



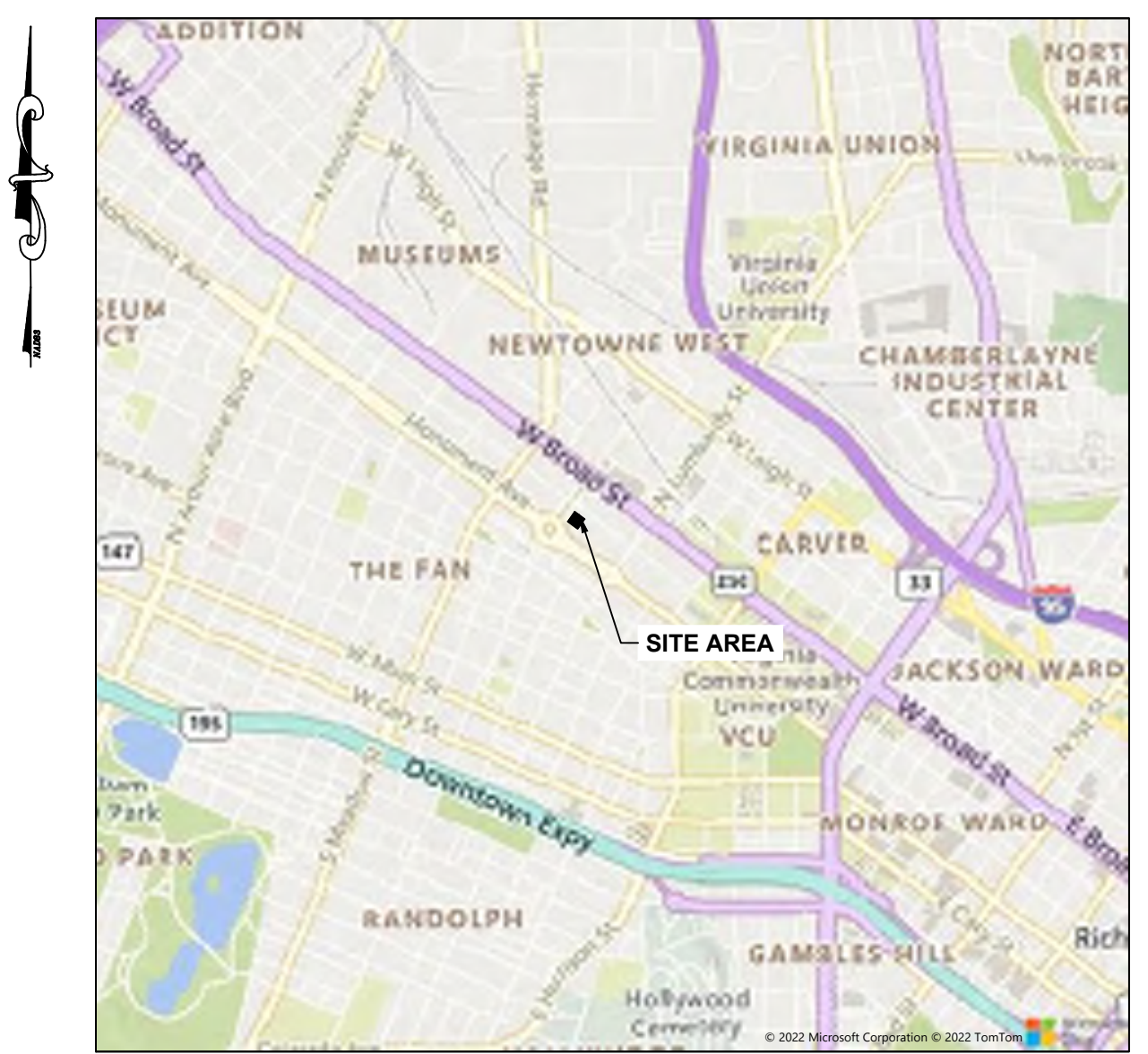
SHENANDOAH HOTEL RENOVATION

501 N. ALLEN AVENUE, RICHMOND, VA

Civil Sheet List Table	
SHEET ID	SHEET TITLE
C0.0	COVER
C1.0	ALTA NSPS LAND TITLE SURVEY SHEET 1 OF 2
C1.1	ALTA NSPS LAND TITLE SURVEY SHEET 2 OF 2
C2.0	EXISTING CONDITIONS
C3.0	GENERAL NOTES AND DETAILS
C3.1	GENERAL NOTES AND DETAILS
C4.0	LAYOUT
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C6.1	UTILITY NOTES AND DETAILS
WM1.0	WATER MODEL RESULTS*
L1.0	LANDSCAPE INVENTORY
L2.0	LANDSCAPE PLAN
L3.0	LANDSCAPE NOTES AND DETAILS

* NOT INCLUDED IN SUP SET

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A200	BASEMENT PLAN
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A300 - A301	BUILDING ELEVATIONS
A400	WALL SECTIONS
A600 - A606	BASEMENT - LEVEL 6 RCP
A700	STAIR A
A701	STAIR B
A702	STAIR C
A800	DOOR SCHEDULE & DETAILS
A801	WINDOW SCHEDULE AND DETAILS
D201 - D206	LEVEL 1 - LEVEL 6 DEMOLITION PLANS
D300	DEMOLITION BUILDING ELEVATIONS
D601 - D606	LEVEL 1 - LEVEL 6 DEMOLITION RCP



VICINITY MAP
SCALE: 1" = 2,000'

SUP SET
06-14-2022

PROJECT SUMMARY

ADDRESS: 501 NORTH ALLEN AVENUE
 PARCEL ID: W0000735002
 ZONING: R-48 - MULTIFAMILY RESIDENTIAL
 PLANNING DISTRICT: NEAR WEST
 EXISTING USE: ELDERLY CARE
 PROPOSED USE: HOTEL / RESTAURANT / BAR
 NEIGHBORHOOD: THE FAN
 CIVIL ASSOCIATION: FAN DISTRICT ASSOCIATION
 BUILDING HEIGHT: 68'-4" (TO ROOF)
 AREA OF LAND DISTURBANCE: <4,000 SQ.FT.
 TOTAL GROSS FLOOR AREA OF BUILDING:
 TOTAL LAND AREA COVERED BY BUILDINGS: 6,766 SQ.FT.
 EXISTING CONDITIONS: CITY OF RICHMOND UTILITY MAPS, CITY OF RICHMOND GIS
 TOPOGRAPHIC SURVEY OF 501 NORTH ALLEN PARCEL ID: W0000735002 BY TIMMONS GROUP, COMPLETED FEBRUARY 5, 2022; SCALE: 1"=20'.
 ALTA NSPS LAND TITLE SURVEY SHOWING A PARCEL OF LAND TOTALING 0.450 ACRES LOCATED AT THE SOUTHEAST CORNER OF NORTH ALLEN AVE. AND WEST GRACE STREET IN THE CITY OF RICHMOND, VIRGINIA BY TIMMONS GROUP, COMPLETED 2/3/2022; SCALE: 1"=20'.
 REQUIRED PERMITS: WORK IN STREETS PERMIT, WATER AND SEWER PERMIT
 DATUM: NAVD83, NAD83
 SUP CASE #: SUP-104056-2021
 PARKING SPACES REQUIRED:
 1 SPACE PER HOTEL ROOM +
 1 SPACE PER 100 SQ. FT. OF RESTAURANT/BAR/CAFE
 75 HOTEL ROOMS
 PARKING REQUIRED: 75 SPACES
 BAR AREA: 780 SQ.FT.
 CAFE AREAS: 880 SQ.FT.
 PATIO AREAS: 1,150 SQ.FT.
 TOTAL: 2,810 SQ.FT.
 PARKING REQUIRED: 2,810 SQ.FT. / 100 = 28 SPACES
 TOTAL PARKING REQUIRED: 103 SPACES
 PROVIDED
 24 SPACES ON-SITE (2 ADA)
 5 SPACES ON N. ALLEN AVE.
 ADDITIONAL OFF-SITE PROVIDED VIA VALET TO MEET DEMAND

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DATE: 03/25/2022
 DRAWN BY: R. THOMAS
 DESIGNED BY: B. MEYER
 CHECKED BY: A. WEHUNT
 SCALE: AS NOTED

TIMMONS GROUP
 SHENANDOAH HOTEL RENOVATION
 501 N ALLEN AVE, CITY OF RICHMOND, VIRGINIA
 COVER

JOB NO. 50681
 SHEET NO. C0.0

ARCHITECT
 COMMONWEALTH ARCHITECTS
 101 SHOCKOE SLIP, 3RD FLOOR
 RICHMOND, VA 23219
 CONTACT: JANE V.S. TIDWELL, NCIDQ, IIDA, LEED AP ID+C
 TELEPHONE: (804) 648-5040 X1145
 EMAIL: JTidwell@comarchs.com

OWNER/DEVELOPER
 ASH NYC
 153 LAFAYETTE STREET, 5TH FLOOR
 NEW YORK, NY 10013
 CONTACT: JEN WEBBER
 TELEPHONE: (443) 278-4075
 EMAIL: jennifer@ashnyc.com

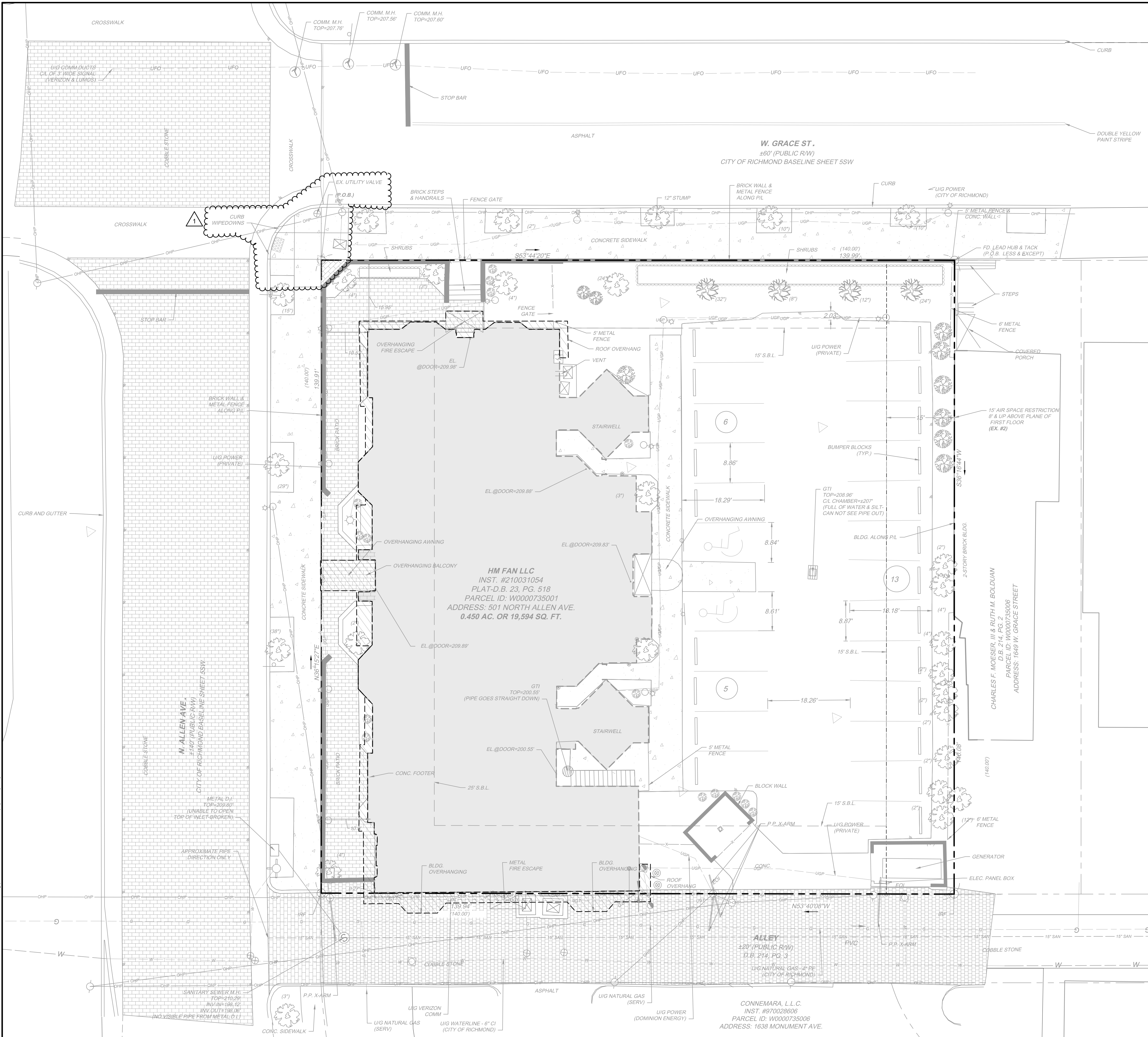
MEP ENGINEER
 SALAS O'BRIEN
 3200 ROCKBRIDGE ST. STE 202
 RICHMOND, VA 23220
 CONTACT: WARREN REED
 TELEPHONE: (804) 358-9200 x320
 EMAIL: warren.reed@salasobrien.com

CIVIL/SITE ENGINEER
 TIMMONS GROUP
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 RICHMOND, VA 23225
 CONTACT: AMELIA WEHUNT
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LANDSCAPE ARCHITECT
 TIMMONS GROUP
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 RICHMOND, VA 23225
 CONTACT: JULIE KOMMER, PLA, SITES AP
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 EMAIL: julie.kommer@timmons.com

S:\04\05081-Shenandoah\DWG\Sheet\C00-C00V.dwg | Printed on 01/14/2022 7:33 AM | by Becky Meyer

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SCALE 1"=10'

0 10' 20'

PROFESSIONAL ENGINEER
 Amelia C. Wehry
 Lic. No. 049325
 06/13/2022

SUP SET

- SURVEY NOTES:**
- OWNERS OF RECORD:
- HM FAN LLC
 INST. #210031054
 PARCEL ID: W0000735001
 ADDRESS: 501 NORTH ALLEN AVE.
- THIS PLAN IS BASED ON A CURRENT TIMMONS GROUP FIELD SURVEY. FIELDWORK WAS PERFORMED JANUARY 18 THROUGH FEBRUARY 3, 2022.
 - THIS PLAN WAS PREPARED WITH THE BENEFIT OF LOAN POLICY OF TITLE INSURANCE, PREPARED BY FIDELITY TITLE INSURANCE COMPANY, FILE NO. VAFN21-4169, DATED POLICY OCTOBER 29, 2021 AT 8:01 A.M.
 - PROPERTY CORNER MONUMENTS AS SHOWN
 - THIS PROPERTY LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD PER MAP NUMBER 510128003D, EFFECTIVE DATE OF APRIL 2, 2009
 - TOTAL AREA SURVEYED=0.450 AC. OR 19,594 SQ. FT.
 - ZONED: R-48 RESIDENTIAL (MULTI-FAMILY) (PER CITY OF RICHMOND GIS). SEE ARTICLE IV, DIVISION 9, SECTION 30-416.1 THROUGH 30-416.8 FOR SPECIFIC ZONING INFORMATION FOR R-48 DISTRICT. NO ZONING REPORT OR LETTER HAS BEEN PROVIDED.
 - SUBSTANTIAL FEATURES WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD SURVEY AS SHOWN HEREON.
 - SUBJECT SURVEY AREA HAS 22 MARKED PARKING SPACES AND 2 MARKED HANDICAP SPACES. NAMES OF ADJOINING OWNERS SHOWN, BASED ON CURRENT PUBLIC RECORD, TAX RECORDS AND/OR DEEDS.
 - HORIZONTAL CONTROL IS BASED ON VA STATE PLANE, NAD83 SOUTH ZONE AS DETERMINED BY GPS.
 - BOUNDARY INFORMATION IS BASED IN PART, ON DEEDS AND MAPS OF RECORD, AND IN PART, BY AN ACTUAL FIELD SURVEY BY THIS FIRM.

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF LUKE M. TURNER, L.S. FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION, THAT THE ORIGINAL DATA WAS OBTAINED ON THE FOLLOWING DATES: JANUARY 18, 19, 20, 24 AND FEBRUARY 2 AND 3, 2022. THIS PLAN, MAP AND DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD83

DATUM ESTABLISHED BY RTK JANUARY 18, 2022 (CORRECTIONS FROM RTCM-REF 0522)

UG UTILITY DESIGNATION PERFORMED BY TIMMONS GROUP AND COMPLETED IN FEBRUARY OF 2022.

ALL UG UTILITIES ARE DESIGNATED AS QUALITY LEVEL B (S.U.E.) CLASSIFICATION UNLESS OTHERWISE NOTED.

SIZES & TYPES OF UG UTILITIES WERE TAKEN FROM UTILITY OWNER MAPPING OR PREVIOUS FIELD EVIDENCE PROVIDED BY OTHERS. (SIZES TAKEN FROM CITY UTILITY SHEETS)

EOI = END OF INFORMATION OF CONDUCTIVE UG UTILITY SIGNALS.

UTILITY OWNERS:

- CITY OF RICHMOND NATURAL GAS
- CITY OF RICHMOND WATER
- DOMINION ENERGY
- LUMOS NETWORKS / SEGRA
- VERIZON

- LEGEND:**
- ⊕ 1/2" ROD FOUND
 - ⊙ SANITARY MANHOLE
 - ⊙ TELECOM. MANHOLE
 - ⊙ GRATE INLET
 - ⊙ SOLLARD
 - ⊙ SIAMESE CONNECTION
 - ⊙ DUMPSTER
 - ⊙ POWER POLE
 - ⊙ YARD LIGHT
 - ⊙ GUY
 - ⊙ UTILITY VAULT
 - ⊙ LIGHT POLE
 - ⊙ SIGN
 - ⊙ GAS VALVE
 - ⊙ GAS METER
 - ⊙ GAS TEST
 - ⊙ WATER VALVE
 - ⊙ WATER METER
 - ⊙ ELECTRIC BOX
 - ⊙ ROOF DRAIN
 - S.B.L.=SETBACK LINE (140.00')=DISTANCE IN PARENTHESIS FROM RECORD
 - D.B.=DEED BOOK
 - PG.=PAGE
 - P.L.=PROPERTY LINE



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REVISION SET	DATE	DESCRIPTION
DD	04/01/2022	DD PRELIM SET
DD	06/13/2022	DD PRELIM REVISIONS
DD		DD COMMENT REVISIONS

YOUR VISION ACHIEVED THROUGH OURS.

