



Property (location of work)

Property Address: _____ Current **Zoning**: _____
Historic District: _____

Application is submitted for: (check one)

- Alteration**
- Demolition**
- New Construction**

Project Description (attach additional sheets if needed):

Applicant/Contact Person: _____

Company: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: (____) _____

Email: _____

Billing Contact? Applicant Type (owner, architect, etc.):

Property Owner: _____

If Business Entity, name and title of authorized signee: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: (____) _____

Email: _____

Billing Contact?

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: _____ **Date:** _____

Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | alex.dandridge@rva.gov

Before You Submit

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: www.rva.gov/planning-development-review/commission-architectural-review.

Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.

Submission Requirements

Please submit applications to staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner signature required.
- Supporting documentation, as indicated on the [checklist](#), which can be found under the 'Application Information' tab on the website.
- Payment of application fee, if required. Payment of the fee must be received before the application will be scheduled. An invoice will be sent via the City's Online Permit Portal. Please see [fee schedule](#) available on the CAR website for additional information.

A complete application includes a signed application form, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in the City Code of Ordinances Sec. 30-930.6(b). The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

Meeting Information and Application Due Dates

- The Commission meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- Application hearings start at 4:00pm. Meetings are held in person at City Hall in the 5th floor conference room. Participation via Microsoft Teams is available. It is strongly recommended that at least one person, either the owner or applicant, attend the meeting in person.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit www.rva.gov/planning-development-review/commission-architectural-review or contact staff.
- Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.
- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.



December 3, 2025

Commission of Architectural Review
Alex Dandridge, Secretary
900 E. Broad St., Room 510
Richmond, VA 23219

Project Description

1111 W Franklin St is an existing 6,112SF (including basement and finished attic) building in the Monument Avenue Historic District, currently owned by Congregation Beth Ahaba and used as a museum and office space under an existing special use permit (Ord. No. 2017-073). Cmnwlth Homes LLC is under contract to purchase the building and use a new special use permit to convert it back to its original use as a detached single-family dwelling.

Our plans call for a sensitive renovation to restore the home to its former glory adhering to the Secretary of Interior's Standards for Rehabilitation for Historic Rehabilitation Tax Credits. Therefore, a majority of the work will occur in the interior. Exterior work will primarily consist of removing a non-historic passage connecting 1109 W Franklin St and 1111 W Franklin St, separating the front porches and stairs, replacing non-historic exterior doors with more appropriate ones and restoring most windows that were bricked in during a 1968 renovation with CAR approved windows. All new fences and railing will adhere to CAR guidelines.

These plans were submitted to the Commission for conceptual review at the November 25, 2025 meeting. The updated plans contain a simple metal fence design based on recommendations from the Staff Report. The ADU for 1111 W Franklin St has been moved into a separate application based on Staff recommendations.

1111 W Franklin St CAR Application

December 03, 2025

Existing Conditions Photographs

1111 W Franklin St
Richmond, VA 23220



Figure 1: Plan east front elevation along W Franklin St



Figure 2: Plan north side elevation seen from W Franklin St



Figure 3: Plan south side elevation from the rear of the building



Figure 4: Plan west rear elevation seen from the rear alley

1111 W Franklin St CAR Application

December 03, 2025

Existing Conditions Photographs

1111 W Franklin St
Richmond, VA 23220



Figure 5: Plan south side elevation seen from between 1109 and 1111 W Franklin st



Figure 6: Front Porch showing existing railing, stair, and paved porch to be reworked

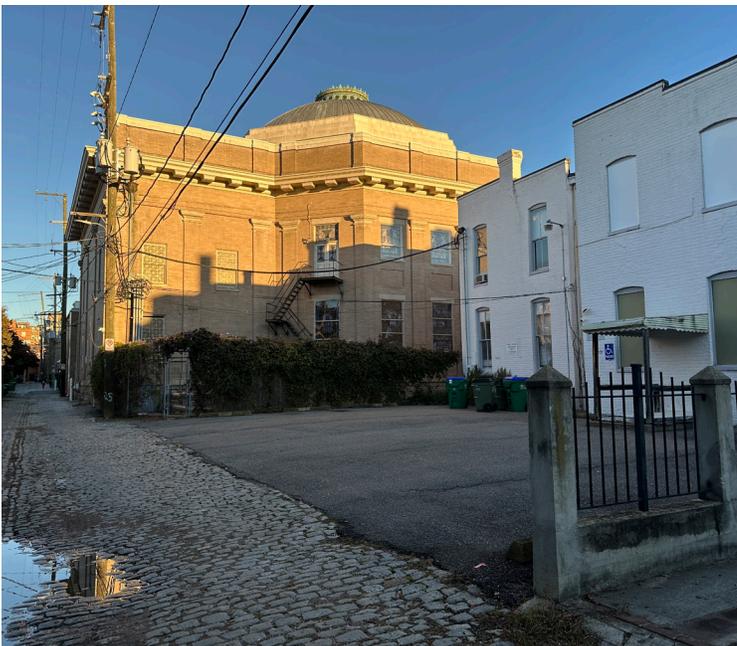


Figure 9: Proposed location of Garage and ADU seen from alleyway behind W Franklin St



Figure 10: Proposed location of Garage and ADU seen from alleyway behind W Franklin St

OWNER
 CMNWALTH HOMES LLC
 STEVE SANDERSON
 1415 PARK AVE
 RICHMOND, VA 23220
 steve@cmnwalth.live

ARCHITECT
 FULTZ & SINGH ARCHITECTS
 1212 WESTOVER HILLS BLVD
 RICHMOND, VA 23225
 amr@fultzsingharchitects.com
 jason@fultzsingharchitects.com

DRAWING LIST - ARCHITECTURAL		12/03/2025 CAS SET
SHEET	DRAWING TITLE	
CS.00	COVER SHEET	●
AS.00	SITE SURVEY	●
AS.01	CURRENT SITE PLAN	●
AS.02	PROPOSED SITE PLAN	●
EX.01	CURRENT FLOOR PLANS	●
EX.02	CURRENT FLOOR PLANS	●
AD.01	DEMOLITION PLANS	●
AD.02	DEMOLITION PLANS	●
A1.01	PROPOSED FLOOR PLANS	●
A1.02	PROPOSED FLOOR PLANS	●
A2.01	CURRENT BUILDING ELEVATIONS	●
A2.02	PROPOSED BUILDING ELEVATIONS	●



fultzsingharchitects.com
 1212 Westover Hills Blvd
 Richmond, VA 23225

1111 W FRANKLIN ST RENOVATION

1111 W FRANKLIN ST
 RICHMOND, VA 23220

1111 W FRANKLIN ST RENOVATION

CAR APPLICATION SET - 12/03/2025

1111 W FRANKLIN ST, RICHMOND, VA 23220

PRELIMINARY
 NOT FOR CONSTRUCTION

DRAWING SYMBOL LEGEND

	EXTERIOR ELEVATION CALLOUT		DOOR EGRESS TAG ACTUAL DOOR WIDTH INCHES PER OCCUPANT ACTUAL OCCUPANT NUMBER OCCUPANT CAPACITY OF OPENING		LEVEL / ELEVATION REFERENCE ELE: 'XX' - 'XX'		WINDOW / OPENING TAG - REFER TO OPENING SCHEDULE FOR ADDITIONAL INFORMATION	'XX'/'YY'	DRAWING MATCHLINE
	SECTION CALLOUT		PROJECT NORTH		WALLTYPE INDICATION		FIXTURE / EQUIPMENT TAG - REFER TO A6 SERIES SCHEDULES FOR ADDITIONAL INFORMATION - SEE A10 DRAWINGS FOR LIGHTING FIXTURES	(S)	SMOKE DETECTOR - INTEGRATED INTO BUILDING FIRE ALARM SYSTEM WHERE PROVIDED
	INTERIOR ELEVATION CALLOUT *LETTER DESIGNATES DRAWING NUMBER **'XX' DESIGNATES SHEET NUMBER		GEOMETRY WORKPOINT		EGRESS PATH		DOOR TAG		
	ENLARGED PLAN / SECTION CALLOUT		DRAWING NOTE		WALL RATING INDICATION DASH INDICATES RATING IN NUMBER OF HOURS (DENSE DASH INDICATES 30MIN WALL)		ROOM TAG		
	DETAIL CALLOUT		REVISION NOTE		CODE COMPLIANT ILLUMINATED EXIT SIGN INDICATOR DIRECTION (IF APPLICABLE)		MATERIAL TAG - REFER TO A0.00 FOR ADDITIONAL INFORMATION		
	GRIDLINE REFERENCE		DEMOLITION NOTE		LINEAR SHEET MATERIAL GRAIN DIRECTION INDICATION		SURFACE STEP / ELEVATION CHANGE		

