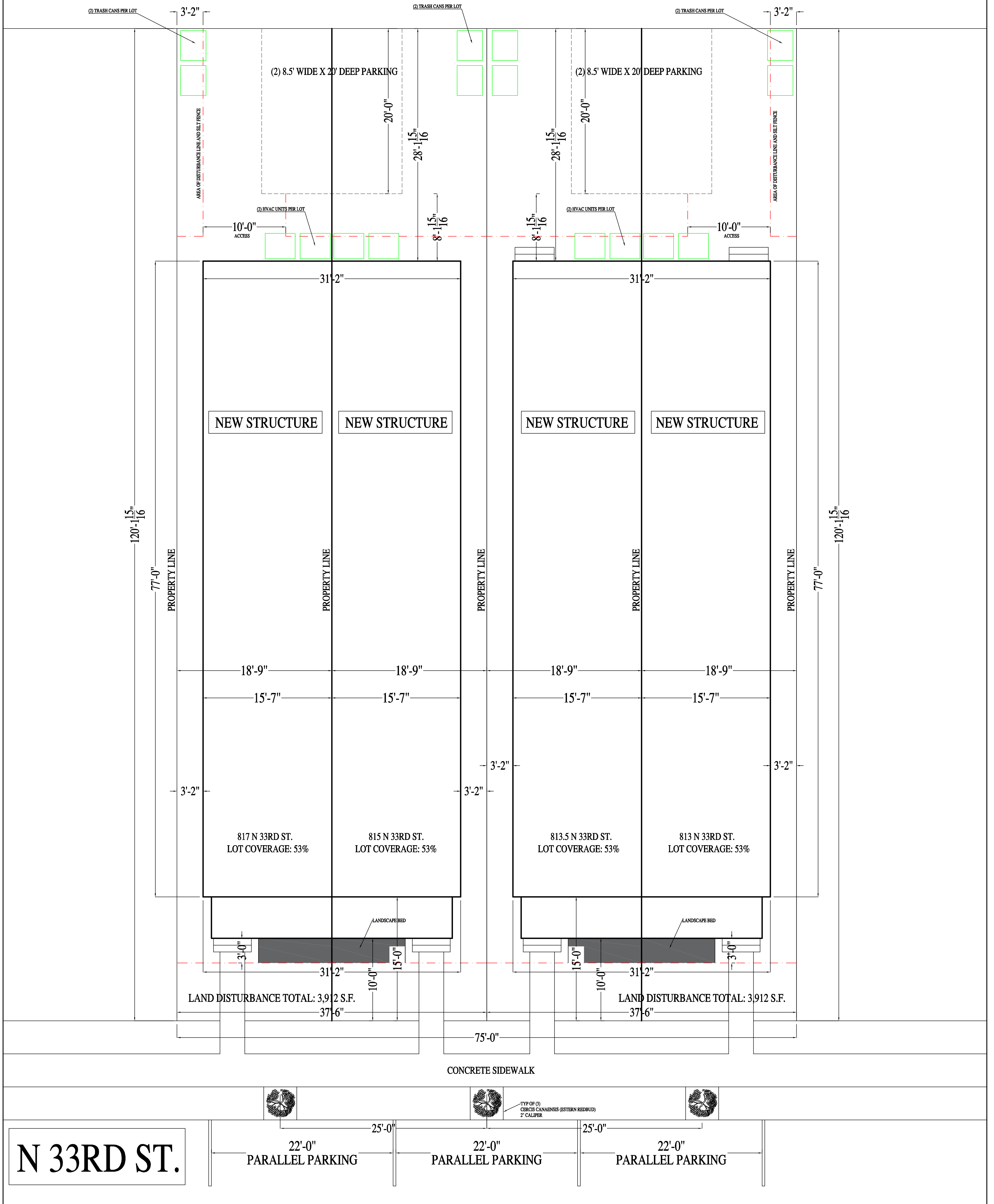


SITE PLAN

16' WIDE ALLEY



SHEET:
1 OF 4

DATE:
5-01-19

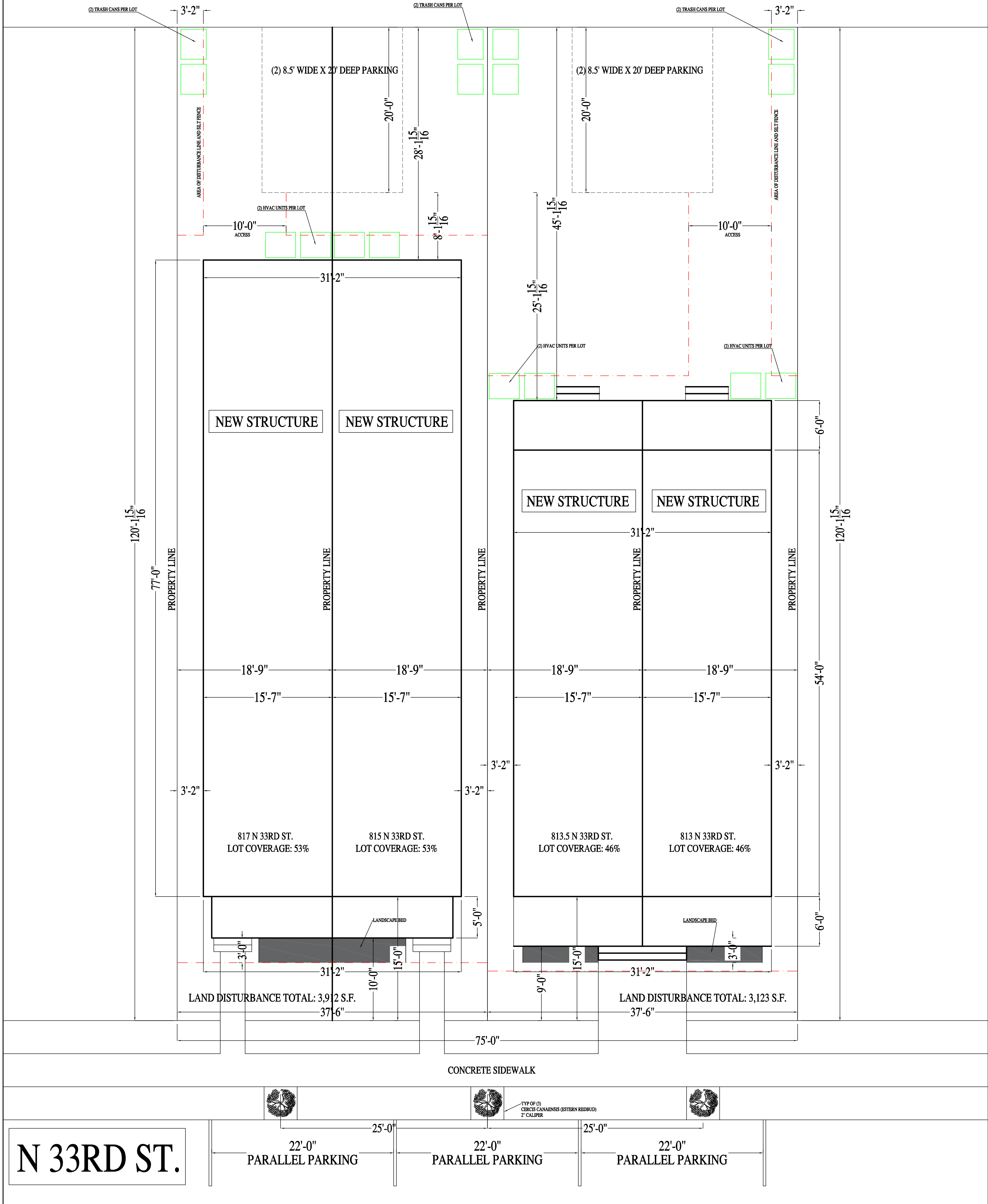
SCALE:
3/16" = 1'-0"

REVISION NOTES	START DATE
5-01-19	

813, 813.5, 815, & 817 N 33RD ST.
RIVER MILL DEVELOPMENT
RIVERMILLDEVELOPMENT@GMAIL.COM

ALT SITE PLAN

16' WIDE ALLEY



N 33RD ST.