DATE	DATE
04/01/2022	03/25/2022

DRAWN BY	R. THOMAS
DESIGNED BY	B. MEYER
CHECKED BY	A. WEHRY
SCALE	1"=10'

TIMMONS GROUP

SHENANDOAH HOTEL RENOVATION
 501 N ALLEN AVE, CITY OF RICHMOND, VIRGINIA

EXISTING CONDITIONS

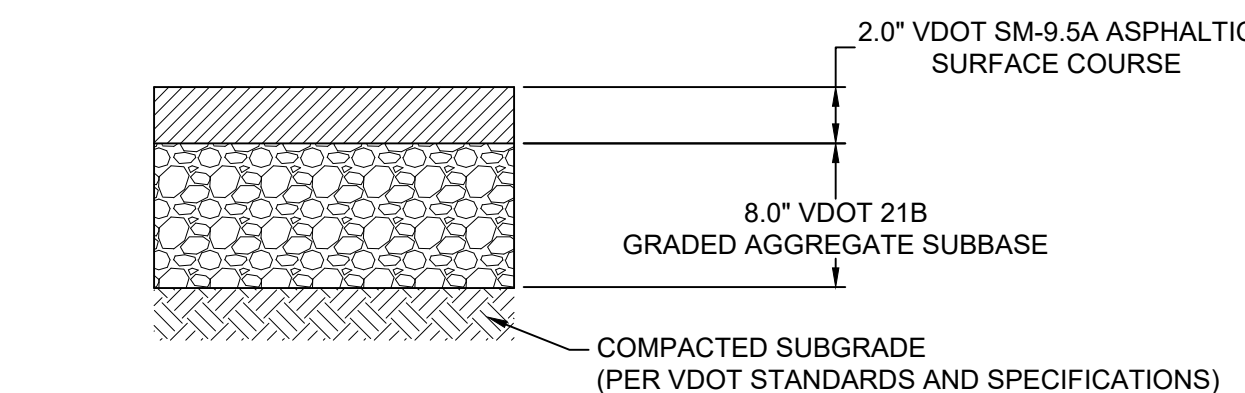
JOB NO.	50681
SHEET NO.	C2.0

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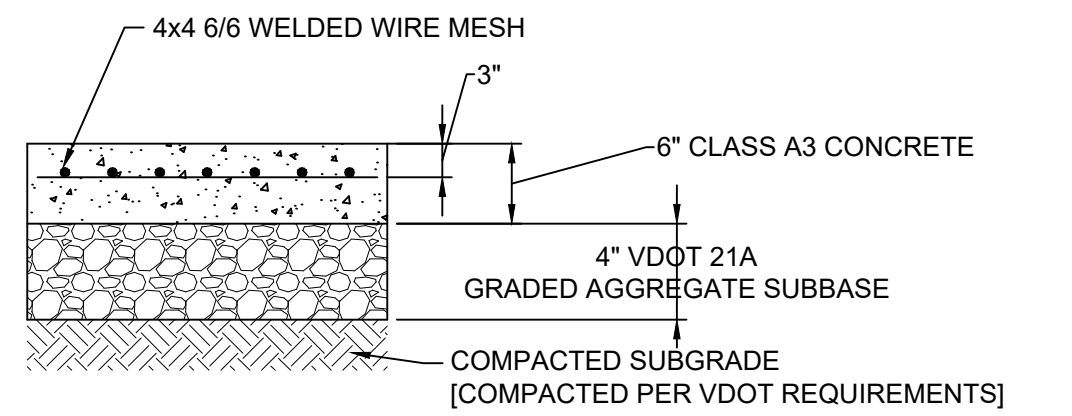
- CONSTRUCTION NOTES**
- CONSTRUCT THIS PROJECT IN ACCORDANCE WITH THE MOST RECENT CITY OF RICHMOND RIGHT OF WAY EXCAVATION AND RESTORATION MANUAL AND VDOT ROAD AND BRIDGE SPECIFICATIONS AND ROAD DESIGN & STANDARDS INCLUDING ALL SUBSEQUENT REVISIONS. RESTORE ANY INFRASTRUCTURE (SIDEWALKS, CURBS, ETC.) DAMAGED DURING CONSTRUCTION AT THE EXPENSE OF THE CONTRACTOR.
 - CALL "MISS UTILITY" OF CENTRAL VIRGINIA AT 1-800-552-7001 (TOLL FREE) 48 HOURS PRIOR TO THE START OF EXCAVATION. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT THE ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLAN, IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON PLAN.
 - ACQUIRE AND PAY FOR ANY AND ALL NECESSARY CONSTRUCTION PERMITS, AND FURNISH COPIES TO THE OWNER UNLESS OTHERWISE DIRECTED.
 - ALL UTILITY LINES SUCH AS ELECTRIC, TELEPHONE, CATV, OR OTHER SIMILAR LINES SHALL BE INSTALLED UNDERGROUND.
 - IN ACCORDANCE WITH HANDICAP ACCESSIBILITY REQUIREMENTS, ALL APPLICABLE CODES AND REQUIREMENTS FOR ACCESSIBILITY FOR DISABLED PERSONS SHALL BE STRICTLY COMPLIED WITH.

- CONSTRUCTION SEQUENCE GUIDELINES**
- PROVIDE A DETAILED SCHEDULE AND SEQUENCE OF CONSTRUCTION TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. CONSTRUCTION SEQUENCE GUIDELINES HAVE BEEN PROVIDED BELOW TO PROVIDE REQUIRED OPERATIONAL PARAMETERS DURING CONSTRUCTION.
 - ACQUIRE ALL PERMITS PRIOR TO CONSTRUCTION. ALL FEES ASSOCIATED WITH PERMITS SHALL BE PAID BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
 - SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RICHMOND'S DEPARTMENT OF PUBLIC UTILITIES AND TIMMONS GROUP AT LEAST 72 HOURS PRIOR TO THE START OF WORK.
 - CALL "MISS UTILITY" AT 1-800-552-7001 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER IMMEDIATELY IF:
 - LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLAN;
 - IF THERE APPEARS TO BE A CONFLICT;
 - OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS.
 - PERFORM CONSTRUCTION SURVEY STAKEOUT FOR PROPOSED IMPROVEMENTS AND CONSTRUCTION LIMITS. ALL SURVEYING OPERATIONS MUST BE PERFORMED BY A VIRGINIA LICENSED SURVEYOR.
 - MAINTAIN UNINTERRUPTED UTILITY SERVICE TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
 - DEMOLISH ITEMS AS INDICATED ON SHEET C4.0.
 - INSTALL AND MOVE TEMPORARY PUMPS AS NECESSARY TO DIVERT CLEAN WATER AROUND ACTIVE PORTIONS OF THE CONSTRUCTION SITE. PROVIDE TEMPORARY DRAINAGE MEASURES WITHIN THE PROJECT LIMITS AT THE END OF EACH DAY AS NECESSARY TO PREVENT FLOODING AND SEDIMENT RUNOFF INTO EXISTING STORMWATER SYSTEMS.
 - INSTALL UTILITIES PER SHEET C6.0. ENSURE PIPES ARE INSTALLED FROM CONNECTION BACK TO BUILDING.
 - RESTRIP PARKING LOT.

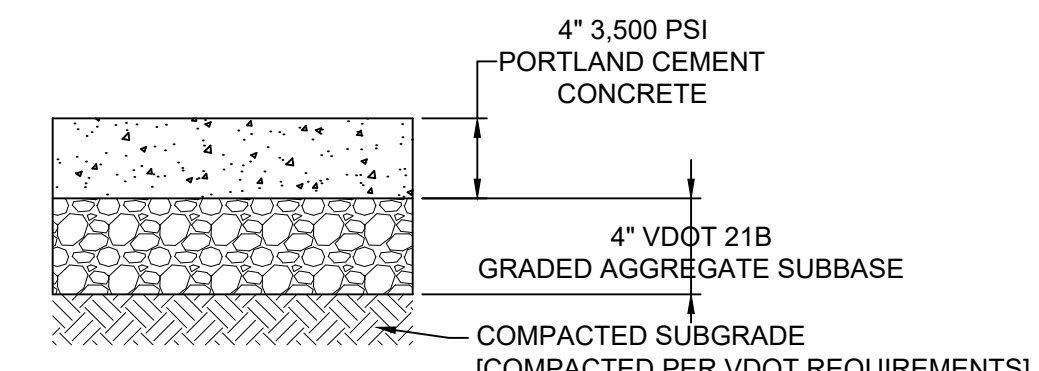
PAVEMENT SECTIONS AS SHOWN ARE NOT BASED ON A GEOTECHNICAL REPORT AND MAY BE REVISED BASED ON SITE-SPECIFIC RECOMMENDATIONS FROM A LICENSED GEOTECHNICAL ENGINEER.



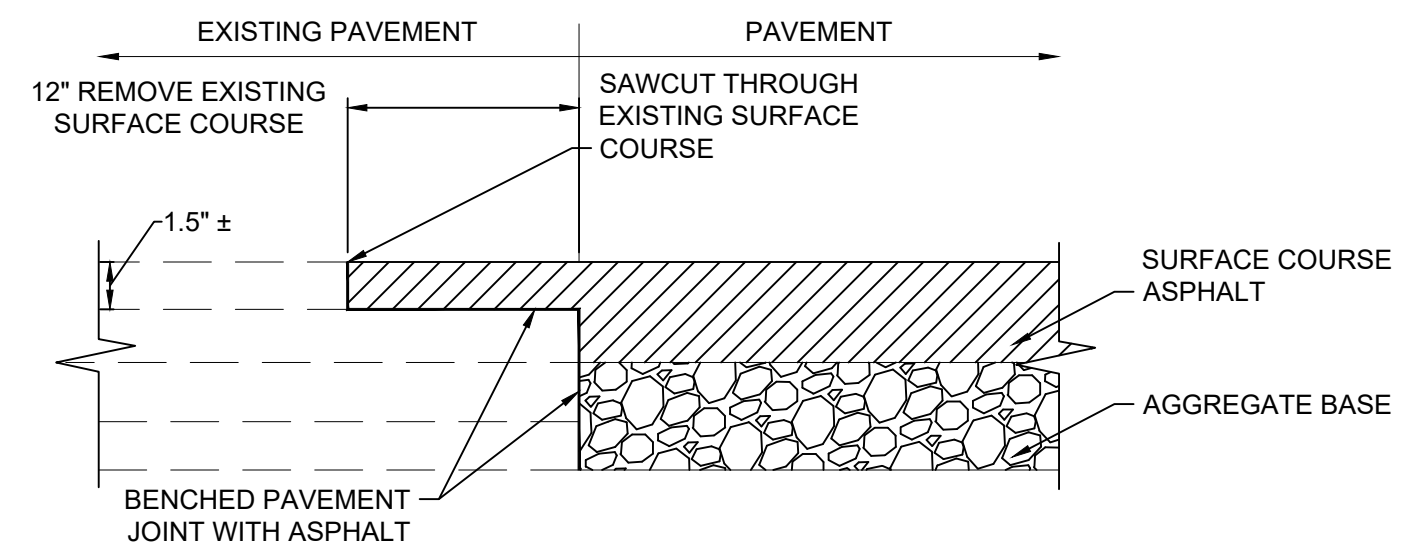
LIGHT DUTY ASPHALT PAVEMENT SECTION
NO SCALE



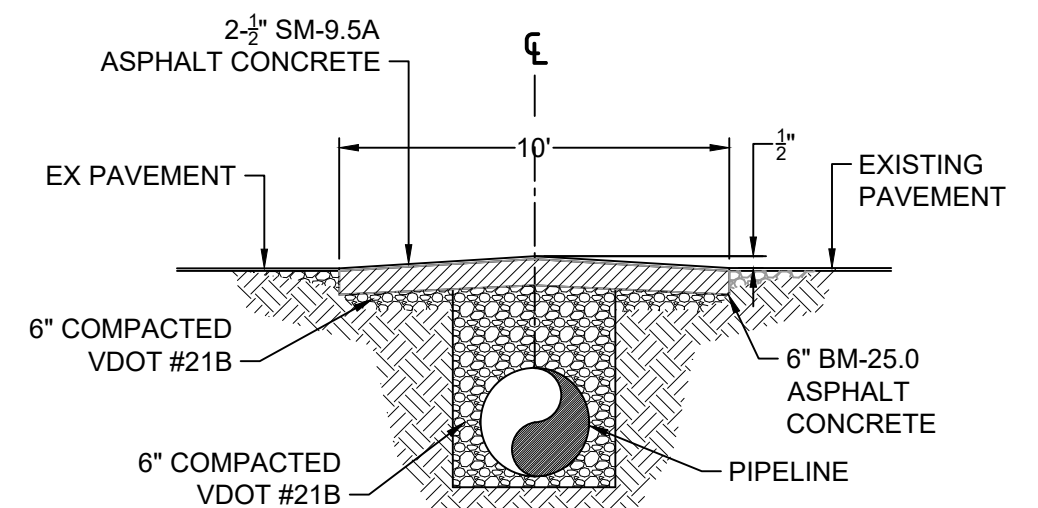
HEAVY DUTY CONCRETE SECTION
NO SCALE



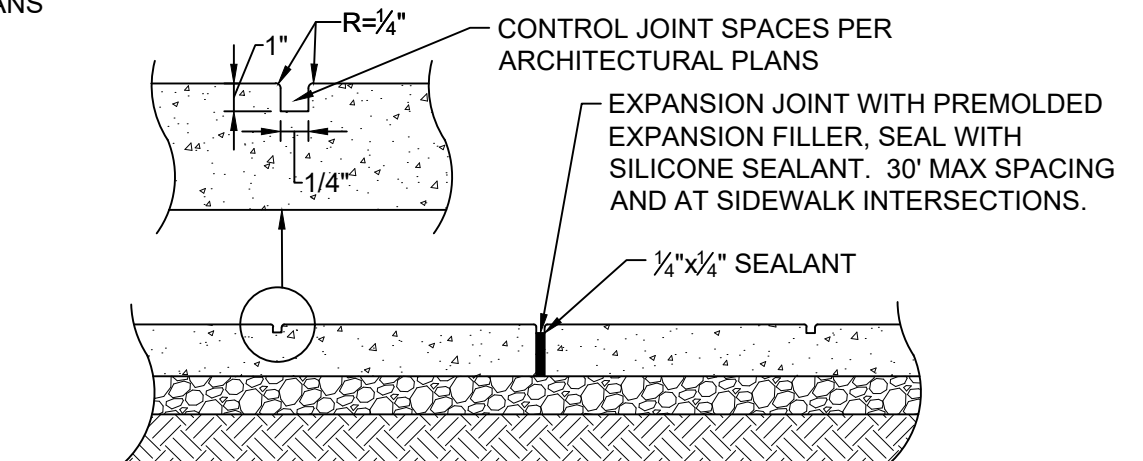
SIDEWALK CONCRETE SECTION
NO SCALE



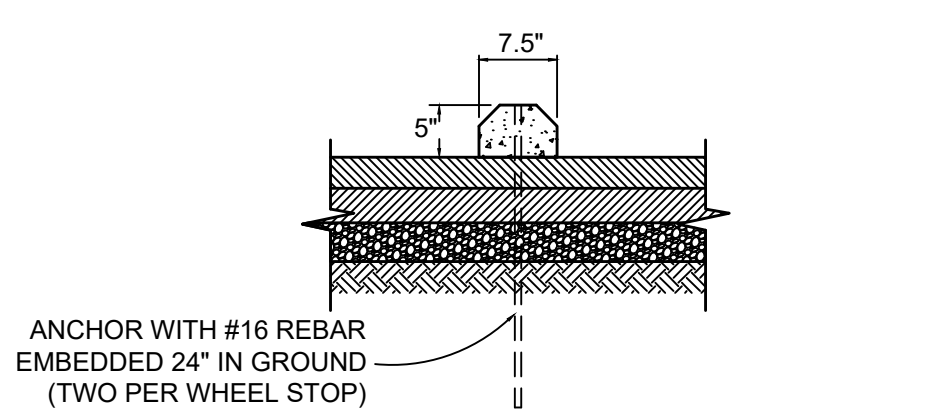
PAVEMENT TIE-IN JOINT DETAIL
NO SCALE



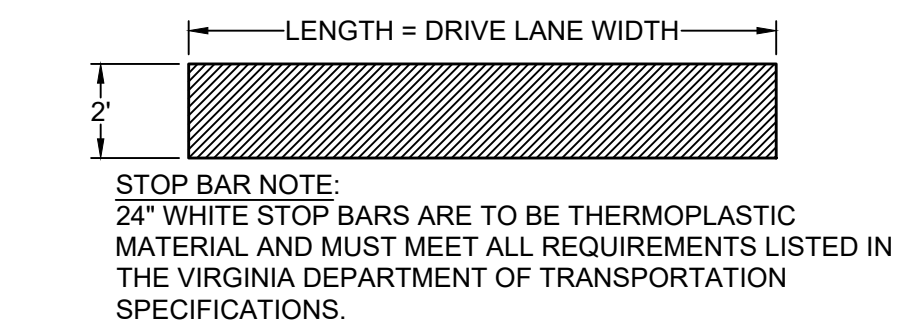
ONSITE PAVEMENT REPLACEMENT DETAIL
NO SCALE



