



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 214 N. 26th Street

Historic district St John's Church

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Check if Billing Contact

Name WILLIAM & MARIA CANDLER

Phone 804-399-6942

Company _____

Email candlermaria@gmail.com

Mailing Address 214 n 26th Street, Richmond, VA 23223

Applicant Type: Owner Agent

Lessee Architect Contractor

Other (please specify): _____

OWNER INFORMATION (if different from above)

Check if Billing Contact

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Project Type: Alteration

Demolition

New Construction

(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Addition of a new metal spiral staircase to the back second floor deck of the residence to access a new roof deck. New metal railing will be installed as well. All to be located at the back of the building per attached plans.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Maria P. Candler

Date

6/2/21



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: _____

BUILDING TYPE

- | | |
|--|--|
| <input type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> other |
| <input type="checkbox"/> mixed use building | |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

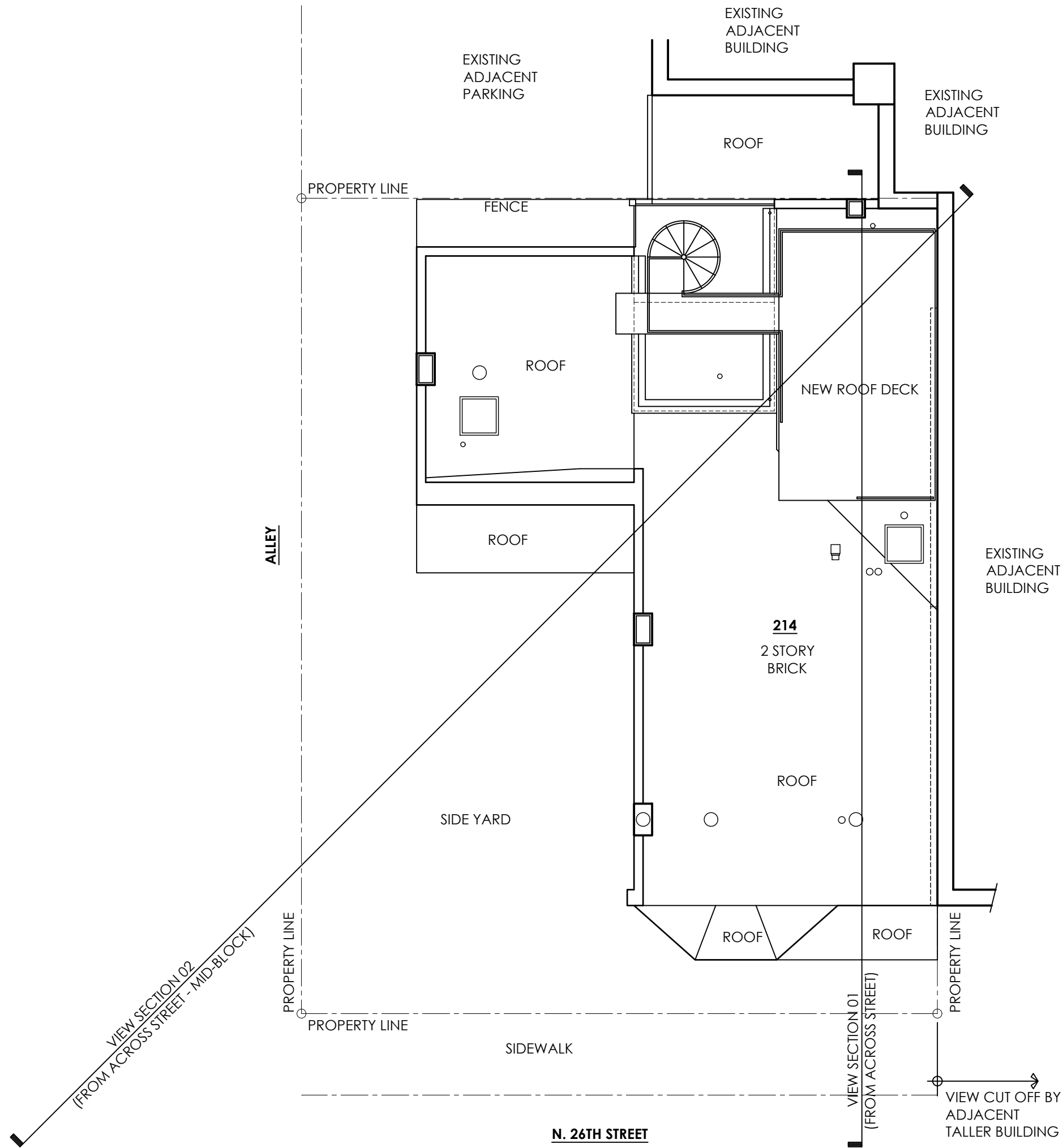
- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- | | | |
|---|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> proposed site plan | <input type="checkbox"/> list of proposed window and door | <input type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> current floor plans | <input type="checkbox"/> current roof plan | <input type="checkbox"/> demolition plan |
| <input type="checkbox"/> proposed floor plans | <input type="checkbox"/> proposed roof plan | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" | | |