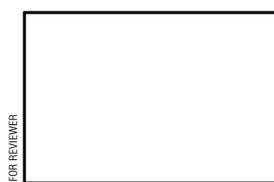
VICINITY MAP

NOT TO SCALE

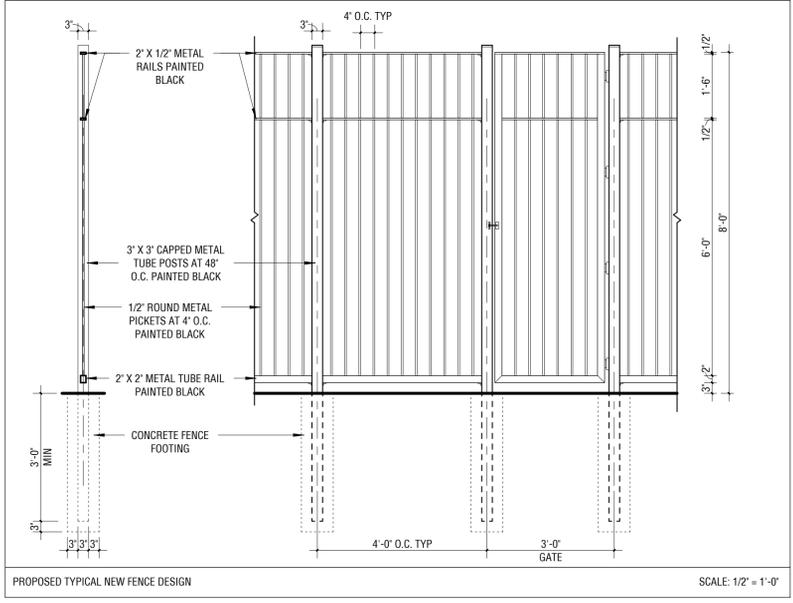
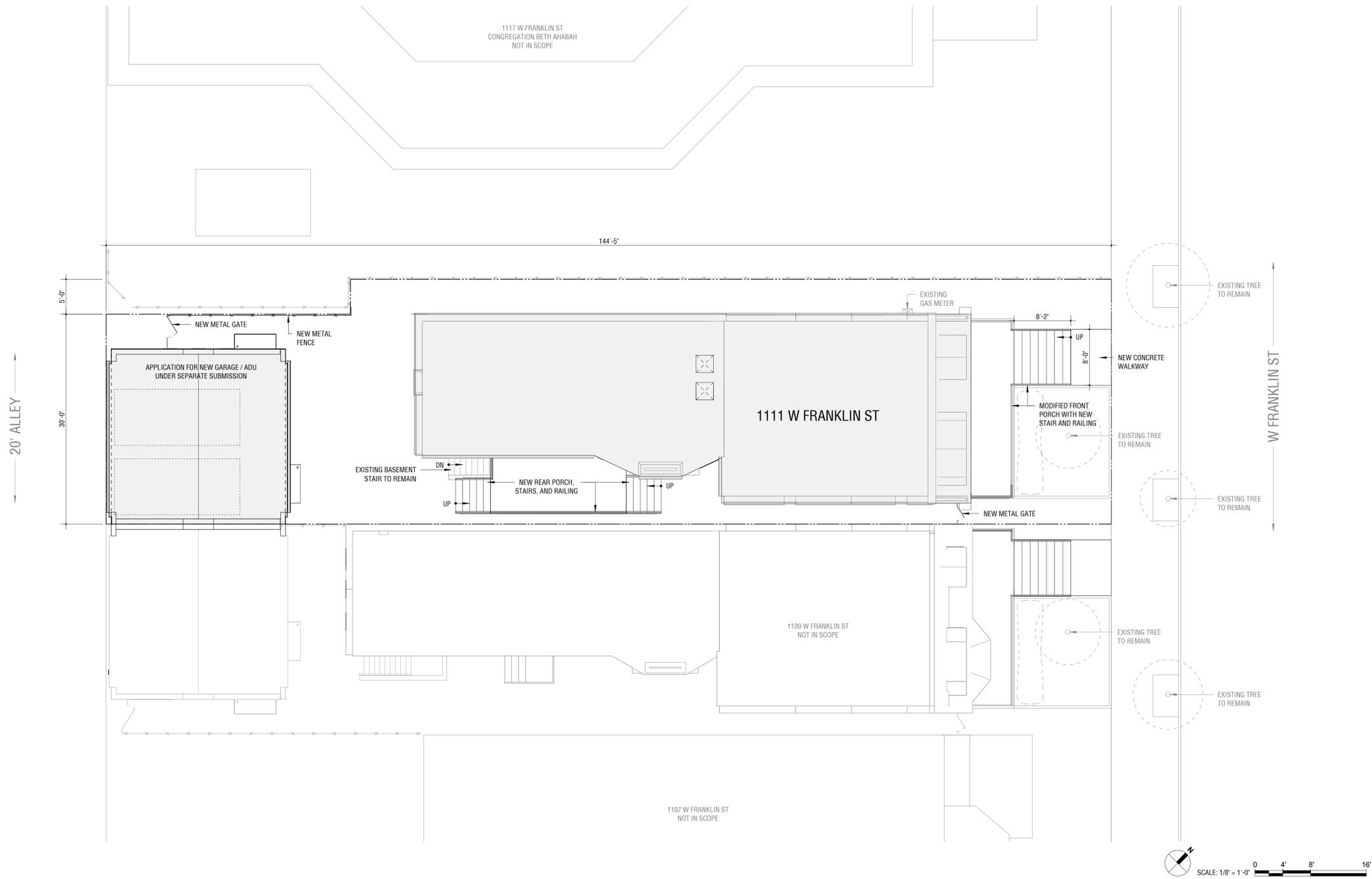
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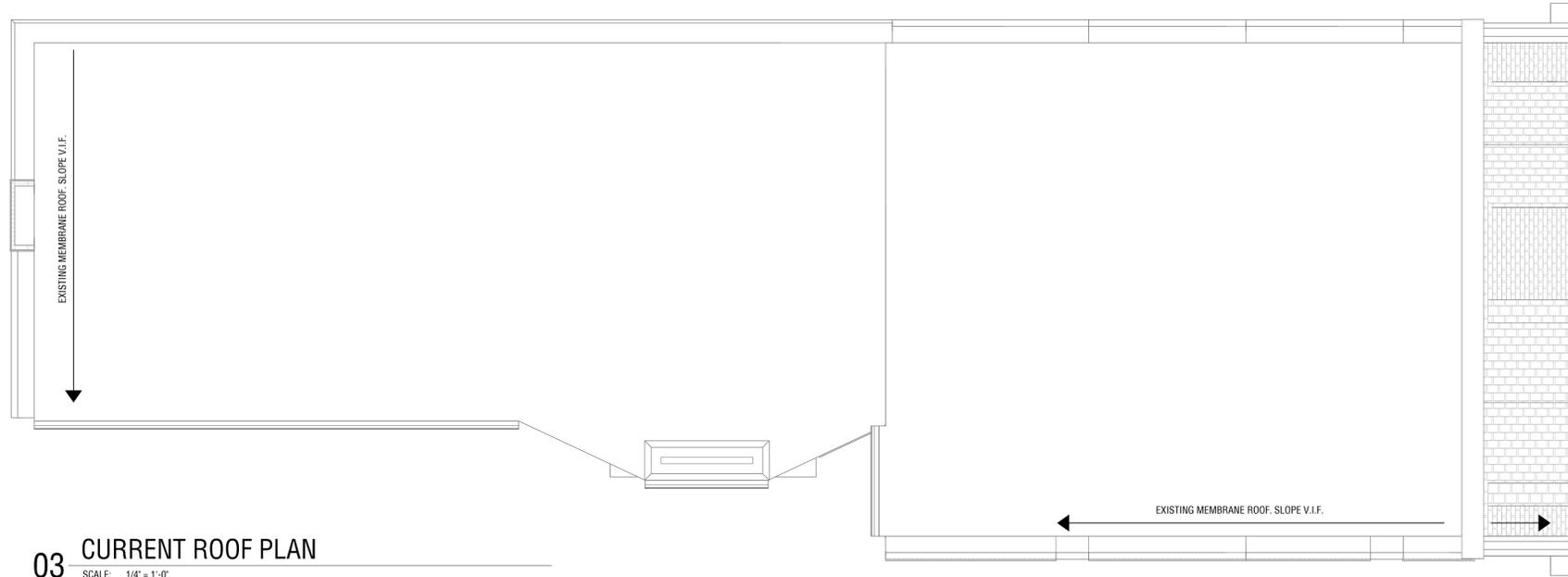


