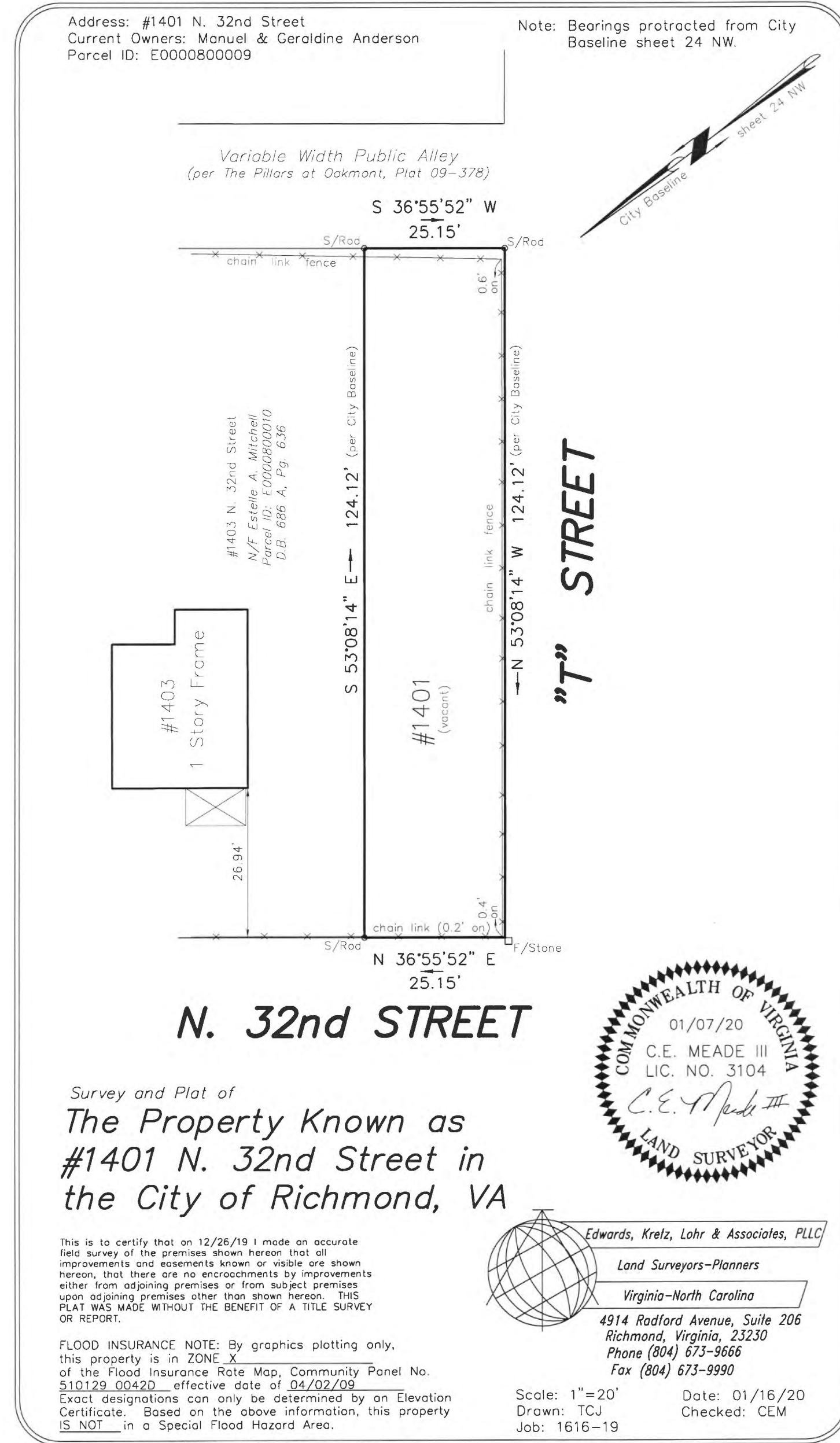
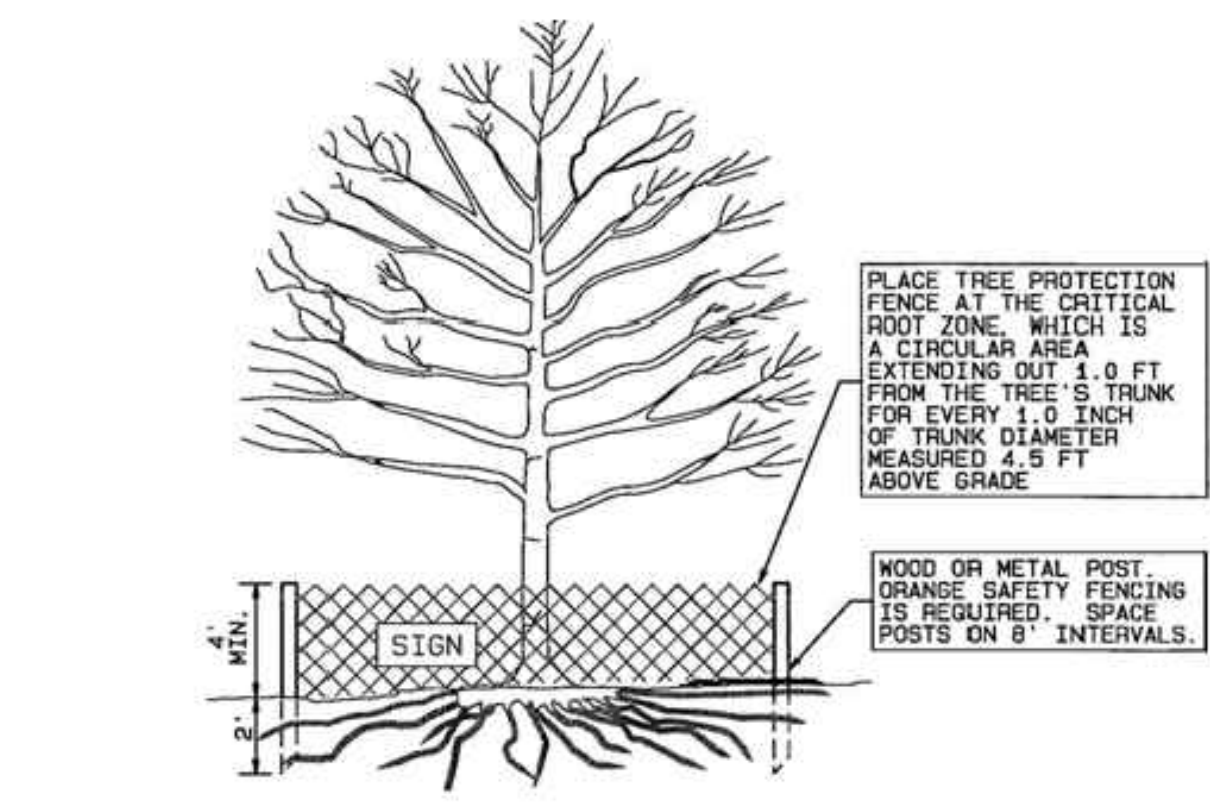
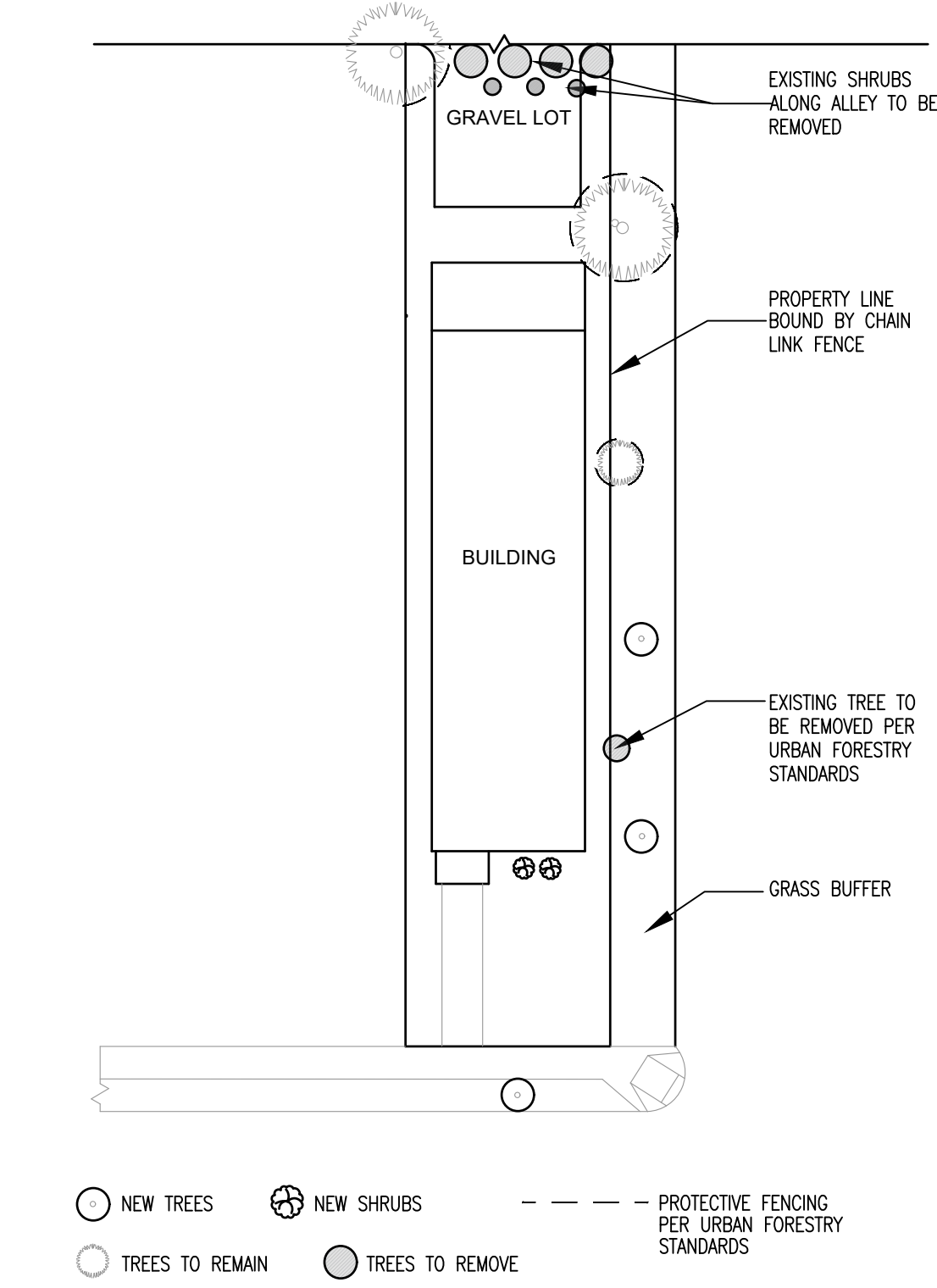