DRAWING INDEX

- A-1 COVER SHEET & SITE PLAN
- A-2 SECOND FLOOR DEMOLITION PLAN
- A-3 ROOF DEMOLITION PLAN
- A-4 SECOND FLOOR NEW CONSTRUCTION PLAN
- A-5 ROOF NEW CONSTRUCTION PLAN
- A-6 EXISTING EXTERIOR ELEVATION
- A-7 NEW EXTERIOR ELEVATION
- A-8 SIGHT VIEW SECTIONS



<p>ratio</p> <p>1406 Confederate Avenue Richmond VA 23227 t & f : 804.264.1729 www.ratiostudio.com</p>	<p>NOTES: ARCHITECTURAL SITE PLAN</p>	<p>A-1 Drawing: 1 of 8</p>
<h2 style="margin: 0;">CANDLER ROOF DECK</h2> <p>214 N. 26th Street Richmond, Virginia 23223</p>		
<p>06.09.21 CAR Submission</p>		<p>SCALE: 1/4" (O.N.O.)</p>
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ALLEY

PROPERTY LINE

PROPERTY LINE

FENCE
BELOW TO
REMAIN

OPEN TO
BELOW

OPEN TO
BELOW

NO CHANGE TO EXTERIOR
WALL, DOOR OR WINDOWS

NO INTERIOR
WORK

NO CHANGE TO EXTERIOR
WALL, DOOR OR WINDOWS

NO INTERIOR
WORK

EXISTING GUTTERS
AND DOWNSPOUTS
ABOVE TO REMAIN

EXISTING ADJACENT
BUILDING LOW ROOF TO
REMAIN

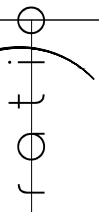
EXISTING WOOD RAILING TO
BE REMOVED AND
REPLACED PER NEW
CONSTRUCTION PLANS

NO CHANGE TO EXTERIOR
WALL, DOOR OR WINDOWS

NO INTERIOR
WORK

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NOTES:
MAIN HOUSE DEMOLITION PLAN

