



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 418 N 23rd Street
Historic district Church Hill North

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Marion Cake
Company Project:HOMES
Mailing Address 88 Carnation Street
Richmond, Virginia 23225

Phone 804-233-0911
Email marion.cake@projecthomes.org
Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Name _____
Mailing Address _____

Company _____
Phone _____
Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
Project Type: Alteration Demolition

New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner _____ Date _____

Description of Changes to Applications for Certificates of Appropriateness:

807/809 North 24th Street

The revised plans show the correct window sizes with fenestration realignment requested by Chairman Klaus. The paintable PVC window sample was dropped left with CAR staff on December 20, 2019. The cornice brackets have been aligned per Mr. Hendricks' request.

418 North 23rd Street

The structural plans have been re-engineered to accommodate Chairman Klaus' request that the twin windows be removed from the front elevation and replaced with aligned and centered individual windows. The current plans and elevation show the changes. The front porch has been inset to prevent the porch gutter from overhanging past the house per Mr. Brewer's request. The downspouts will be installed so as not to block the porch column per Chairman Klaus' request. The decorative brackets have been deleted per Mr. Wheeler's request.

new one family residence
418 N. 23RD STREET

RICHMOND, VIRGINIA
PREPARED FOR PROJECT:HOMES



414

418

420

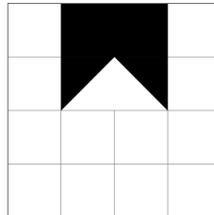
NORTH 23RD STREET

STREET ELEVATION

NEW SINGLE FAMILY RESIDENCE

418 NORTH 23RD STREET

RICHMOND, VIRGINIA



DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948

LIST OF DRAWINGS

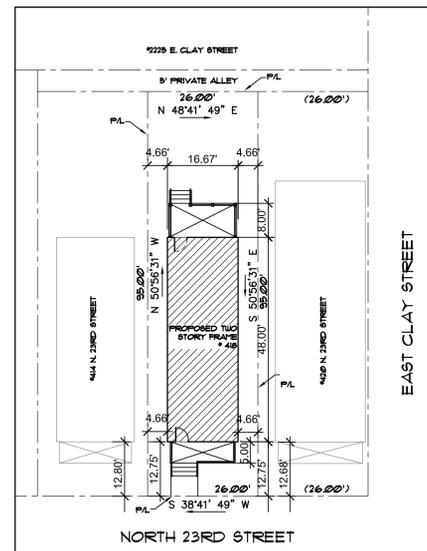
NO.	TITLE
A-001	COVER SHEET/BUILDING DATA
A-101	FOUNDATION / FRAMING PLAN FIRST FLOOR PLAN
A-102	2ND FLOOR PLAN SECOND FLOOR / ROOF FRAMING STRUCTURAL NOTES
A-103	BRACED WALL PANEL DIAGRAMS / DETAIL
A-201	BUILDING ELEVATIONS / SCHEDULES
A-202	BUILDING ELEVATIONS
A-301	WALL SECTIONS / U.L. DESIGN
E-101	ELECTRICAL POWER AND LIGHTING PLANS

BUILDING DATA - 418 N. 23RD STREET

SCOPE OF WORK:	NEW TWO-STORY, DETACHED, SINGLE-FAMILY DWELLING.
APPLICABLE CODES:	2012 VIRGINIA RESIDENTIAL CODE, PART 1 VA USBC
ZONING DISTRICT:	R-8 (URBAN RESIDENTIAL DISTRICT)
SETBACKS - FRONT:	< 10 FEET, > 18 FEET
SIDE:	3 FEET
REAR:	5 FEET
CONSTRUCTION TYPE:	VB (WOOD FRAME, UNPROTECTED)
USE GROUP:	R-3, SINGLE FAMILY RESIDENCE
BUILDING AREAS: FIRST FLOOR	1ST FLOOR: 800.00 SQ FT (32.39% OF LOT AREA)
SECOND FLOOR	2ND FLOOR: 800.00 SQ FT
TOTAL	TOTAL: 1,600.00 SQ FT
LOT AREA:	2,470 SQ FT
FIRE RATED ASSEMBLIES:	(1) ONE HOUR FIRE SEPARATION ASSEMBLY AT ALL EXISTING EXTERIOR WALLS THAT ARE LESS THAN 5'-0" TO ANY LOT LINE. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE DESIGN/BUILD. PERMIT DRAWINGS FOR THOSE AREAS OF WORK SHALL BE SUBMITTED BY THE DESIGNATED TRADE.

GENERAL NOTES:

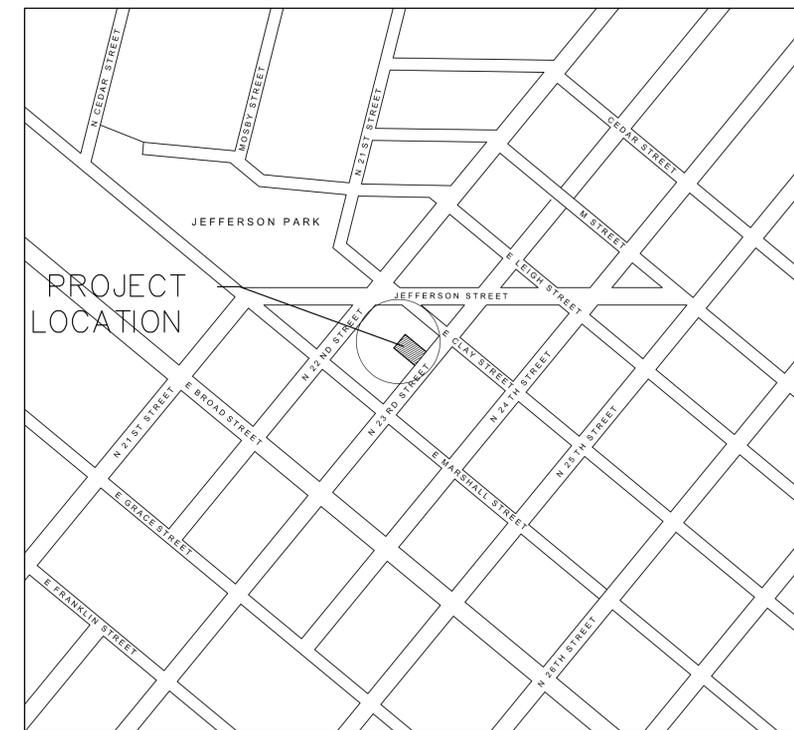
- THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS OF THE SITE AND SHOULD VERIFY THE LOCATIONS OF CONCEALED ITEMS WHICH MAY AFFECT THE NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS OF THE NEW WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE APPLICATION FOR AND OBTAINING OF ALL REQUIRED PERMITS FOR WORK REQUIRED BY THE PROJECT, INCLUDING PAYMENT OF ALL ASSOCIATED PERMIT FEES TO THE CITY OF RICHMOND.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING OF ALL WORK SO AS TO MEET THE TIMELINE OF THE OWNER AS POSSIBLE OR AS AGREED BETWEEN THE OWNER AND GENERAL CONTRACTOR. THE OWNER IS TO BE KEPT AWARE OF ALL CHANGES OF THE PROPOSED CONTRACTED SCHEDULE.
- THE SITE IS TO BE KEPT CLEAN AT ALL TIMES. NO DEBRIS OR RUNOFF IS TO BE ALLOWED IN NEIGHBORING YARDS, FRONT YARD OR STREETS.
- FIELD VERIFY LOCATION OF ALL EXISTING WATER AND SEWER LINES. VERIFY CONNECTION POINTS REQUIRED PER THE PLUMBING DRAWINGS.
- FIELD VERIFY AND IDENTIFY LOCATION OF ALL ELECTRICAL POWER LINES, TELEPHONE LINES, CABLE LINES WHETHER OVER-HEAD OR BELOW GRADE. VERIFY CONNECTION POINTS REQUIRED AS INDICATED ON THE ELECTRICAL DRAWINGS.
- COORDINATE ALL WORK WITH OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FIXTURES, IF ANY.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE DESIGN/BUILD. THE M, E & P SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE DESIGN AND PERMITTING OF THEIR SPECIFIC PORTIONS OF THE WORK.
- ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE BEGINNING ANY WORK. THIS SHALL INCLUDE SANITARY LINES, DRAIN FIELD (IF ANY), POWER LINES, TELEPHONE AND CABLE LINES. GENERAL CONTRACTOR SHALL CONTACT "MISS UTILITY" BY DIALING 911 OR OTHER AGENCIES AS APPROPRIATE.



SCHEMATIC SITE PLAN

1" = 20'

NOTE: DATA FOR THIS SCHEMATIC SITE PLAN WAS DERIVED FROM A DRAWING TITLED "SURVEY AND PLAT FOR THE PROPERTY KNOWN AS #418 N. 23RD STREET IN THE CITY OF RICHMOND, VA.", DATED 06/29/18 BY EDWARDS, KRETZ, LOHR & ASSOCIATES, PLLC, LAND SURVEYORS-PLANNERS.