NEW 2-STORY DUPLEX 1401 N. 32ND STREET RICHMOND, VIRGINIA

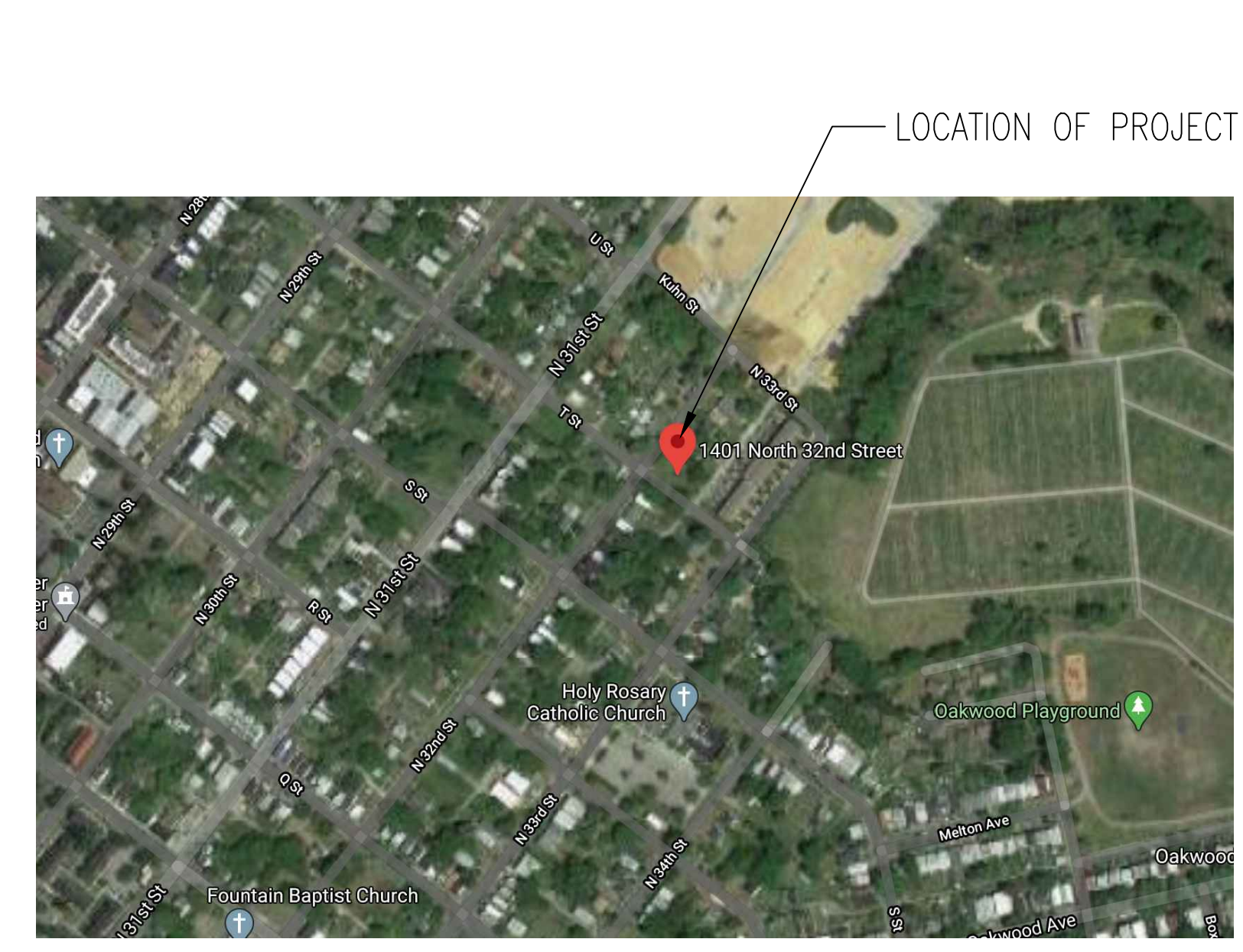
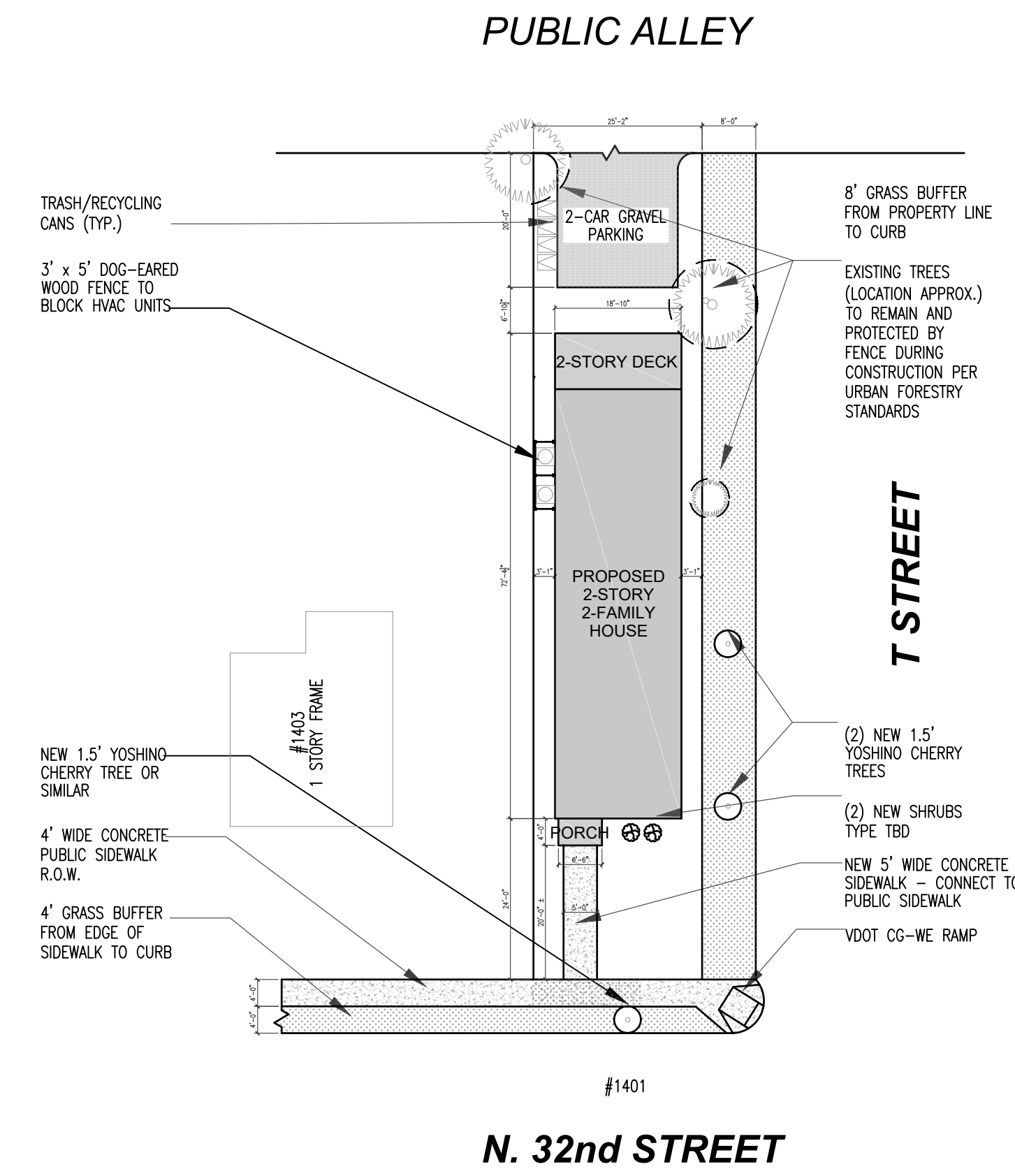


4 TREE CONSERVATION AND LANDSCAPING 1" = 20'



3 EXAMPLE CROSS SECTION NTS

2 SITE PLAN 1" = 20'



1 LOCATION NTS

SCOPE OF PROJECT

THE SCOPE OF WORK UNDER THIS PERMIT IS TO CONSTRUCT A NEW TWO-STORY DUPLEX.

1HR CONSTRUCTION ACROSS THE ENTIRE CEILING BETWEEN UNITS WILL COMPLY WITH UL - 502

1HR. SEPARATION IN WALLS AT ENTRY FOYER PER U-333

1 HR. SEPARATION UNDERSIDE OF STAIRS PER UL - 502

1 HR. CONSTRUCTION OF WALLS BENEATH STAIRS PER UL - 311

1 HR. EXTERIOR WALLS PER U-309

M. E. P WILL BE PERFORMED DESIGN-BUILD BY THE RESPECTIVE SUBCONTRACTORS AND SUBMITTED SEPARATELY.

BUILDING CODE DATA

JURISDICTION:
RICHMOND, VIRGINIA

APPLICABLE CODES:
2015 INTERNATIONAL RESIDENTIAL CODE

CONSTRUCTION TYPE: VB
FIRE PROTECTION: NON-SPRINKLERED

USE GROUP:
PROPOSED: R-3 - DUPLEX
1ST FLOOR - R-3 APARTMENT
2ND FLOOR - R-3 APARTMENT

SQUARE FOOTAGE:
1ST FLOOR: 1,355 SF
DECKS: 280 SF
CONDITIONED SPACE: 1,055 SF
2ND FLOOR: 1,270 SF
DECK: 160 SF
CONDITIONED SPACE: 1,055 SF
TOTAL SQUARE FOOTAGE: 2,625 SF

INDEX OF DRAWINGS

SHEET	DESCRIPTION
CS COVER SHEET	
A1.0 1ST FLOOR PLAN & FOUNDATION PLAN	
A1.1 2ND FLOOR & ROOF PLAN	
A2.0 EXTERIOR ELEVATIONS	
A2.1 EXTERIOR ELEVATIONS	

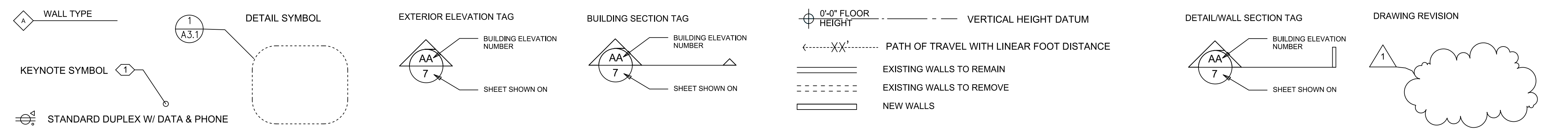
CONTACT INFORMATION

OWNER:
DANIEL KLEYMAN
3420 PUMP RD, STE 169
RICHMOND, VIRGINIA 23233

CONTRACTOR:
XXXXX

ARCHITECT:
MICHAEL PELLIS ARCHITECTURE, PLLC
1816 RED QUEEN COURT
N. CHESTERFIELD, VA 23235
CONTACT: MICHAEL PELLIS
michael@michaelpellis.com
804.212.9024