A-2

Drawing: 2 of 8

CANDLER ROOF DECK

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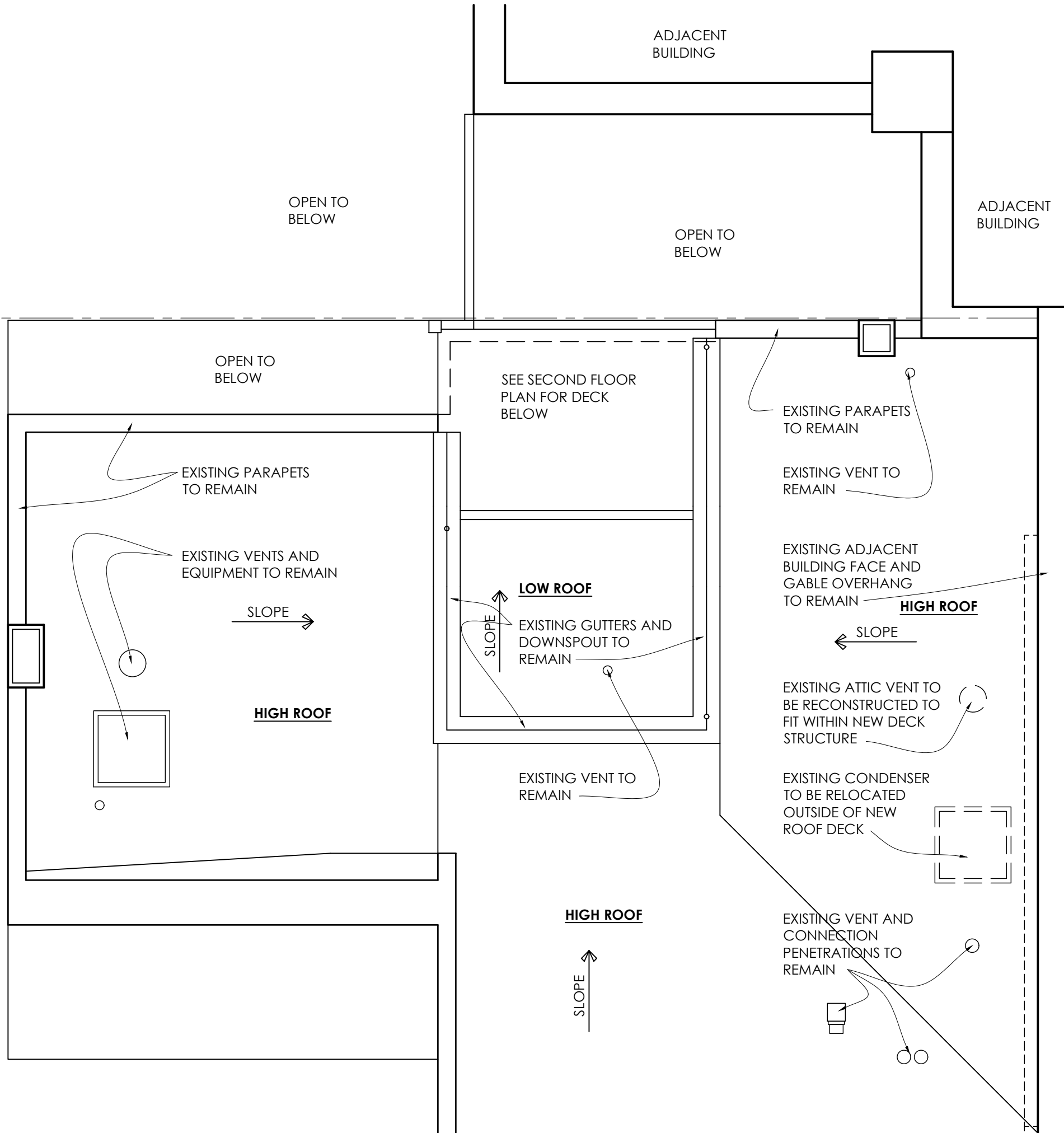
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ALLEY