LOCATION MAP

NOT TO SCALE

LEGEND

9	DOOR NUMBER		LUMBER (IN SECTION)
X	WINDOW TYPE		CONCRETE (IN SECTION)
	SECTION	N. I. C.	NOT IN CONTRACT
	BATT INSULATION	U. N. O.	UNLESS NOTED OTHERWISE
	BRICK (IN SECTION)	0/0	OUT TO OUT
	C. M. U. (PLAN/SECTION)		

GENERAL NOTES

- CONTRACTOR SHALL CONFORM TO THE 2012 VIRGINIA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, PART 1 OF THE VAUSBC AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- CONTRACTOR SHALL CAULK, FLASH OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT.
- CONTRACTOR SHALL CAULK ALL GAPS BETWEEN DISSIMILAR MATERIALS.
- ALL WOOD SILLS THAT ARE WITHIN 8" OF EXPOSED EARTH OR ON CONCRETE SLABS SHALL BE PRESSURE PRESERVATIVE TREATED.
- ALL HOSE BIBBS SHALL BE FREEZE PROOF AND HAVE A BACKFLOW PREVENTER.
- RUN ALL TOILET FANS AND EXHAUST VENTS TO AN APPROVED EXTERIOR DISCHARGE.
- 8" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SIDING.
- CONTRACTOR SHALL COORDINATE PLACEMENT OF ROOF FRAMING AND INSTALLATION OF ANY ATTIC ACCESS HATCHES AND SKYLIGHTS.
- ALL FIXED GLAZING IN WINDOWS AND DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED PER THE REQUIREMENTS OF VRC CHAPTER R308 WHERE OCCURRING IN THE HAZARDOUS LOCATIONS IDENTIFIED THEREIN.
- SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD ROOF TRUSSES, GIRDERS AND BEAMS, IF ANY.
- HVAC CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS TO AN APPROVED LOCATION.
- ALL EXPOSED GUTTERS, DOWNSPOUTS AND FLASHING TO BE PRE-FINISHED.
- INSULATE ALL WALL AROUND BATHROOMS/TOILETS WITH 3 1/2" UNFACED BATT INSULATION.
- SHELVING AND SHELF AND RODS TO BE BRACED AT 4'-0" O.C. MAX.
- VERIFY FRAMING/CONSTRUCTION DIMENSIONS PRIOR TO INSTALLATION OF CABINETS, TUBS, HVAC EQUIPMENT AND OTHER BUILT-IN FIXTURES OR EQUIPMENT.
- SILL PLATE ANCHORAGE - 1/2" DIAMETER X 18" LONG ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM AT ALL EXTERIOR WALLS AND 12" MAXIMUM FROM CORNERS. ANCHOR BOLTS SHALL BE GROUTED SOLID IN MASONRY CORES, NOT MORTAR JOINTS.
- INSULATE ALL PIPING AT EXTERIOR WALLS.
- PROVIDE RECESSED BOX WITH VALVE TO AREA BEHIND REFRIGERATOR FOR ICEMAKER.
- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL EQUIPMENT NECESSARY TO CONTROL EXISTING GROUND FAULT CURRENT AT THE SITE.
- ALL WASHING MACHINES AND WATER HEATERS TO BE SET IN A PLASTIC OVERFLOW PAN WITH A DRAIN TO AN EXTERIOR OR APPROVED DISCHARGE.
- GENERAL CONTRACTOR IS REQUIRED TO COORDINATE UNDER CUTTING OF DOOR WITH THE HVAC CONTRACTOR FOR ADEQUATE RETURN AIR FLOW.
- ONLY GALVANIZED NAILS AND OTHER CONNECTORS TO BE USED IN EXTERIOR WOOD FENCES, RAILS, STAIRS, ETC.
- CLOTHES DRYER EXHAUST SHALL COMPLY WITH THE 2012 VA RESIDENTIAL CODE.
- ALL DIMENSIONS SHOWN ARE ACTUAL, AND ARE TO THE FACE OF DRYWALL OR TO FACE OF MASONRY OR CONCRETE. CONTRACTOR TO COORDINATE ACTUAL LAY-OUT IN FIELD.
- AT WOOD STUD EXTERIOR CORNERS (WHERE TWO INSULATED WALLS INTERSECT) - REFER TO DETAIL A1 ON SHEET A101.
- WHERE INTERIOR PARTITIONS INTERSECT AN EXTERIOR INSULATED WALL, A LADDER T-WALL FRAMED CORNER SHALL BE CONSTRUCTED, REFER TO DETAIL A2 ON SHEET A101.
- ALL HEADERS SHALL BE INSULATED WITH 1/2" FOAM BETWEEN.
- THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS OF THE BUILDING AND SHOULD VERIFY THE LOCATIONS OF UTILITIES SUCH AS GAS, WATER, AND ELECTRIC WHICH MAY BE CONCEALED BEFORE PROCEEDING WITH THE WORK.
- ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE ANY WORK. THIS INCLUDES SANITARY LINES, DRAIN FIELD (IF ANY), POWER LINE, TELEPHONE AND CABLE LINES, IRRIGATION LINES AND SPRINKLER HEADS. CONTACT "MISS UTILITY" BY DIALING 811 OR OTHER UTILITY AGENCIES AS APPROPRIATE.

new single family residence
 418 NORTH 23RD STREET
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT:HOMES

mark	date	description
	10.24.18	C.A.R. REVISED PERMIT SET
	06.15.18	PERMIT SET

job #: 2018-0018
drawn: drw
ch'kd: drw
cad #: A001.DWG

sheet title
COVER SHEET
BUILDING DATA
GEN NOTES

A-001
sheet 1 of 7
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STRUCTURAL NOTES

1. THE DESIGN INDICATED ON THESE DRAWINGS PRESUMES THAT THE STRUCTURE IS TO BE FOUND ON NATURAL, UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL HAVING A SAFE ALLOWABLE BEARING PRESSURE OF 2000 PSF. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THIS VALUE VERIFIED BY COMPETENT GEOTECHNICAL PERSONNEL.
DESIGN CODE: 2012 VIRGINIA RESIDENTIAL CODE

ALL FOUNDATION AND FOOTING WORK SHALL BE PERFORMED TO COMPLY WITH CHAPTER 4 OF 2012 VIRGINIA RESIDENTIAL CODE.

NEW FOUNDATION WALL SHALL BE 4" FACE BRICK ON 8" CMU BACKUP MASONRY WALL WITH FULLY MORTARED OR GROUTED COLLAR JOINT AS NOTED. INSTALL SOLID CMU BLOCK UNITS AT ALL BEARING POINTS WITHIN WALLS AND AT INSIDE CORNERS. BALANCED EARTH FILL EACH SIDE OF WALL. GROUT CORES OF ALL PIERS SOLID. ALLOW MASONRY TO SET 24 HRS. MIN. BEFORE PLACING GROUT/COREFILL.

ANCHOR BOLTS SHALL BE PLACED WITHIN THE FULLY GROUTED CORE OF THE CMU - NOT THE COLLAR JOINT.

TREAT FOUNDATION SOIL FOR INSECTS AS REQUIRED BY BUILDING CODE, WITH A WARRANTED PROFESSIONAL PEST CONTROL COMPANY, USING TREATMENT PRODUCTS WHICH ARE ENVIRONMENTALLY APPROVED AS SAFE.

PRESERVATIVE TREAT ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR WOOD USED FOR EXTERIOR WEATHER EXPOSURE (ACQ). TREATMENT SHALL BE ENVIRONMENTALLY APPROVED AS SAFE.

2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY BRACE AND SHORE ALL NEW OR EXISTING CONSTRUCTION TO SAFELY RESIST ALL REASONABLE LOADS TO WHICH THE NEW CONSTRUCTION MAY BE SUBJECTED UNTIL PERMANENT BRACING AND SUPPORT IS IN PLACE.