FOR REVIEWER

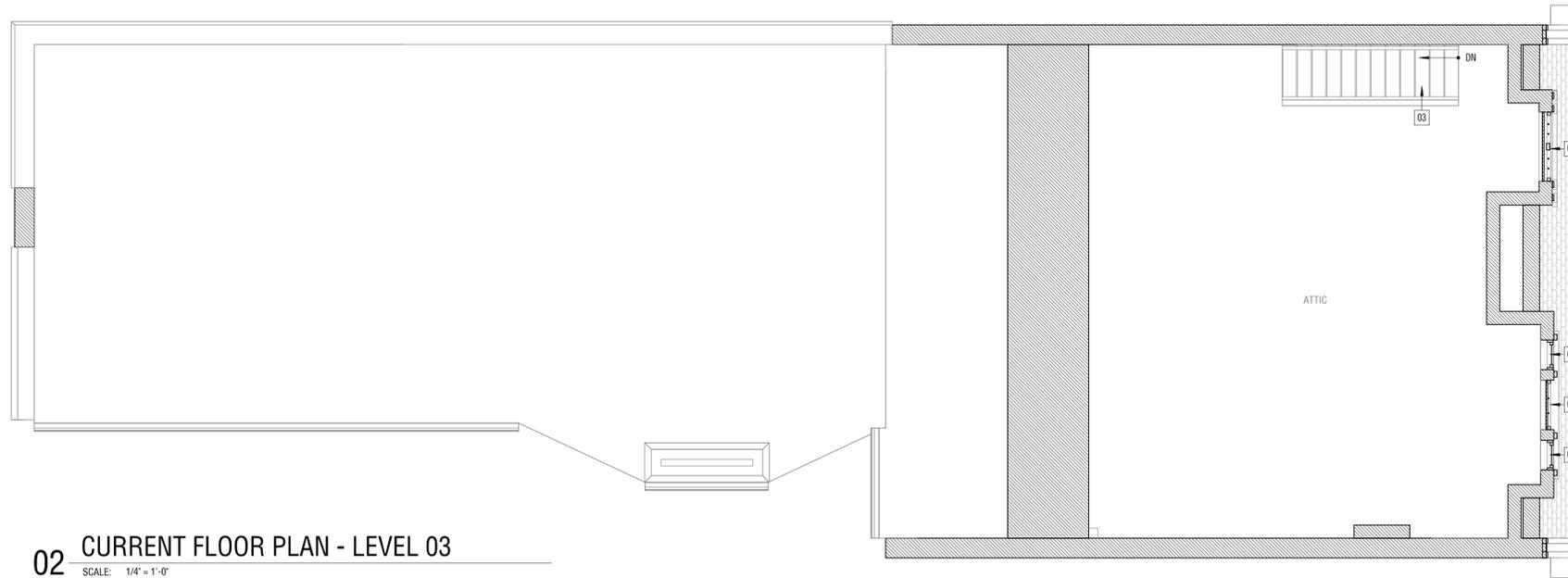


JOB NUMBER / 0210	ISSUE DATE / 12/03/2025	SCALE / 12" = 1'-0"	DRAWN / CHECKED /	# REVISION		DATE
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COVER SHEET						
SHEET / CS.00						