SYMBOL LEGEND



PROJECT:
NEW 2-STORY DUPLEX

1401 N 32ND STREET, RICHMOND VIRGINIA 23223

OWNER:
EVOLVE DEVELOPMENT, LLC
3420 PUMP RD., STE. 169, RICHMOND, VIRGINIA

COVER SHEET AND CODE DATA

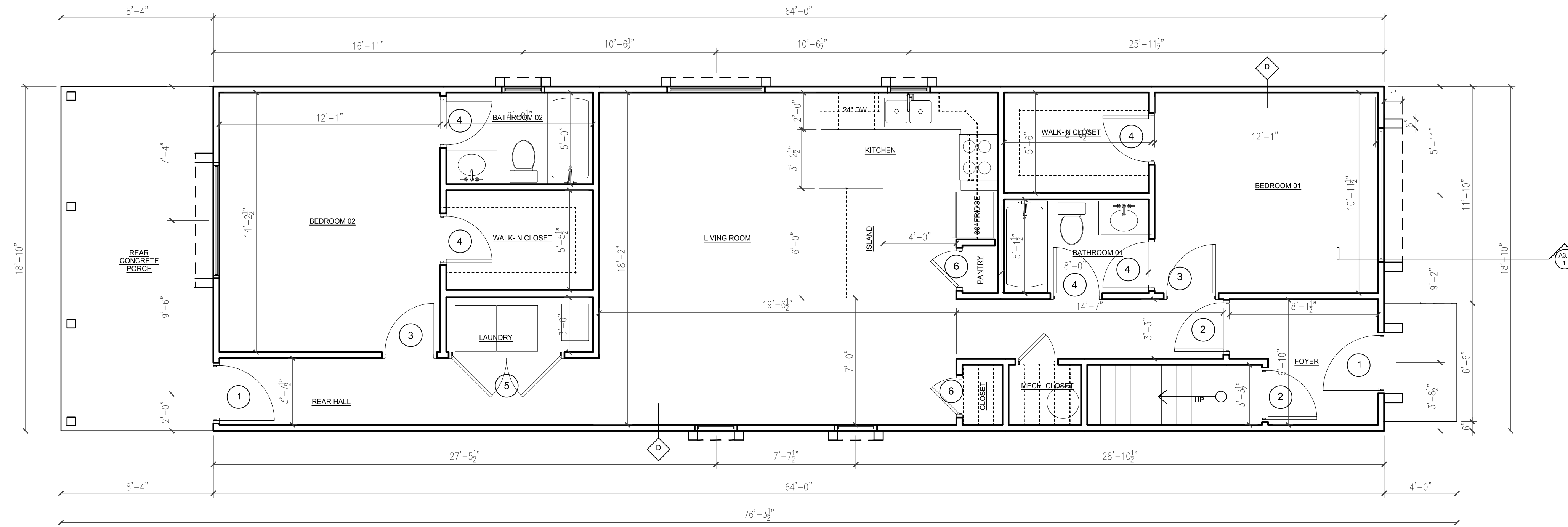
REVISIONS

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N/A	
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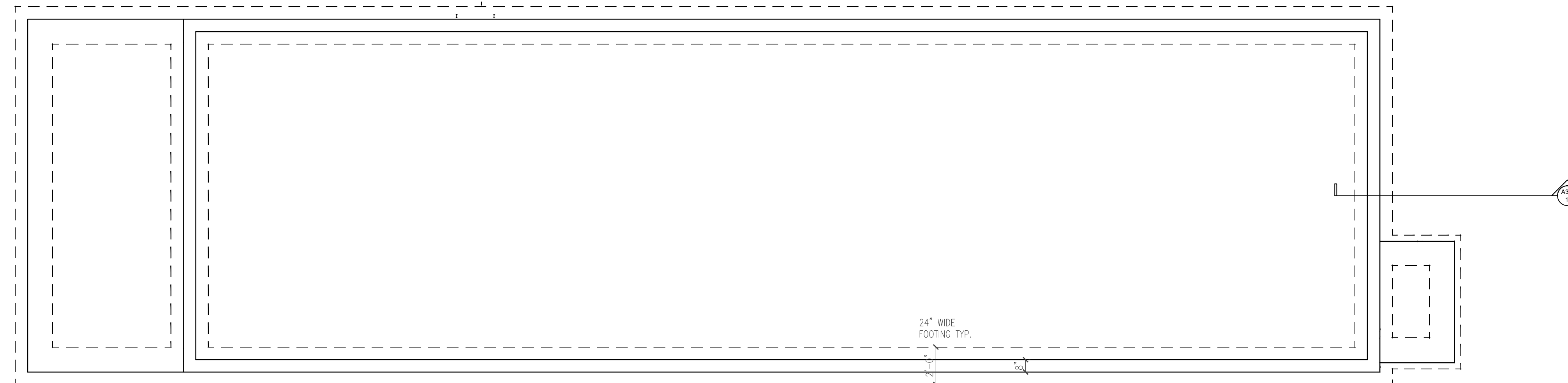
CONTACT INFORMATION

ARCHITECT:
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1816 RED QUEEN COURT
N. CHESTERFIELD, VA 23235
CONTACT: MICHAEL PELLIS
michael@michaelpellis.com
804.212.9024

DATE
JULY 06, 2020



1/4" = 1'-0"
FIRST FLOOR PLAN 2



1/4" = 1'-0"
FOUNDATION PLAN 1

PROPOSED PLAN KEY NOTES

- 1 ALL WINDOWS ON THE 1ST & 2ND FLOOR BEDROOMS MEET EGRESS REQUIREMENTS.

PARTITION TYPE KEY NOTES

- A 1 HR RATED SEPARATION WALL - U333 STC 54 5/8" TYPE X GYP. BD OVER 2 X 4 @ 16" O.C. W/ SOUND BATTS W/ RESILIENT CHANNELS @ 24" O.C VERTICALLY PERPENDICULAR TO STUDS (ONE SIDE ONLY) W/ 5/8" TYPE X GYP. BD.
- B 1HR STAIRWELL SUPPORT WALLS UL311 - 2 X 4 @ 16" O.C. WOOD STUDS (FLOOR TO UNDERSIDE OF STAIRWELL) W/ BATT INSULATION W/ 5/8" TYPE X GYP. BOTH SIDES. 5/8" (1) LAYER OF 5/8" TYPE X GYP. UNDERSIDE OF STAIRS
- C TYPICAL EXTERIOR WALL: HARDIE SIDING OVER WEATHERBARRIER OVER 1/2" EXTERIOR SHEATHING OVER 2 X 4 STUDS @ 16" O.C. W/ R-15 INSULATION & 1/2" GYPSUM BOARD INTERIOR FINISH
- D 1 HR RATED EXTERIOR WALL - U309 - HARDIE SIDING OVER WEATHER BARRIER OVER 5/8" DENS GOLD SHEATHING OVER 2" X 4" STUDS @ 16" O.C. W/ R-15 INSULATION & 5/8" TYPE X GYPSUM BOARD INTERIOR FINISH

NOTE:

- UNLESS NOTED OTHERWISE: ALL WALLS 2 X 4 WOOD STUDS @ 16" O.C. W/ 1/2" DRYWALL BOTH SIDES. SOUND BATTS IN BATHROOM AND BEDROOM WALLS TYP.
- ALUMINUM GUTTER AND DOWNSPOUTS. SEE ELEVATIONS

NOTES:

- 1. EDGE OF SLAB: 4" FROM FACE OF BLOCK SEE WALL SECTIONS ON SHEET A3.0
- 2. OUTSIDE EDGE OF EXTERIOR WALL SHEATHING TO ALIGN WITH OUTSIDE FACE OF BLOCK STEM WALL. TO ALLOW FOR SELF-ADHERING FLASHING MEMBRANE FLASHING TO RUN CONTINUOUS OVER THE JOINT BETWEEN BLOCK & FRAMING.