CONCRETE SIDEWALK JOINT DETAIL
NO SCALE

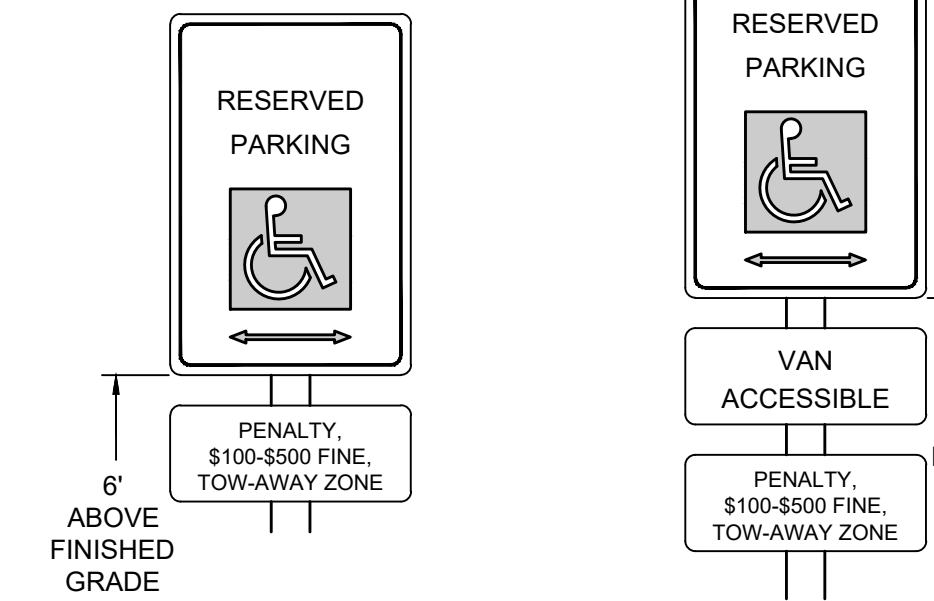
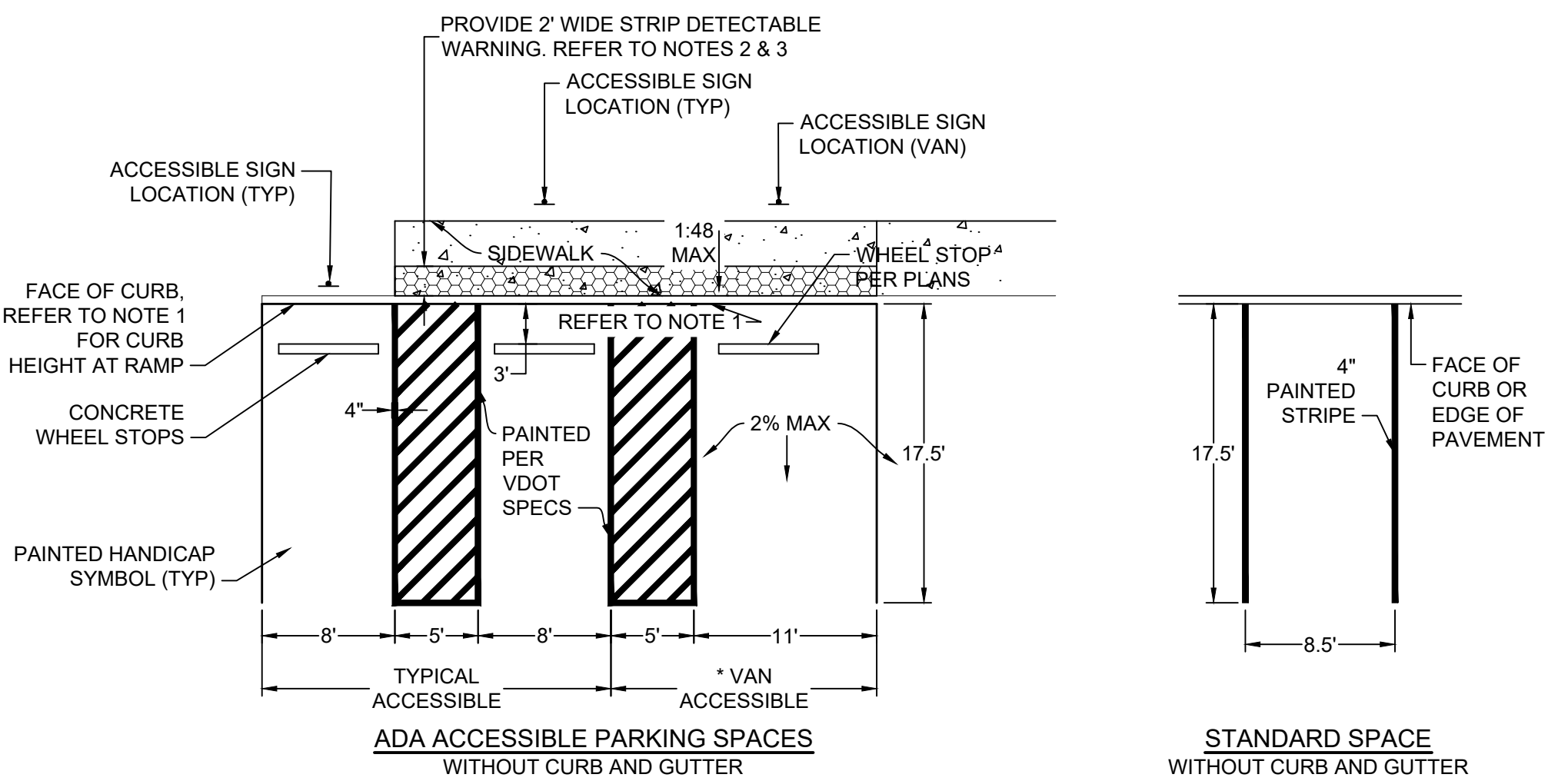
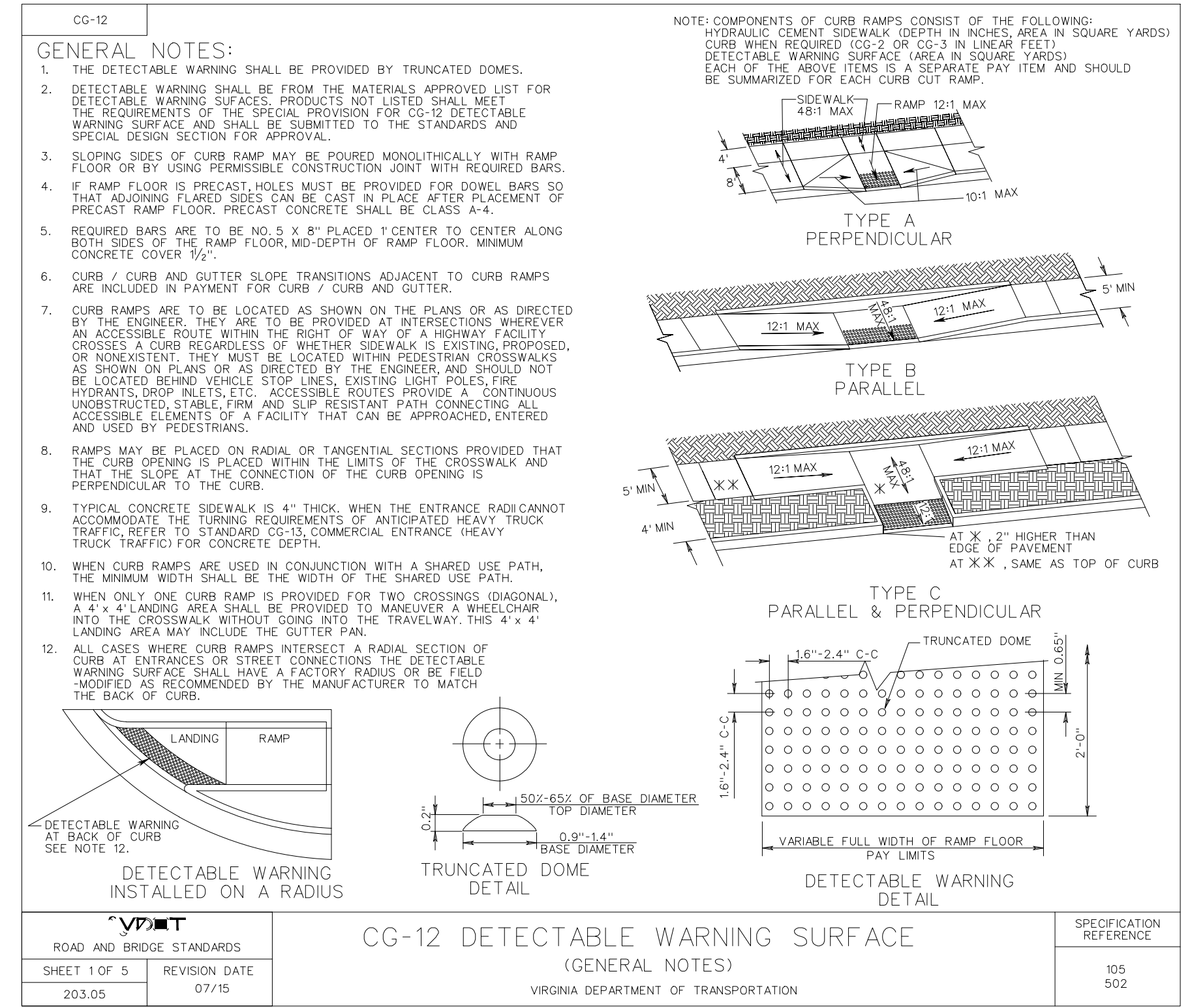


PRECAST WHEELSTOP DETAIL
NO SCALE



STOP BAR DETAIL
NO SCALE

- RESTORE GRANITE SPALL PAVEMENT ***
- DESCRIPTION** - THIS PAVEMENT IS A ROUGHLY CUT GRANITE BLOCK WEARING SURFACE AS HEREINAFTER DESCRIBED AND LOCALLY KNOWN AS "SPALL". THESE SPALL ARE TO BE LAID IN A MORTAR BED WITH GROUT JOINT FILLER.
 - GRANITE SPALL** - GRANITE SPALL SHALL BE FROM FOUR (4) TO SEVEN AND ONE-HALF (7 1/2) INCHES DEEP, FROM THREE (3) TO SIX (6) INCHES WIDE AND FROM THREE (3) TO TEN (10) INCHES LONG. THE SIDES SHALL PERMIT LAYING WITH JOINTS NOT OVER THREE-QUARTERS (3/4) OF AN INCH IN WIDTH AND JOINTS OF THAT WIDTH SHALL BE EXCEPTIONAL. THE UPPER FACE SHALL BE UNIFORM TO PERMIT LAYING TO THE GENERAL SURFACE OF THE PAVEMENT.
 - MORTAR BEDDING** - THE MORTAR BEDDING SHALL COMPLY WITH THE REQUIREMENTS FOR NONSHRINK MORTAR. THE SAND USED SHALL CONFORM TO VDOT SPECIFICATIONS, SEC. 202, GRADING C. THE MORTAR BEDDING SHALL BE MAXIMUM TWO (2) INCHES THICK.
 - LAYING SPALL** - ON THIS MORTAR BEDDING THE GRANITE SPALL SHALL BE LAID AT RIGHT ANGLES TO THE CENTER OF THE STREET. EACH COURSE OF SPALL SHALL BE APPROXIMATELY OF UNIFORM WIDTH AND DEPTH, AND SO LAID THAT ALL LONGITUDINAL JOINTS SHALL BE BROKEN BY A LAP OF AT LEAST TWO (2) INCHES. AS EACH COURSE IS LAID THE CEMENT SAND BEDDING WILL FILL THE JOINTS TO WITHIN THREE (3) INCHES OF THE SURFACE OF THE PAVEMENT. IRREGULAR SHAPED AND ODD SIZED SPALL SHALL BE CULLED BY THE PAVERS. AFTER THE SPALL HAS BEEN PLACED IN THE MORTAR BEDDING THE PAVEMENT SHALL BE TESTED WITH A TEN (10) FOOT STRAIGHT EDGE LAID PARALLEL WITH THE CENTER LINE OF THE PAVEMENT AND ANY IRREGULARITIES EXCEEDING ONE-QUARTER (1/4) OF AN INCH MUST BE CORRECTED AS DIRECTED BY RE-LAYING OF THE SPALL.
 - THE JOINTS SHALL THEN BE FILLED WITH GROUT (EMACO S77 C) OR APPROVED EQUAL, AROUND ALL GRANITE SPALL TO WITHIN 1/4" OF THE TOP.
 - OBLIGATION OF CONTRACTOR AT END OF GUARANTEE PERIOD** - IN ADDITION TO THE PROPER MAINTENANCE OF THE PAVEMENT DURING THE PERIOD OF GUARANTEE, WHICH WILL INCLUDE REFILLING GROUT FILLED JOINTS IF THEY BECOME OPEN, THE CONTRACTOR SHALL AT HIS EXPENSE, JUST BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD, MAKE SUCH REPAIRS AS NECESSARY TO THE PAVEMENT WHERE IT SHOWS INDICATION OF HAVING BEEN DEFECTIVELY CONSTRUCTED.
- * PER CITY OF RICHMOND TECHNICAL SPECIFICATIONS FOR PAVING & RESTORATION OF UTILITY CUTS SECTION 2.9



ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE GRADE SIGNS AS RESERVED FOR PHYSICALLY DISABLED PERSONS. PROVIDE ONE (1) R-7-8 SIGN AT EACH ACCESSIBLE PARKING SPACE INDICATED ON SITE PLAN. THE SIGN WILL BE ALUMINUM (PAINTED WHITE) WITH GREEN LETTERS AND THE INTERNATIONAL WHEELCHAIR SYMBOL. THE SIGN WILL INCLUDE THE LANGUAGE "PENALTY, \$100-\$500 FINE, TOW-AWAY ZONE". THE CENTER OF SIGN SHALL BE AT LEAST FIVE (5) FEET ABOVE GRADE, BUT NO HIGHER THAN SEVEN (7) FEET ABOVE GRADE. THE SIGN SHALL BE PLACED ON A 1-1/2" DIAMETER STEEL POST, PAINTED BLACK, AND SET IN 12" OF CONCRETE. TYPICAL ACCESSIBLE SIGNS SHALL CONFORM TO ADA REQUIREMENTS.



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DATE: 04/01/2022, 06/13/2022
DRAWN BY: B. MEYER
DESIGNED BY: B. MEYER
CHECKED BY: A. WEHNT
SCALE: AS NOTED

REVISION SET
DD PRECISE SET
SUP COMMENT REVISIONS

TIMMONS GROUP

SHENANDOAH HOTEL RENOVATION
501 N ALLEN AVE, CITY OF RICHMOND, VIRGINIA

GENERAL NOTES AND DETAILS

JOB NO. 50681
SHEET NO. C3.0

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REVISION DESCRIPTION	DATE
DD PRACTICING SET	04/01/2022
SUP COMMENT REVISIONS	06/13/2022
DATE	03/25/2022

DRAWN BY
B. MEYER

DESIGNED BY
B. MEYER

CHECKED BY
A. WEHUNT

SCALE
AS NOTED

TIMMONS GROUP

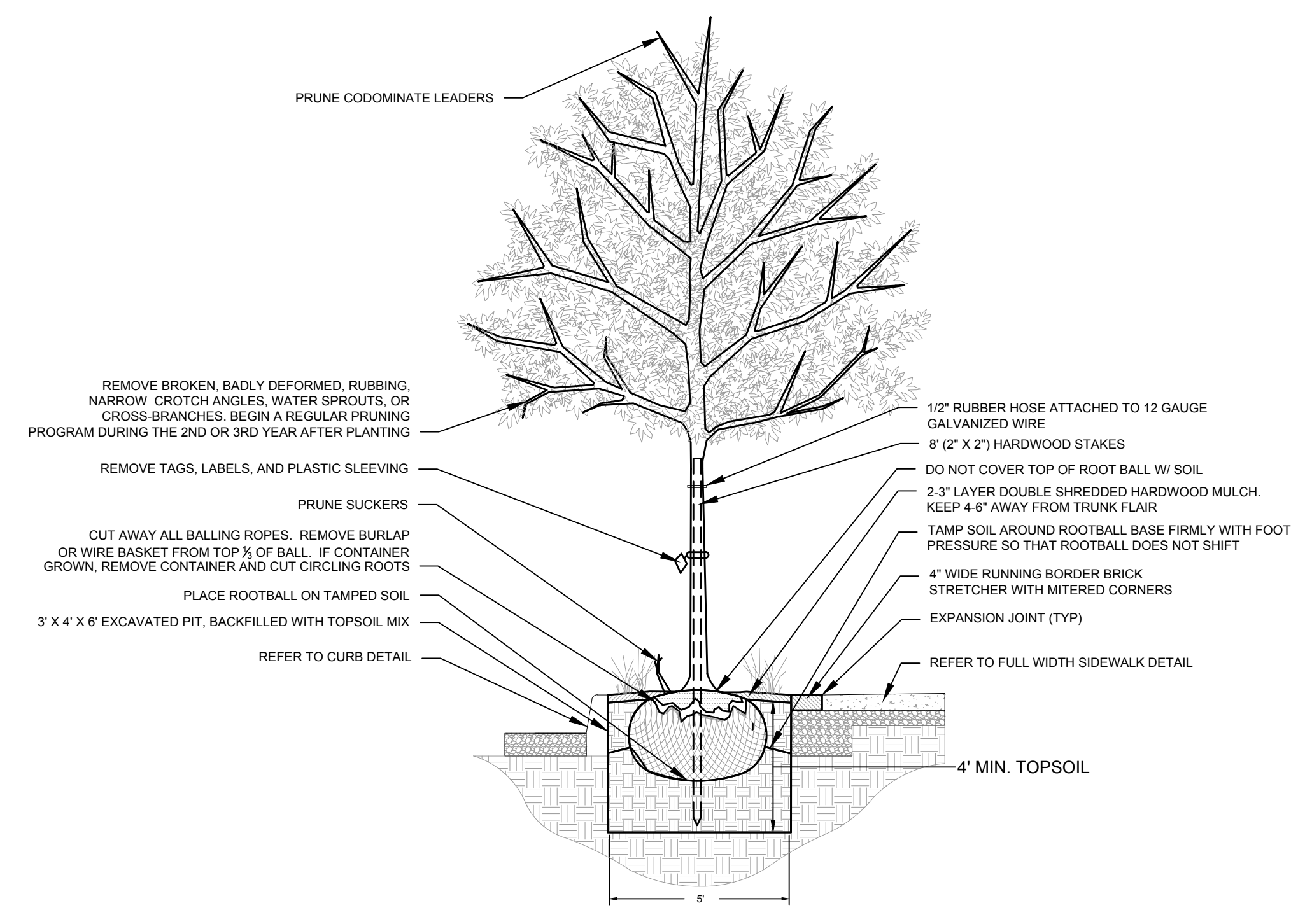
SHENANDOAH HOTEL RENOVATION
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GENERAL NOTES AND DETAILS

JOB NO.
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TREE WELL PLANTING DETAIL
 NOT TO SCALE

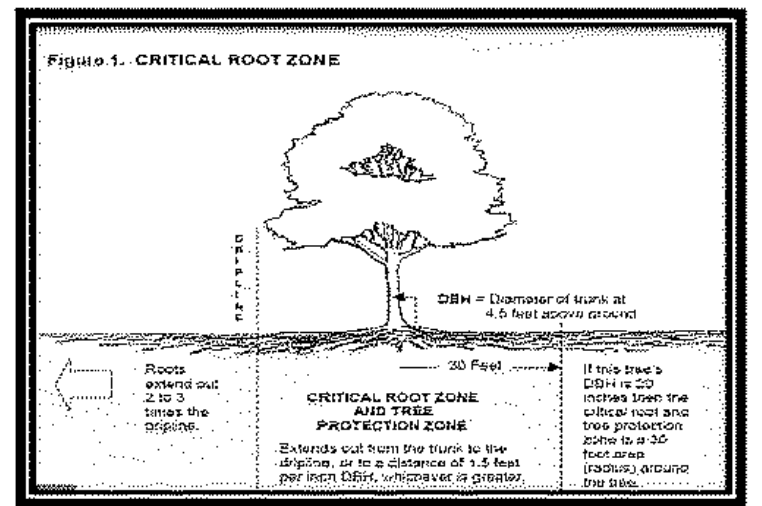
Tree Protection Zone

TPZ fences identify "exclusion zones" where construction and equipment use is prohibited.

The TPZ is an area around the tree where construction and equipment use is prohibited. Tree protection bright orange fencing shall be erected. "Keep Out" signs shall be located on all sides of the fencing, before clearing, deliveries, and other construction activities begin and not removed until all machinery is off site. All on site workers should be aware of the TPZ and restrictions on activities within this zone.

When TPZs are located on a down slope a silt fence must be included. If entry into the TPZ is required, use a root buffer to protect roots from crushing roots and compacting soil. No construction materials shall be stored within the TPZ zone.

If Utility work is required within the zone the City Arborist shall be consulted and guidelines will be provided.



At a minimum it should encompass a radius of at least 1.5 feet for each inch of trunk diameter.

Tree protection zones protect trees and their root zones during construction, cutting or filling around roots

will weaken and eventually kill trees.

If adjustments are needed the request shall be in writing and approved by the City Arborist, and all parties shall be notified of the change.