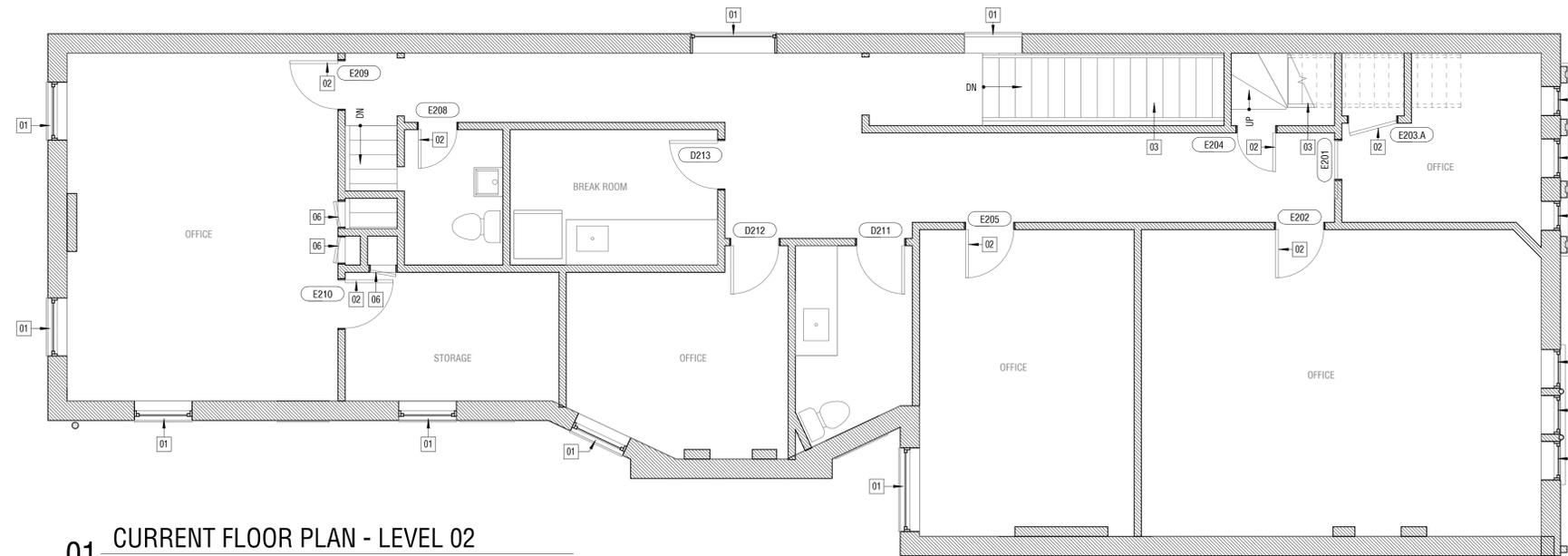




03 CURRENT ROOF PLAN
SCALE: 1/4" = 1'-0"



02 CURRENT FLOOR PLAN - LEVEL 03
SCALE: 1/4" = 1'-0"



01 CURRENT FLOOR PLAN - LEVEL 02
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

EXISTING DOOR SCHEDULE

DOOR NO.	DOOR		THICKNESS	MATERIAL	FINISH	REMARKS	
	INT / EXT	SIZE					
E000-01	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN
D100-04	Exterior	3'-3 1/4"	8'-0"	2"	ALU/GLS	MFR	DEMOLISH
D100-05	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
D100-06	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
D001	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D002	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D003	Interior	5'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D004	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D005	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D006	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D007	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D008	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D009	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D111	Interior	4'-0"	7'-0"	1 3/4"	WD	PT	DEMOLISH
D112	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D113	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D115	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D116	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D117	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D118	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E108	Interior	2'-6"	6'-8"	1 3/8"	WD	PT	EXISTING TO REMAIN
E109	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E114	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
D211	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D212	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D213	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E201	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	FIN HISTORIC DOOR SHUT
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E203.A	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E204	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
Grand total: 34							

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING MIRROR AND TRIM TO REMAIN
- 05 EXISTING FIREPLACE TO REMAIN
- 06 EXISTING CUBBY DOOR AND TRIM TO REMAIN
- 07 EXISTING PORTION OF HANDRAIL TO REMAIN
- 08 EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. REPAIR / REPLACE AS NEEDED

PRELIMINARY
NOT FOR CONSTRUCTION

#	REVISION		DATE
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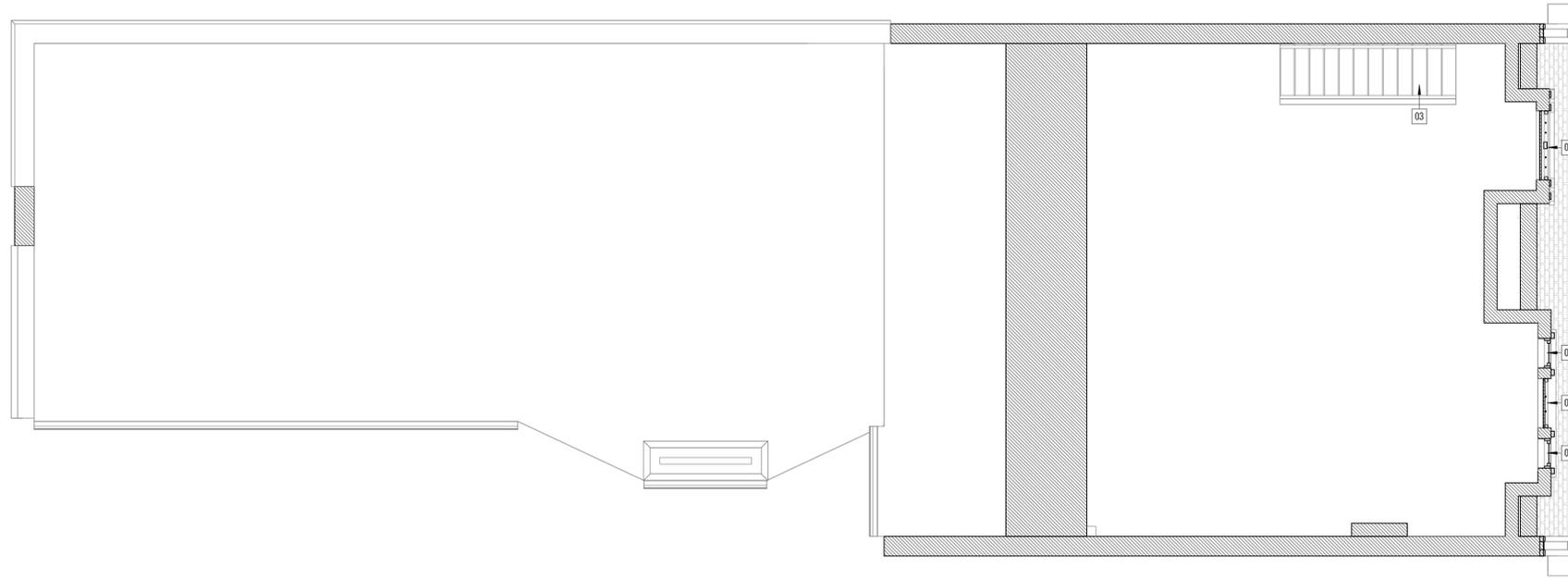
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12/03/2025

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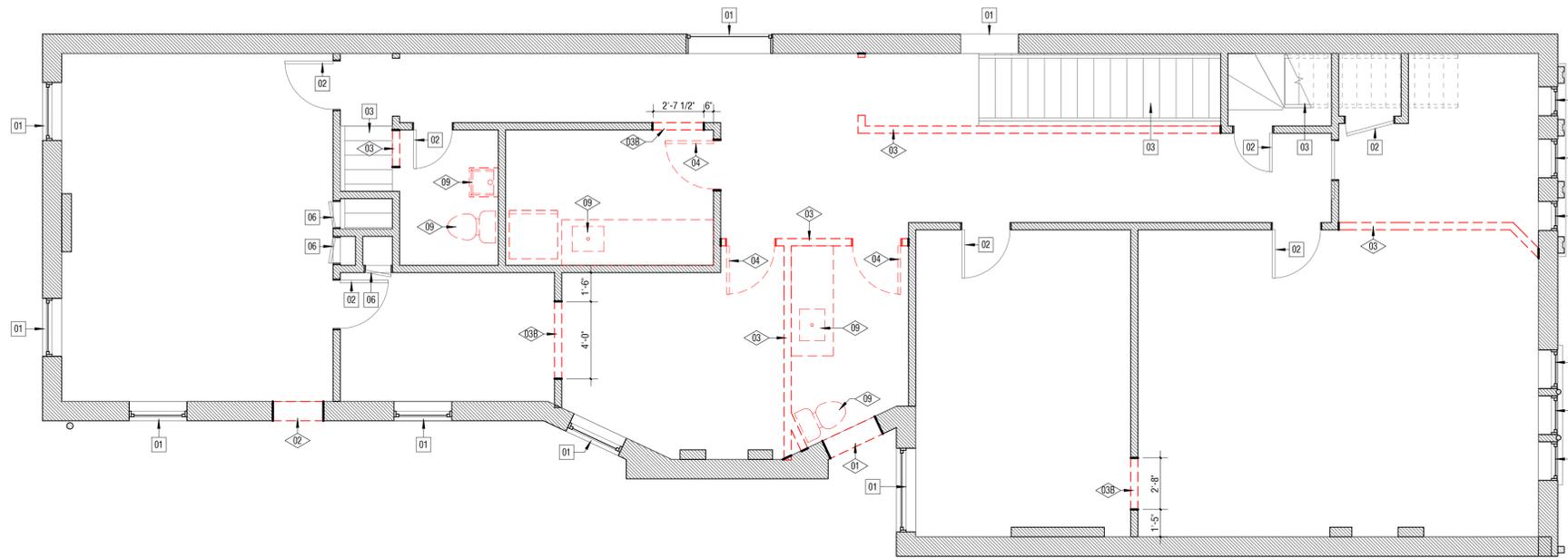
JOB NUMBER /
0210

SHEET /
EX.02

CURRENT FLOOR PLANS



02 DEMOLITION PLAN - LEVEL 03
SCALE: 1/4" = 1'-0"



01 DEMOLITION PLAN - LEVEL 02
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

-  EXISTING TO BE DEMOLISHED
-  EXISTING TO REMAIN
-  ADJACENT PROPERTY NOT IN SCOPE

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING MIRROR AND TRIM TO REMAIN
- 05 EXISTING FIREPLACE TO REMAIN
- 06 EXISTING CUBBY DOOR AND TRIM TO REMAIN
- 07 EXISTING PORTION OF HANDRAIL TO REMAIN
- 08 EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. REPAIR / REPLACE AS NEEDED