DOOR KEY NOTES

- 1 30" X 68" FIBERGLASS, FLUSH, VERTICAL GLASS ENTRY DOOR W/ 16" TRANSOM, CLOSER, THRESHOLD, ENTRY LOCKSET
- 2 28" X 68", THRESHOLD, ENTRY LOCKSET, 45 MIN FIRE RATED INTERIOR DOOR AND FRAME AND CLOSER
- 3 28" X 68" INTERIOR DOOR AND FRAME
- 4 26" X 68" INTERIOR 45 MIN. DOOR AND FRAME
- 5 PAIR OF 26" X 68" INTERIOR DOORS AND FRAME, LEVER HARDWARE
- 6 20" X 68" INTERIOR DOOR AND FRAME

INTERIOR DOORS TO BE HOLLOW CORE, 4 PANEL, PRE-HUNG.

ALL HARDWARE - BRUSHED NICKEL FINISH, GRADE 2
PASSAGE HARDWARE TYPICAL EXCEPT PRIVACY LOCKSETS FOR ALL BEDROOMS AND BATHROOMS
LEVER HARDWARE NOT REQUIRED

PROJECT:
NEW 2-STORY DUPLEX

1110 1/2 NORTH 30th STREET, RICHMOND VIRGINIA 23223

OWNER:
EVOLVE DEVELOPMENT, LLC

3420 PUMP RD., STE. 169, RICHMOND, VIRGINIA

FOUNDATION & FIRST FLOOR PLAN

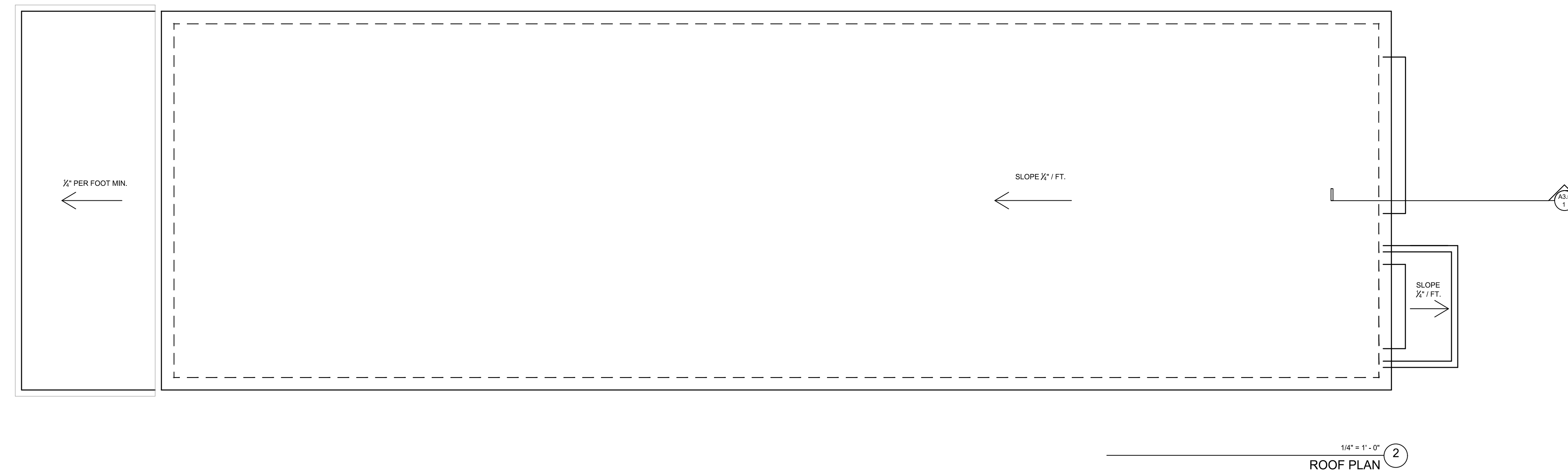
REVISIONS

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N/A
N/A
N/A
N/A

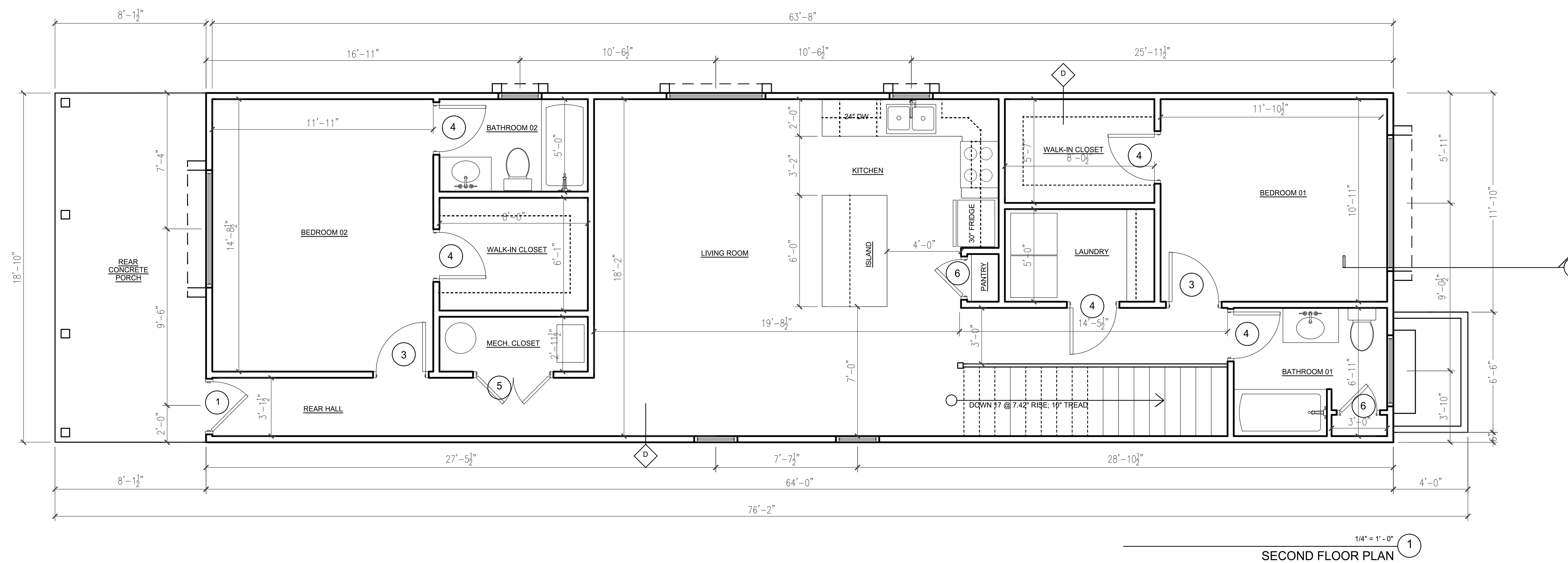
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DATE
JULY 15, 2020

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1/4" = 1'-0"
ROOF PLAN ②



1/4" = 1'-0"
SECOND FLOOR PLAN ①

PROPOSED PLAN KEY NOTES

- ① ALL WINDOWS ON THE 1ST & 2ND FLOOR BEDROOMS MEET EGRESS REQUIREMENTS.

