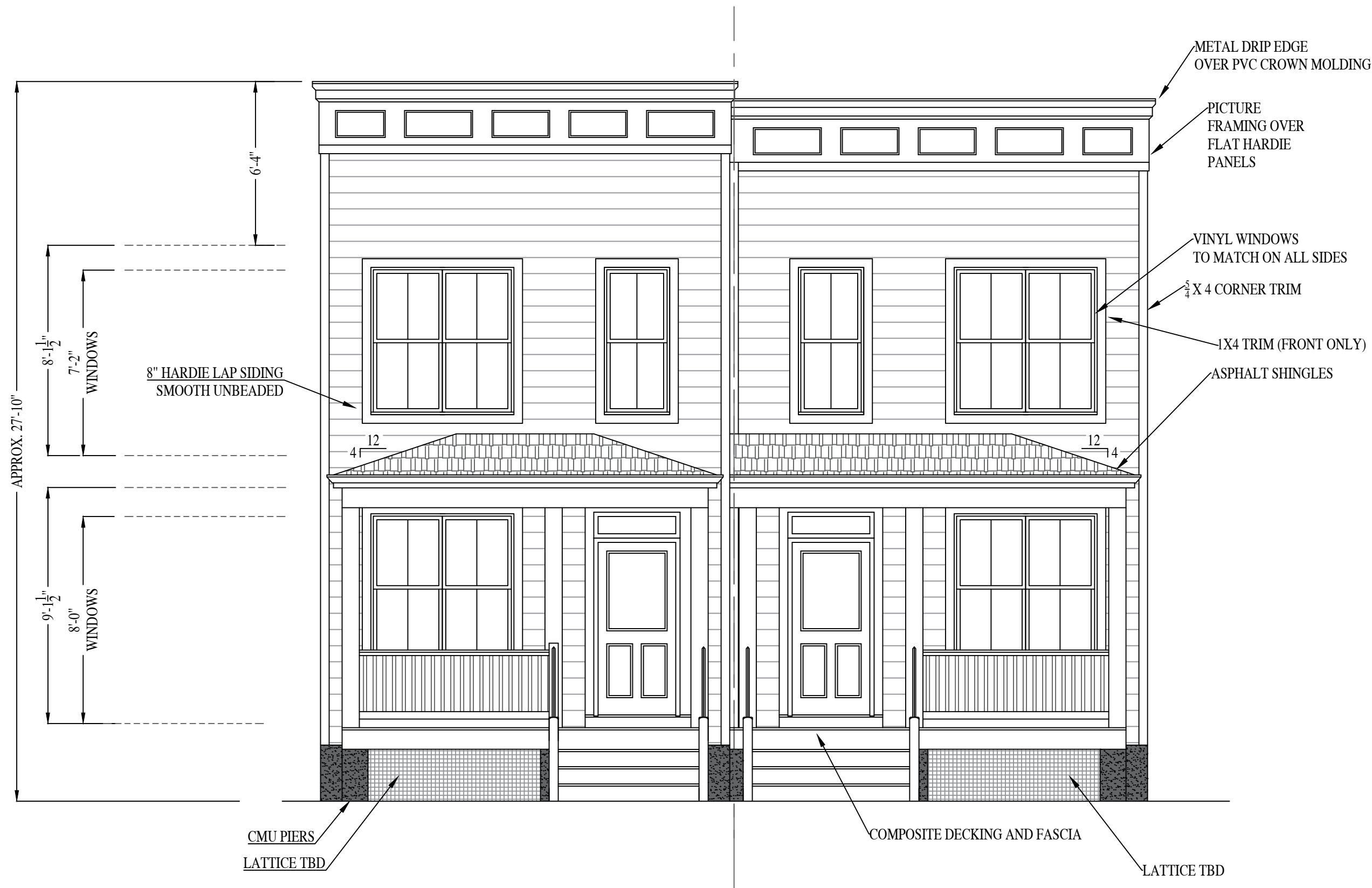
DATE:

6-13-2024

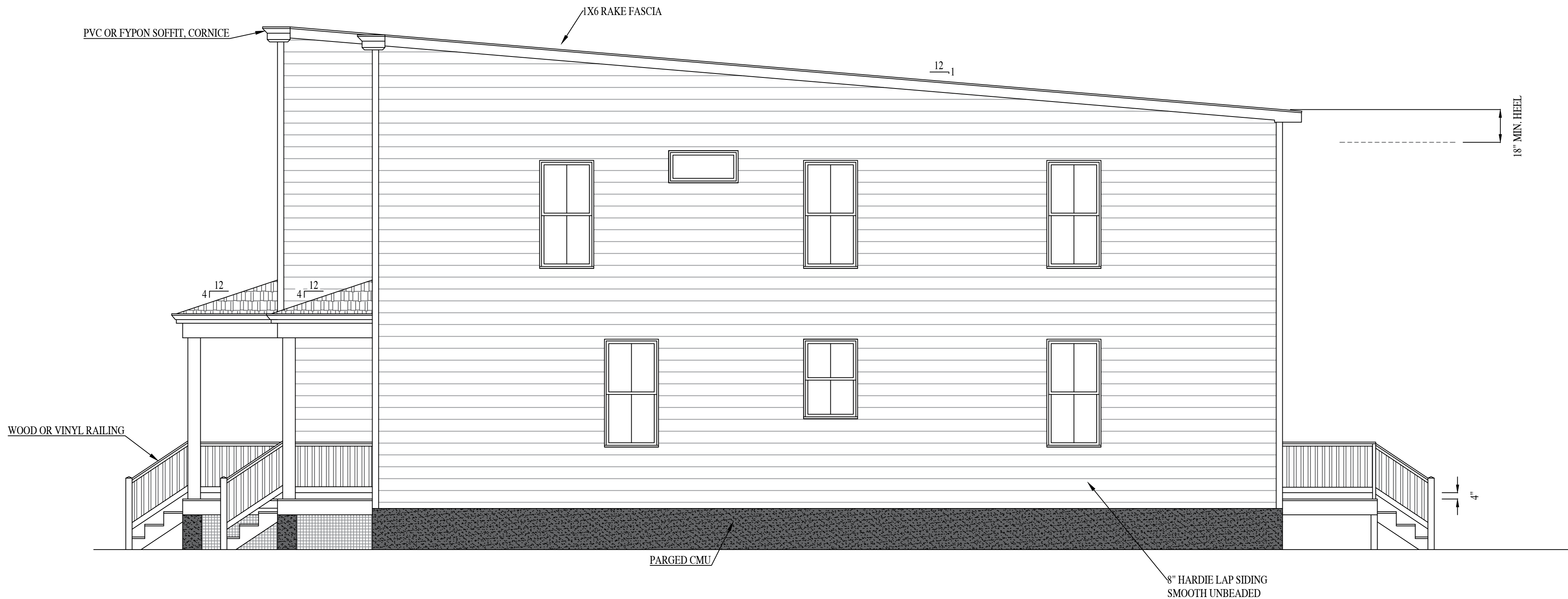
SHEET:

A1.1





FRONT ELEVATION



RIGHT ELEVATION

2004/2004.5 & 2006/2006.5

NEWBOURNE ST.

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REVISION NOTES

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SCALE:

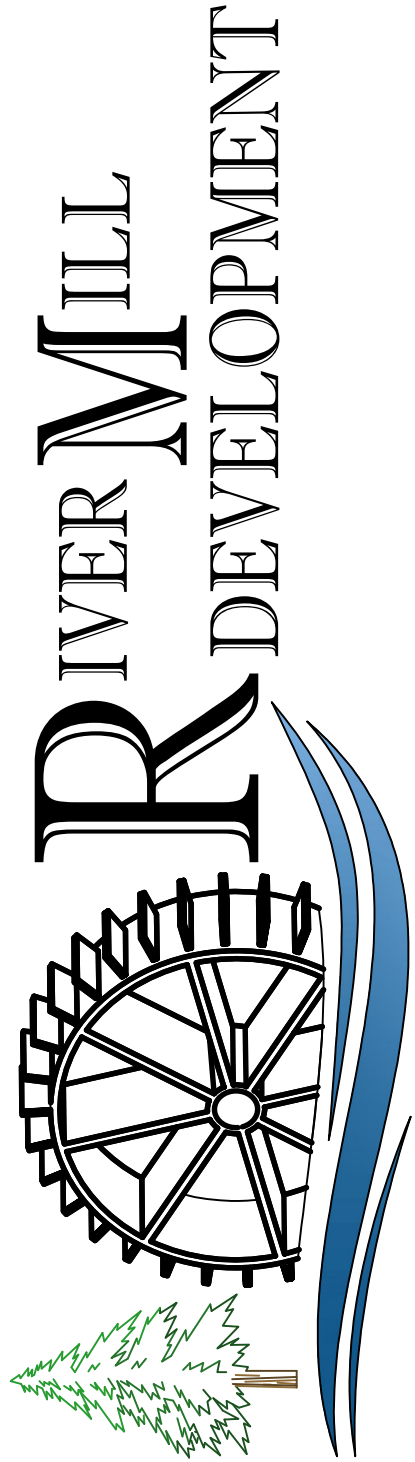
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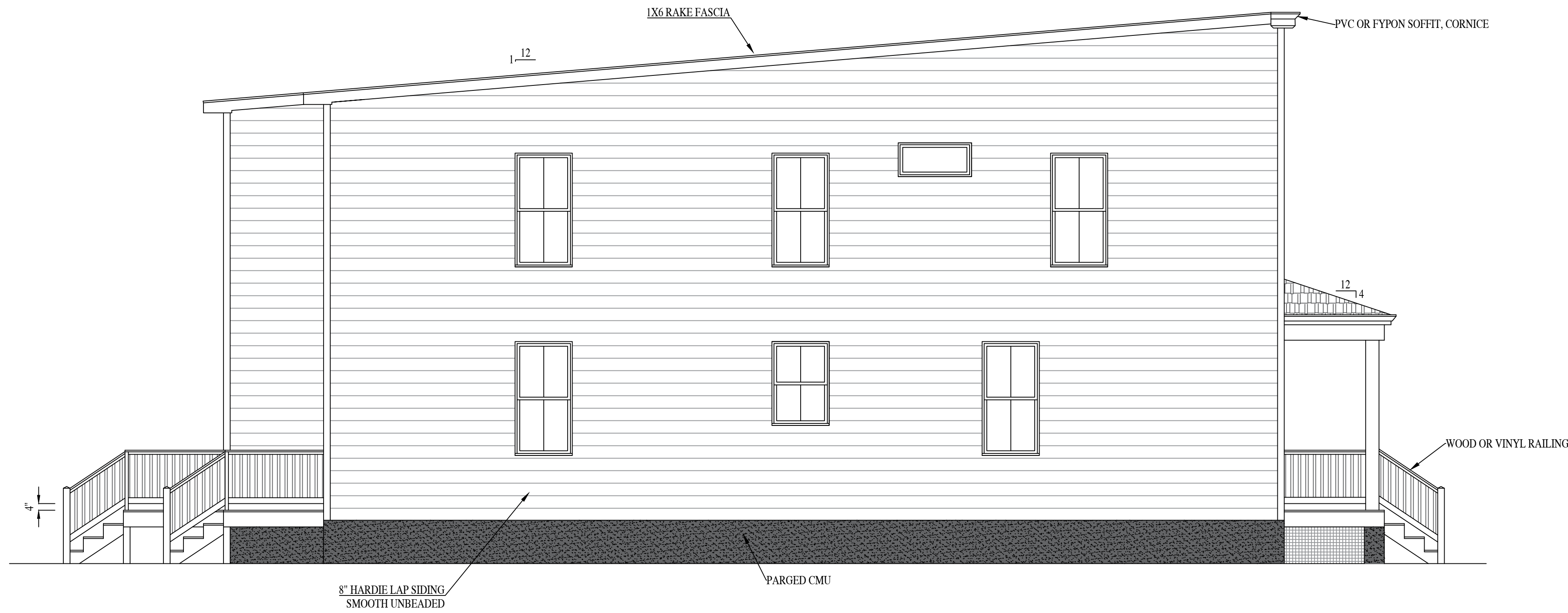
DATE:

6-13-2024

SHEET:

A2.1





LEFT ELEVATION



REAR ELEVATION

2004/2004.5 & 2006/2006.5

NEWBOURNE ST.

RIVER MILL DEVELOPMENT

RIVERMILLDEVELOPMENT@GMAIL.COM

PHONE: (434) 774-4535

REVISION NOTES

| DATE | START |
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SCALE:

1/4" = 1'-0"

DATE:

6-13-2024

SHEET:

A2.2