How Trees Are Damaged During Construction

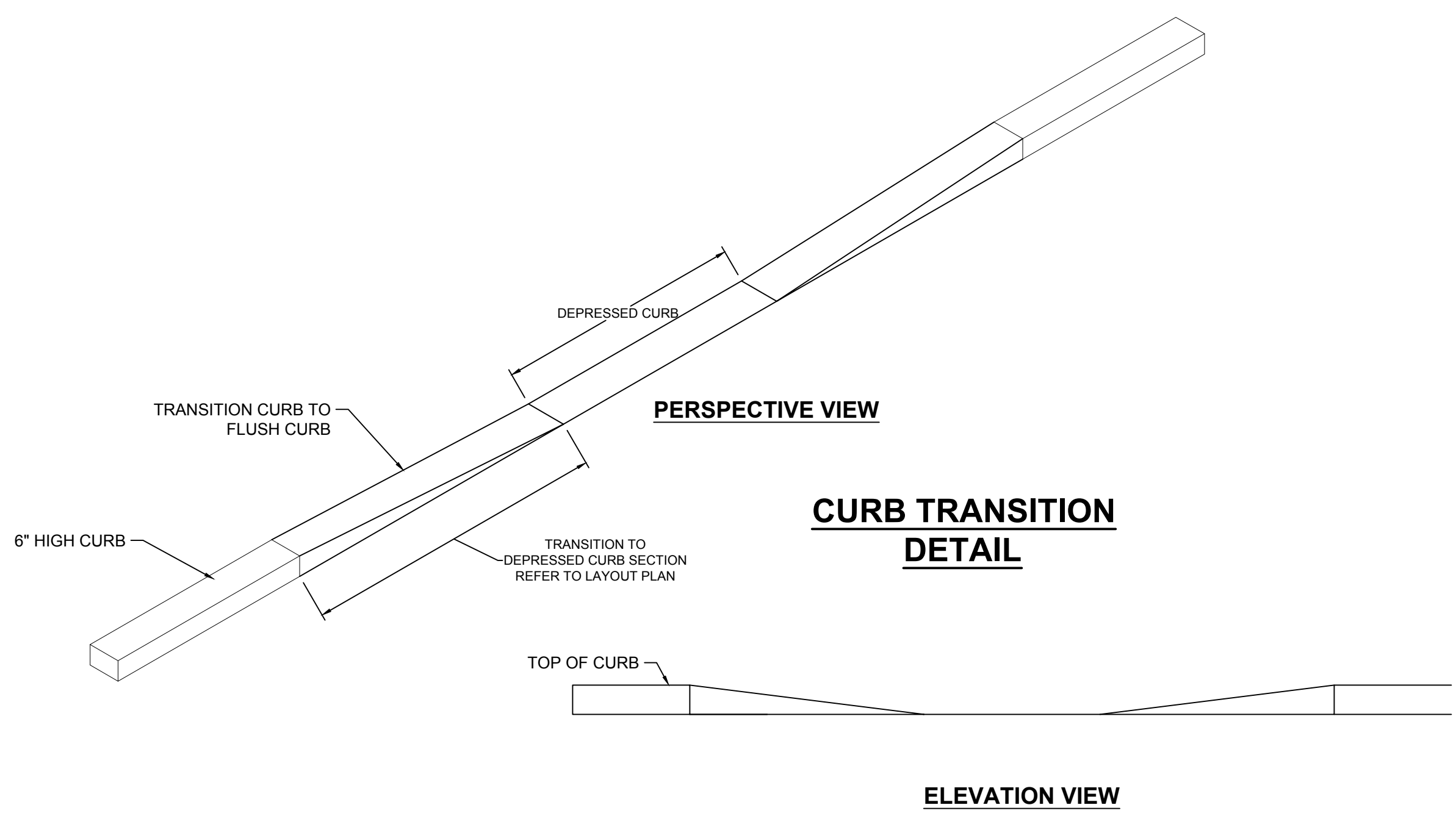
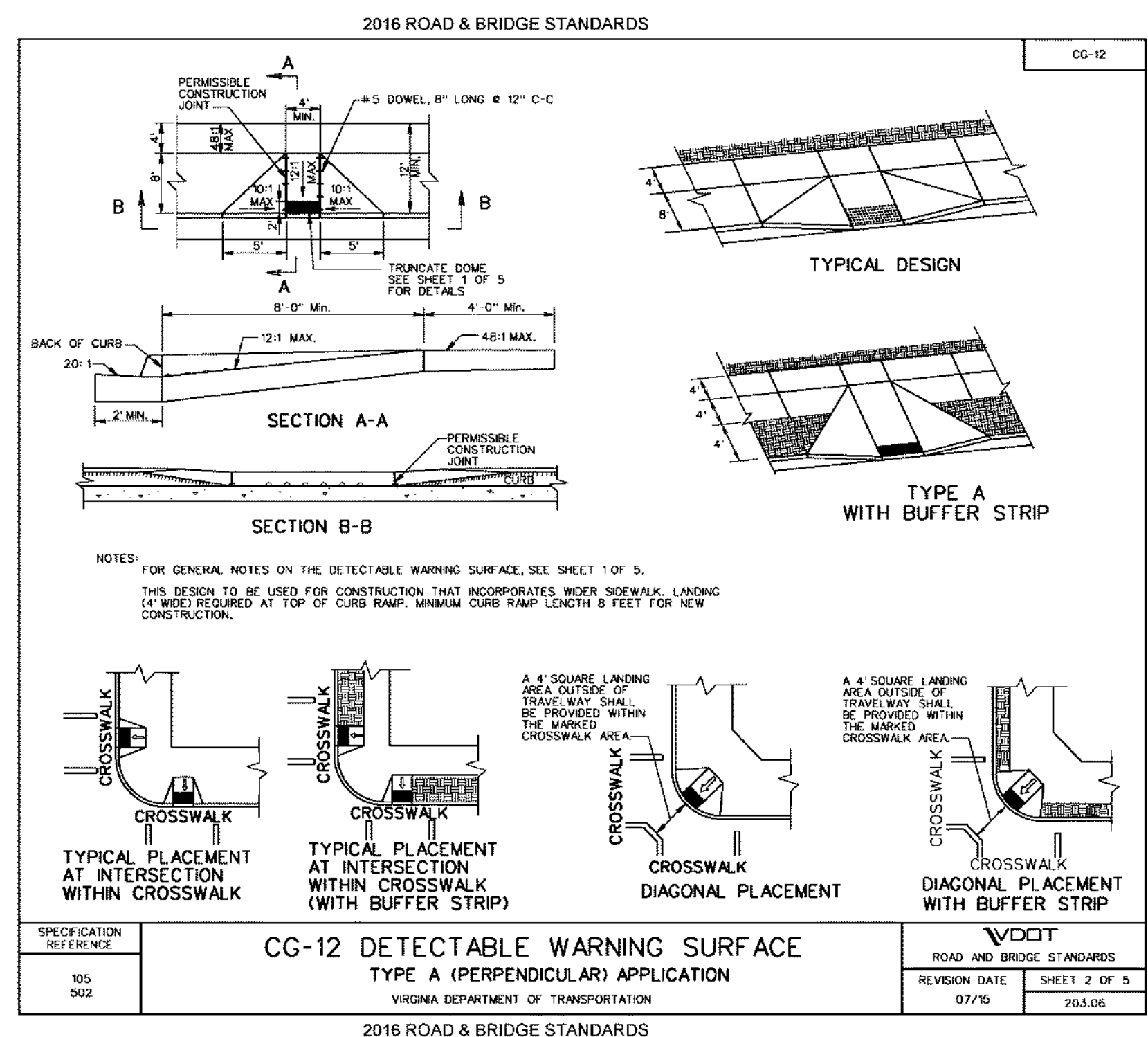
Physical Injury to Trunk and Crown. Construction equipment can injure the above-ground portion of a tree by breaking branches, tearing the bark, and wounding the trunk. These injuries are permanent and, if extensive, can be fatal.

Root Cutting, Digging, grading, and trenching associated with construction and underground utility installation can be quite damaging to roots. A tree's root system can extend horizontally a distance 1 to 3 times greater than the height of a tree. It is important to cut as far away from a tree as possible to prevent damage that can compromise tree health and stability. Cutting under a tree's crown can reduce tree vitality. Cutting roots close to the trunk can severely damage a tree and limit its ability to stay upright in storms.

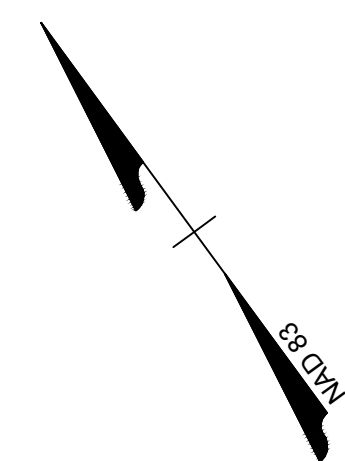
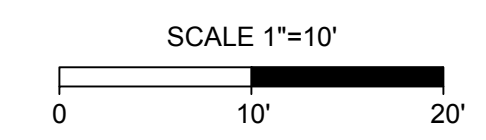
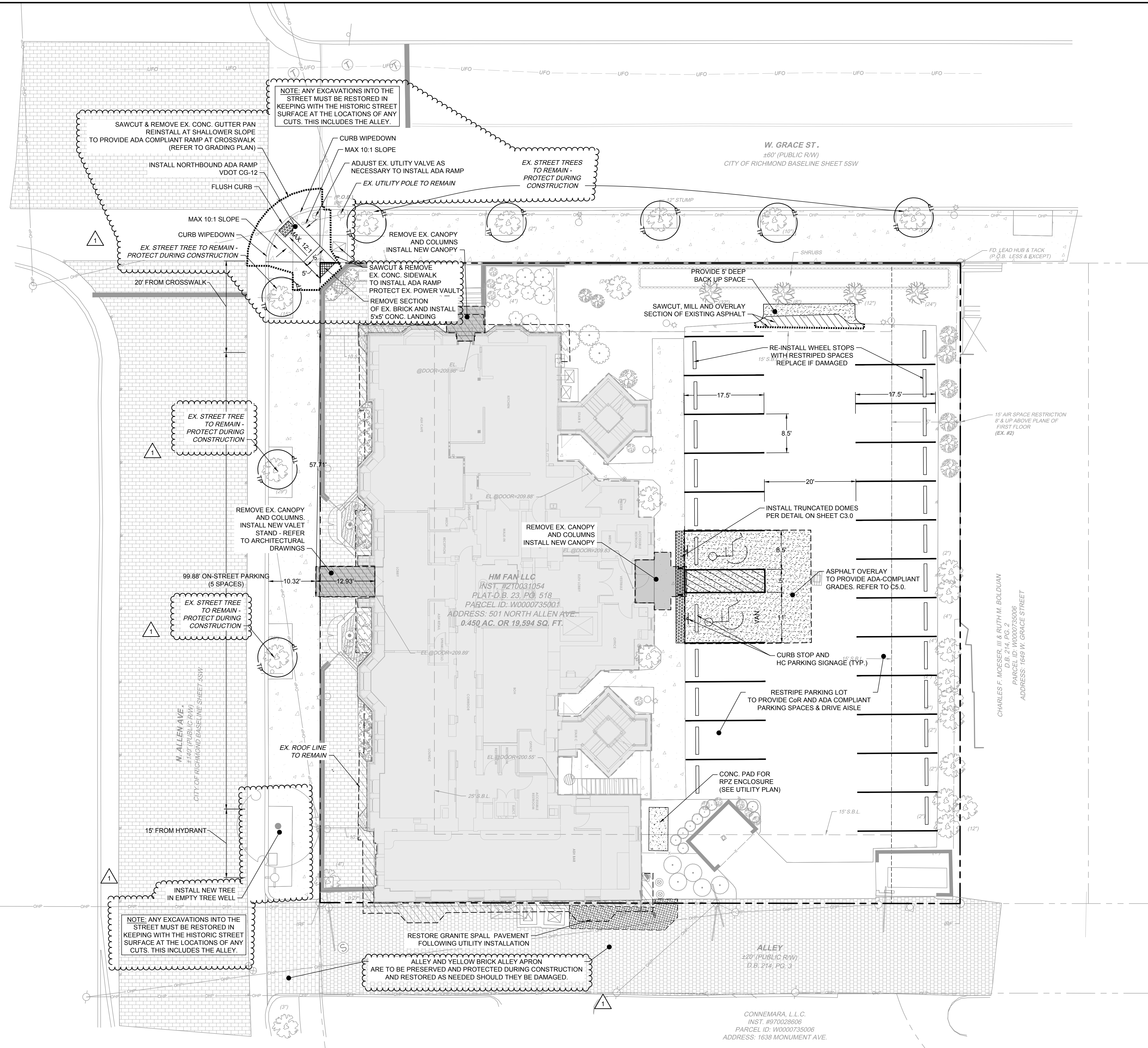
Soil Compaction. An ideal soil for root growth and development contains about 50 percent pore space for water and air movement. Heavy construction equipment can compact soil and dramatically reduce pore space. Compaction inhibits root growth, limits water penetration, and decreases oxygen needed for root survival.

Smothering Roots by Adding Soil. The majority of fine water-and-mineral-absorbing roots are in the upper 6 to 12 inches (15 to 30 cm) of soil where oxygen and moisture levels tend to be best suited for growth. Even a few inches of soil piled over the root system to change the grade can smother fine roots and eventually lead to larger root death.

Exposure to the Elements. Trees in a forest grow as a community, protecting each other from the elements. The trees grow tall with long, straight trunks and high canopies. Removing neighboring trees during construction exposes the remaining trees to increased sunlight and wind which may lead to sunscald or breakage of limbs and stems.



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- SITE LAYOUT NOTES:**
1. ALL ELEMENTS OF THE PROPOSED WALLS, FENCES, BUILDINGS, STEPS, & HARDSCAPED AREAS ARE DESIGNED BY OTHERS.
 2. REFER TO LANDSCAPE SHEETS FOR LANDSCAPING PLANS & DETAILS.
 3. ALL DIMENSIONS ARE FROM THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- PAVEMENT MARKING NOTES:**
1. ALL PERMANENT MARKINGS SHALL BE TYPE B, CLASS I UNLESS OTHERWISE DIRECTED BY VDOT TRAFFIC ENGINEERING.
 2. ALL PAVEMENT MARKINGS MUST HAVE PERSON WITH A PAVEMENT MARKING CERTIFICATION ISSUED BY THE VDOT MATERIALS DIVISION ON-SITE DURING PAVEMENT MARKING OPERATIONS. A COMPLETED CERTIFIED DELIVERY TICKET AND A C-85 MUST BE SUBMITTED TO THE VDOT RESIDENCY PERMIT INSPECTOR.

- LAYOUT HATCH LEGEND**
- [Concrete Hatch] CONCRETE SECTION
 - [Asphalt Hatch] LIGHT DUTY ASPHALT PAVEMENT SECTION
 - [Granite Hatch] GRANITE SPALL RESTORATION
 - [Mill and Overlay Hatch] MILL AND OVERLAY ASPHALT SECTION

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Δ SUP COMMENT REVISIONS	06/13/2022

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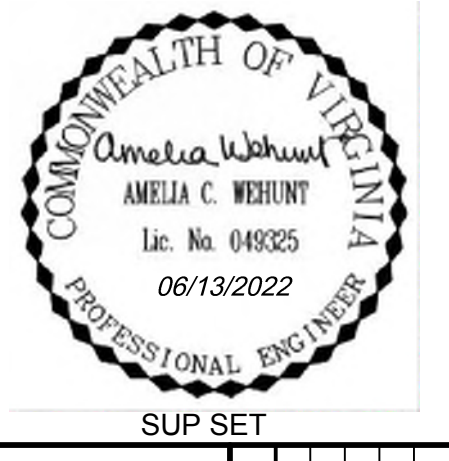
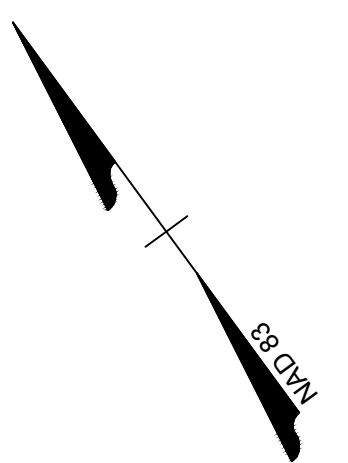
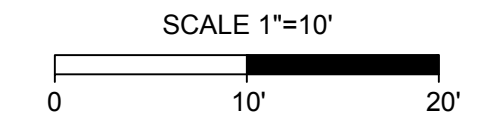
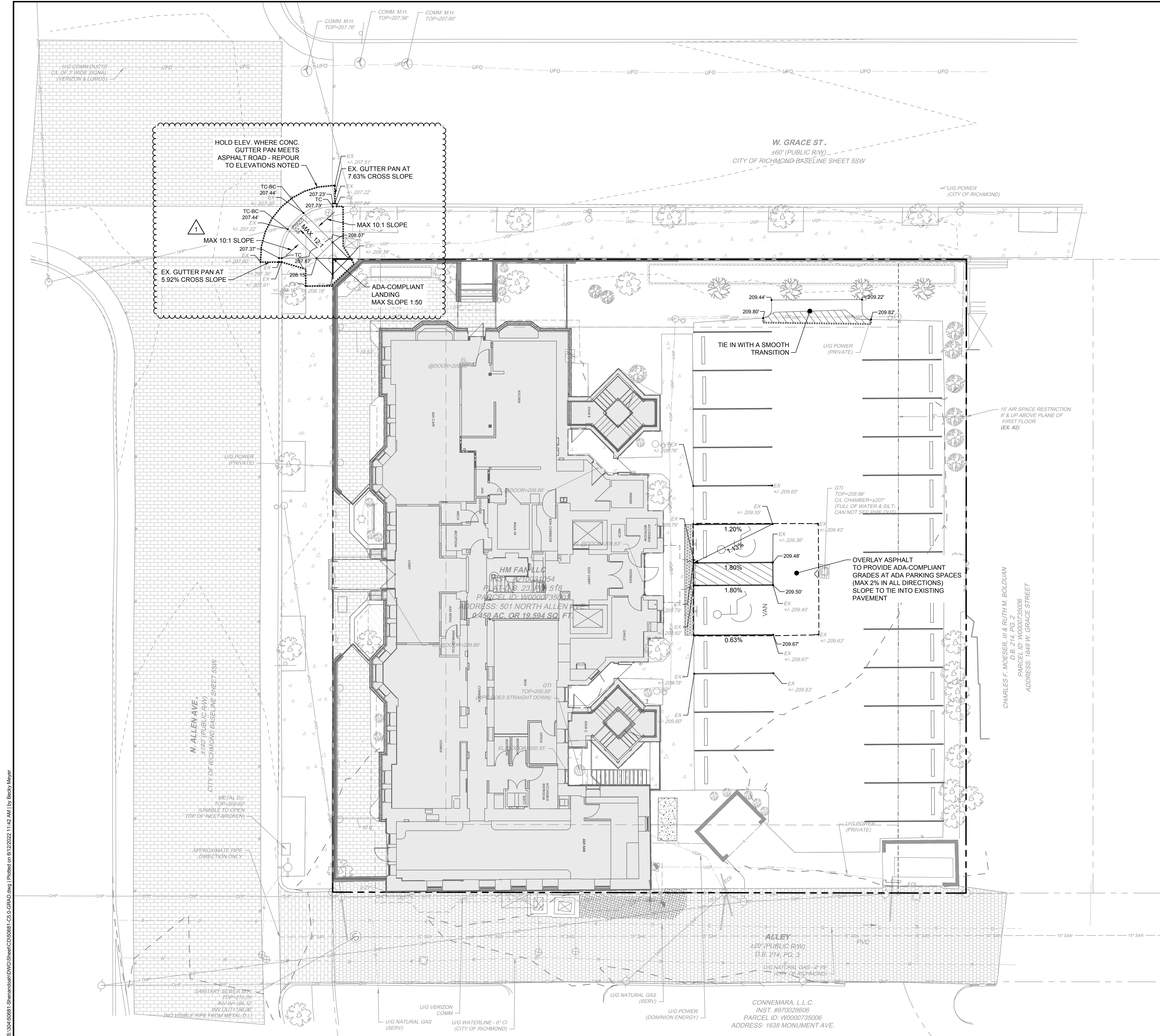
DATE	03/25/2022
DRAWN BY	R. THOMAS
DESIGNED BY	B. MEYER
CHECKED BY	A. WEHUNT
SCALE	1"=10'

SHENANDOAH HOTEL RENOVATION
501 N ALLEN AVE, CITY OF RICHMOND, VIRGINIA

LAYOUT

JOB NO.	50681
SHEET NO.	C4.0

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NOTES:
 1. MAX LONGITUDINAL GRADE IS 5% TO MEET ADA STANDARDS.
 2. ADA ROUTES SHALL NOT EXCEED 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE.