PARTITION TYPE KEY NOTES

- Ⓐ 1 HR RATED SEPARATION WALL - U333 STC 54 5/8 TYPE X GYP. BD OVER 2 X 4 @ 16" O.C. W/ SOUND BATTS W/ RESILIENT CHANNELS @ 24" O.C VERTICALLY PERPENDICULAR TO STUDS (ONE SIDE ONLY) W/ 5/8" TYPE X GYP. BD.
- Ⓑ 1HR STAIRWELL SUPPORT WALLS UL311 - 2 X 4 @ 16" O.C. WOOD STUDS (FLOOR TO UNDERSIDE OF STAIRWELL) W/ BATT INSULATION W/ 5/8" TYPE X GYP. BOTH SIDES. 5/8" (1) LAYER OF 5/8" TYPE X GYP. UNDERSIDE OF STAIRS
- Ⓒ TYPICAL EXTERIOR WALL; HARDIE SIDING OVER WEATHERBARRIER OVER 1/2" EXTERIOR SHEATHING OVER 2 X 4 STUDS @ 16" O.C. W/ R-15 INSULATION & 1/2" GYPSUM BOARD INTERIOR FINISH
- Ⓓ 1 HR RATED EXTERIOR WALL - U309 - HARDIE SIDING OVER WEATHER BARRIER OVER 5/8" DENS GLASS GOLD SHEATHING OVER 2" X 4 STUDS @ 16" O.C. W/ R-15 INSULATION & 5/8" TYPE X GYPSUM BOARD INTERIOR FINISH

NOTE:

- UNLESS NOTED OTHERWISE: ALL WALLS 2 X 4 WOOD STUDS @ 16" O.C. W/ 1/2" DRYWALL BOTH SIDES. SOUND BATTS IN BATHROOM AND BEDROOM WALLS TYP.
- ALUMINUM GUTTER AND DOWNSPOUTS. SEE ELEVATIONS

NOTES:

- 1. EDGE OF SLAB: 4" FROM FACE OF BLOCK SEE WALL SECTIONS ON SHEET A3.0
- 2. OUTSIDE EDGE OF EXTERIOR WALL SHEATHING TO ALIGN WITH OUTSIDE FACE OF BLOCK STEM WALL. TO ALLOW FOR SELF-ADHERING FLASHING MEMBRANE FLASHING TO RUN CONTINUOUS OVER THE JOINT BETWEEN BLOCK & FRAMING.

DOOR KEY NOTES

- ① 3'0" X 6'8" FIBERGLASS, FLUSH, VERTICAL GLASS ENTRY DOOR W/ 16" TRANSOM, CLOSER, THRESHOLD, ENTRY LOCKSET
- ② 2'8" X 6'8", THRESHOLD, ENTRY LOCKSET, 45 MIN FIRE RATED INTERIOR DOOR AND FRAME AND CLOSER
- ③ 2'8" X 6'8" INTERIOR DOOR AND FRAME
- ④ 2'6" X 6'8" INTERIOR 45 MIN. DOOR AND FRAME
- ⑤ PAIR OF 2'6" X 6'8" INTERIOR DOORS AND FRAME, LEVER HARDWARE
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PROJECT:
NEW 2-STORY DUPLEX

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OWNER:
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SECOND FLOOR & ROOF PLAN