3. **MATERIALS:**
- CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH - 3000 PSI
SLUMP OF 2" - 4"
MAX. AGGREGATE SIZE = 3/4"
 - GROUT/COREFILL: ASTM C416, 9"-11" SLUMP, 3000 PSI MIN. COMPRESSIVE STRENGTH.
 - REINFORCING STEEL: BARS - ASTM A615, GRADE 60
WUF - ASTM A185

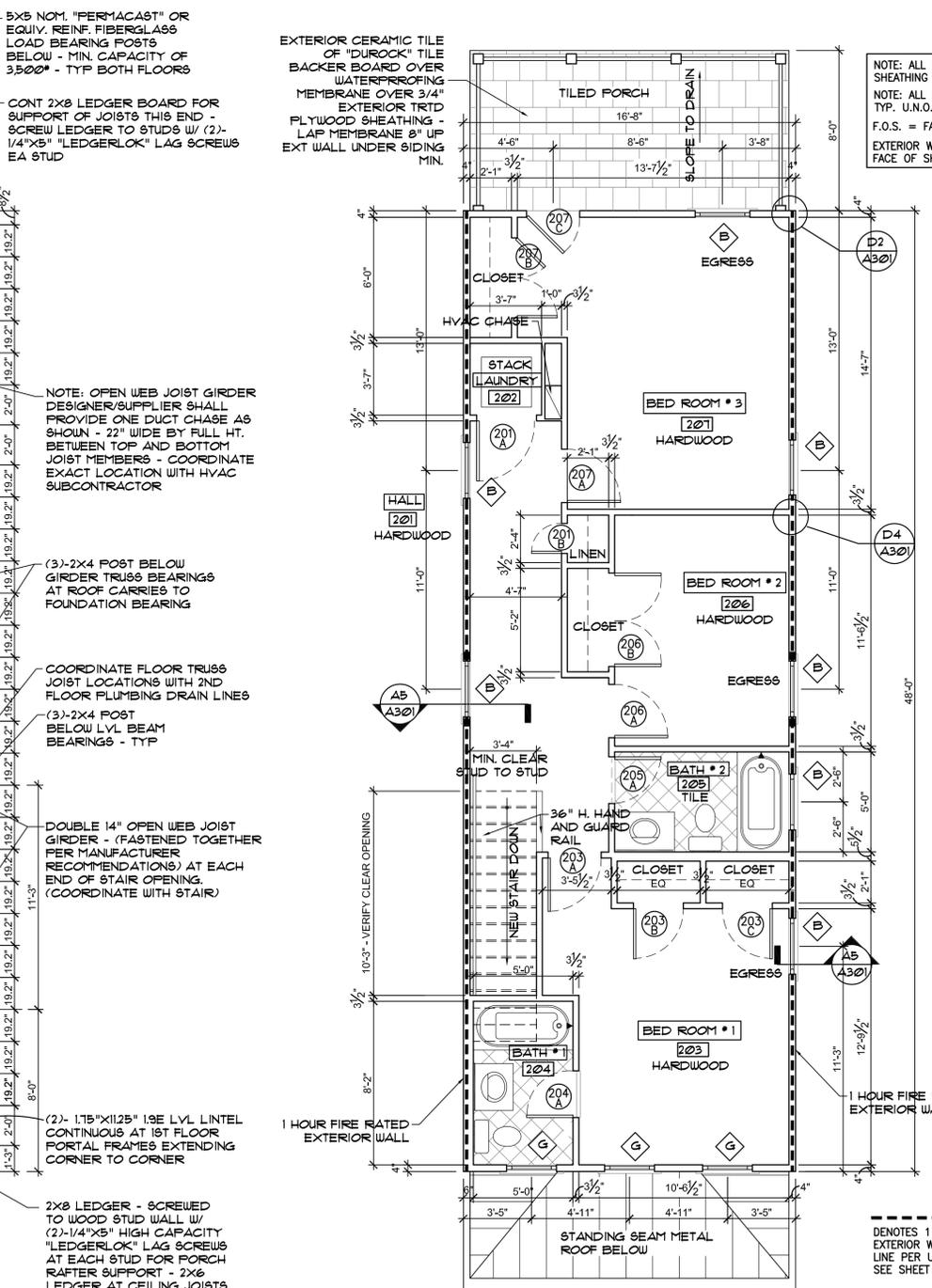
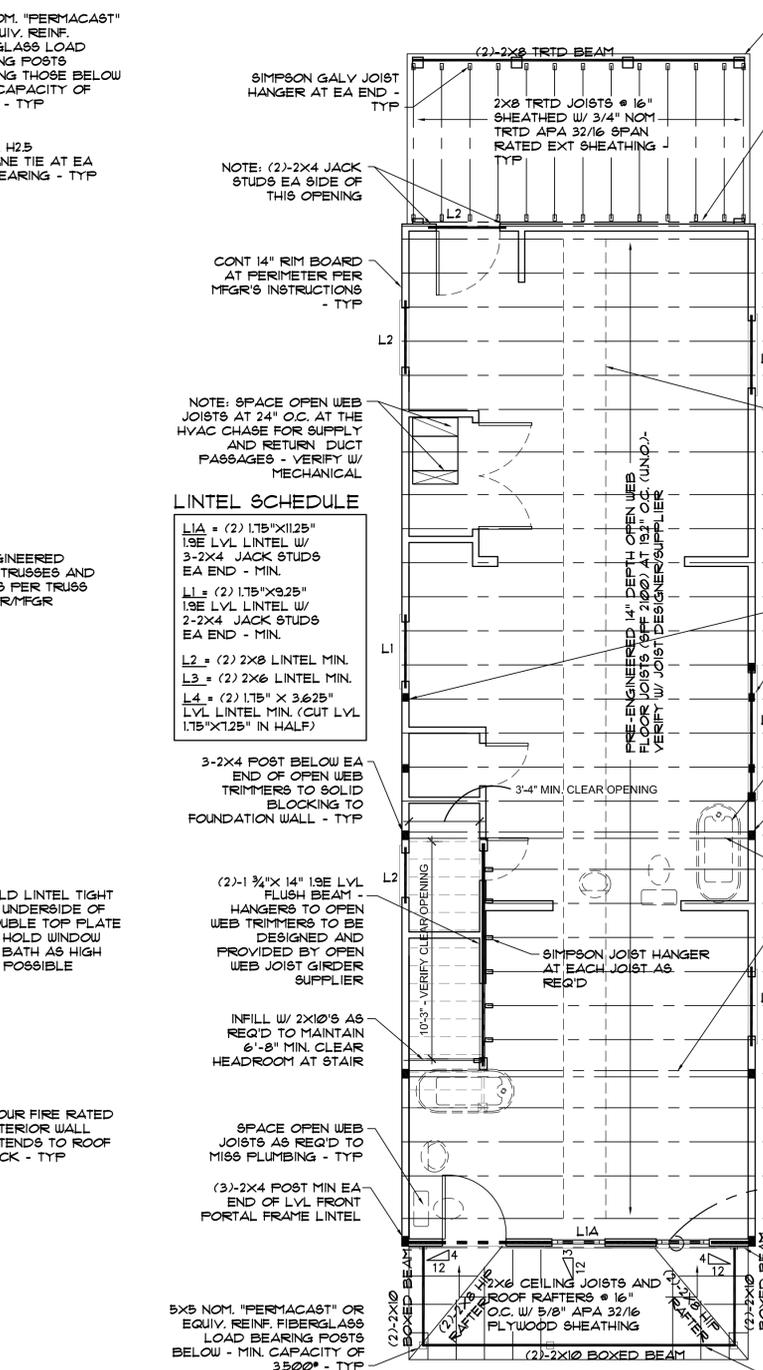
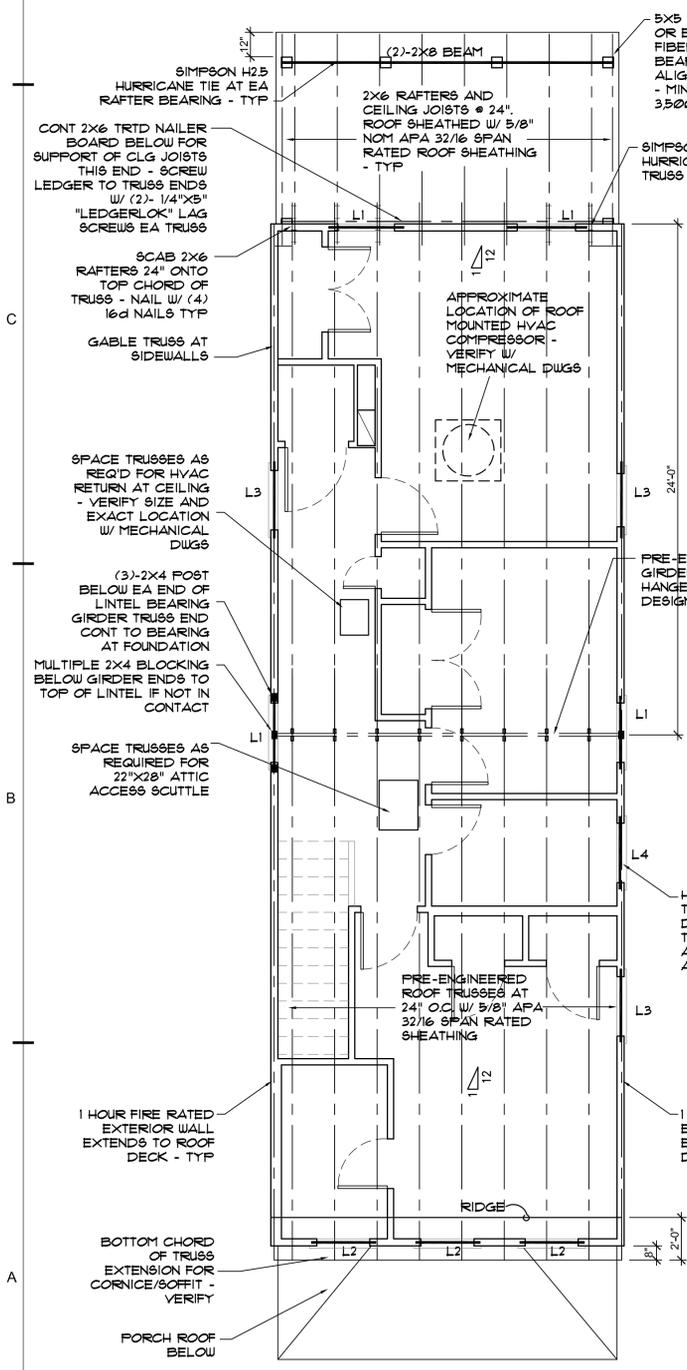
- CONCRETE MASONRY UNITS: ASTM C90, TYPE N, MIN. COMPRESSIVE STRENGTH OF 1500 PSI, f'm = 1500 PSI
- FACE BRICK: AS SELECTED BY PROJECT/HOMES.
- MASONRY MORTAR: ASTM C210, TYPE S.
- ANCHOR BOLTS: ASTM A307 / A36 (Fy min 36ksi)
- STRUCTURAL SAUN LUMBER: FLOOR JOISTS: #1 SOUTHERN YELLOW PINE, MC 15
- STRUCTURAL SAUN LUMBER: OTHER MEMBERS: #2 SOUTHERN YELLOW PINE, MC 19
2x4's: #2 SFF