22'-0" PARALLEL PARKING

22'-0" PARALLEL PARKING

22'-0" PARALLEL PARKING



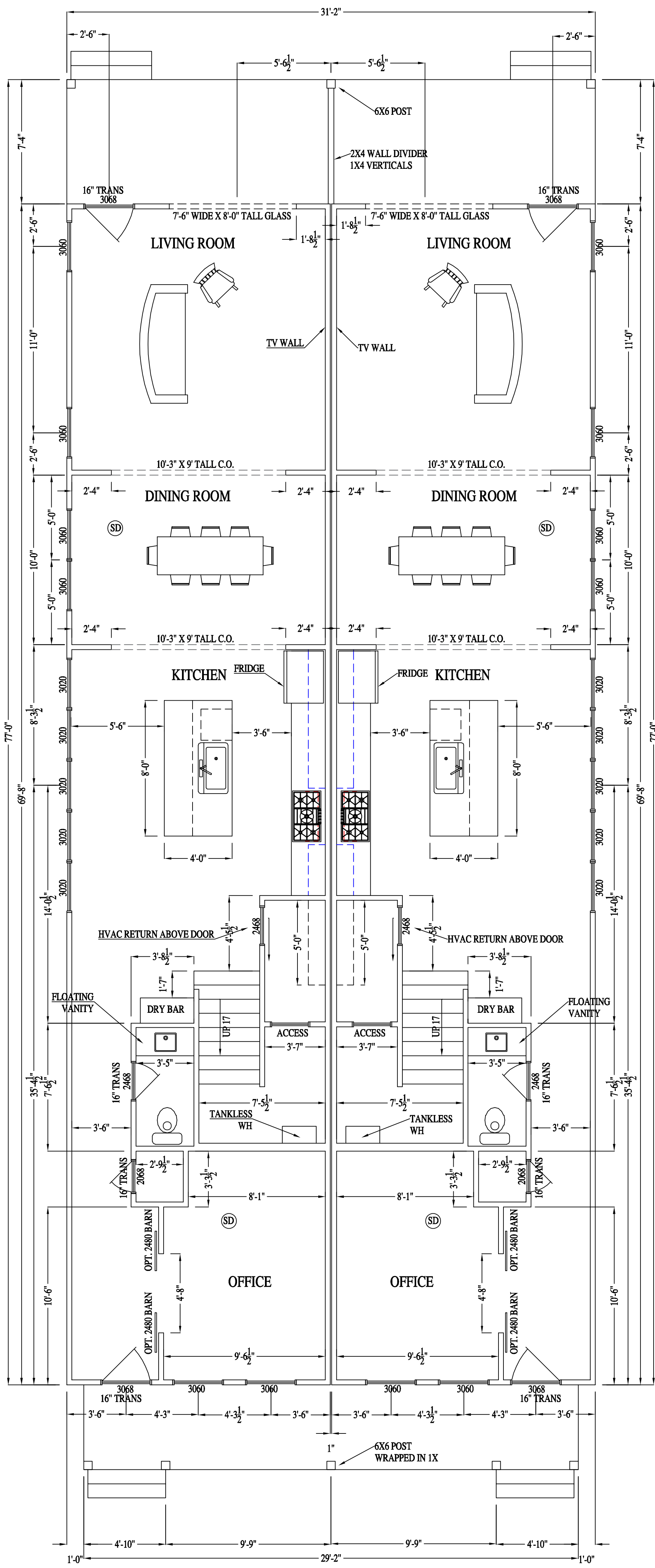
SHEET:
1 OF 4

DATE:
5-01-19

SCALE:
3/16" = 1'-0"