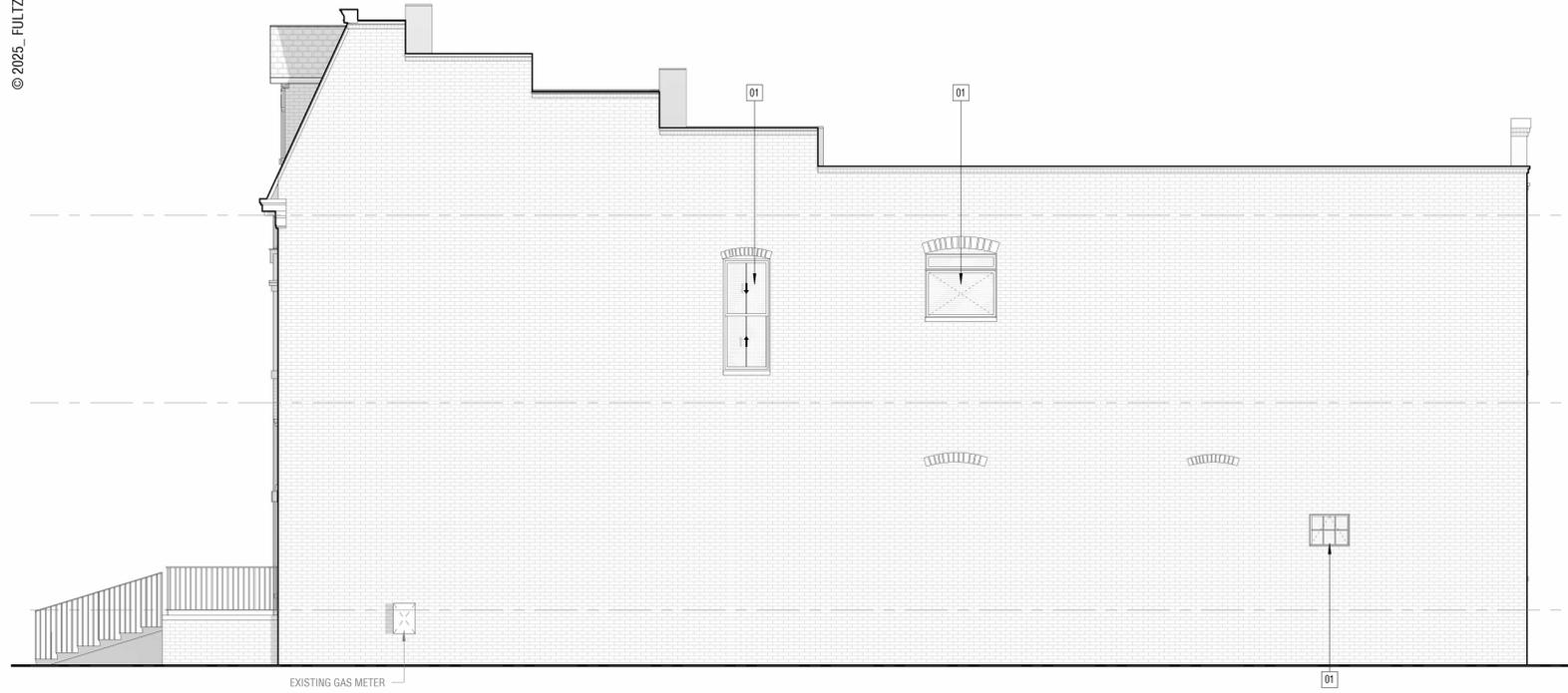
DEMOLITION NOTES

- 01 REOPEN BRICKED IN OPENING FOR NEW WINDOW
- 02 REOPEN BRICKED IN OPENING FOR NEW PINNED DOOR WITH GLAZING.
- 03 EXISTING TRIM TO REMAIN
- 03 REMOVE INDICATED PORTION OF WALL
- 03B REMOVE INDICATED PORTION OF WALL FOR NEW DOOR OPENING
- 03C REMOVE INDICATED PORTION OF WALL FOR NEW CASED OPENING
- 04 REMOVE DOOR
- 05 REMOVE STOREFRONT DOOR AND SIDELIGHT
- 07 REMOVE WALLS, FLOOR, FOUNDATIONS, CEILING AND ROOF OF THE CONNECTING AREA BETWEEN 1109 AND 1111 W FRANKLIN IN ITS ENTIRETY
- 08 REMOVE CASEWORK
- 09 REMOVE PLUMBING FIXTURE
- 10 REMOVE EXTERIOR STAIR, RAMP, PORCH AND RAILING
- 10A REMOVE EXTERIOR STAIR
- 10B REMOVE PORTION OF EXTERIOR RAILING
- 10C REMOVE PORTION OF EXTERIOR PORCH
- 11 REMOVE HVAC AND ASSOCIATED ELECTRIC, REFRIGERANT LINES, AND DUCTWORK. MECHANICAL SYSTEMS TO BE REWORKED IN ENTIRETY
- 12 REMOVE PLUMBING EQUIPMENT
- 13 REMOVE METAL AWNING AND SUPPORTS