GRADING LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PROPOSED TOP OF CURB
	PROPOSED EDGE OF PAVEMENT

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DATE	03/25/2022
DRAWN BY	R. THOMAS
DESIGNED BY	B. MEYER
CHECKED BY	A. WEHUNT
SCALE	1"=10'

SHENANDOAH HOTEL RENOVATION

501 N ALLEN AVE, CITY OF RICHMOND, VIRGINIA

GRADING PLAN

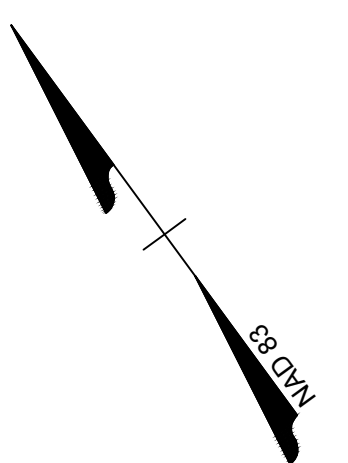
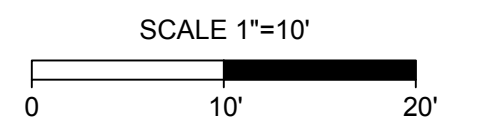
JOB NO.	50681
SHEET NO.	C5.0

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SUP SET



- GENERAL UTILITY NOTES:**
1. ALL WORK IN THE RIGHT-OF-WAY IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT CITY OF RICHMOND STANDARDS FOR EXCAVATION AND RESTORATION.
 2. CONTRACTOR SHALL NOTIFY THE DPU INSPECTOR A MINIMUM OF 48 HOURS PRIOR TO THE START OF WORK.
 3. ALL UTILITY INSTALLATIONS IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE TO THE MOST RECENT CITY OF RICHMOND WATER DISTRIBUTION SYSTEM AND SANITARY SEWER SYSTEM DESIGN GUIDELINES AND STANDARD SPECIFICATIONS AND DETAILS.
 4. ALL UTILITY INSTALLATION ON PRIVATE PROPERTY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE.
 5. CONTRACTOR MUST MAINTAIN GOOD EROSION CONTROL AND FLUSHING PROCEDURES. CONTRACTOR IS RESPONSIBLE FOR DAMAGES TO ANY EXISTING UTILITIES THAT ARE TO REMAIN.
 7. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF THERE IS A CONFLICT.
 8. CONTACT "MISS UTILITY" OF CENTRAL VIRGINIA PRIOR TO THE START OF ANY EXCAVATION TO LOCATE EXISTING UTILITIES. 1-800-552-3120
 9. WATER SERVICE INSTALLATIONS MUST ADHERE TO THE CITY OF RICHMOND CROSS CONNECTION CONTROL AND BACKFLOW PREVENTION PROGRAM.
 10. A BACKWATER VALVE SHALL BE INSTALLED ON FIXTURES LOCATED ON A FLOOR LEVEL BELOW THE TOP OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER. IF A FLOOR LEVEL IS ABOVE THE TOP OF THE NEXT UPSTREAM MANHOLE, A BACKWATER VALVE IS NOT REQUIRED. A BACKWATER VALVE SHALL NOT BE INSTALLED ON THE LATERAL UNLESS ALL FLOORS IN THE BUILDING ARE BELOW THE TOP OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER.
 11. BACKFLOW PREVENTION ADEQUATE TO PROTECT THE PROPOSED IMPROVEMENTS SHALL BE PROVIDED ON ALL CONNECTION TO THE EXISTING PUBLIC SEWER SYSTEMS.
 12. EXISTING WATER MAIN MUST REMAIN IN SERVICE TO SERVE ALL EXISTING CITY WATER CUSTOMERS.
 13. IF EXISTING WATER OR SEWER LATERALS ARE DISCOVERED DURING CONSTRUCTION THEY MUST BE REMOVED.
 14. WATER TAP AND SERVICE LATERAL TO BE INSTALLED BY CITY DPU.
 15. MAINTAIN A MINIMUM OF 3' COVER ON ALL WATER SERVICE IN THE RIGHT OF WAY.
 16. ALL BUILDING FIRE CONNECTIONS SHALL BE DUCTILE IRON PIPE.
 17. ALL DOMESTIC WATER SERVICE SHALL BE PVC PIPE ASTM D2241/SDR-21 PRESSURE RATED OR APPROVED LISTED IN THE INTERNATIONAL PLUMBING CODE (IPC 2015) TABLE 605.3.

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DRAWN BY
B. MEYER

DESIGNED BY
B. MEYER

CHECKED BY
A. WEHNT

SCALE
1"=10'

TIMMONS GROUP

SHENANDOAH HOTEL RENOVATION

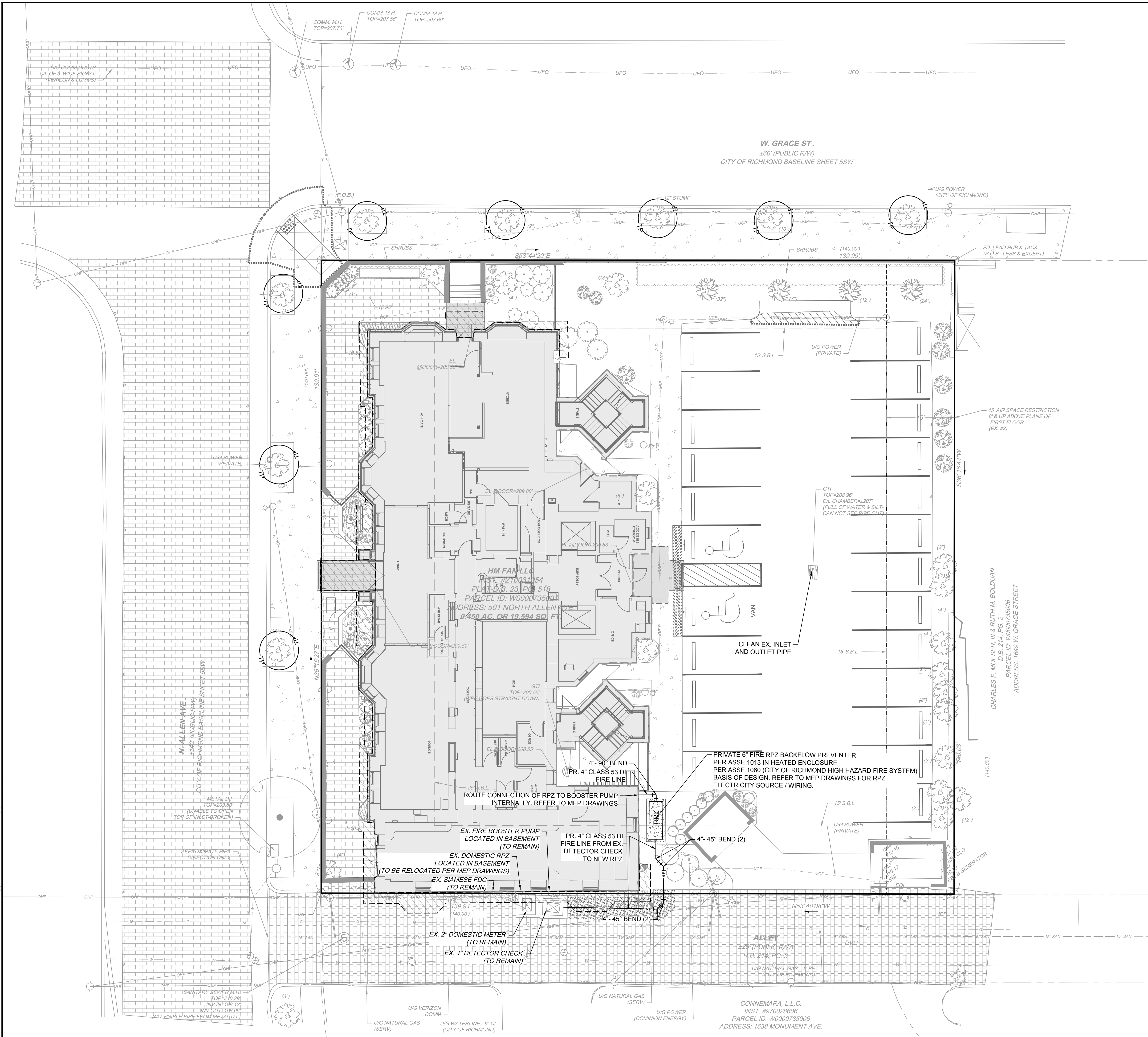
501 N ALLEN AVE, CITY OF RICHMOND, VIRGINIA

UTILITY PLAN

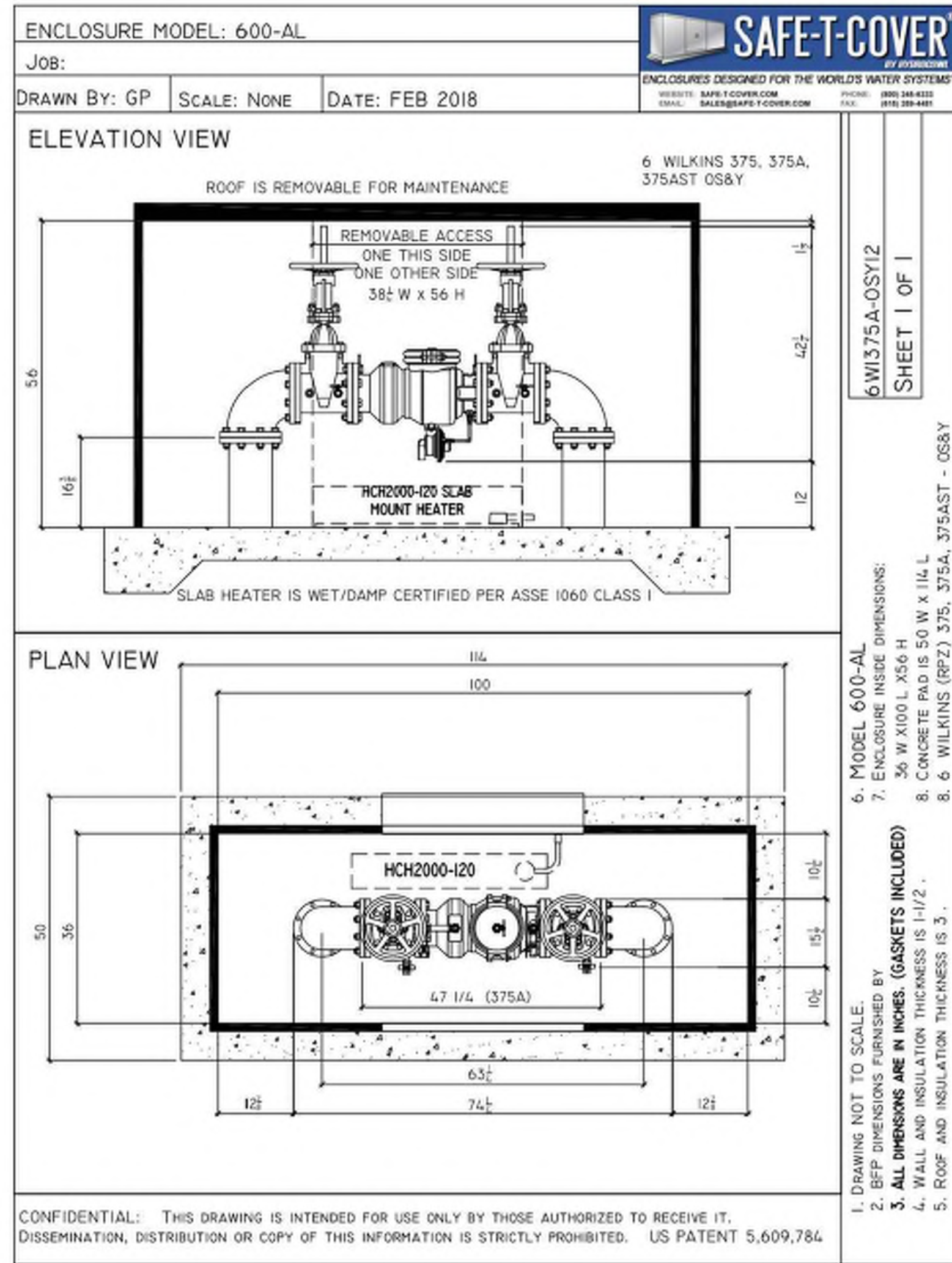
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City of Richmond DPU Fixture Values Meter Sizing

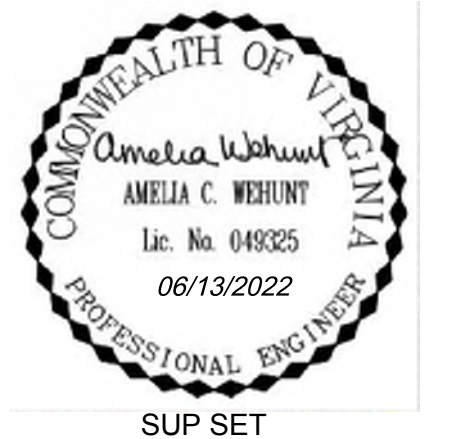
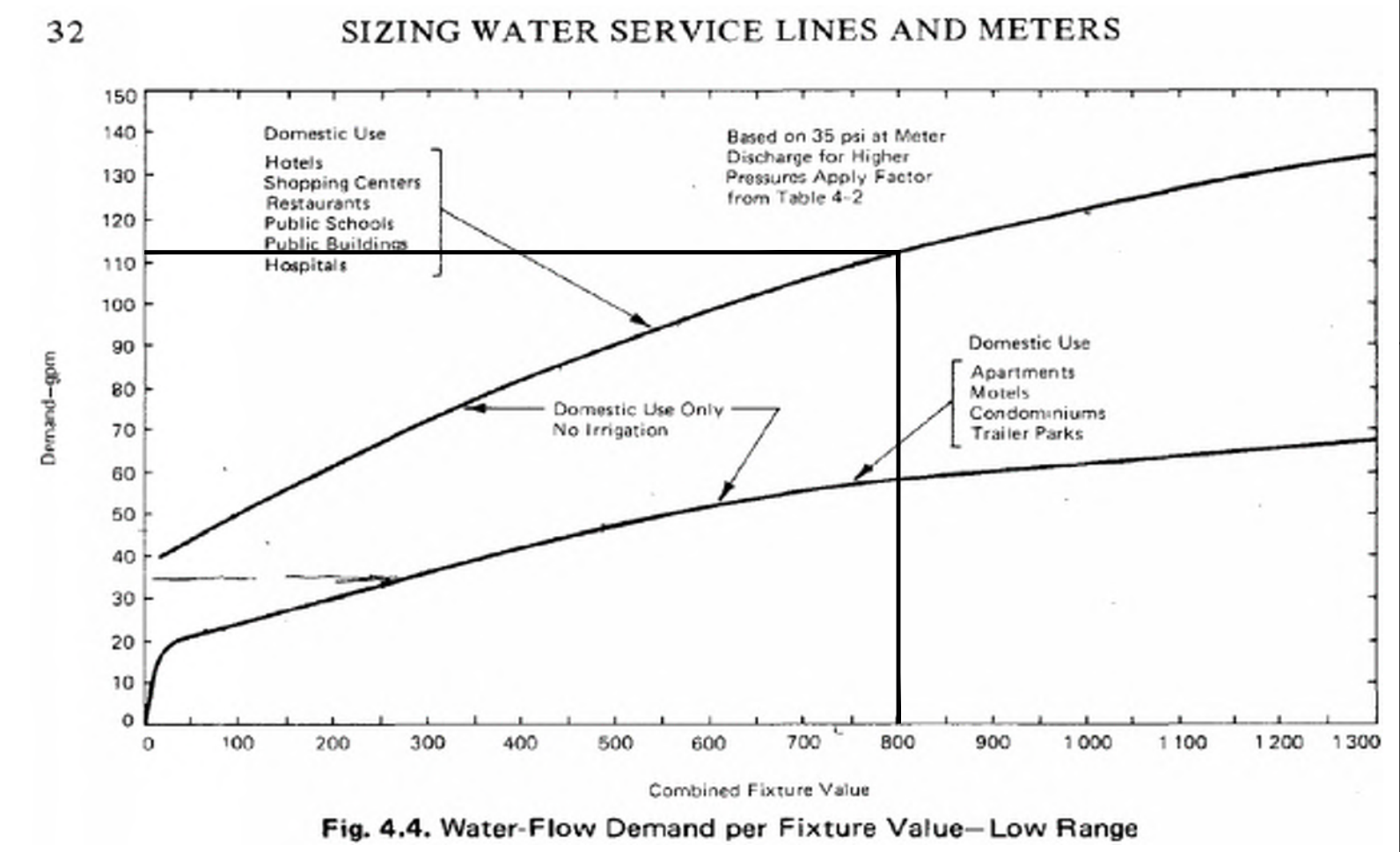
Project: Shenandoah Hotel Renovation

Fixture	Fixture Value @ 35 psi	No. of Fixtures (set to zero if none)	Fixture Value	COMMENTS
Bathtub	8	x 4	= 32	
Whirlpool	8	x 0	= 0	
Shower Head (shower only)	4	x 73	= 292	
Toilet-Flush Valve	35	x 0	= 0	
Toilet-Tank Type	3	x 80	= 240	
Wash Sink (ea. set of faucets)	4	x 2	= 8	
Kitchen Sink- 1/2" Connection	3	x 7	= 21	
Kitchen Sink- 3/4" Connection	7	x 0	= 0	
Dishwasher- 1/2" Connection	5	x 0	= 0	
Dishwasher- 3/4" Connection	10	x 1	= 10	
Washing Machine- 1/2" Conn	5	x 1	= 5	
Washing Machine- 3/4" Conn	12	x 0	= 0	
Washing Machine- 1" Conn	25	x 0	= 0	
Hose Bib- 1/2" Conn	6	x 2	= 12	
Hose Bib- 5/8" Conn	9	x 0	= 0	
Hose Bib- 3/4" Conn	12	x 0	= 0	
Lawn Sprinkler (per head)	1	x 0	= 0	
Ice Machine	8	x 1	= 8	
Water Wand	2	x 1	= 2	
Lavatory- 3/8" Connection	2	x 83	= 166	
Lavatory- 1/2" Connection	4	x 0	= 0	
Laundry Tray- 1/2" Connection	3	x 0	= 0	
Laundry Tray- 3/4" Connection	7	x 0	= 0	
Service Sink- 1/2" Connection	3	x 2	= 6	
Service Sink- 3/4" Connection	7	x 0	= 0	
Urinal- Pedestal Flush Valve	35	x 0	= 0	
Urinal- Wall Flush Valve	12	x 0	= 0	
Trough (2 ft. unit)	2	x 0	= 0	
FIXTURE VALUE TOTAL (FVT) =			802	112 gpm

Meter Size	Meter Range(GPM)	Maximum Continuous Flow
5/8	1/8 - 20	10
1	3/8 - 50	25
1.5	5/8 - 100	50
2	1 1/4 - 180	80
3	4.3 - 450	350
4	25 - 1000	1000

Meter Size based on FVT = 2

***NOTE: Other factors, such as distance/length of service or elevation, may make it necessary to utilize a larger meter than that which is indicated by this calculation**