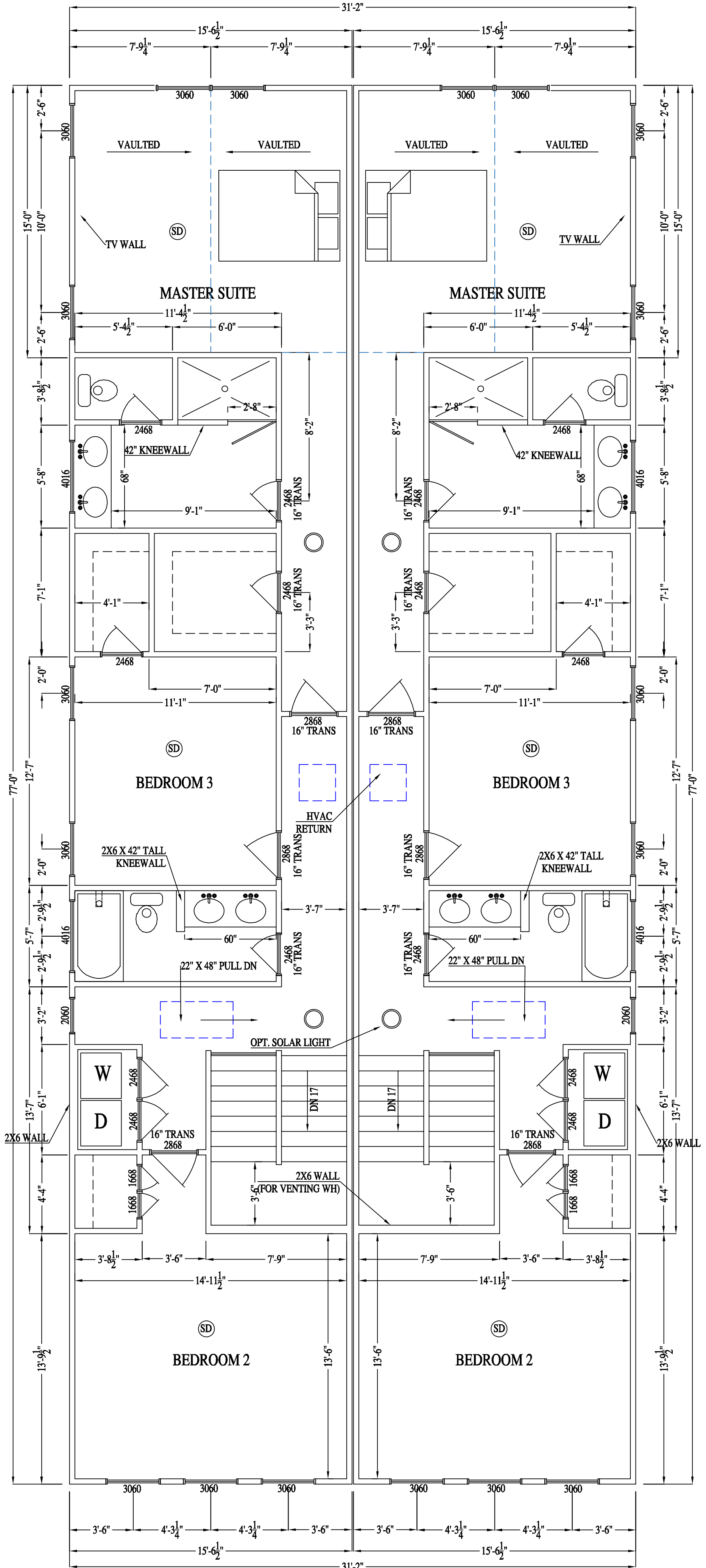
REVISION NOTES	START DATE
5-01-19	

813, 813.5, 815, & 817 N 33RD ST.
RIVER MILL DEVELOPMENT
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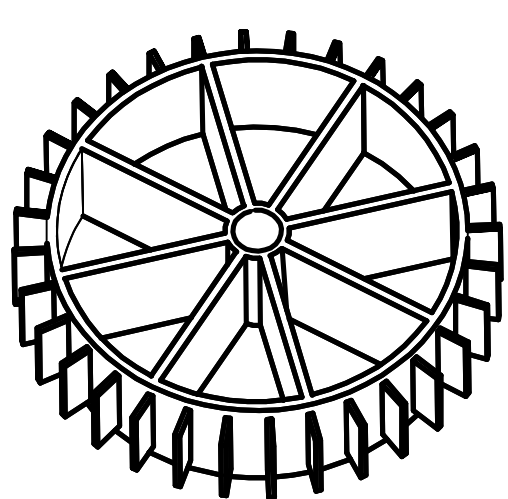
FIRST FLOOR PLAN