- PLYWOOD AND OSB: APA RATED SHEATHING, 3/16 EXPOSURE 1. ALL EXTERIOR PLYWOOD OR OSB WALL SHEATHING SHALL BE NAILED PER THE REQUIREMENTS FOR BRACED WALL PANELS - METHOD C5-WBF (CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL) - 8d COMMON NAIL # 6" O.C. ALONG PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUD SUPPORTS. ALL EDGES BLOCKED.

- PLATE CONNECTED WOOD TRUSSES: PER LATEST REQUIREMENTS OF THE TRUSS PLATE INSTITUTE (TPI).
- LAMINATED VENEER LUMBER (LVL): HAVING THE FOLLOWING MINIMUM PROPERTIES: E=1,955 PSI, Fb=2,600 PSI, Fv=285 PSI, Fc=150 PSI

- FOR ALL CONCRETE WORK: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 318 AND ACI 302, CODE-CURRENT EDITIONS
- FOR ALL STRUCTURAL MASONRY CONSTRUCTION: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 530J, CODE-CURRENT EDITION.
- DESIGN LOADS**
GROUND SNOW LOAD: 20 PSF
MIN. ROOF LIVE LOAD: 20 PSF
WIND SPEED / EXPOSURE: Vult = 115 MPH, Vred = 89 MPH / EXPOSURE B
FLOOR SYSTEM DESIGN IS BASED ON RESIDENTIAL LIVING AREA LIVE LOAD = 40 PSF
LOADING CONDITION MINIMUM, WITH LL/DEFLECTION = L/360 MAXIMUM
- PROVIDE FULL STUD SUPPORT UNDER BEARING SURFACES OF ROOF RAFTERS. DOUBLE STUDS AT ALL WINDOW AND DOOR LINTELS.
- VERIFY ALL FLOOR, JOIST AND RAFTER BEARING ELEVATIONS W/ OWNER IN THE FIELD.
- PROVIDE AND INSTALL HURRICANE TIES AS MANUFACTURED BY "SIMPSON STRONG TIE" AT ROOF RAFTER BEARINGS.
- PROVIDE WOOD LINTELS AT ALL WOOD FRAMED WINDOW AND DOOR OPENINGS AS SHOWN ON THE DRAWINGS.

DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948



new single family residence
418 NORTH 23RD STREET
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT/HOMES

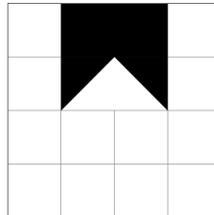
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job #: 2018-0018
drawn: dnr
ch/kd: dnr
cad #: A102.DWG

BRACED WALL PANEL CALCULATIONS - 418 N. 23RD STREET

SEE CALCULATIONS ATTACHED WITH PERMIT APPLICATION

BRACED WALL PANELS
 VRC §R602.10.4 METHODS CS-WSP AND CS-PF
 (7/16" OSB or 15/32" PLYWOOD)
 CORNERS PER §R602.10.7 AND
 CONNECTIONS PER §R602.10.8.
 ROOF DIAPHRAGM CONNECTION
 PER §R602.10.8.1
 FASTEN PER VRC §R602.3(1)



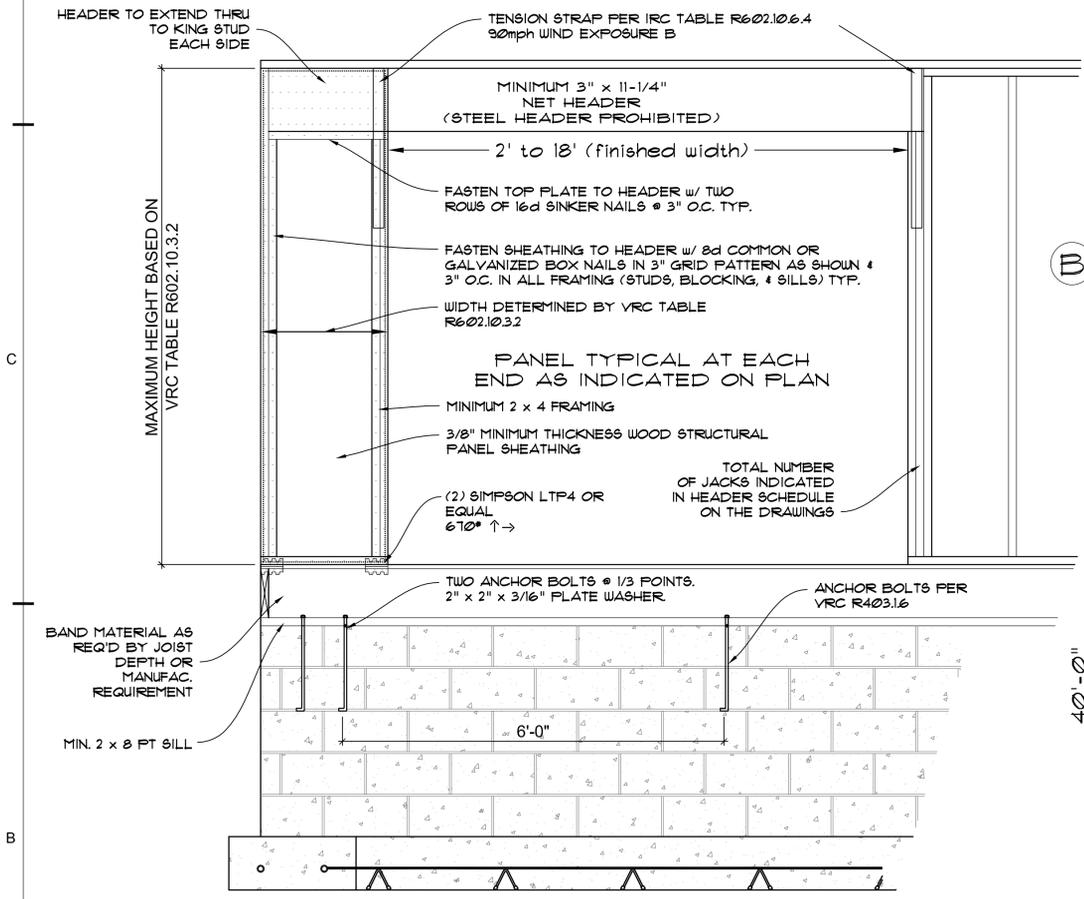
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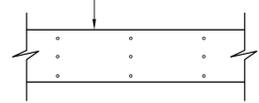
job #: 2018-0018
 drawn: drw
 ch'kd: drw
 cad #: A103.DWG