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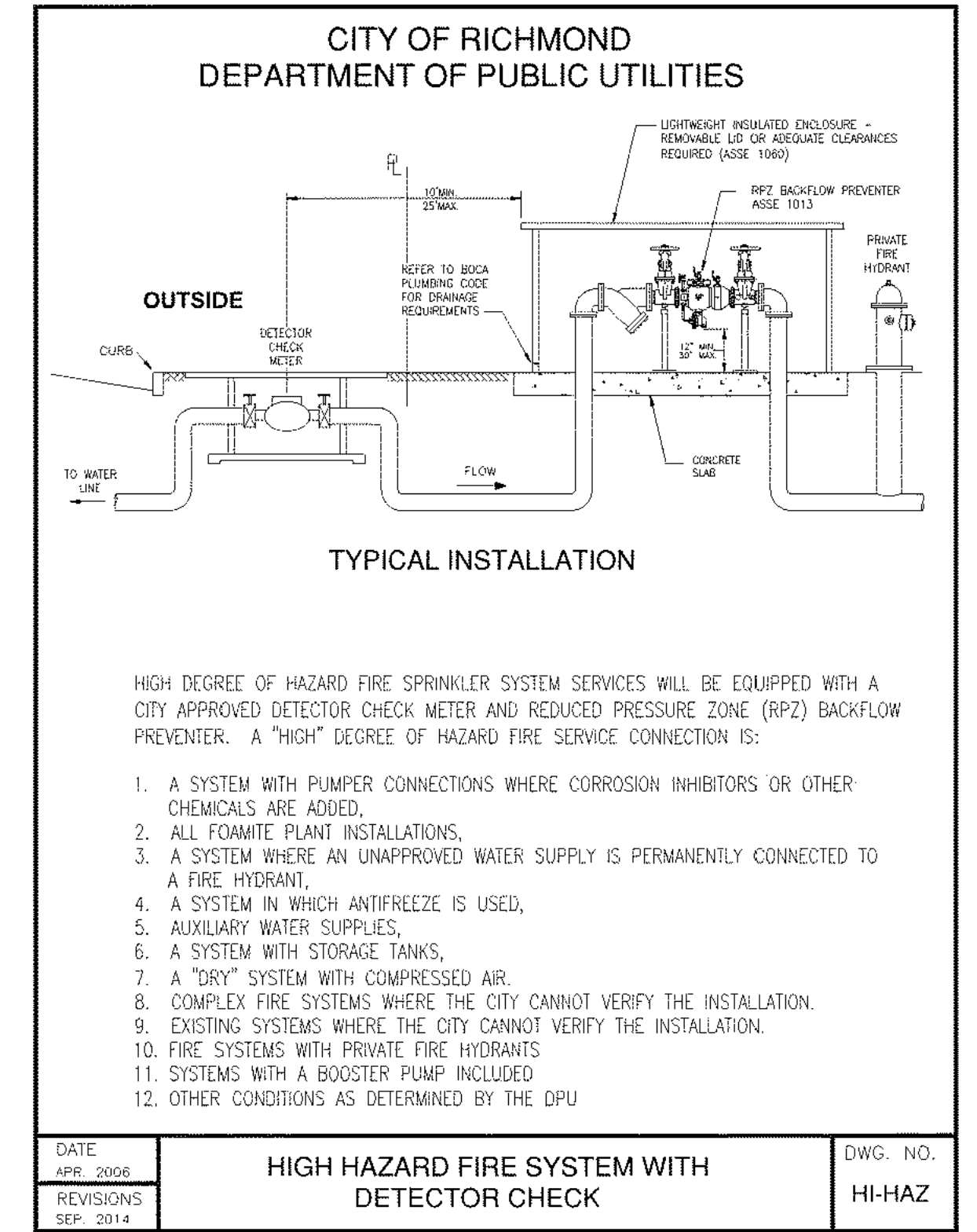
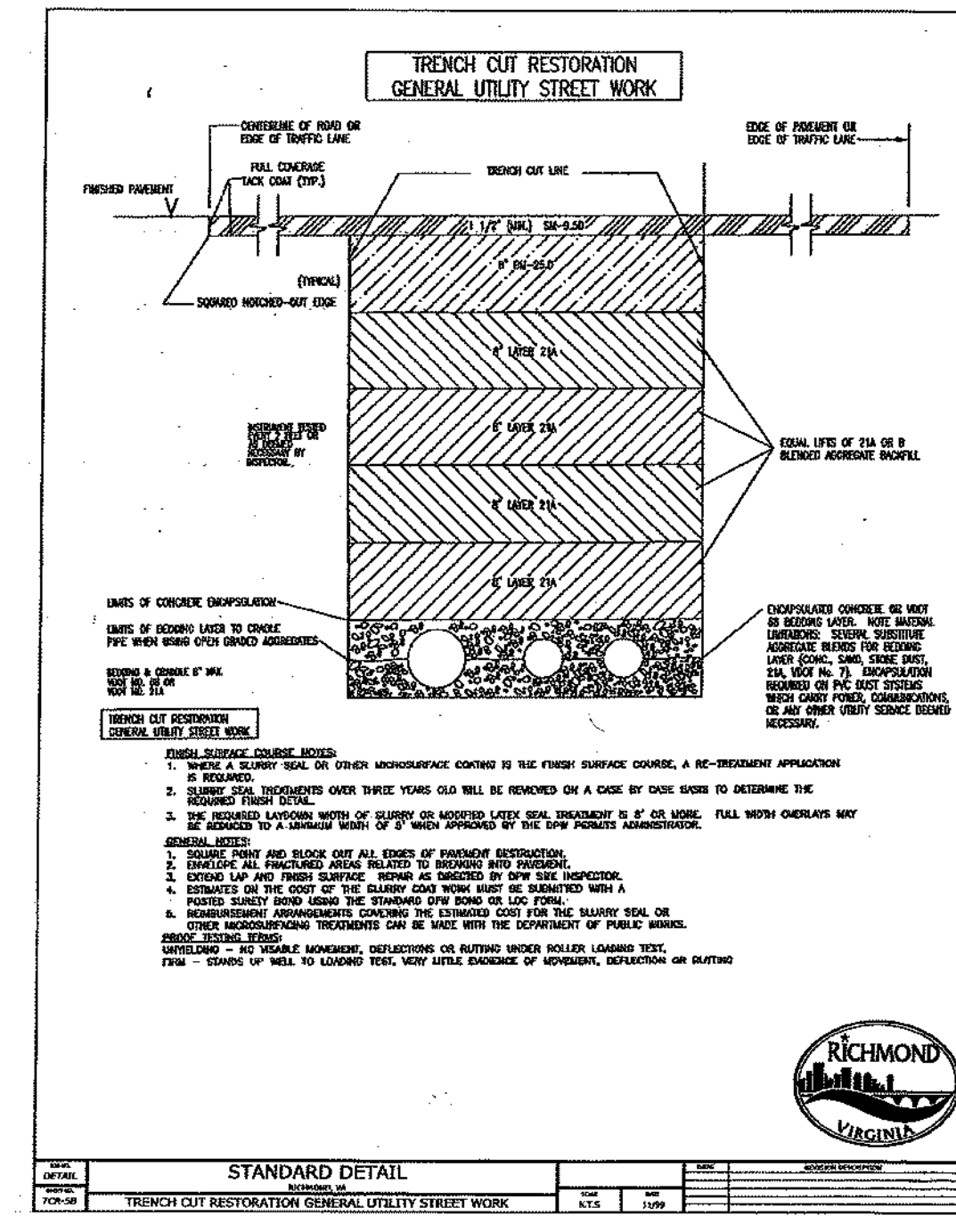
DATE: 03/25/2022

DRAWN BY: B. MEYER
DESIGNED BY: B. MEYER
CHECKED BY: A. WEHNT
SCALE: ----

CITY OF RICHMOND
DEPARTMENT OF PUBLIC UTILITIES
TYPICAL INSTALLATION PROCEDURES

- REFER TO ALL APPLICABLE CODES AND MANUALS DURING DESIGN.
- THE BFP ASSEMBLY'S SHUTOFF VALVES SHALL BE THE ONES APPROVED BY THE MANUFACTURER FOR THAT BFP ASSEMBLY.
- SUBMIT PLANS SEALED AND SIGNED BY A PROFESSIONAL ENGINEER TO CROSS CONNECTION DEPT.
- APPLY FOR A PLUMBING PERMIT FROM BUILDING INSPECTIONS OFFICE.
- APPLY FOR A WATER SERVICE PERMIT FROM DPU DEVELOPMENT OFFICE.
- INSTALL PIPING AND BACKFLOW PREVENTER, INCLUDING TEST COCKS ADAPTERS - (4) STRAIGHT HOSE ADAPTER FITTINGS, 1/4" S.A.E. 45° FLARE TUBE X 1/4" NPT, FOR CONNECTION TO TEST DEVICE. BACKFLOW PREVENTION DEVICES WILL BE INSTALLED OUTSIDE (OR INSIDE OF A BUILDING WITH APPROVAL OF THE CROSS CONNECTION CONTROL SPECIALIST). REFER TO PLANS FOR TYPICAL INSTALLATION DETAILS. NO TAP-INS WILL BE PERMITTED FOR ANY PURPOSE UPSTREAM OF THE BACKFLOW PREVENTION DEVICE.
- CALL CROSS CONNECTION CONTROL SPECIALIST FOR INSPECTION OF THE BACKFLOW PREVENTER. INSPECTION AND APPROVAL IS REQUIRED BEFORE ANY METER WILL BE INSTALLED. [804-646-8544]
- CALL PLUMBING INSPECTOR FOR INSPECTION OF ALL PIPING AND PLUMBING WORK DOWNSTREAM OF THE METER. CALL MECHANICAL INSPECTOR FOR INSPECTION OF ALL WORK DOWNSTREAM OF THE DETECTOR CHECK METER.

DATE: APR. 2006	TYPICAL INSTALLATION PROCEDURES	DWG. NO. RPZ-IP
REVISIONS: SEP. 2014		



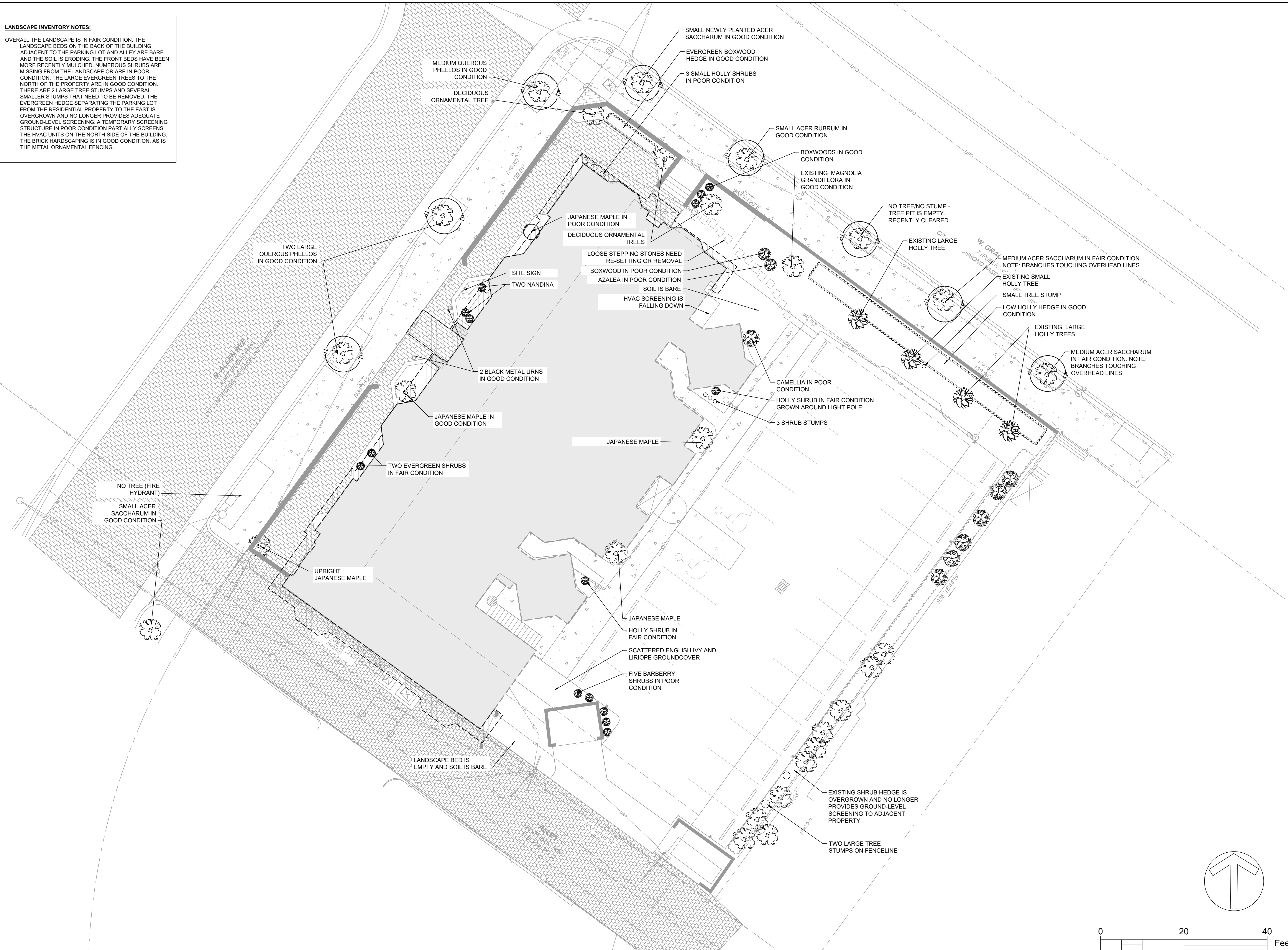
TIMMONS GROUP

SHENANDOAH HOTEL RENOVATION
501 N ALLEN AVE, CITY OF RICHMOND, VIRGINIA
UTILITY NOTES AND DETAILS

JOB NO. 50681
SHEET NO. C6.1

LANDSCAPE INVENTORY NOTES:

OVERALL THE LANDSCAPE IS IN FAIR CONDITION. THE LANDSCAPE BEDS ON THE BACK OF THE BUILDING ADJACENT TO THE PARKING LOT AND ALLEY ARE BARE AND THE SOIL IS ERODING. THE FRONT BEDS HAVE BEEN MORE RECENTLY MULCHED. NUMEROUS SHRUBS ARE MISSING FROM THE LANDSCAPE OR ARE IN POOR CONDITION. THE LARGE EVERGREEN TREES TO THE NORTH OF THE PROPERTY ARE IN GOOD CONDITION. THERE ARE 2 LARGE TREE STUMPS AND SEVERAL SMALLER STUMPS THAT NEED TO BE REMOVED. THE EVERGREEN HEDGE SEPARATING THE PARKING LOT FROM THE RESIDENTIAL PROPERTY TO THE EAST IS OVERGROWN AND NO LONGER PROVIDES ADEQUATE GROUND-LEVEL SCREENING. A TEMPORARY SCREENING STRUCTURE IN POOR CONDITION PARTIALLY SCREENS THE HVAC UNITS ON THE NORTH SIDE OF THE BUILDING. THE BRICK HARDSCAPING IS IN GOOD CONDITION, AS IS THE METAL ORNAMENTAL FENCING.



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 DESIGNED BY: MKW
 CHECKED BY: JMK
 SCALE: 1" = 10'

TIMMONS GROUP

SHENANDOAH HOTEL RENOVATION
 501 N ALLEN AVE., CITY OF RICHMOND, VIRGINIA

LANDSCAPE INVENTORY

JOB NO. 50681
 SHEET NO. L1.0

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PLANT KEY	
TREES	BOTANICAL NAME
CER BDH	CERCIS CANADENSIS 'GRESWAN' TM
JUN TAY	JUNIPERUS VIRGINIANA 'TAYLOR'
QUE PHE	QUERCUS PHELLOS
SHRUBS	BOTANICAL NAME
HYD INC	HYDRANGEA ARBORESCENS 'INCREDIBALL'
HYD ALI	HYDRANGEA QUERCIFOLIA 'ALICE'
MYR CER	MYRICA CERIFERA
RHO YEL	RHODODENDRON CALENDULACEUM 'YELLOW FLAME'
RHO MDL	RHODODENDRON X 'MARYDEL'
GROUND COVERS	BOTANICAL NAME
ASA CAN	ASARUM CANADENSE
OSM CIN	OSMUNDA CINNAMOMEA
PHL BLU	PHLOX DIVARICATA 'BLUE MOON'

Required Parking:
- 93 spaces

Parking:
- Onsite = 24 spaces
- Offsite = 50 spaces

Any excavations into the street will be restored in keeping with the historic street surface at the locations of any cuts. This includes the alley.

Alley and yellow brick alley apron are to be preserved and protected during construction and restored as needed should they be damaged.



SUP SET

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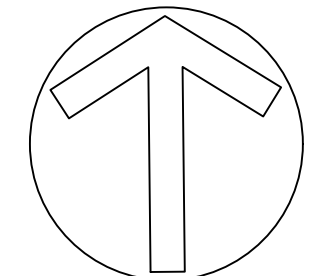
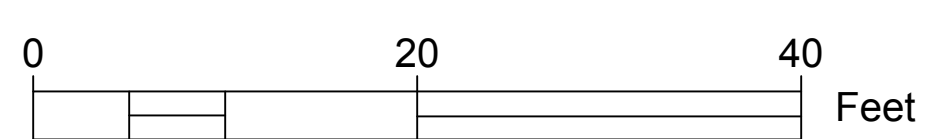
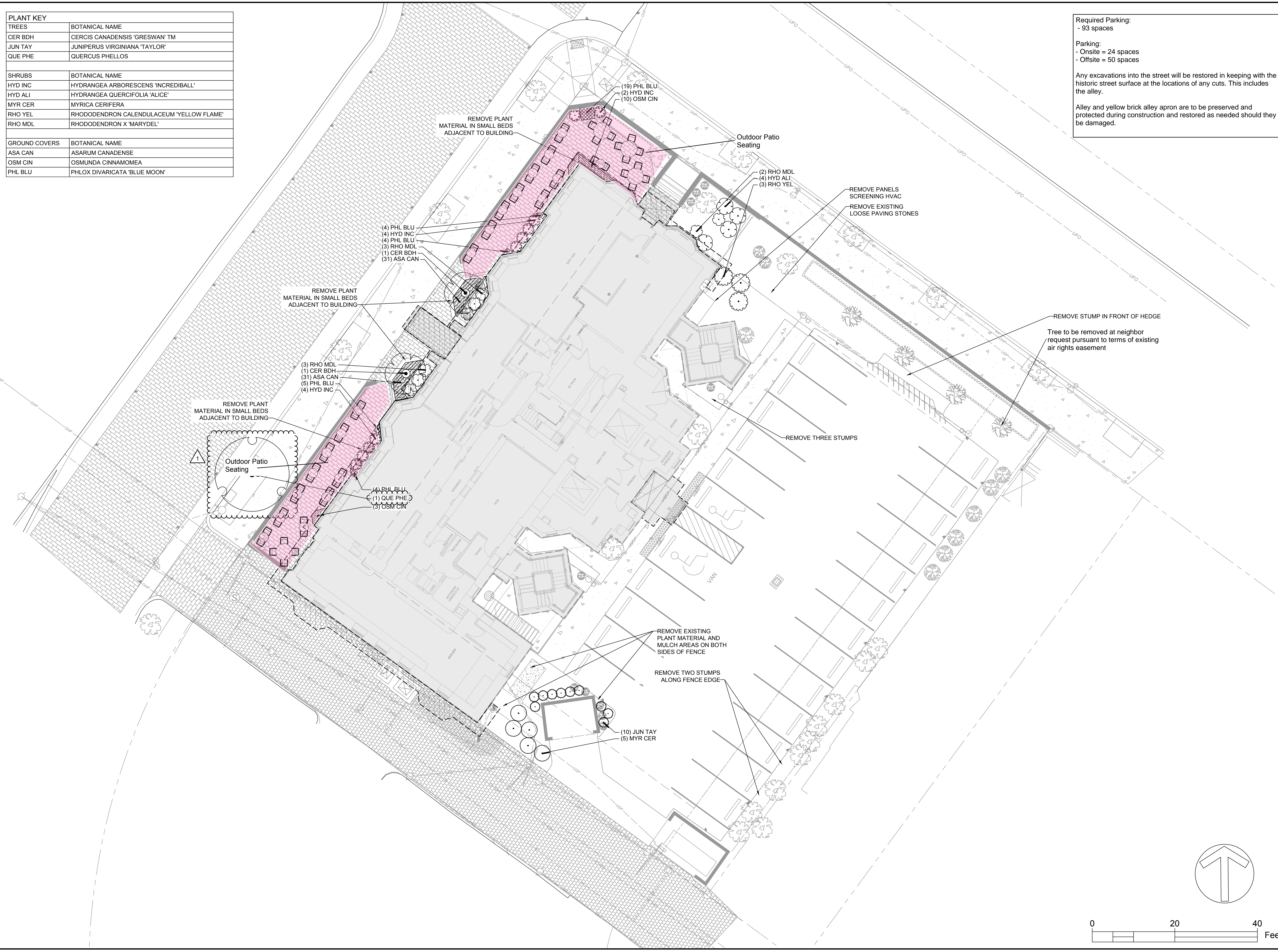
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SHENANDOAH HOTEL RENOVATION
501 N ALLEN AVE, CITY OF RICHMOND, VIRGINIA
LANDSCAPE PLAN

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PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	
CER BDH	2	CERCIS CANADENSIS 'GRESWAN' TM	BURGUNDY HEARTS EASTERN REDBUD	2" CAL.	B&B OR CONTAINER	
JUN TAY	10	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR EASTERN REDCEDAR	7'-8' HT.	B&B OR CONTAINER	
QUE PHE	1	QUERCUS PHELLOS	WILLOW OAK	2" CAL.	B&B	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	SPACING
HYD INC	10	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL WHITE HYDRANGEA	24" HT./SPRD.	CONTAINER	33" o.c.
HYD ALI	4	HYDRANGEA QUERCIFOLIA 'ALICE'	ALICE OAKLEAF HYDRANGEA	24" HT./SPRD.	CONTAINER	48" o.c.
MYR CER	5	MYRICA CERIFERA	WAX MYRTLE	36" HT./SPRD.	CONTAINER	48" o.c.
RHO YEL	3	RHODODENDRON CALENDULACEUM 'YELLOW FLAME'	YELLOW FLAME AZALEA	24" HT./SPRD.	CONTAINER	54" o.c.
RHO MDL	8	RHODODENDRON X 'MARYDEL'	MARYDEL AZALEA	24" HT./SPRD.	CONTAINER	36" o.c.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	SPACING
ASA CAN	62	ASARUM CANADENSE	WILD GINGER	1 QT.	CONTAINER	12" o.c.
OSM CIN	13	OSMUNDA CINNAMOMEA	CINNAMON FERN	1 GAL.	CONTAINER	18" o.c.
PLU PLY	2	PHLOX DIVARICATA 'BENMOON'	BEN MOON PLYMOUTH	1 QT.	CONTAINER	9" o.c.