1086 S.F. (EACH UNIT)



SECOND FLOOR PLAN

1200 S.F. (EACH UNIT)



RIVER MILL
DEVELOPMENT

SHEET:
2 OF 4

DATE:
5-01-19

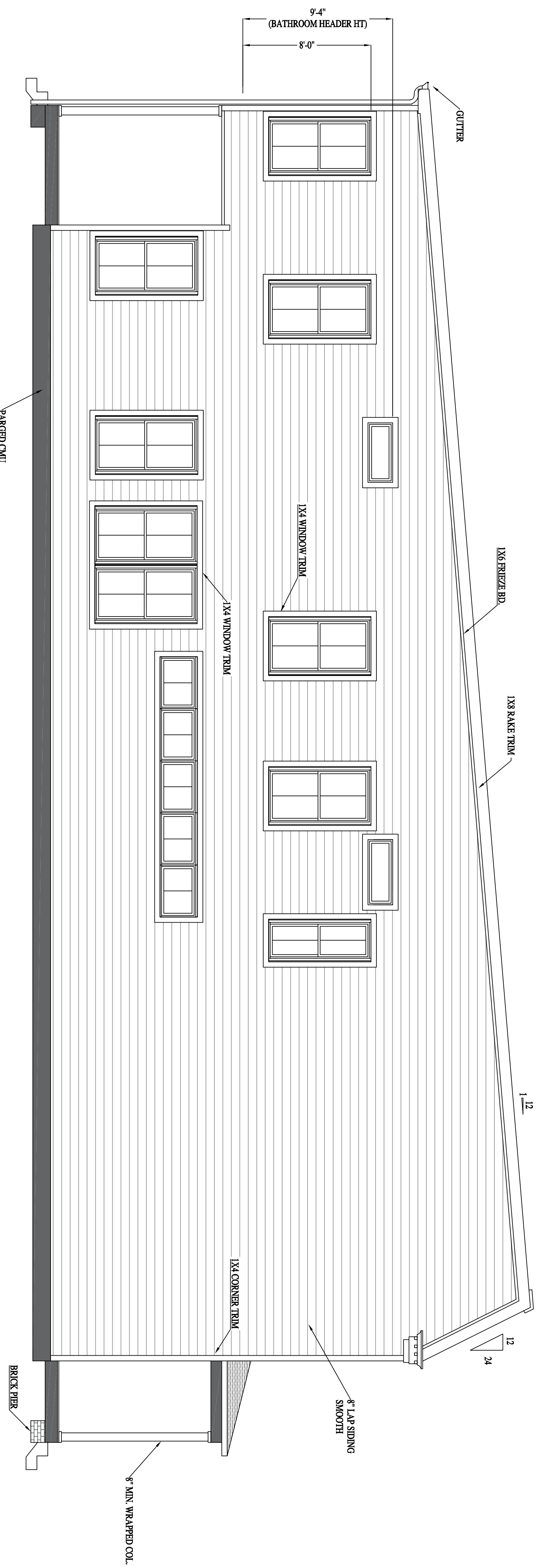
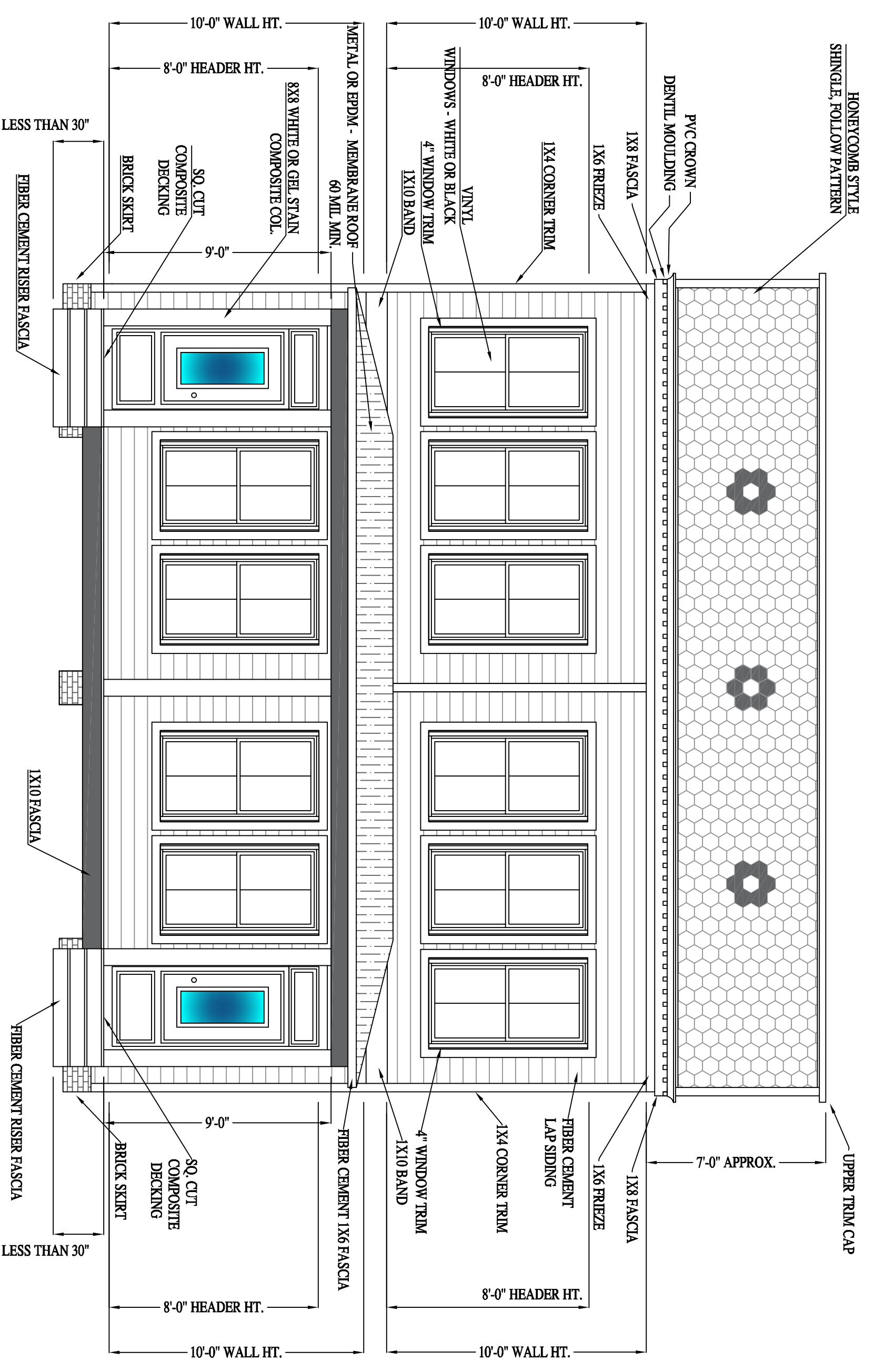
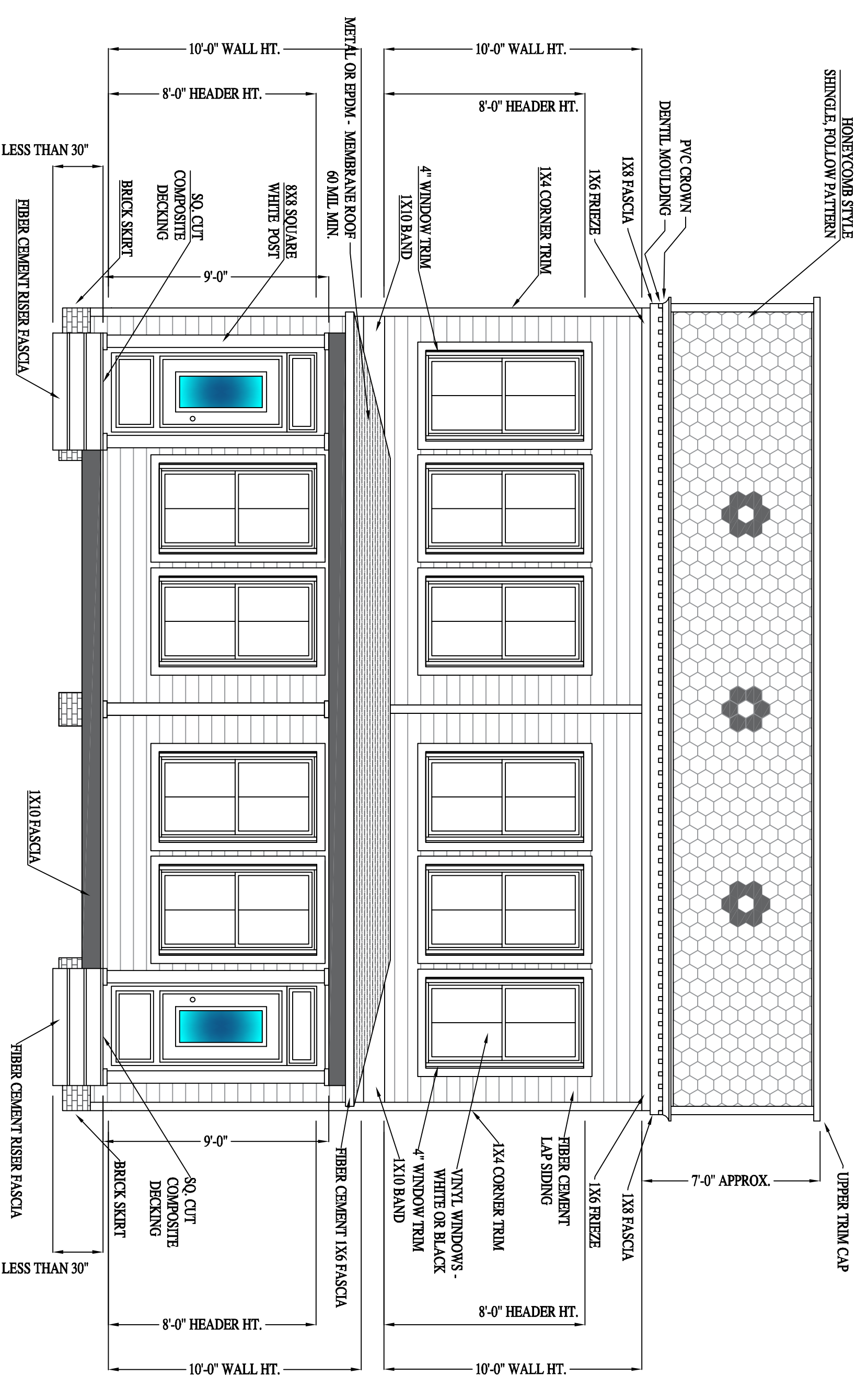
SCALE:
1/4" = 1'-0"