sheet title
BRACED WALL PANEL DIAGRAMS
A-103
 sheet 4 of 7
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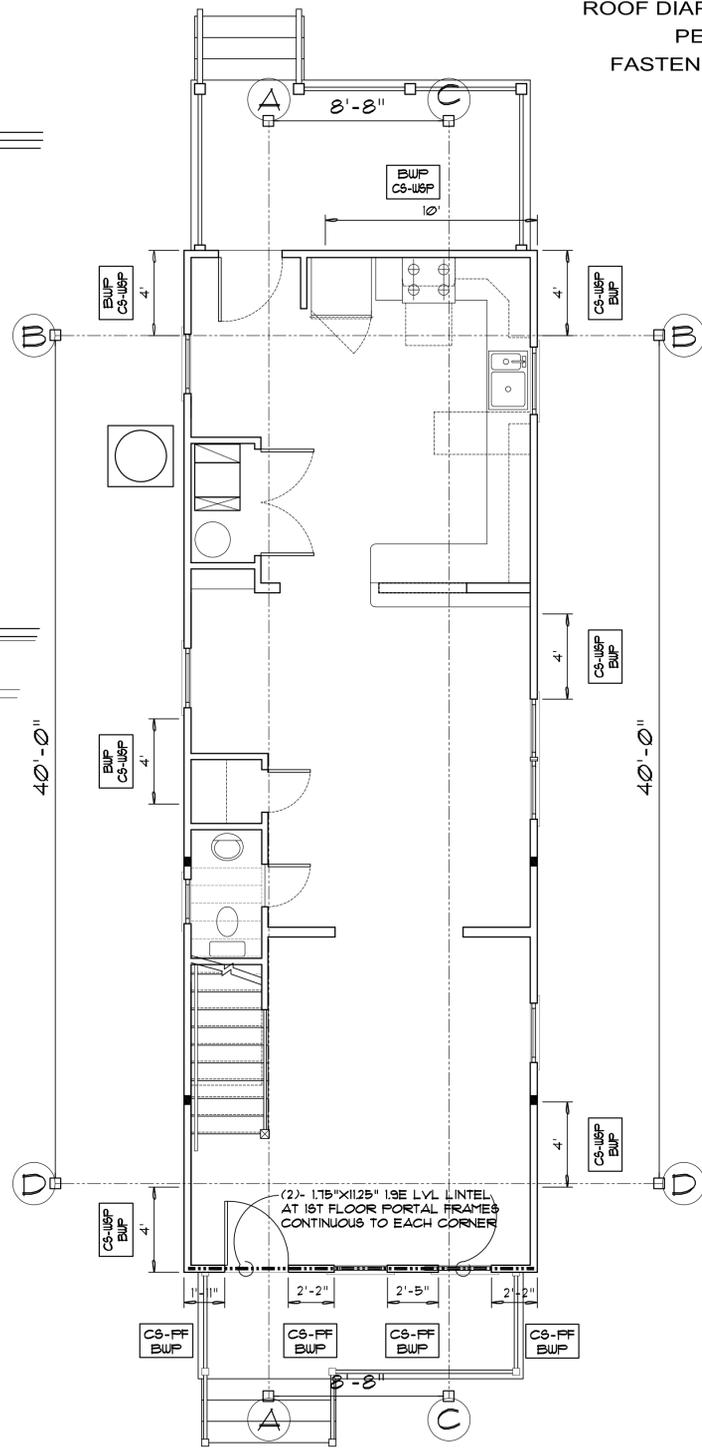


CONTINUOUSLY SHEATHED PORTAL FRAME SECTION: VRC FIG. R602.10.6.4
 Scale: 1/2" = 1'-0"
 SEE VRC TEXT FOR ADDITIONAL NOTES AND LIMITATIONS

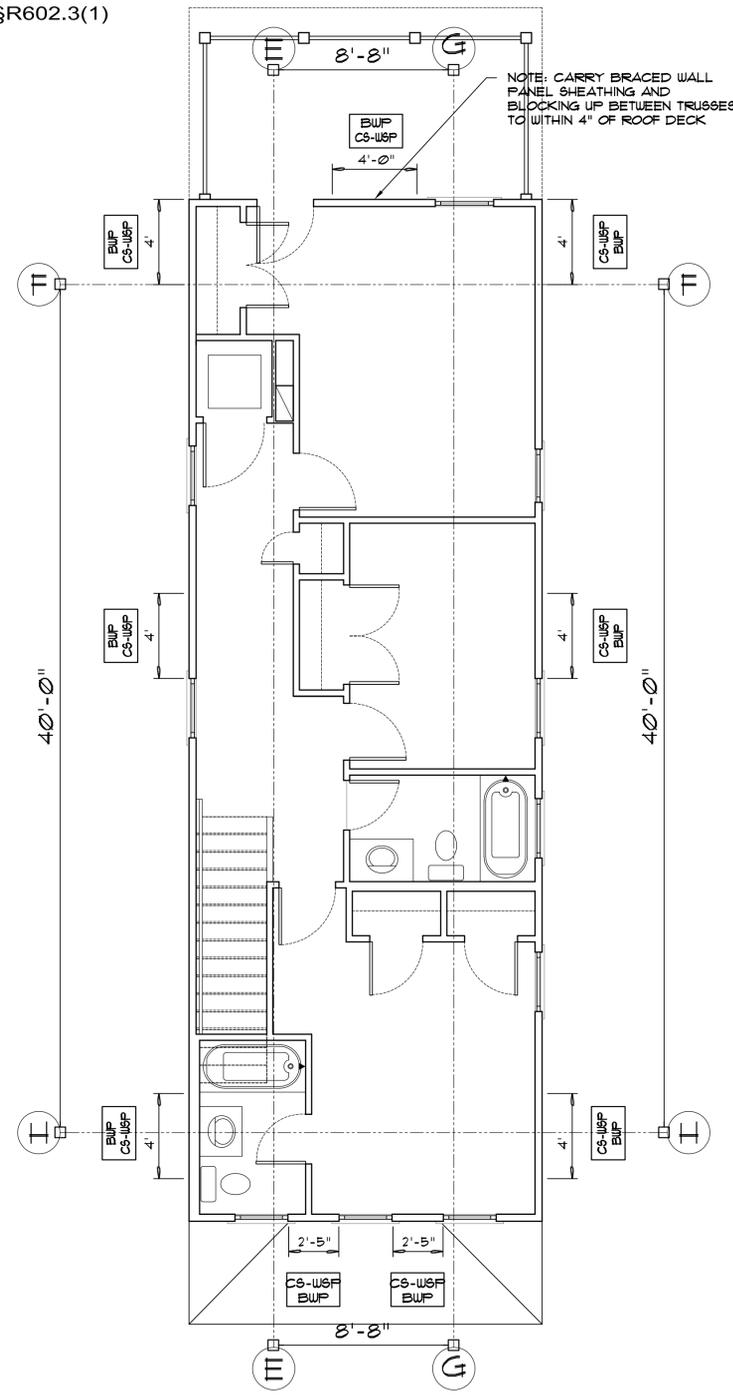
(2)-1.75" x 1125" LVL LINTEL PER FRAMING PLANS - NAIL w/ (3) ROWS 16d NAILS @ 16" STACKED EA FACE - (4) ROWS AT 14" LVL GIRDERS



PORTAL FRAME LINTEL AND LVL GIRDER NAILING
 NOT TO SCALE

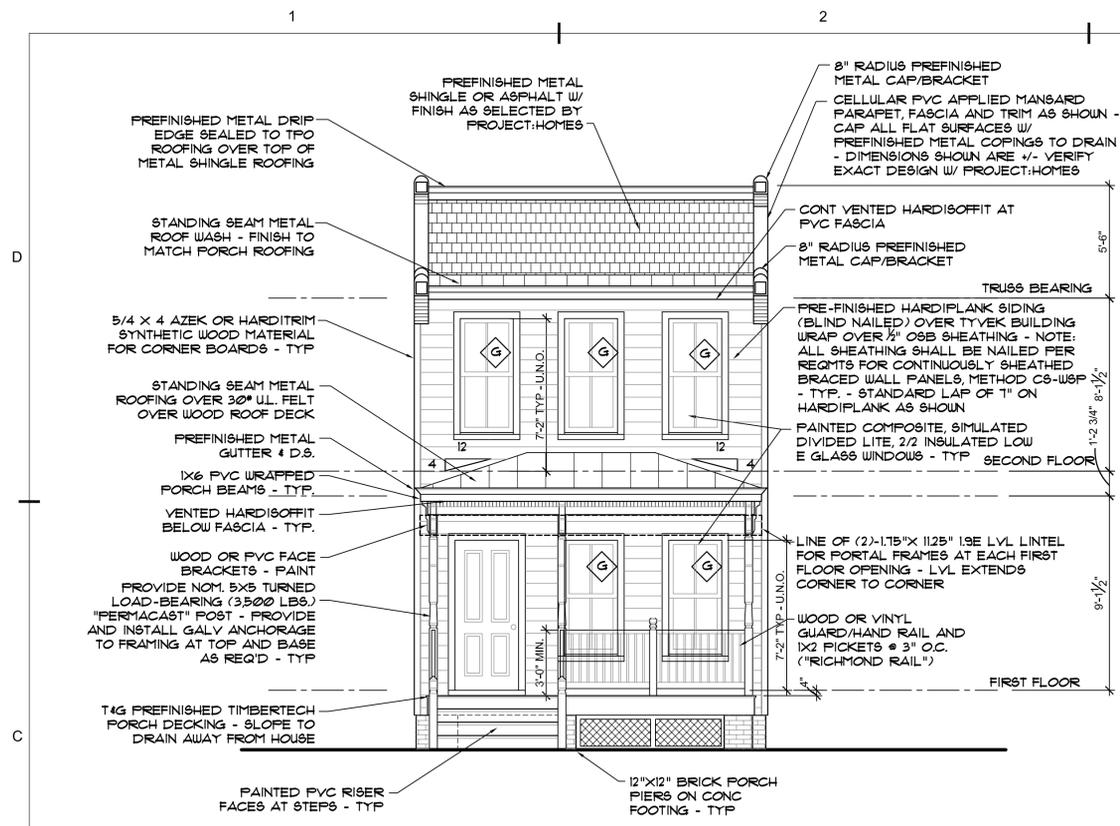


FIRST FLOOR BRACED WALL PANEL LOCATIONS
 1/4" = 1'-0"