NOTE: QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO BIDDING.
 NOTE: ALL LANDSCAPE AREAS, INCLUDING AREAS RETAINING THEIR EXISTING PLANTINGS, TO BE FRESHLY MULCHED.

GENERAL NOTES

PRE-CONSTRUCTION

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING KENTUCKY 811 AT 1.800.752.6007 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
- PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.
- SOIL TESTS SHALL BE PERFORMED TO DETERMINE SOIL CHARACTER AND QUALITY. NECESSARY SOIL AMENDMENTS SHALL BE PERFORMED PER TEST RESULTS TO ENSURE PLANT HEALTH.

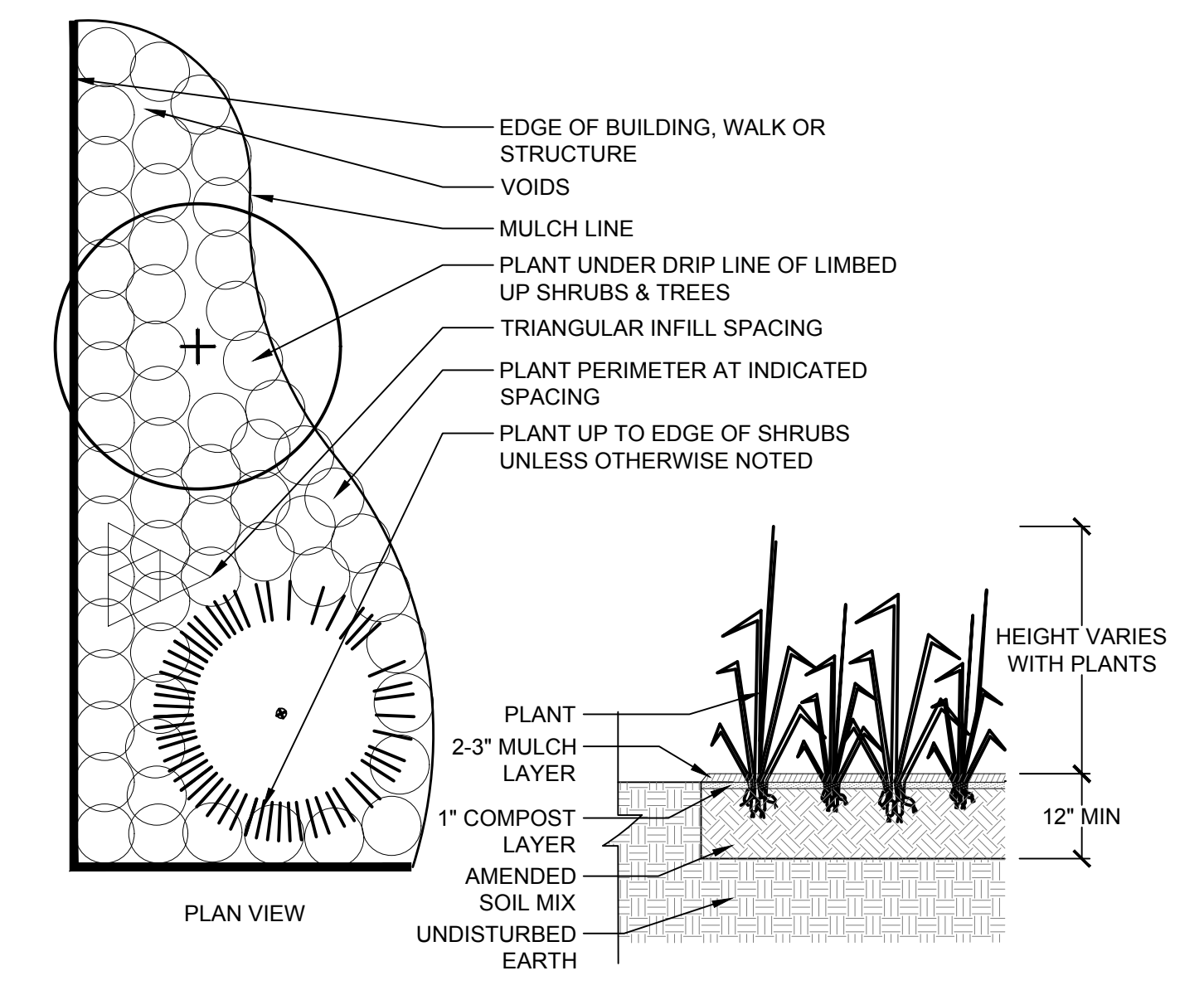
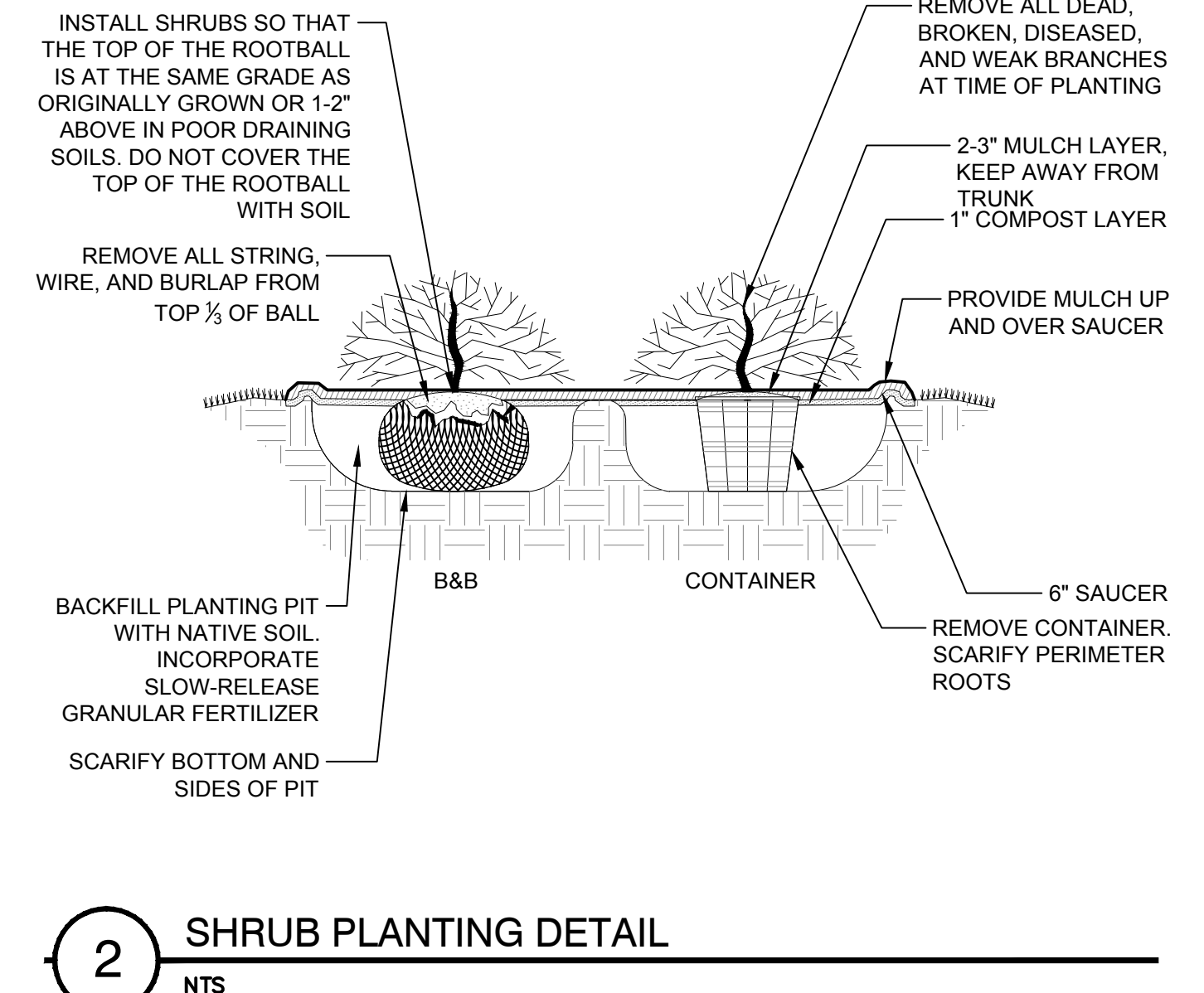
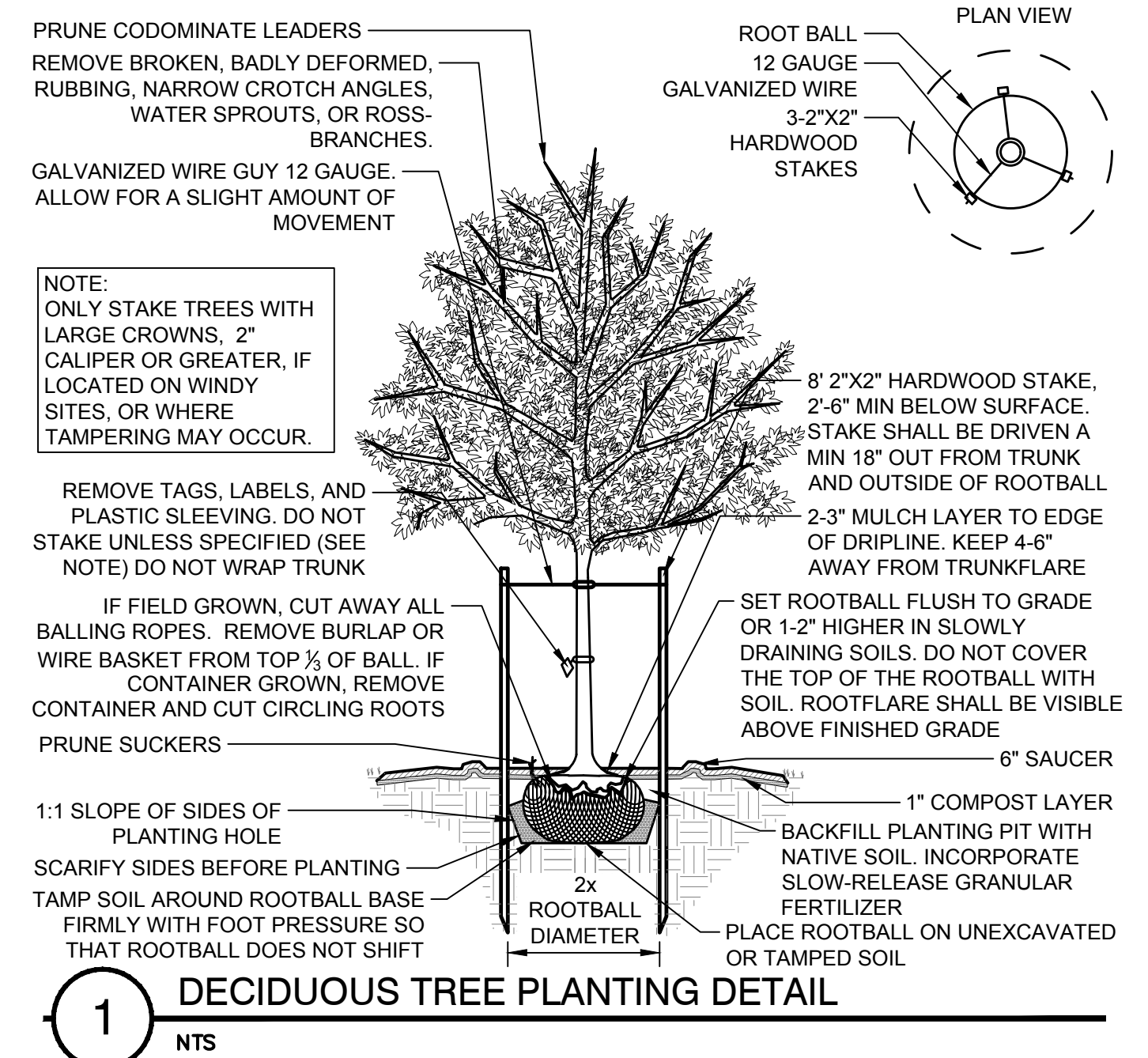
CONSTRUCTION/INSTALLATION

- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK"
- LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

INSPECTIONS/GUARANTEED

- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
- ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.

4 GENERAL NOTES AND DETAILS



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REVISION DESCRIPTION	DATE
DD PRICING SET	04/01/2022
SUP COMMENT REVISIONS	06/13/2022

DATE	03/25/2022
DRAWN BY	MKW
DESIGNED BY	MKW
CHECKED BY	JMK
SCALE	1" = 10'

TIMMONS GROUP

SHENANDOAH HOTEL RENOVATION
 501 N ALLEN AVE, CITY OF RICHMOND, VIRGINIA
 LANDSCAPE NOTES AND DETAILS

JOB NO. 50681
 SHEET NO. L3.0

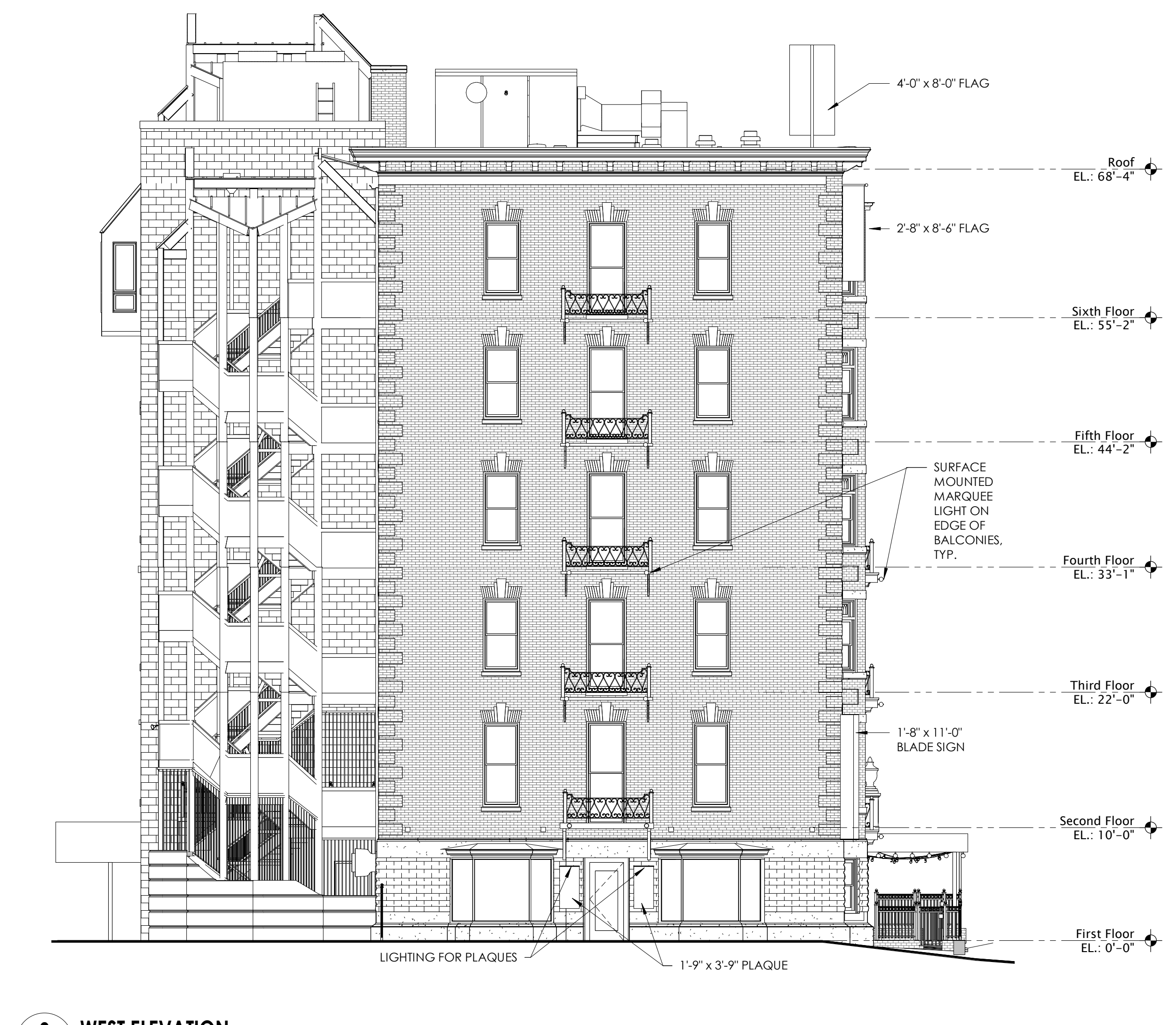
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**SHENANDOAH HOTEL
RENOVATION**