PROPERTY LINE

PROPERTY LINE



OPEN TO BELOW

OPEN TO BELOW

OPEN TO BELOW

SEE SECOND FLOOR PLAN FOR DECK BELOW

EXISTING PARAPETS TO REMAIN

EXISTING VENT TO REMAIN

EXISTING PARAPETS TO REMAIN

EXISTING VENTS AND EQUIPMENT TO REMAIN

SLOPE

LOW ROOF

EXISTING GUTTERS AND DOWNSPOUT TO REMAIN

SLOPE

EXISTING ADJACENT BUILDING FACE AND GABLE OVERHANG TO REMAIN

HIGH ROOF

SLOPE

HIGH ROOF

EXISTING ATTIC VENT TO BE RECONSTRUCTED TO FIT WITHIN NEW DECK STRUCTURE

EXISTING CONDENSER TO BE RELOCATED OUTSIDE OF NEW ROOF DECK

EXISTING VENT TO REMAIN

HIGH ROOF

SLOPE

EXISTING VENT AND CONNECTION PENETRATIONS TO REMAIN

ADJACENT BUILDING

ADJACENT BUILDING

ADJACENT BUILDING

NOTES:
MAIN HOUSE DEMOLITION PLAN

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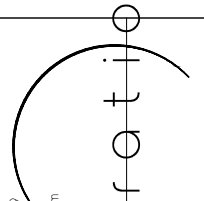
A-3
Drawing: 3 of 8

CANDLER ROOF DECK

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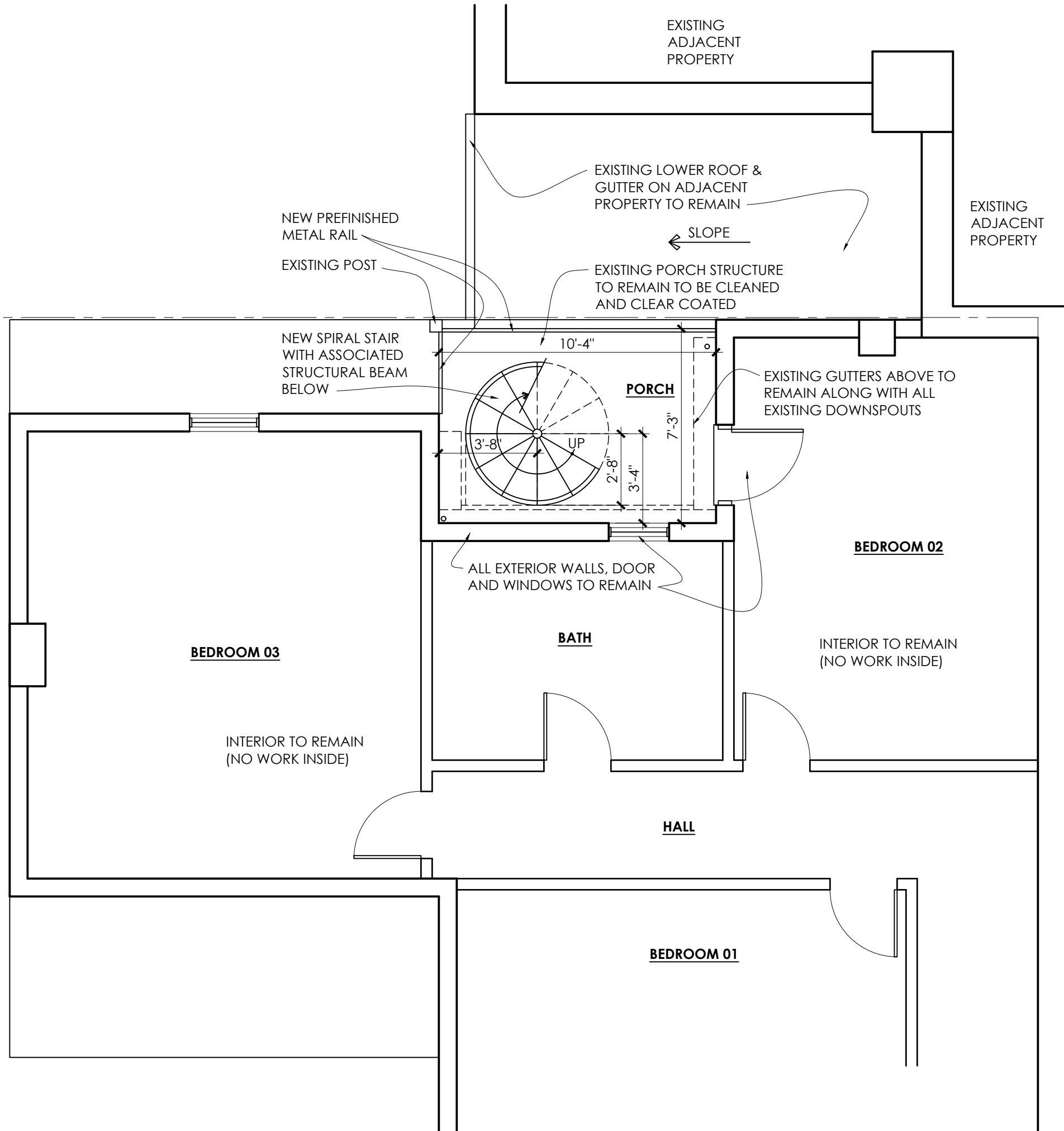
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ALLEY
PROPERTY LINE