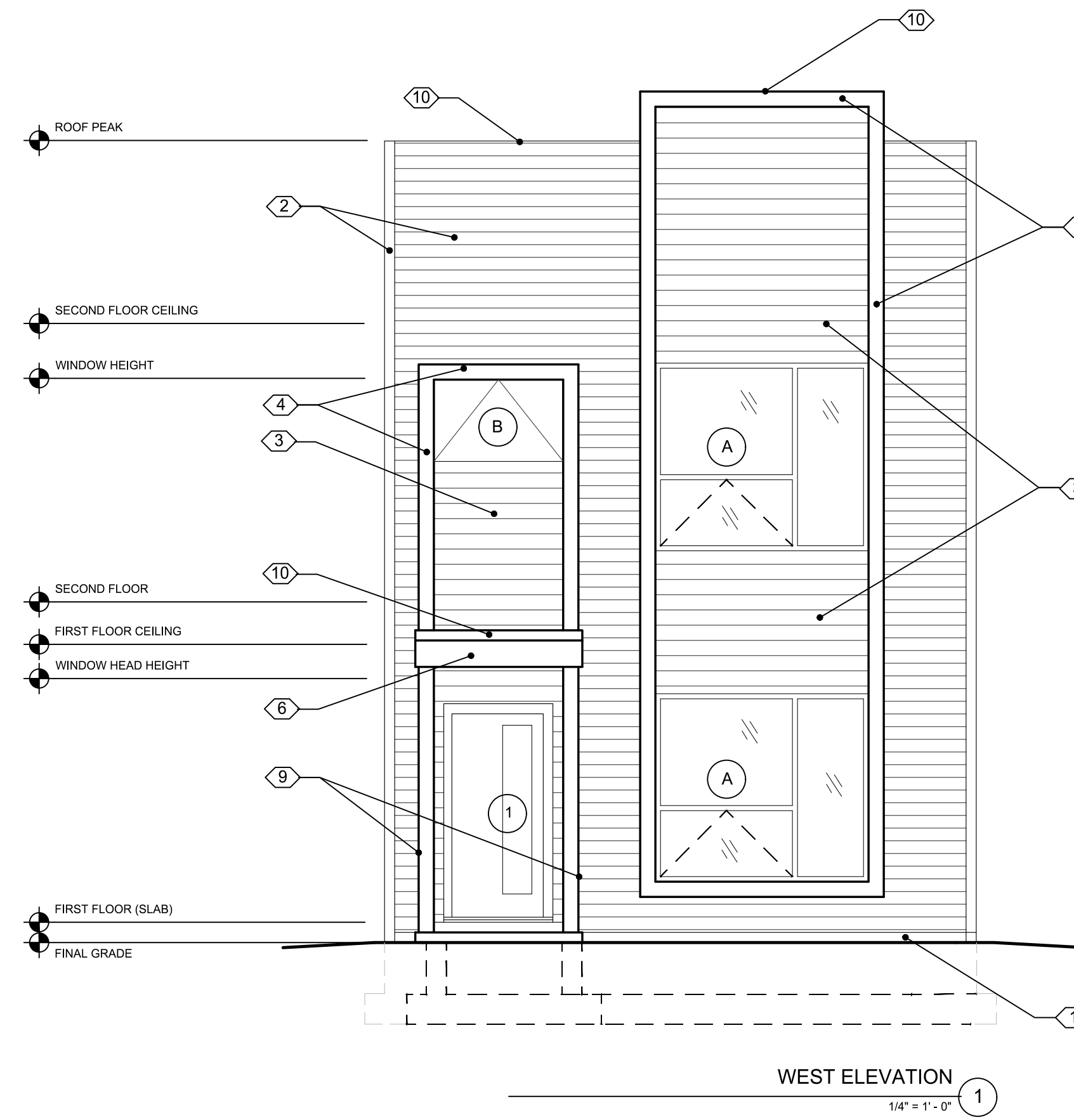
REVISIONS

	N/A
	N/A
	N/A
	N/A
	N/A

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DATE
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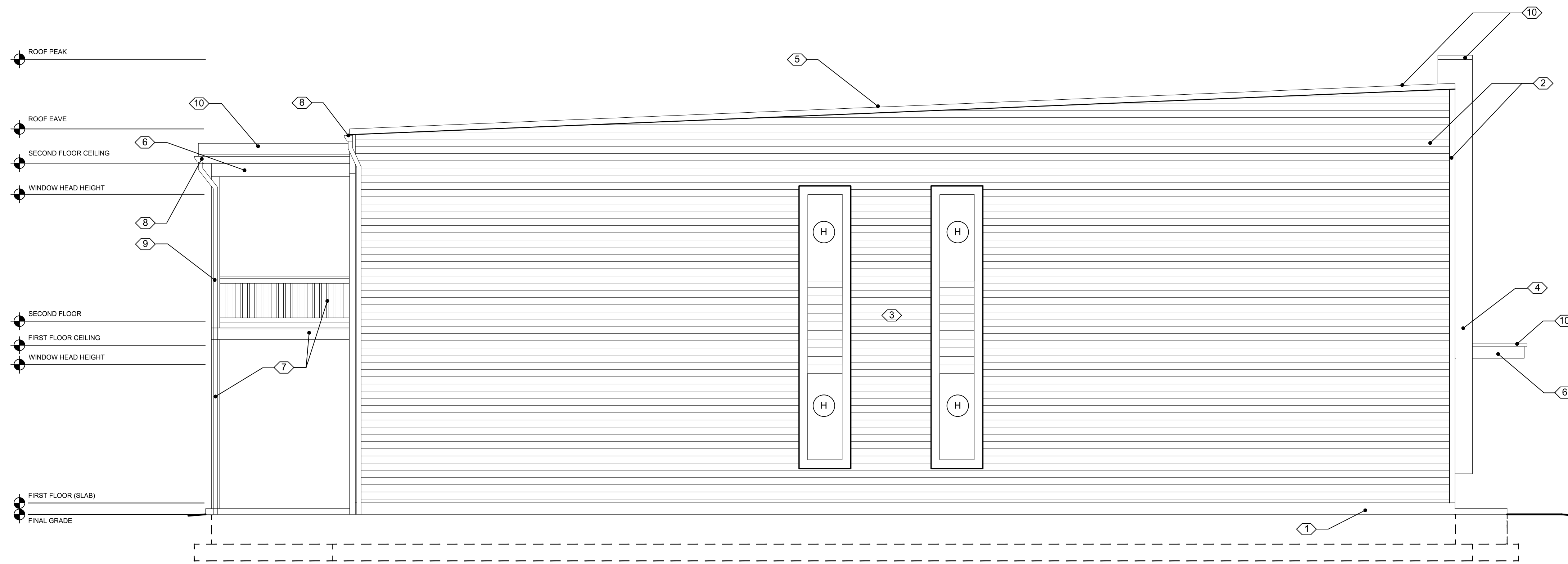
WEST ELEVATION
1/4" = 1'-0" 1

EXTERIOR FINISHES

- 1 PARGED FOUNDATION - GREY
- 2 HARDIE PLANK SIDING & TRIM - CHARCOAL GREY
- 3 HARDIE PLANK SIDING - BLACK
- 4 HARDER OR COMP. TRIM WINDOW FINIS - BLACK
- 5 TPO ROOF - FACTORY GREY
- 6 CANOPY - TPO GREY ROOM WITH HARDIE PLANK FASCIA - BLACK
- 7 PRESSURE TREATED WOOD RAILINGS, DECK, & COLUMNS
- 8 GUTTER - ALUM.
- 9 DOWNSPOUT - ALUM.
- 10 METAL COPING CAP - BLACK

EXTERIOR DOOR AND WINDOW KEY NOTES

- 1 3'0" X 6'8" FIBERGLASS, FLUSH, VERTICAL GLASS ENTRY DOOR W/ 16" TRANSOM, CLOSER, THRESHOLD, ENTRY LOCKSET
- A 7'0" X 6'2" WINDOW SYSTEM WITH AWNING
- B 2'8" X 4'3" AWNING WINDOW
- C 1'6" X 2'0" AWNING WINDOW
- D 2'0" X 2'0" AWNING WINDOW
- E 5'0" X 5'0" WINDOW SYSTEM WITH AWNING
- F 5'6" X 5'0" WINDOW SYSTEM WITH AWNING
- G 6'2" X 6'0" WINDOW SYSTEM
- H 5'0" X 2'0" PICTURE WINDOW