REVISION NOTES	
5-01-19	START DATE

813, 813.5, 815, & 817 N 33RD ST.

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REVISION NOTES

NO.	REVISION	DATE
5-01-19	START DATE	

813, 813.5, 815, & 817 N 33RD ST.

RIVER MILL DEVELOPMENT
 RIVERMILLDEVELOPMENT@GMAIL.COM

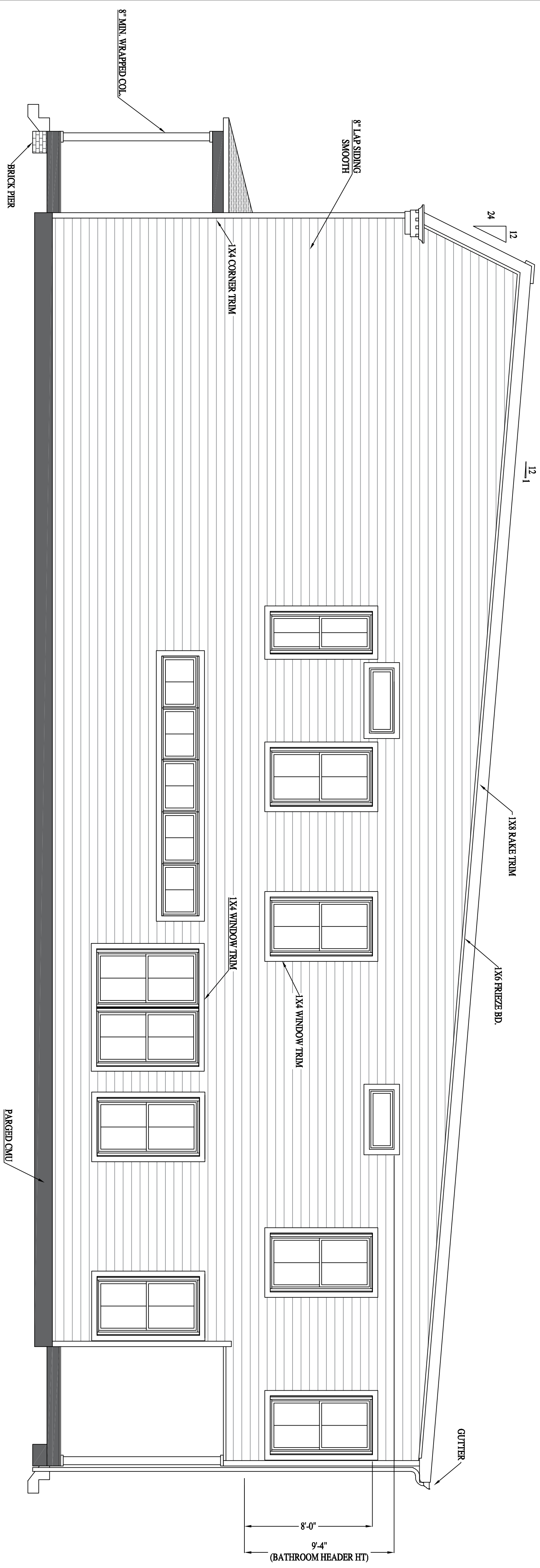
SCALE:
 1/4" = 1'-0"