PROPERTY LINE



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ratio

NOTES:
MAIN HOUSE DEMOLITION PLAN

A-4
Drawing: 4 of 8

CANDLER ROOF DECK

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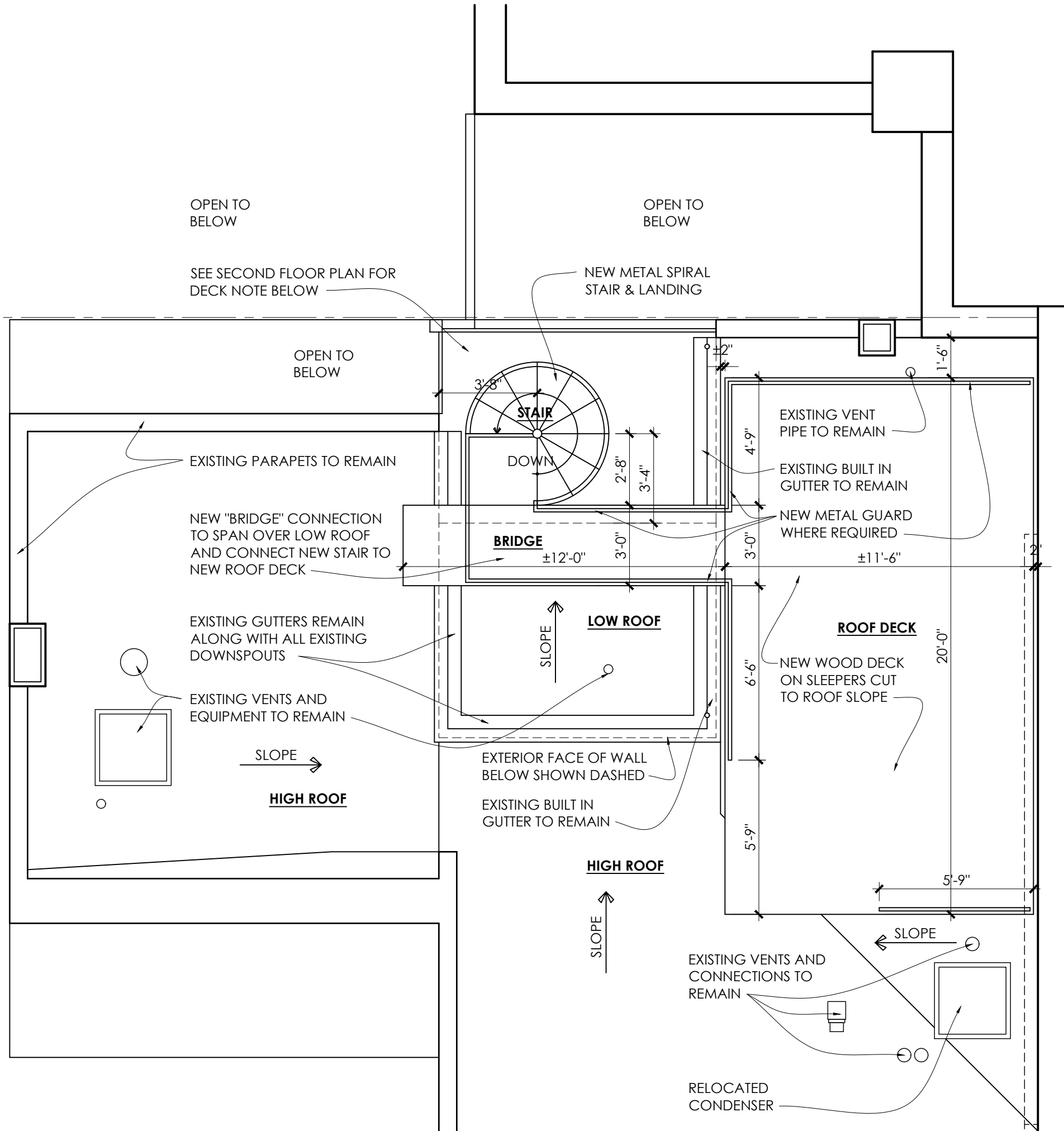
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EXISTING
ADJACENT
PROPERTY