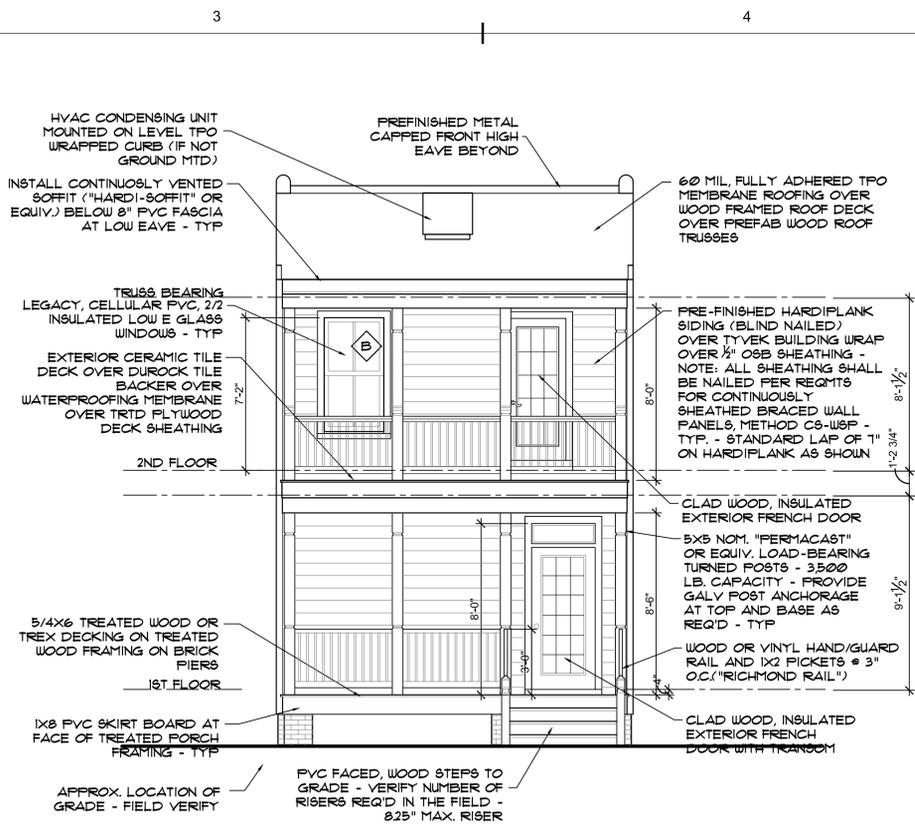


SECOND FLOOR BRACED WALL PANEL LOCATIONS
 1/4" = 1'-0"

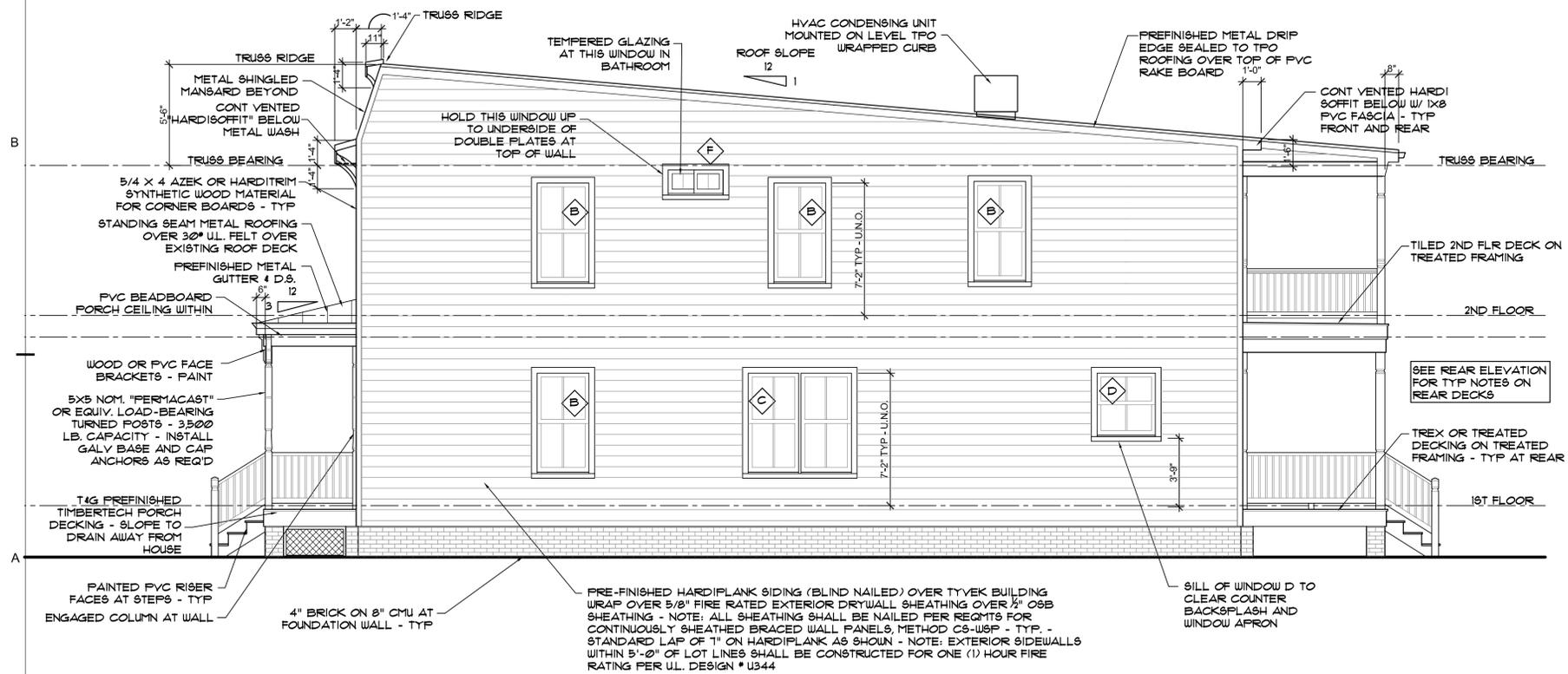
NOTE: CARRY BRACED WALL PANEL SHEATHING AND BLOCKING UP BETWEEN TRUSSES TO WITHIN 4" OF ROOF DECK



C1 SOUTH ELEVATION
1/4" = 1'-0"



C3 NORTH ELEVATION
1/4" = 1'-0"



A1 EAST ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE - 418 N. 23RD STREET

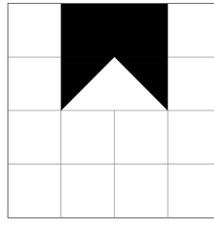
MARK	NO.	UNIT	SIZE (ROUGH OPENING) CONTRACTOR TO VERIFY			MATL	TYPE	DETAIL			NOTES
			WD	HGT	THK			HEAD	JAMB	SILL	
B	9	2'-8" X 5'-2"	34"	65.25"	VERIFY	CELLULAR PVC	DBL HUNG				INSULATED - LOW 'E' ARGON FILLED MUST MEET EGRESS REQUIREMENT
C	1	PR 2'-8" X 5'-2"	67.625"	65.25"	VERIFY	CELLULAR PVC	PAIR DBL HUNG				INSULATED - LOW 'E' ARGON FILLED MUST MEET EGRESS REQUIREMENT
D	1	2'-8" X 3'-2"	34"	41.25"	VERIFY	CELLULAR PVC	DBL HUNG				INSULATED - LOW 'E' ARGON FILLED SILL TO CLEAR BACKSPLASH/APRON
E	1	2'-0" X 3'-10"	26"	49.25"	VERIFY	CELLULAR PVC	DBL HUNG				INSULATED - LOW 'E' ARGON FILLED TEMPERED GLAZING
F	1	3'-6" X 1'-6"	3'-6"	1'-6"	VERIFY	VINYL CLAD WOOD	SLIDER				INSULATED - LOW 'E' ARGON FILLED TEMPERED GLAZING
G	5	2'-4" X 5'-2"	30"	65.25"	VERIFY	CELLULAR PVC	DBL HUNG				INSULATED - LOW 'E' ARGON FILLED TEMPERED GLAZING

WINDOW NOTES:
 1. ALL WINDOW UNITS SHALL BE PROVIDED WITH INSECT SCREENS
 2. ALL WINDOWS WILL BE PROVIDED WITH AND HAVE INSTALLED NEW 5/4 X 4 "HARDITRIM" OR "AZEK" AT EXTERIOR JAMBS AND HEAD.
 3. PROVIDE TEMPERED SAFETY GLAZING IN ALL WINDOWS LOCATED IN HAZARDOUS LOCATIONS PER VRC 2012, SECTION R308.4. ALL GLAZING IN BATHROOMS SHALL BE TEMPERED.
 4. THE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON LEGACY PAINTABLE, CELLULAR PVC SASH & FRAME, SIMULATED 2/2 DOUBLE HUNG TILT SASH UNITS, SPACER BAR BETWEEN THE GLASS AND MUNTINS MOUNTED INBOARD AND OUTBOARD OF THE INSULATED GLASS UNIT.