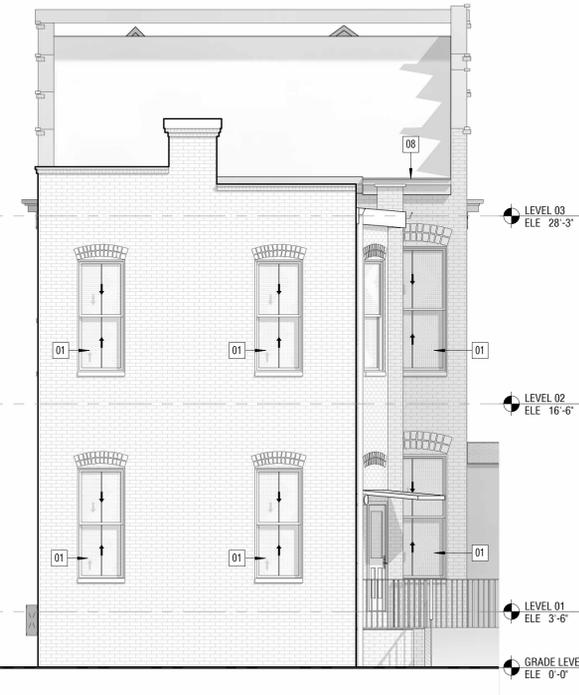


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DEMOLITION PLANS



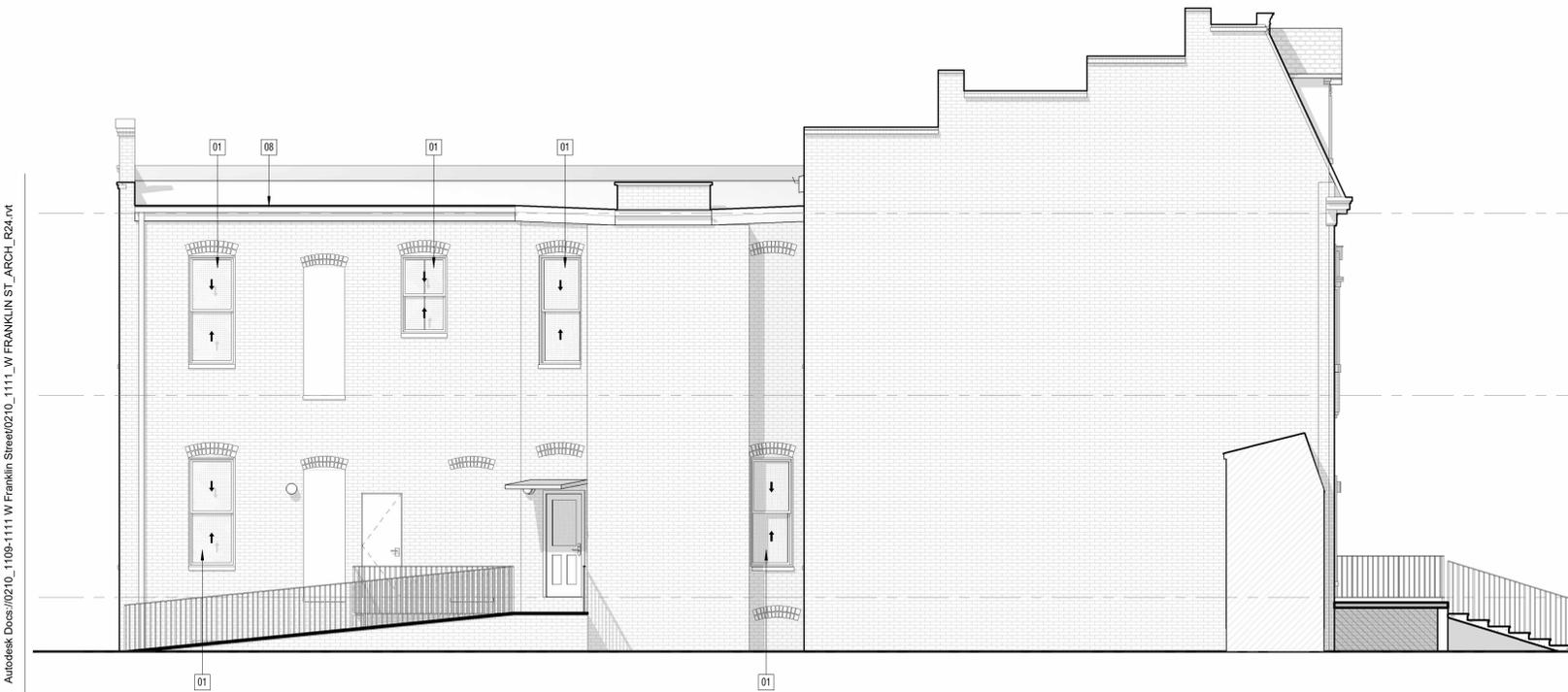
04 BUILDING ELEVATION - NORTH
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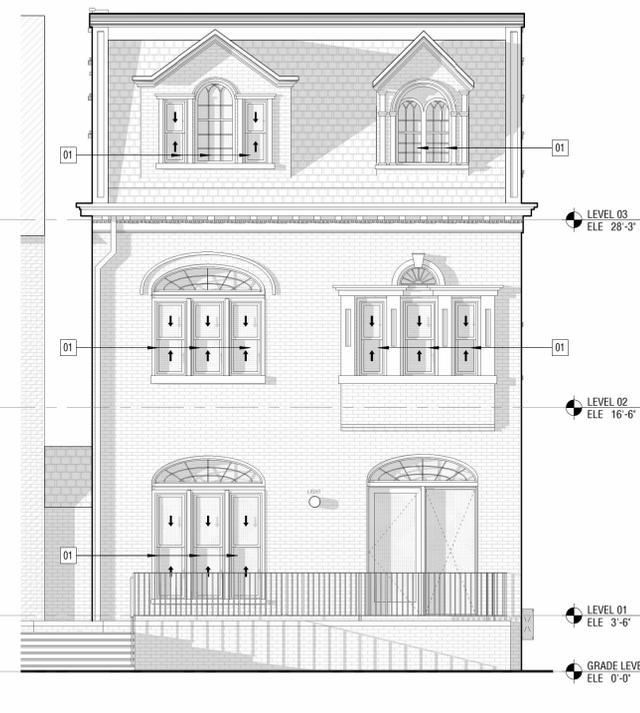
03 BUILDING ELEVATION - WEST
 SCALE: 3/16" = 1'-0"

ELEVATION LEGEND

	EXISTING PAINTED BRICK
	GLASS
	EXISTING SLATE ROOF



02 BUILDING ELEVATION - SOUTH
 SCALE: 3/16" = 1'-0"



01 BUILDING ELEVATION - EAST
 SCALE: 3/16" = 1'-0"

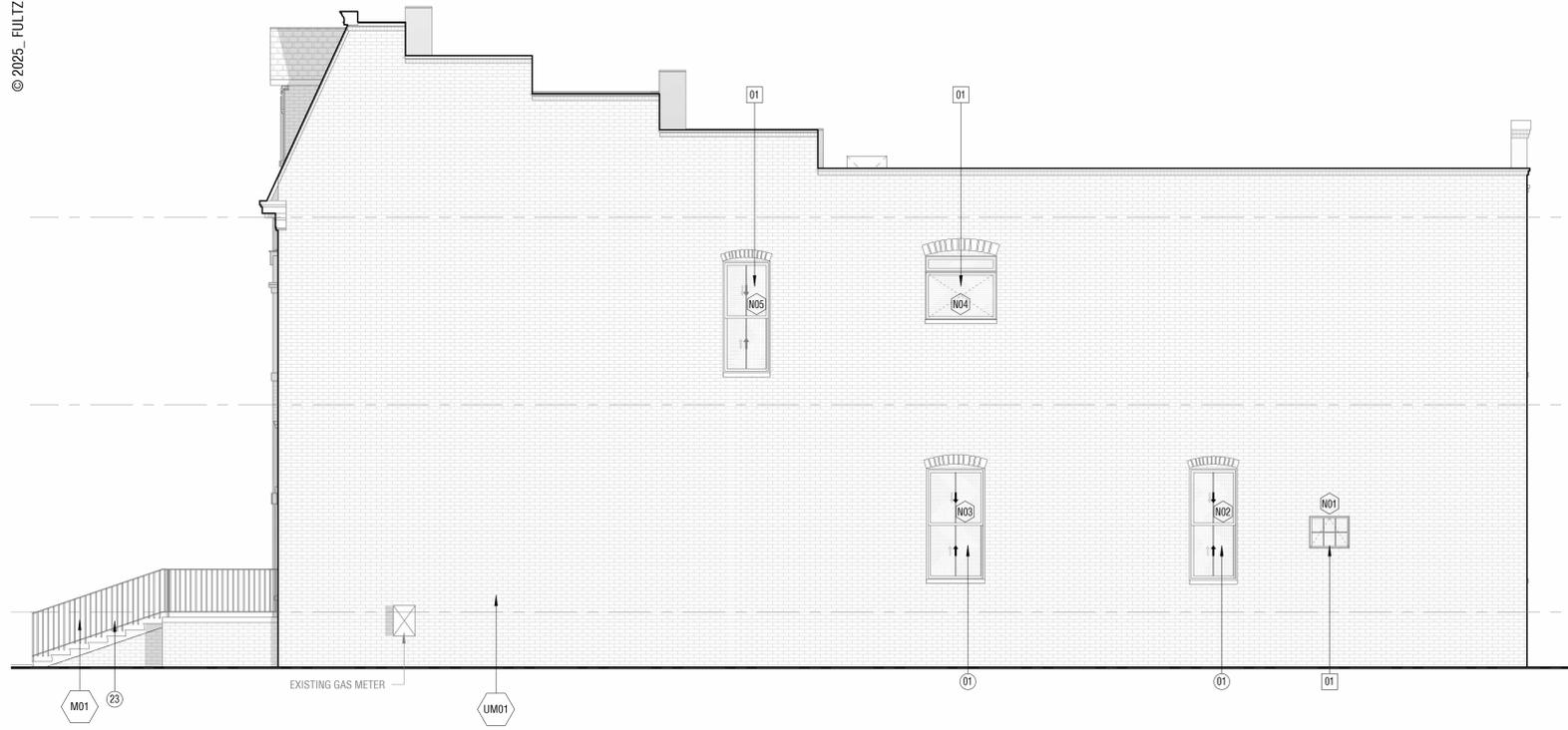
EXISTING NOTES	
01	EXISTING WINDOW TO REMAIN
02	EXISTING DOOR TO REMAIN
03	EXISTING STAIR TO REMAIN
04	EXISTING MIRROR AND TRIM TO REMAIN
05	EXISTING FIREPLACE TO REMAIN
06	EXISTING CUBBY DOOR AND TRIM TO REMAIN
07	EXISTING PORTION OF HANDRAIL TO REMAIN. REPAIR / REPLACE AS NEEDED
08	EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. REPAIR / REPLACE AS NEEDED
NEW CONSTRUCTION NOTES	
01	NEW WINDOW IN BRICKED IN OPENING
02	NEW WINDOW IN EXISTING DOOR OPENING
03	NEW DOOR IN BRICKED IN OPENING
04	NEW WOOD FRAMED STAIR AND HANDRAIL
05	ROUGH IN FOR FUTURE PLUMBING FIXTURE
06	INFILL EXISTING OPENING WITH BRICK AND MATCH ADJACENT WALL FINISH
07	NEW PLUMBING FIXTURE
08	NEW FLOOR DRAIN
09	NEW DOOR OPENING
10	EXISTING FRONT PORCH TO BE ALTERED WITH NEW STAIR AND HANDRAIL TO MATCH EXISTING
11	FURR OUT PORTION OF WALL
12	INFILL EXISTING OPENING WITH BRICK AND MATCH ADJACENT WALL FINISH
13	PIN EXISTING DOOR SHUT AND FINISH INTERIOR FACE TO MATCH ADJACENT WALLS
14	NEW WOOD RAILING
15	FLOOR OVER EXISTING STAIR TO LEVEL 01. LEAVE STAIR IN PLACE
16	INFILL EXISTING OPENING WITH BRICK WHERE EXISTING DOOR WAS REMOVED. INSET BRICK TO SHOW PREVIOUS OPENING
17	NEW CASEWORK BUILT OVER FLOORED OVER STAIR
18	NEW FRONT PORCH STAIR AND HANDRAILS
19	NEW CASEWORK
20	NEW REAR PORCH, STAIRS, AND RAILINGS
21	NEW METAL GATE
22	NEW PINNED DOOR WITH GLAZING IN HISTORIC DOOR OPENING. HISTORIC TRIM TO REMAIN
23	NEW PORTION OF HANDRAIL TO MATCH EXISTING
24	NEW PAINTED SOLID WOOD FRONT DOOR AND SIDELIGHTS