ALLEY
PROPERTY LINE

PROPERTY LINE



OPEN TO BELOW

OPEN TO BELOW

SEE SECOND FLOOR PLAN FOR DECK NOTE BELOW

NEW METAL SPIRAL STAIR & LANDING

OPEN TO BELOW

EXISTING PARAPETS TO REMAIN

NEW "BRIDGE" CONNECTION TO SPAN OVER LOW ROOF AND CONNECT NEW STAIR TO NEW ROOF DECK

EXISTING GUTTERS REMAIN ALONG WITH ALL EXISTING DOWNSPOUTS

EXISTING VENTS AND EQUIPMENT TO REMAIN

SLOPE

HIGH ROOF

EXTERIOR FACE OF WALL BELOW SHOWN DASHED

EXISTING BUILT IN GUTTER TO REMAIN

HIGH ROOF

SLOPE

EXISTING VENTS AND CONNECTIONS TO REMAIN

RELOCATED CONDENSER

EXISTING VENT PIPE TO REMAIN

EXISTING BUILT IN GUTTER TO REMAIN

NEW METAL GUARD WHERE REQUIRED

ROOF DECK

NEW WOOD DECK ON SLEEPERS CUT TO ROOF SLOPE

NOTES:
MAIN HOUSE DEMOLITION PLAN

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A-5

Drawing: 5 of 8

CANDLER ROOF DECK

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SCALE: 1/4" (O.N.O.)

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ratio

PROPERTY LINE

EXISTING ADJACENT BUILDING FACE (STAGGERED)

FRONT TOP OF ROOF (BEYOND)

EXISTING PARAPET

EXISTING ROOF BEYOND

EXISTING HIGH ROOF AND GUTTER

EXISTING LOWER ROOF AND GUTTER

EXISTING WINDOWS

EXISTING WOOD RAIL TO BE REMOVED

EXISTING DECK STRUCTURE AND FLOOR

EXISTING WOOD FENCE

CEILING/ BRG.

2ND FLOOR

CEILING/ BRG.

1ST FLOOR

PROPERTY LINE

GRADE (VARIES)

NOTES:
EXISTING EXTERIOR ELEVATION

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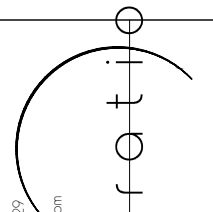
A-6
Drawing: 6 of 8

CANDLER ROOF DECK

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CAR Submission
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PROPERTY LINE

CEILING/ BRG.