DOOR SCHEDULE - 418 N. 23RD STREET

MARK	NO.	UNIT	SIZE			MATL	TYPE	DEPTH	DETAIL			FIRE RATING LABEL	NOTES
			WD	HGT	THK				HEAD	JAMB	THRS		
101A		3'-0"	7'-0"	1-3/4"	METAL	4PANL	WD	VERIFY					MAIN ENTRY - INSULATED 4 RAISED PANELS - NO TRANSOM
101B		6'-0"	6'-8"	-	CASED	OPNG.	WD	6 1/2"					CASED OPENING
102A		2'-0"	6'-8"	1-3/8"	COMP.	6PANL	WD	4 1/2"					PRIVACY - HALF BATH
104A		2'-0"	6'-8"	1-3/8"	COMP.	6PANL	WD	4 1/2"					PASSAGE - COAT CLOSET
103A		PR 2'-6"	6'-8"	1-3/8"	COMP.	6PANL	WD	4 1/2"					PASSAGE - ROLLER CATCHES DUMMY LEVER OUTSIDE
105A		2'-8"	6'-8"	1-3/4"	WOOD	GLASS FRENCH	WD	VERIFY			ALUM.		TEMPERED INSULATED (LOW 'E' ARGON) FULL LITE WITH MUNTINS BETWEEN

DOOR NOTES:
 1. ALL DOOR HARDWARE TO HAVE LEVER OPERATORS, OR ADA COMPLIANT



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 418 NORTH 23RD STREET
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT:HOMES

mark	date	description
	10.24.18	C.A.R. REVISED PERMIT SET
	06.15.18	PERMIT SET

job #: 2018-0018
 drawn: drw
 ch/kd: drw
 cad #: A201.DWG

sheet title
 BUILDING
 ELEVATIONS /
 DOOR & WINDOW
 SCHEDULES

A-201

sheet 5 of 7
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1

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3

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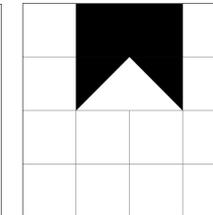
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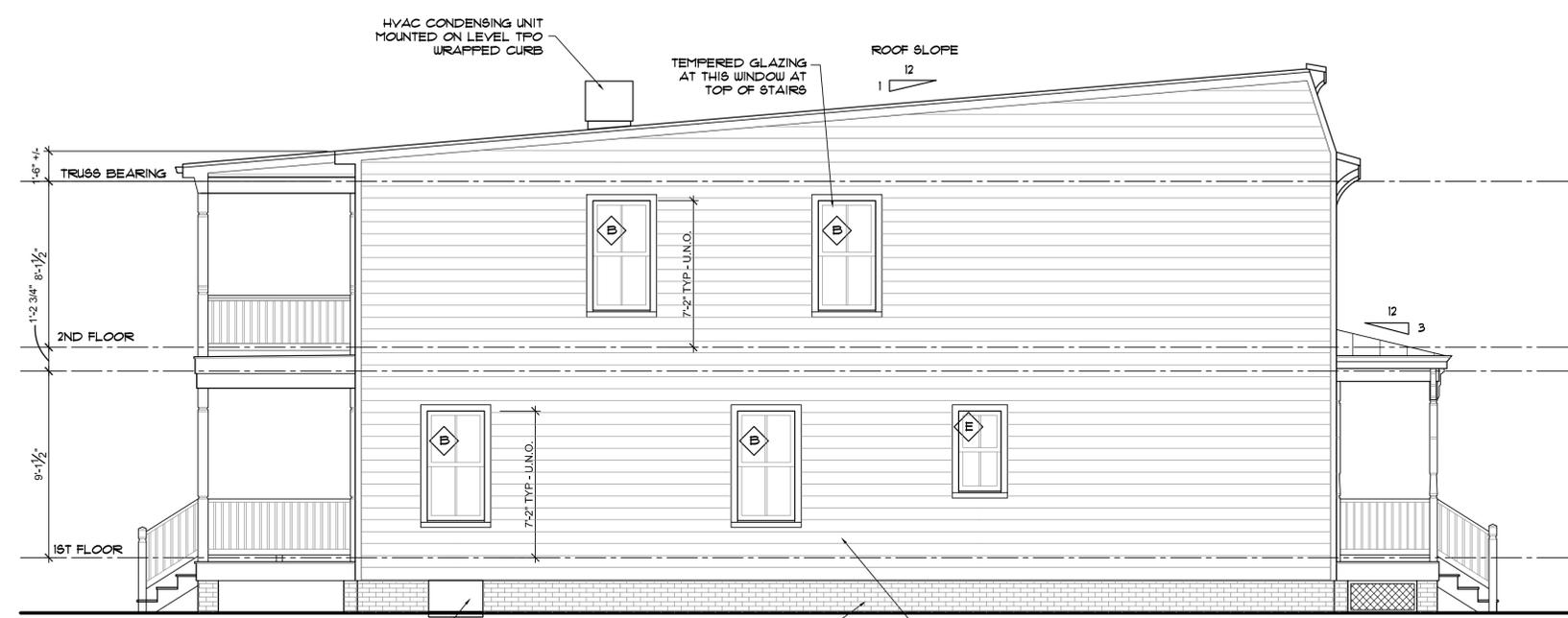
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A



DAVID R. WINN, LLC
 residential design
 10132 BERRYMEADE PLACE
 GLEN ALLEN, VIRGINIA 23060
 (804) 252-0948

new single family residence
418 NORTH 23RD STREET
 RICHMOND, VIRGINIA
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INSULATED CRAWL SPACE ACCESS DOOR - VERIFY THAT DOOR IS ADEQUATELY SIZED TO ALLOW INSTALLATION AND SERVICE OF ANY EQUIPMENT IN CRAWL SPACE

4" BRICK ON 8" CMU AT FOUNDATION WALL - TYP

PRE-FINISHED HARDPLANK SIDING (BLIND NAILED) OVER TYVEK BUILDING WRAP OVER 5/8" FIRE RATED EXTERIOR DRYWALL SHEATHING OVER 1/2" OSB SHEATHING - NOTE: ALL SHEATHING SHALL BE NAILED PER REQMTS FOR CONTINUOUSLY SHEATHED BRACED WALL PANELS, METHOD CB-WSP - TYP - STANDARD LAP OF 1" ON HARDPLANK AS SHOWN - NOTE: EXTERIOR SIDEWALLS WITHIN 5'-0" OF LOT LINES SHALL BE CONSTRUCTED FOR ONE (1) HOUR FIRE RATING PER U.L. DESIGN # U344

SEE NORTH ELEVATION FOR TYPICAL NOTES PERTAINING TO THIS ELEVATION ALSO

WEST ELEVATION
 1/4" = 1'-0"
 0 2' 4' 8'

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sheet title
BUILDING ELEVATION /