PRELIMINARY
 NOT FOR CONSTRUCTION

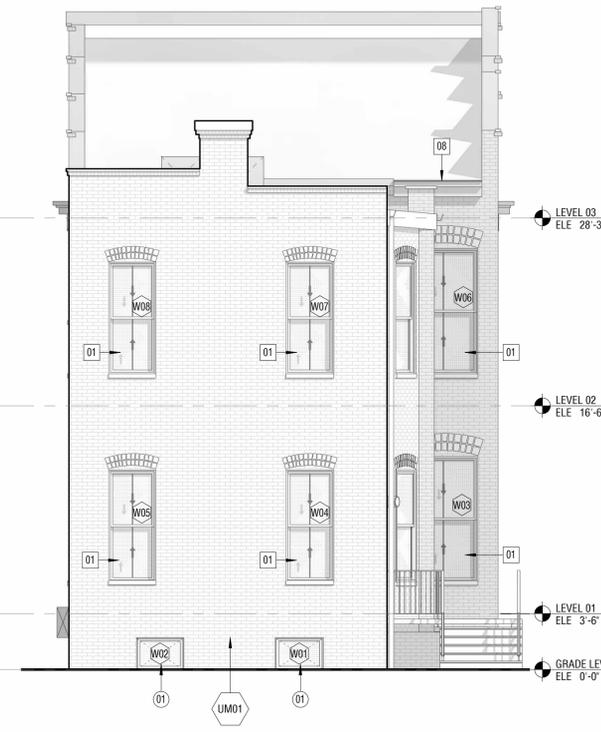
JOB NUMBER / SHEET /	ISSUE DATE /	SCALE /	DRAWN /	REVISION		DATE
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0210	12/03/2025	3/16" = 1'-0"				

CURRENT BUILDING ELEVATIONS

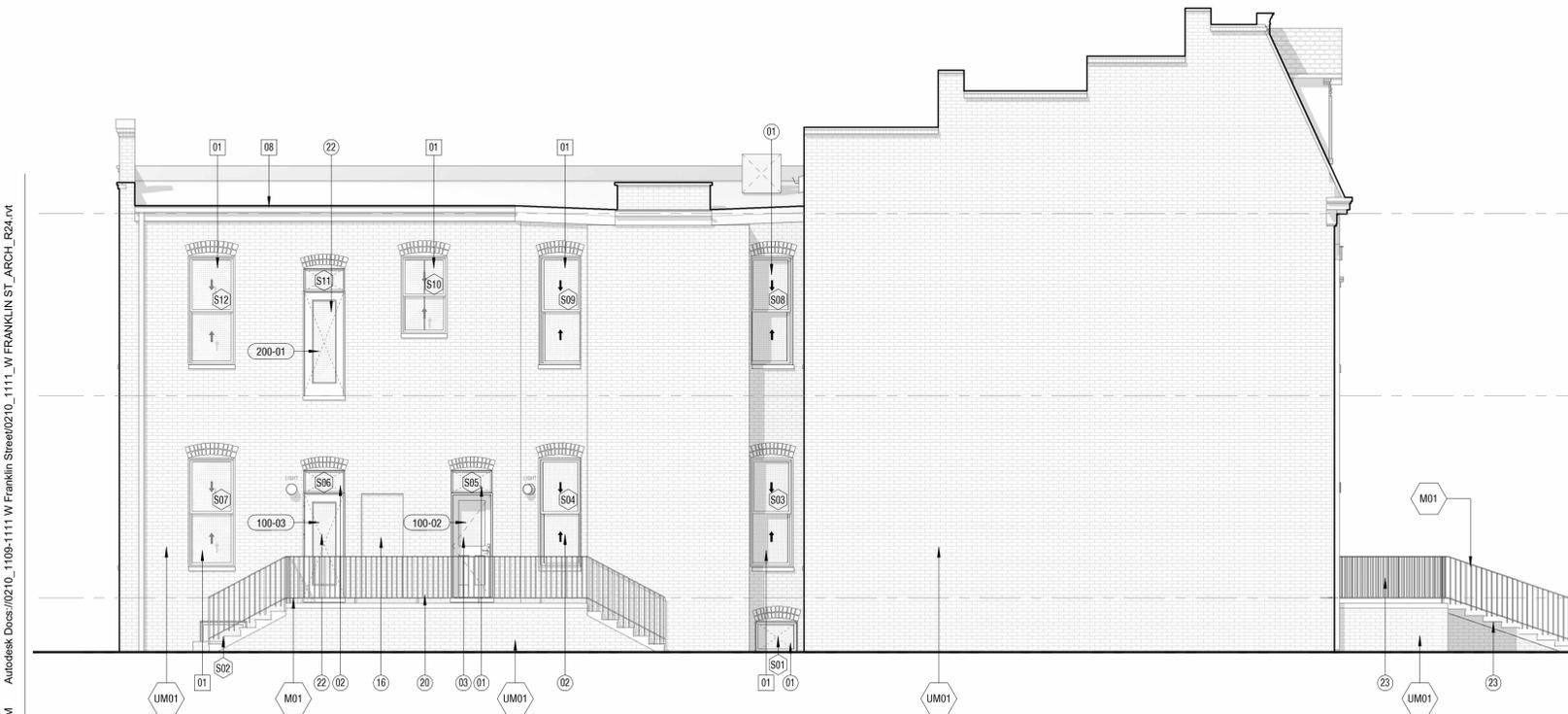
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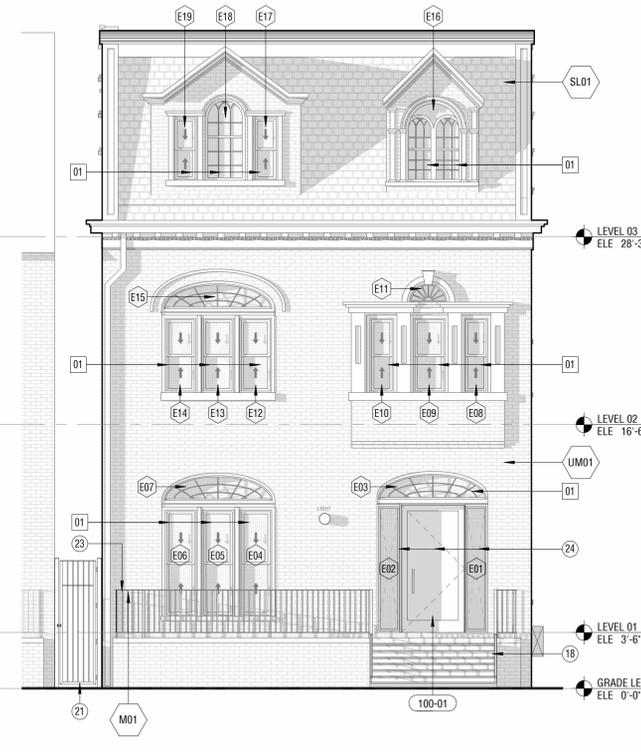
04 BUILDING ELEVATION - NORTH
 SCALE: 3/16" = 1'-0"