2ND FLOOR

CEILING/ BRG.

1ST FLOOR

PROPERTY LINE

EXISTING ADJACENT BUILDING FACE (STAGGERED)

NEW ROOF DECK BEYOND (SLEEPERS CUT TO ROOF SLOPE)

NEW METAL RAIL

FRONT TOP OF ROOF (BEYOND)

EXISTING PARAPET

EXISTING ROOF BEYOND

EXISTING HIGH ROOF AND GUTTER

EXISTING LOWER ROOF AND GUTTER

NEW "BRIDGE" PLATFORM

NEW METAL SPIRAL STAIR

EXISTING WINDOWS

NEW METAL RAIL

EXISTING DECK STRUCTURE AND FLOOR

EXISTING WOOD FENCE

GRADE (VARIES)

NOTES:
NEW EXTERIOR ELEVATION

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A-7

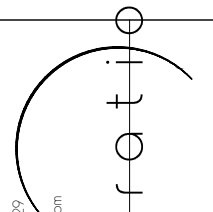
Drawing: 7 of 8

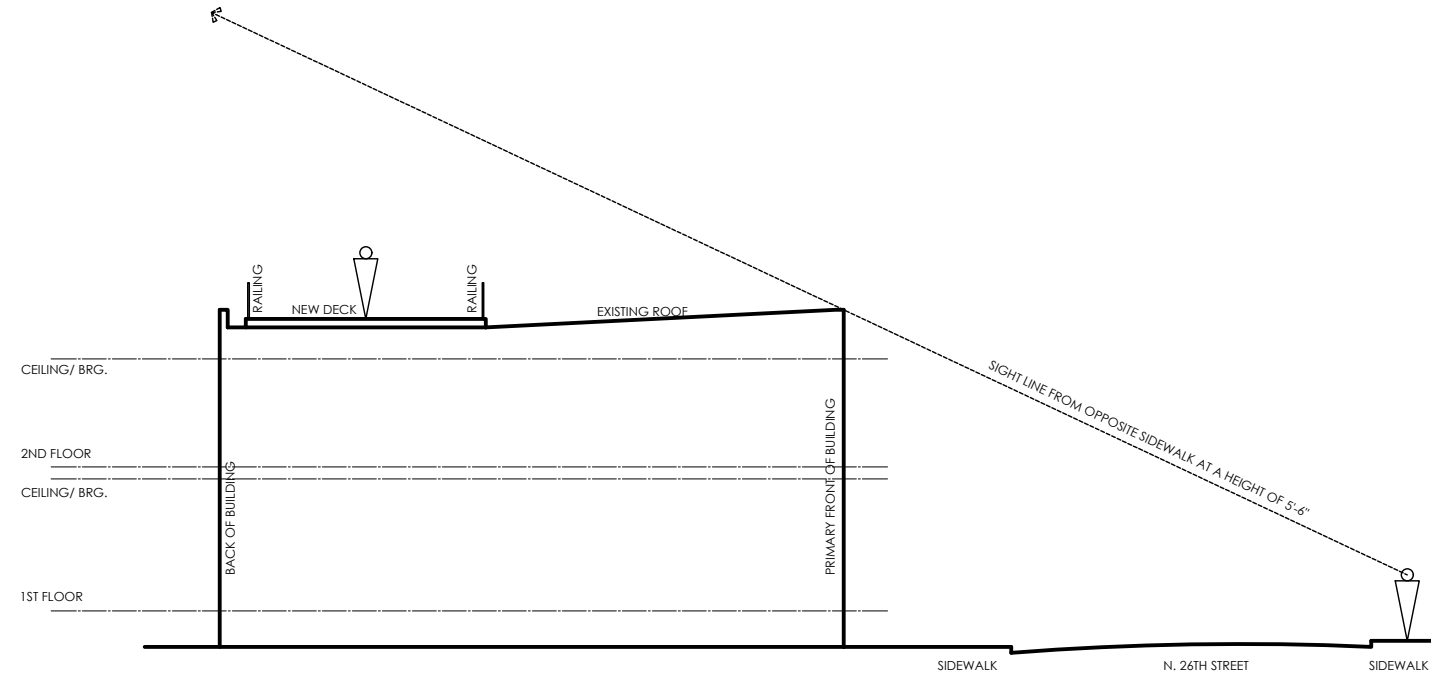
CANDLER ROOF DECK