DATE:
 5-01-19

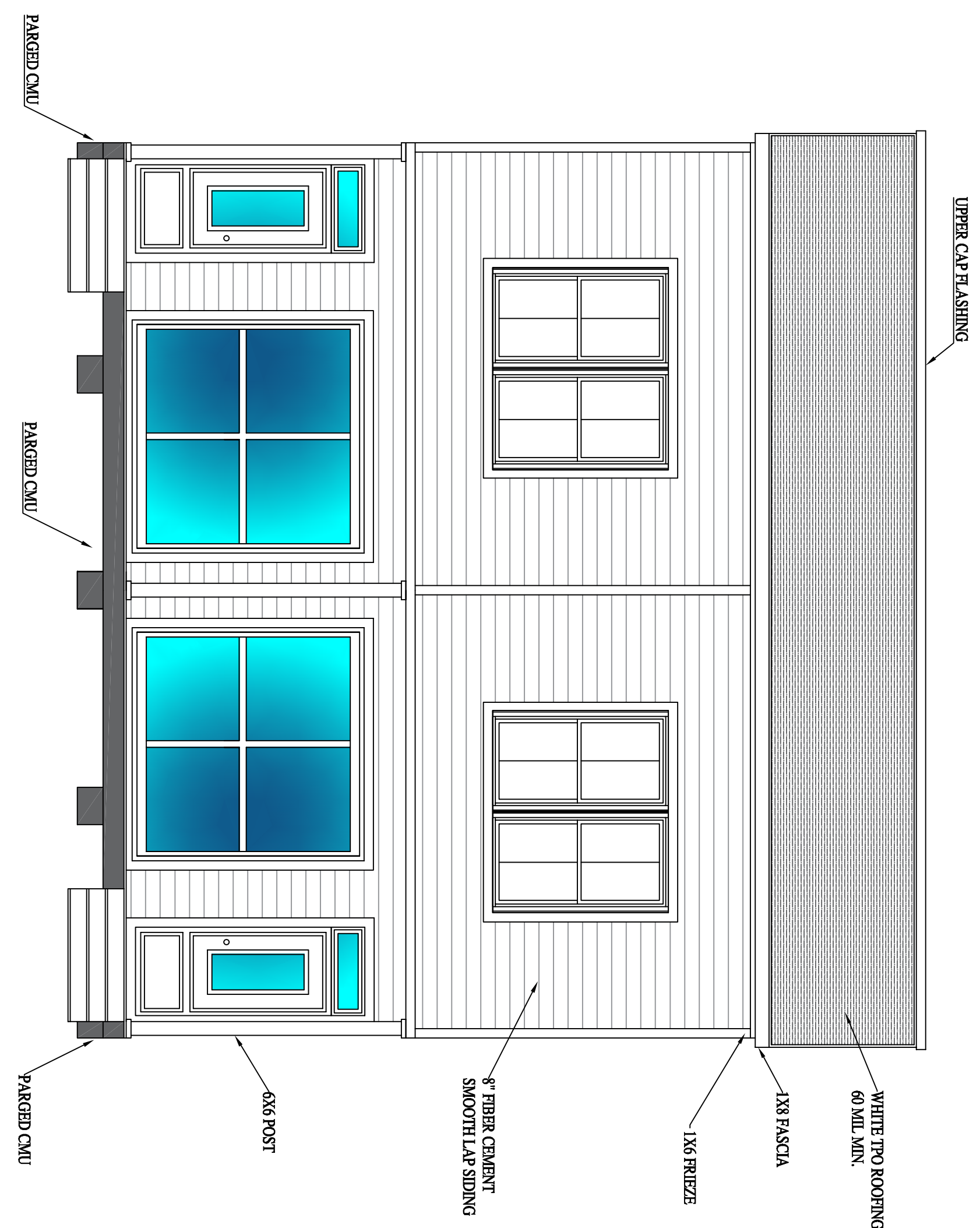
SHEET:
 3 OF 4



RIGHT ELEVATION



REAR ELEVATION



SHEET:
4 OF 4

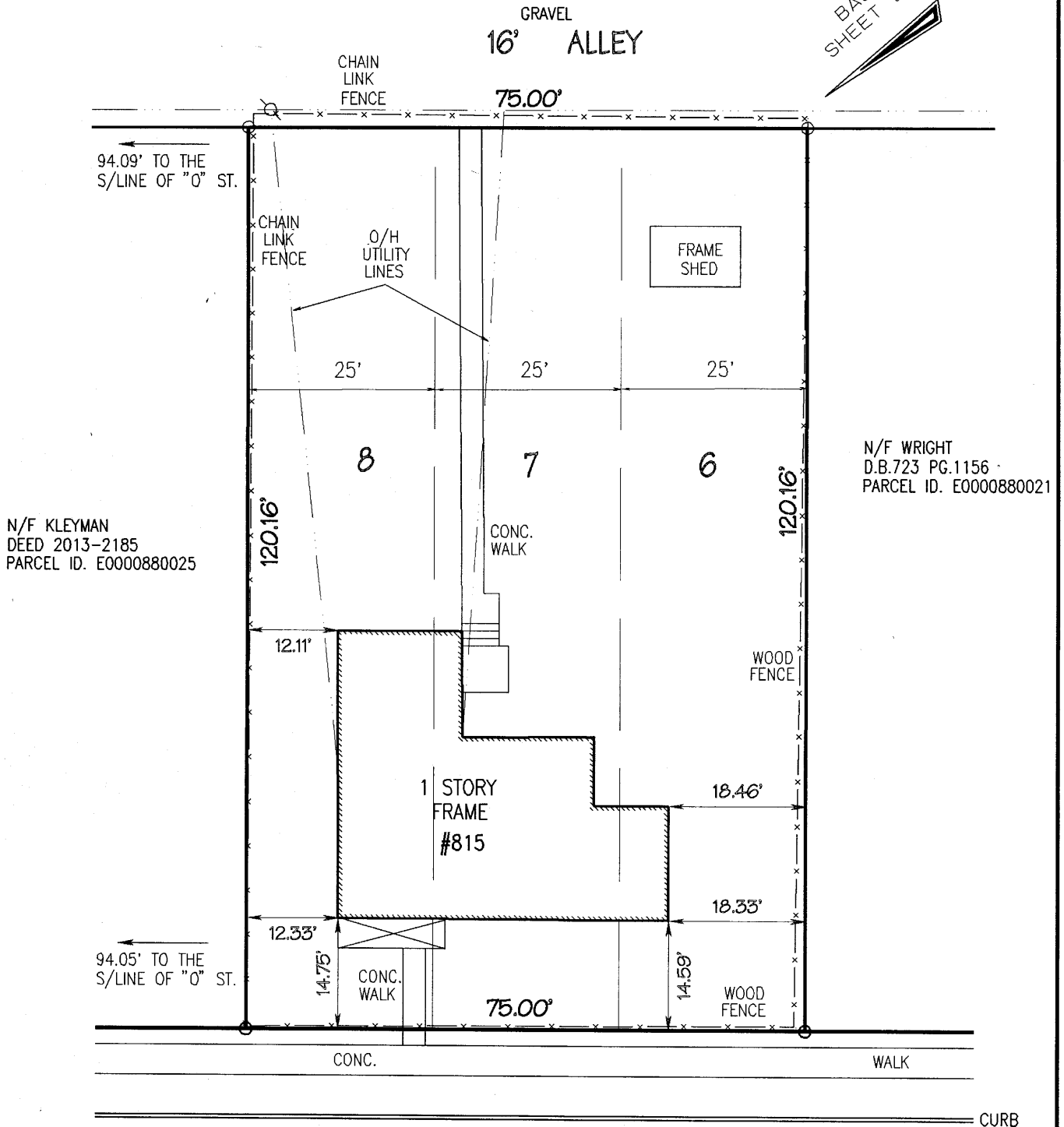
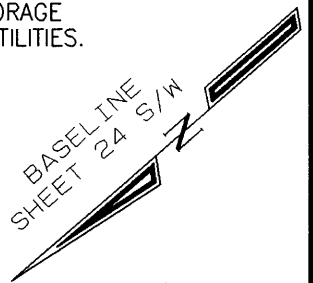
DATE:
5-01-19

SCALE:
1/4" = 1'-0"

REVISION NOTES	START DATE

813, 813.5, 815, & 817 N 33RD ST.
RIVER MILL DEVELOPMENT
RIVERMILLDEVELOPMENT@GMAIL.COM

NOTES: THIS PROPERTY DOES NOT APPEAR TO BE LOCATED IN A F.E.M.A. DEFINED FLOOD HAZARD AREA. FREDERICK A. GIBSON & ASSOCIATES, P.C. ASSUMES NO LIABILITY REGARDING SUB-SURFACE FEATURES SUCH AS TOXIC WASTE, GARBAGE OR WASTE DISPOSAL AREAS, LANDFILLS, UNDERGROUND STORAGE TANKS, CEMETERIES OR BURIAL SITES, SHRINK/SWELL SOILS, UNDERGROUND WATERWAYS OR UTILITIES. CURRENT OWNER(S): KYLE H. JOHNSTON INST#170026532 PARCEL ID E0000880022



N. 33RD STREET

66' R/W

(PHYSICAL SURVEY)

**SURVEY AND PLAT OF 815 N. 33RD STREET
AND BEING ALL OF LOTS 6,7,& 8 ON A PLAN BY J. TEMPLE WADDILL
DATED JUNE 6, 1926, RECORDED IN PLAT BK.7 PAGE 47, CLERKS OFFICE
IN THE CITY OF RICHMOND, VIRGINIA**

SCALE: 1" = 20'

THIS IS TO CERTIFY THAT ON JANUARY 30, 2018, I MADE A FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS PLAT IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, AND CERTIFIED LANDSCAPE ARCHITECTS.



**FREDERICK A. GIBSON
& ASSOCIATES, P.C.**
LAND SURVEYORS
11521-G MIDLOTHIAN TURNPIKE
NORTH CHESTERFIELD, VIRGINIA 23235
PHONE 804 378-4485 FAX 804 378-4487

LEGEND	
⊙ =	IRON ROD TO BE SET UNLESS OTHERWISE NOTED.
PROJECT # 1801-04M	