03 BUILDING ELEVATION - WEST
 SCALE: 3/16" = 1'-0"



02 BUILDING ELEVATION - SOUTH
 SCALE: 3/16" = 1'-0"



01 BUILDING ELEVATION - EAST
 SCALE: 3/16" = 1'-0"

ELEVATION LEGEND

- EXISTING PAINTED BRICK
- GLASS
- EXISTING SLATE ROOF

EXTERIOR MATERIALS

- EXISTING PAINTED BRICK TO BE REPAINTED OFF-WHITE AND NEW BRICK TO BE PAINTED TO MATCH EXISTING
- PAINTED STEEL HANDRAIL TO MATCH EXISTING
- EXISTING PAINTED WOOD TRIM
- EXISTING SLATE ROOF

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	REMARKS
E01	8'-0"	1'-6"	
E02	8'-0"	1'-6"	
E03			EXISTING ARCHED WINDOW
E04	6'-8"	2'-0"	EXISTING
E05	6'-8"	2'-0"	EXISTING
E06	6'-8"	2'-0"	EXISTING
E07			EXISTING ARCHED WINDOW
E08	4'-8"	1'-6"	EXISTING
E09	4'-8"	2'-0"	EXISTING
E10	4'-8"	1'-6"	EXISTING
E11			EXISTING ARCHED WINDOW
E12	4'-8"	2'-0"	EXISTING
E13	4'-8"	2'-0"	EXISTING
E14	4'-8"	2'-0"	EXISTING
E15			EXISTING ARCHED WINDOW
E16			EXISTING ARCHED WINDOW
E17	4'-0"	1'-6"	EXISTING
E18			EXISTING ARCHED WINDOW
E19	4'-0"	1'-6"	EXISTING
N01	2'-0"	2'-6"	EXISTING
N02	7'-0"	3'-0"	EXISTING
N03	7'-0"	3'-8"	
N04	3'-0"	4'-6"	EXISTING
N05	7'-0"	3'-0"	EXISTING
S01	2'-0"	3'-0"	
S02	2'-0"	3'-0"	
S03	7'-0"	3'-0"	EXISTING
S04	3'-0"	3'-0"	
S05	1'-6"	2'-8"	
S06	1'-6"	2'-8"	
S07	7'-0"	3'-0"	EXISTING
S08	7'-0"	3'-0"	
S09	7'-0"	3'-0"	EXISTING
S10	5'-0"	3'-0"	EXISTING
S11	1'-6"	2'-8"	
S12	7'-0"	3'-0"	EXISTING
W01	2'-0"	3'-0"	EXISTING
W02	2'-0"	3'-0"	
W03	7'-10"	4'-4"	EXISTING
W04	7'-0"	3'-0"	EXISTING
W05	7'-0"	3'-0"	EXISTING
W06	7'-10"	4'-4"	EXISTING
W07	7'-0"	3'-0"	EXISTING
W08	7'-0"	3'-0"	EXISTING

Grand total: 44
 NOTE: ALL NEW WINDOWS TO BE ALUMINUM CLAD WOOD

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING MIRROR AND TRIM TO REMAIN
- 05 EXISTING FIREPLACE TO REMAIN
- 06 EXISTING CUBBY DOOR AND TRIM TO REMAIN
- 07 EXISTING PORTION OF HANDRAIL TO REMAIN
- 08 EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. REPAIR / REPLACE AS NEEDED

NEW CONSTRUCTION NOTES

- 01 NEW WINDOW IN BRICKED IN OPENING
- 02 NEW WINDOW IN EXISTING DOOR OPENING
- 03 NEW DOOR IN BRICKED IN OPENING
- 04 NEW WOOD FRAMED STAIR AND HANDRAIL
- 05 ROUGH IN FOR FUTURE PLUMBING FIXTURE
- 06 INFILL EXISTING OPENING WITH BRICK AND MATCH ADJACENT WALL FINISH
- 07 NEW PLUMBING FIXTURE
- 08 NEW FLOOR DRAIN
- 09 NEW DOOR OPENING
- 10 EXISTING FRONT PORCH TO BE ALTERED WITH NEW STAIR AND HANDRAIL TO MATCH EXISTING
- 11 FURR OUT PORTION OF WALL
- 12 INFILL EXISTING OPENING WITH BRICK AND MATCH ADJACENT WALL FINISH
- 13 PIN EXISTING DOOR SHUT AND FINISH INTERIOR FACE TO MATCH ADJACENT WALLS
- 14 NEW WOOD RAILING
- 15 FLOOR OVER EXISTING STAIR TO LEVEL 01. LEAVE STAIR IN PLACE
- 16 INFILL EXISTING OPENING WITH BRICK WHERE EXISTING DOOR WAS REMOVED. INSET BRICK TO SHOW PREVIOUS OPENING
- 17 NEW CASEWORK BUILT OVER FLOORED OVER STAIR
- 18 NEW FRONT PORCH STAIR AND HANDRAILS
- 19 NEW CASEWORK
- 20 NEW REAR PORCH, STAIRS, AND RAILINGS
- 21 NEW METAL GATE
- 22 NEW PINNED DOOR WITH GLAZING IN HISTORIC DOOR OPENING. HISTORIC TRIM TO REMAIN
- 23 NEW PORTION OF HANDRAIL TO MATCH EXISTING
- 24 NEW PAINTED SOLID WOOD FRONT DOOR AND SIDELIGHTS

PRELIMINARY
 NOT FOR CONSTRUCTION

#	REVISION	DATE

JOB NUMBER /	0210	SCALE /	3/16" = 1'-0"	PROPOSED BUILDING ELEVATIONS
ISSUE DATE /	12/03/2025	DRAWN /		
SHEET /	A2.02	CHECKED /		PROPOSED BUILDING ELEVATIONS