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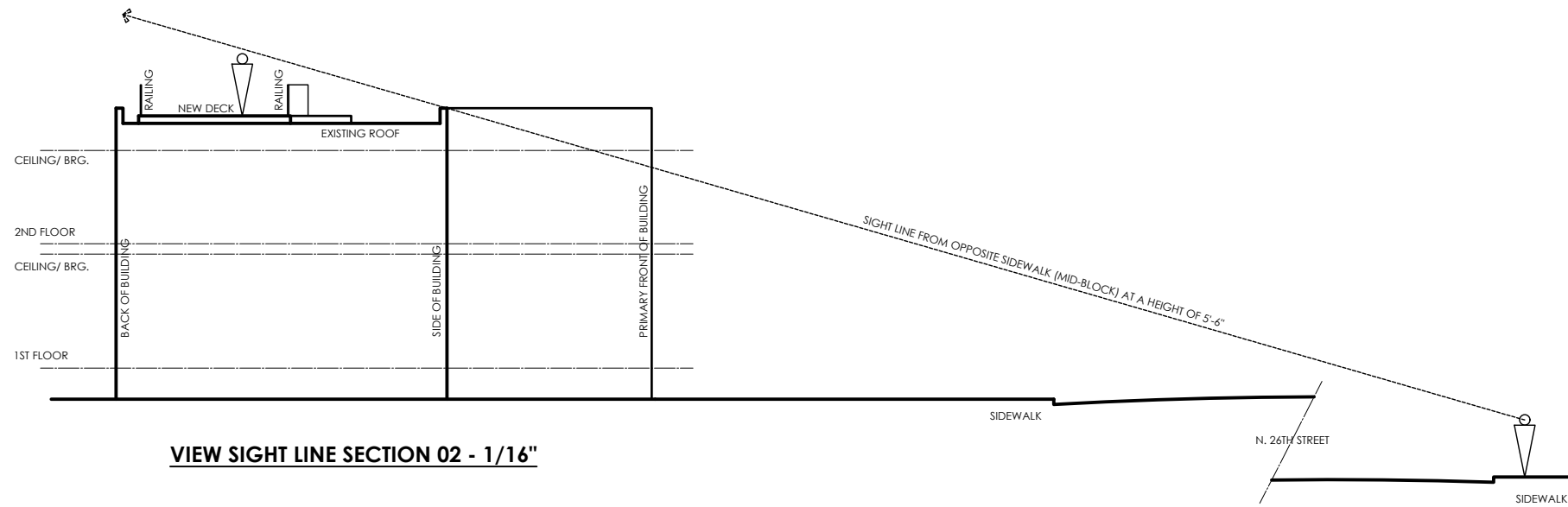
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VIEW SIGHT LINE SECTION 01 - 1/16"



VIEW SIGHT LINE SECTION 02 - 1/16"

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A-8
Drawing: 8 of 8

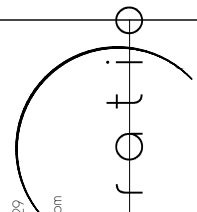
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NOTES:
SIGHT LINE SECTIONS



location of
existing
porch and
new spiral
stair



07

06

05

04

03

214 N. 26th ST.

01

02

214

2511
2515

N 26th St

N 26th St

N 26th St

N 26th St

St

210

209

2514

2516

2518

207



THE WANSLEY HOUSE

213