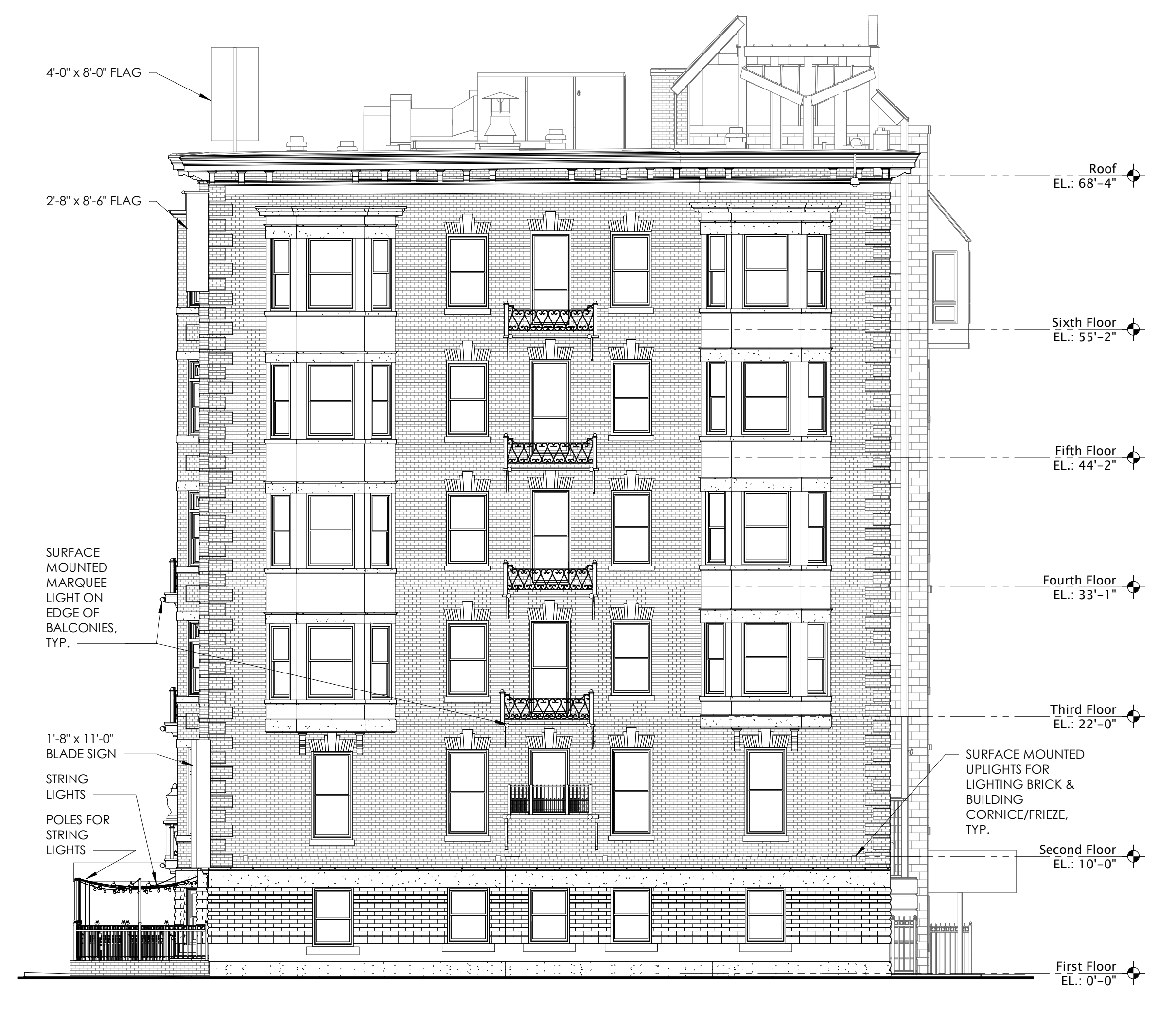
RICHMOND, VIRGINIA



4 NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

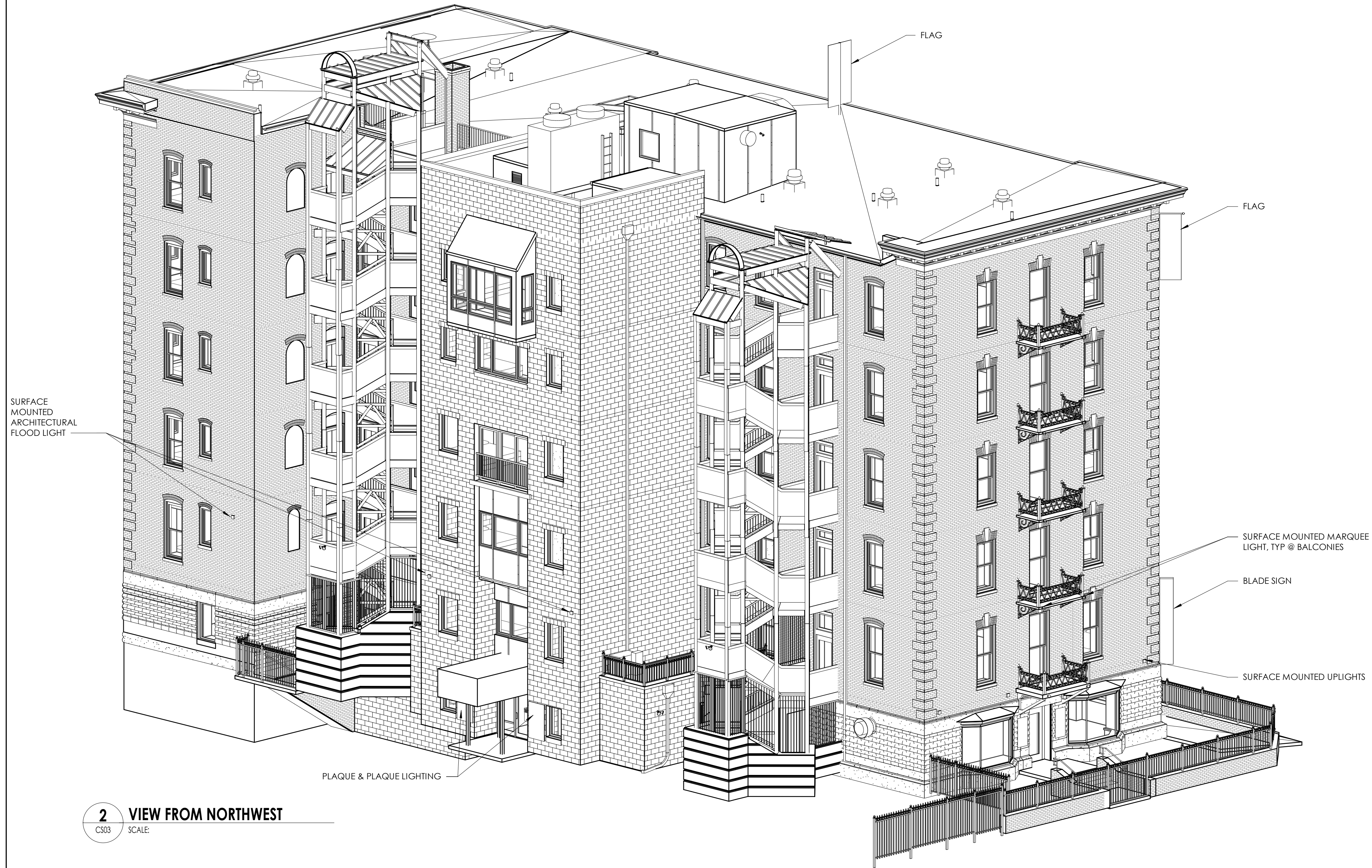
Issue Record	Date
SUP SUBMISSION	12.17.21

NOT FOR CONSTRUCTION
Drawing Title

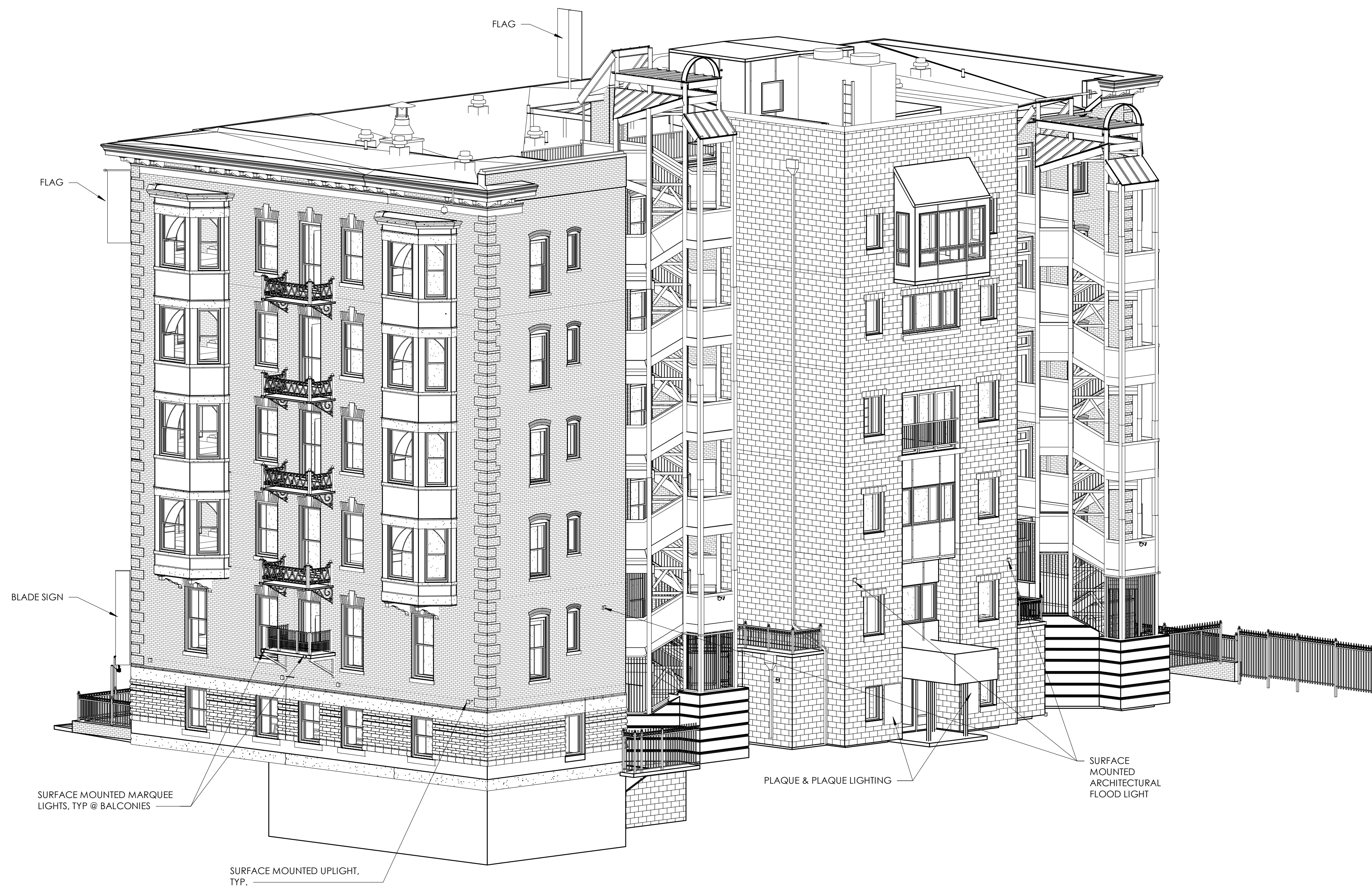
**BUILDING
ELEVATIONS**

Sheet

A300



2 VIEW FROM NORTHWEST
SCALE:



1 VIEW FROM SOUTHWEST
SCALE:

**SHENANDOAH HOTEL
RENOVATION**

RICHMOND, VIRGINIA

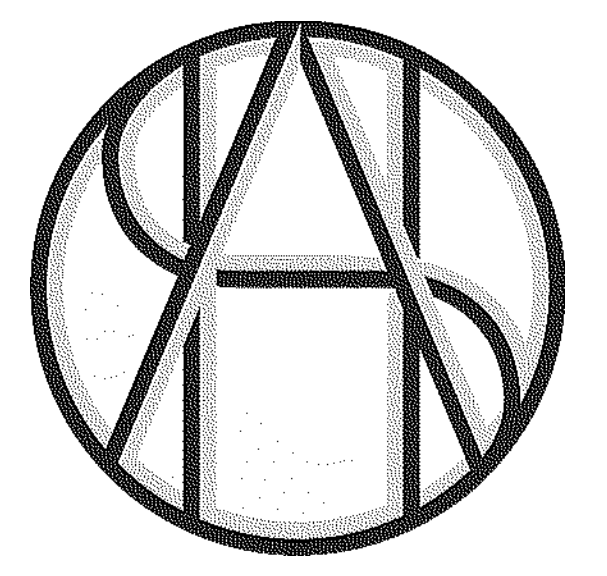
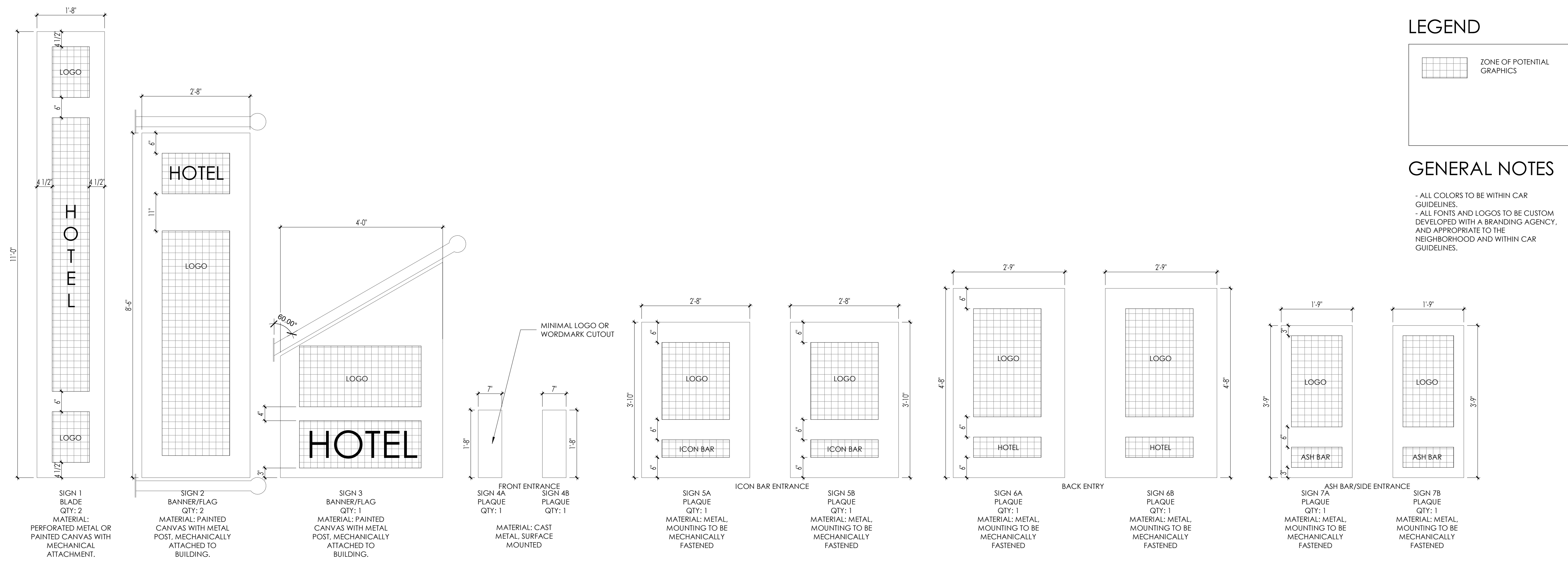
Issue Record	Date
SUP SUBMISSION	12.17.21

NOT FOR CONSTRUCTION
Drawing Title

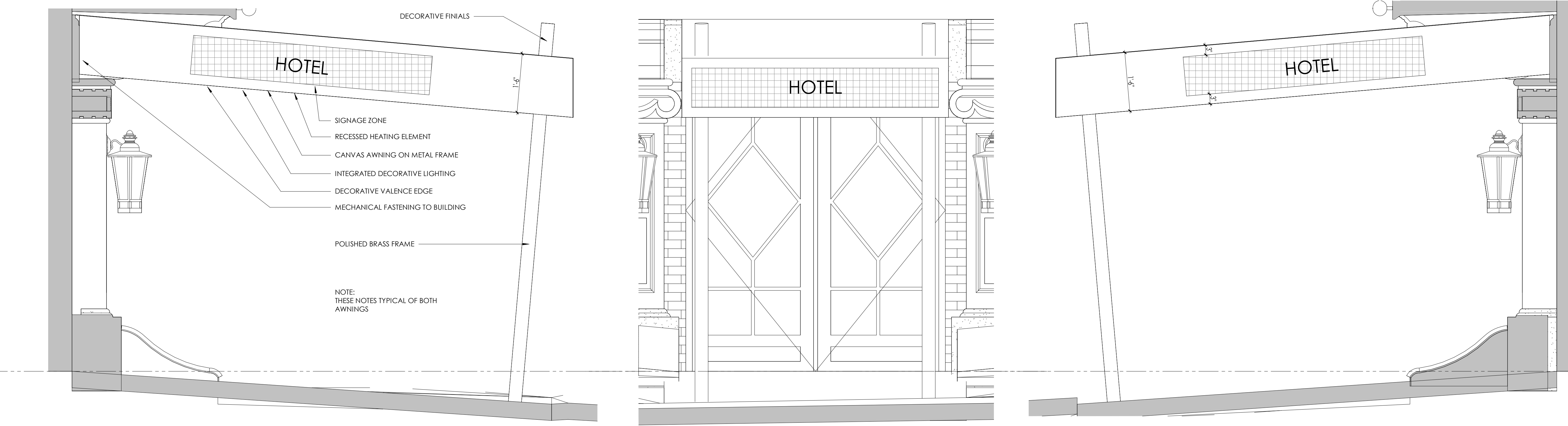
3D VIEWS

Sheet

CS03



SHENANDOAH
 501 NORTH ALLEN AVENUE
 RICHMOND VIRGINIA 23220



ARCHITECT
COMMONWEALTH ARCHITECTS
 101 SHOCKOE SLIP
 3RD FLOOR
 RICHMOND, VA 23219
 804.648.5040

STRUCTURAL ENGINEER
 NAME
 ADDRESS 1
 RICHMOND, VA 23220
 ###.###.####

MEP ENGINEER
 NAME
 ADDRESS 1
 RICHMOND, VA 23220
 ###.###.####

CIVIL ENGINEER
 NAME
 ADDRESS 1
 RICHMOND, VA 23220
 ###.###.####

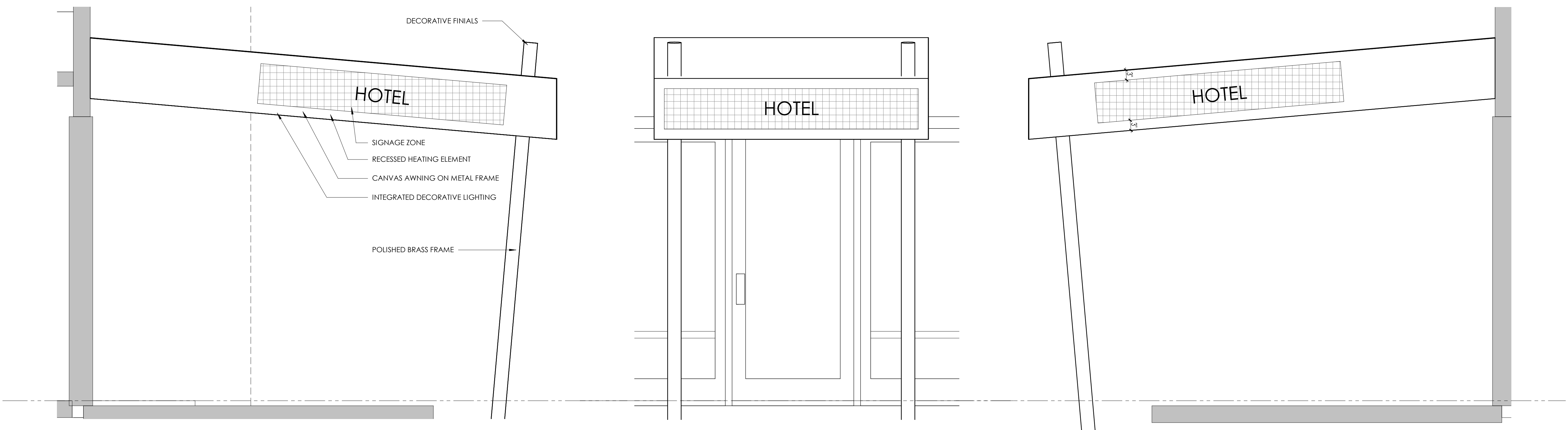
FOOD SERVICE
 NAME
 ADDRESS 1
 RICHMOND, VA 23220
 ###.###.####

ASH NYC
 153 LAFAYETTE STREET
 5TH FLOOR
 NEW YORK, NEW YORK 10013
 212.518.3153

6 FRONT AWNING - LEFT
 3/4" = 1'-0"

5 FRONT AWNING - FRONT
 3/4" = 1'-0"

4 FRONT AWNING - RIGHT
 3/4" = 1'-0"



3 REAR AWNING - LEFT
 3/4" = 1'-0"

2 REAR AWNING - FRONT
 3/4" = 1'-0"

1 REAR AWNING - RIGHT
 3/4" = 1'-0"

DATE	REV	ISSUANCE

Signage

SCALE: 3/4" = 1'-0" DATE: 03/14/22

ASH##