NORTH ELEVATION
1/4" = 1'-0" 3

PROJECT: NEW 2-STORY DUPLEX
1110 1/2 NORTH 30th STREET, RICHMOND VIRGINIA 23223

OWNER: EVOLVE DEVELOPMENT, LLC
3420 PUMP RD., STE. 169, RICHMOND, VIRGINIA

FRONT & REAR EXTERIOR ELEVATIONS

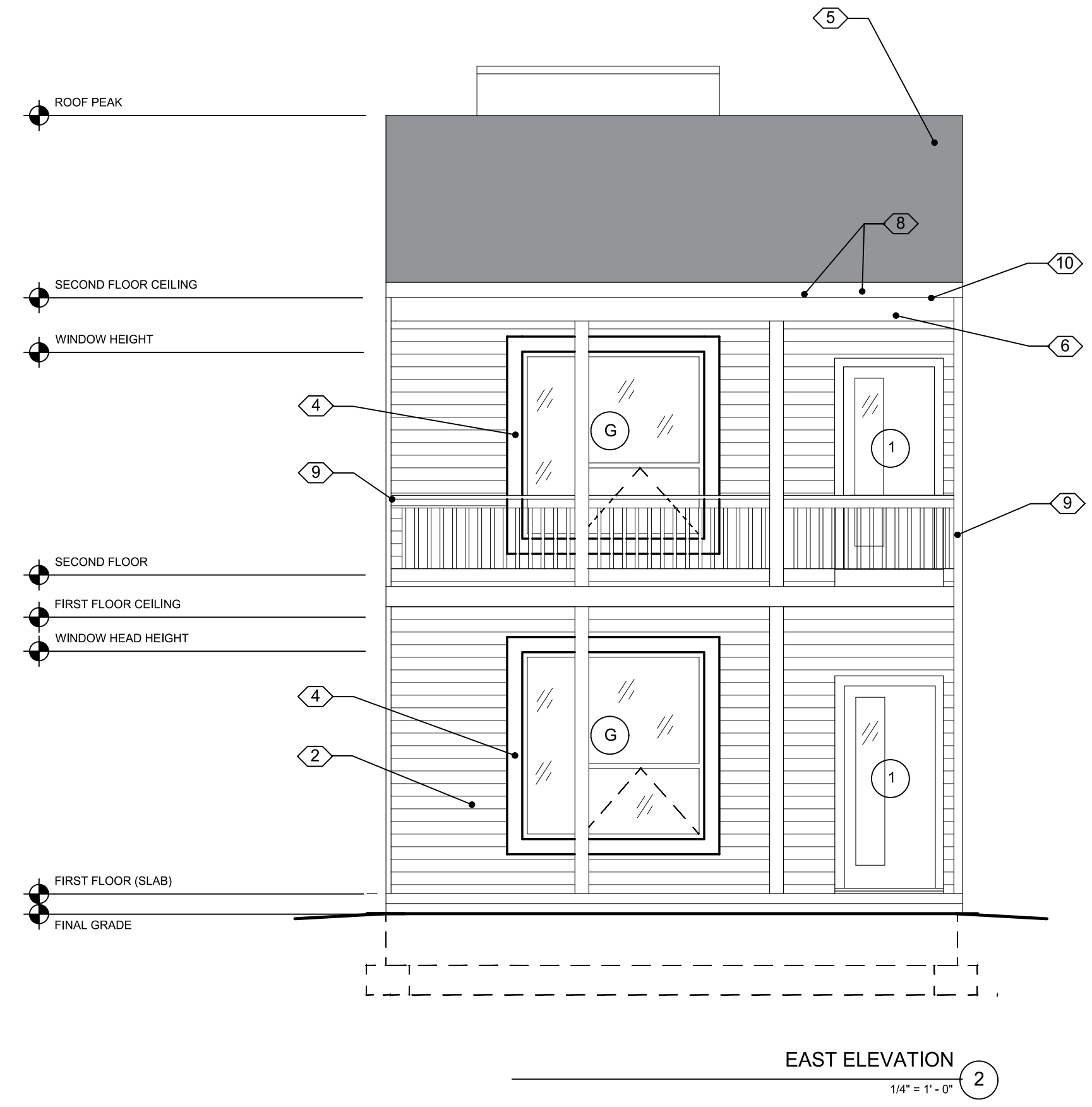
REVISIONS

N/A
N/A
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N/A
N/A

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DATE JULY 15, 2020

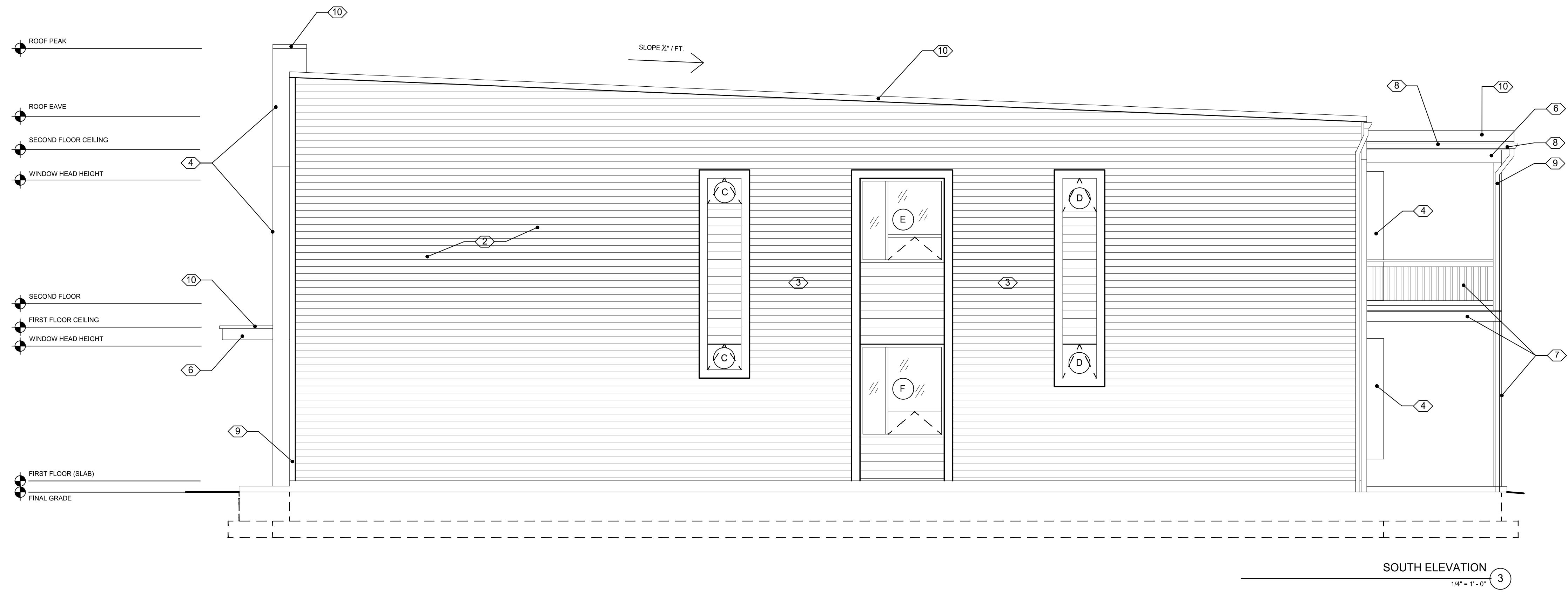


EXTERIOR FINISHES

- ① PARGED FOUNDATION - GREY
- ② HARDIE PLANK SIDING & TRIM - CHARCOAL GREY
- ③ HARDIE PLANK SIDING - BLACK
- ④ HARDER OR COMP. TRIM WINDOW FINIS - BLACK
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- ⑦ PRESSURE TREATED WOOD RAILINGS, DECK, & COLUMNS
- ⑧ GUTTER - ALUM.
- ⑨ DOWNSPOUT - ALUM.
- ⑩ METAL COPING CAP - BLACK

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- ① 3'0" X 6'8" FIBERGLASS, FLUSH, VERTICAL GLASS ENTRY DOOR W/ 16" TRANSOM, CLOSER, THRESHOLD, ENTRY LOCKSET
- ② 7'0" X 6'2" WINDOW SYSTEM WITH AWNING
- ③ 2'8" X 4'3" AWNING WINDOW
- ④ 1'6" X 2'0" AWNING WINDOW
- ⑤ 2'0" X 2'0" AWNING WINDOW
- ⑥ 5'0" X 5'0" WINDOW SYSTEM WITH AWNING
- ⑦ 5'6" X 5'0" WINDOW SYSTEM WITH AWNING
- ⑧ 6'2" X 6'0" WINDOW SYSTEM WITH AWNING
- ⑨ 5'0" X 2'0" PICTURE WINDOW



PROJECT: **NEW 2-STORY DUPLEX**
 1110 1/2 NORTH 30th STREET, RICHMOND VIRGINIA 23223
 OWNER: **EVOLVE DEVELOPMENT, LLC**
 3420 PUMP RD., STE. 169, RICHMOND, VIRGINIA

LEFT & RIGHT EXTERIOR ELEVATIONS
 MICHAEL PELLIS ARCHITECTURE
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 804.212.9024
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REVISIONS

	N/A
	N/A
	N/A
	N/A
	N/A
	N/A