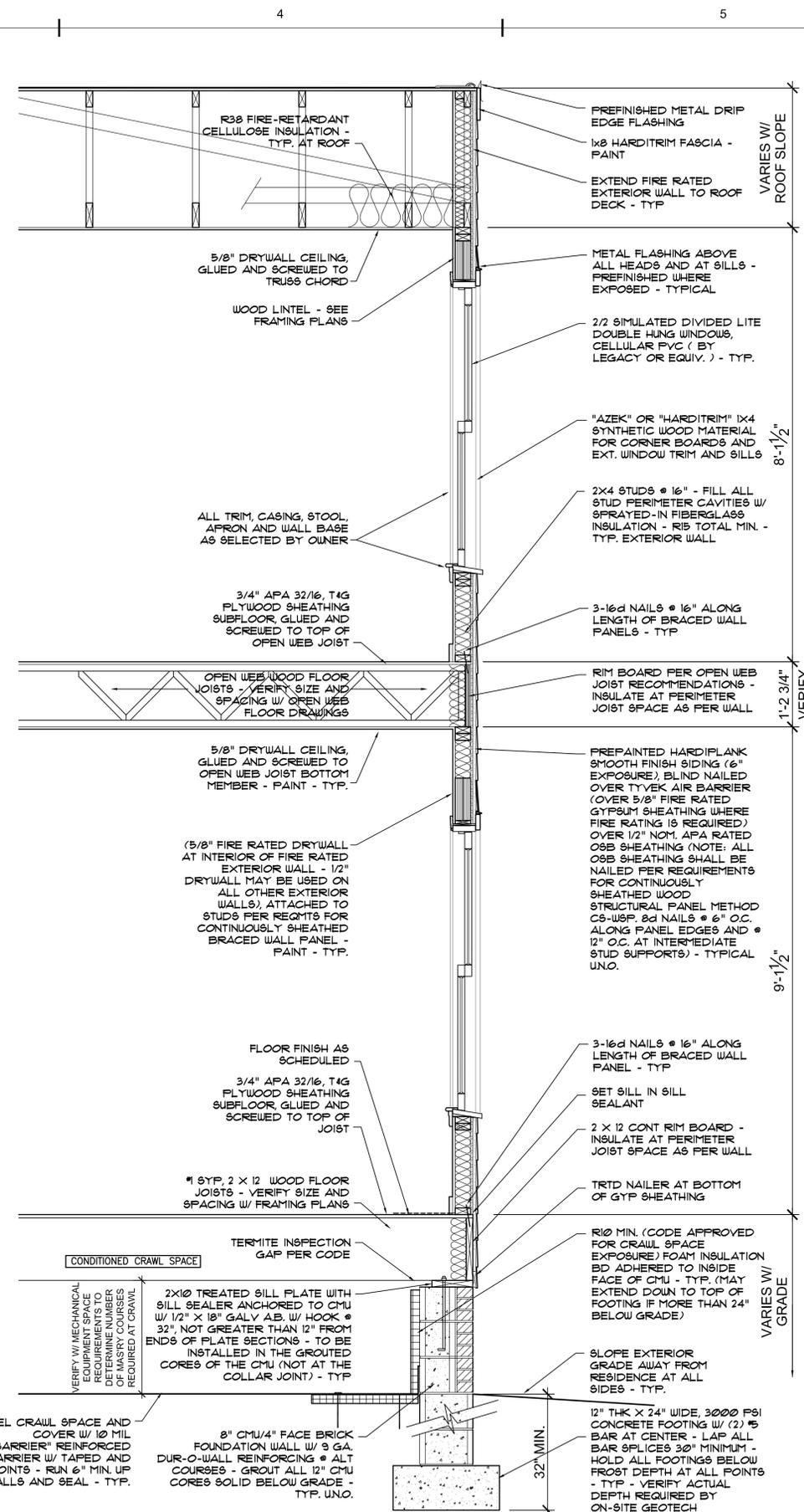
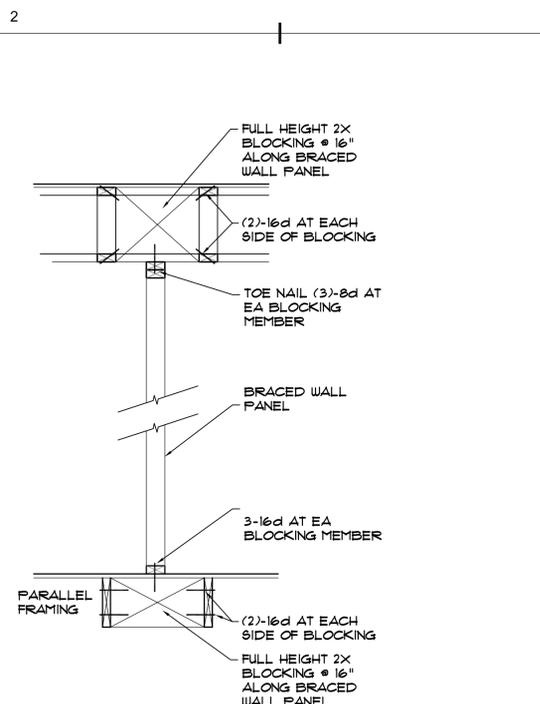
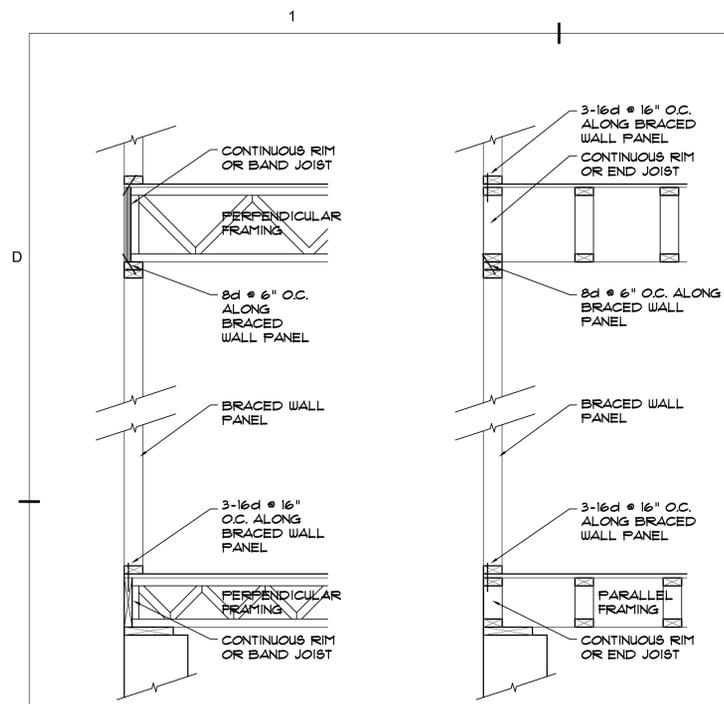
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new one family residence
418 N. 23RD STREET

RICHMOND, VIRGINIA
PREPARED FOR PROJECT:HOMES



NORTH ELEVATION



BRACED WALL PANEL CONNECTIONS

NO SCALE

DESIGN # U344

- Design No. U344
Bearing Wall Rating - 1 Hr.
Finish Rating - 26 Min.
-
- Wood Studs - Nom. 2 by 4 in. spaced 24 in. O.C., laterally braced, and effectively fire stopped at top and bottom.
 - Wood Structural Panel Sheathing - Nom. 5/8 in. thick, 4 ft wide APA Rated Sheathing 32/16, Exposure 1, plywood or oriented strand board (OSB) per PS1, PS2 or APA Standard PRP-108. Installed with long dimension of sheet (strength axis) or face grain of plywood, parallel with studs. Vertical joints centered on studs, and staggered one stud space from wallboard joints. Horizontal joints backed with nom. 2 by 4 in. wood backing. Attached to studs on exterior side of wall with 8d cement coated steel box nails spaced 12 in. O.C. along exterior studs and 6 in. O.C. at perimeter of panels.
 - Fiber Sprayed* - As an alternate to Batts and Blankets (Item 3) - Spray applied cellulose insulation material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. Nominal dry density of 3.0 lb./ft³ U S GREENFIBER L L C - Cocoon stabilized cellulose insulation.
 - Gypsum Board* - 5/8" thick, 4 ft wide, applied horizontally or vertically. Attached to studs through plywood sheathing with 8d cement coated steel nails 2-3/8 in. long, 0.113 in. shank diam, 3/8 in. diam head nails spaced 7 in. O.C. along studs and at perimeter of panels. When used in widths other than 48 in., wallboard is to be installed horizontally. Joints exposed or covered with tape and compound.
AMERICAN GYPSUM CO - Types AGX-1, AG-C,
CANADIAN GYPSUM COMPANY - Type AR, C, IP-X2, IPC-AR, SCX, SHX, WRX,
LAFARGE NORTH AMERICA INC - Types LGFC6, LGFC6A, LGFC-C, LGFC-C/A,
STANDARD GYPSUM L L C - Type SG-C,
TEMPLE-INLAND FOREST PRODUCTS CORP - Type TG-C,
UNITED STATES GYPSUM CO - Types AR, C, FRX-G, IP-X2, IPC-AR, WRX, SCX, SHX or WRX,
USG MEXICO S A DE C V - Types AR, C, IPX-2, IPC-AR, SCX, WRX or WRX.
 - Gypsum Board* - 5/8" thick, 4 ft wide, applied horizontally or vertically. Attached to studs or blocking at 7 in. O.C. with 6d cement coated steel nails 1 7/8 in. long, 0.0915 in. shank diam, and 1/4 in. diam heads. When used in widths other than 48 in., wallboard is to be installed horizontally. Joints exposed or covered with tape and compound.
AMERICAN GYPSUM CO - Types AGX-1, AG-C,
CANADIAN GYPSUM COMPANY - Type AR, C, IP-X1, IPX-2, IPC-AR, SCX or WRX,
STANDARD GYPSUM L L C - Type SG-C,
TEMPLE-INLAND FOREST PRODUCTS CORP - Type TG-C,
UNITED STATES GYPSUM CO - Types AR, C, FRX-G, IP-X1, IP-X2, IPC-AR, SCX or WRX,
USG MEXICO S A DE C V - Types AR, C, IP-X1, IP-X2, IPC-AR, SCX or WRX.
 - Non-Bearing Wall Partition Intersection - (Optional) - Two nom. 2 by 4 in. stud or nom. 2 by 6 in. stud nailed together with two 3-1/2 in. long 10d nails spaced a max. 16 in. OC vertically and fastened to one side of the minimum 2 by 4 stud with 3 in. long 10 d nails spaced a max. of 16 in. OC vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max. 16 in. OC vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the bearing wall.
*Bearing the UL Classification Mark

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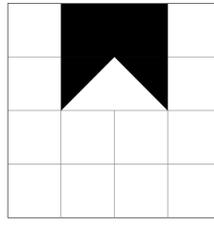
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TYP EXTERIOR WALL WITHIN 5'-0" OF ANY LOT LINE

TYP SIDE WALL SECTION

A5

3/4" = 1'-0"



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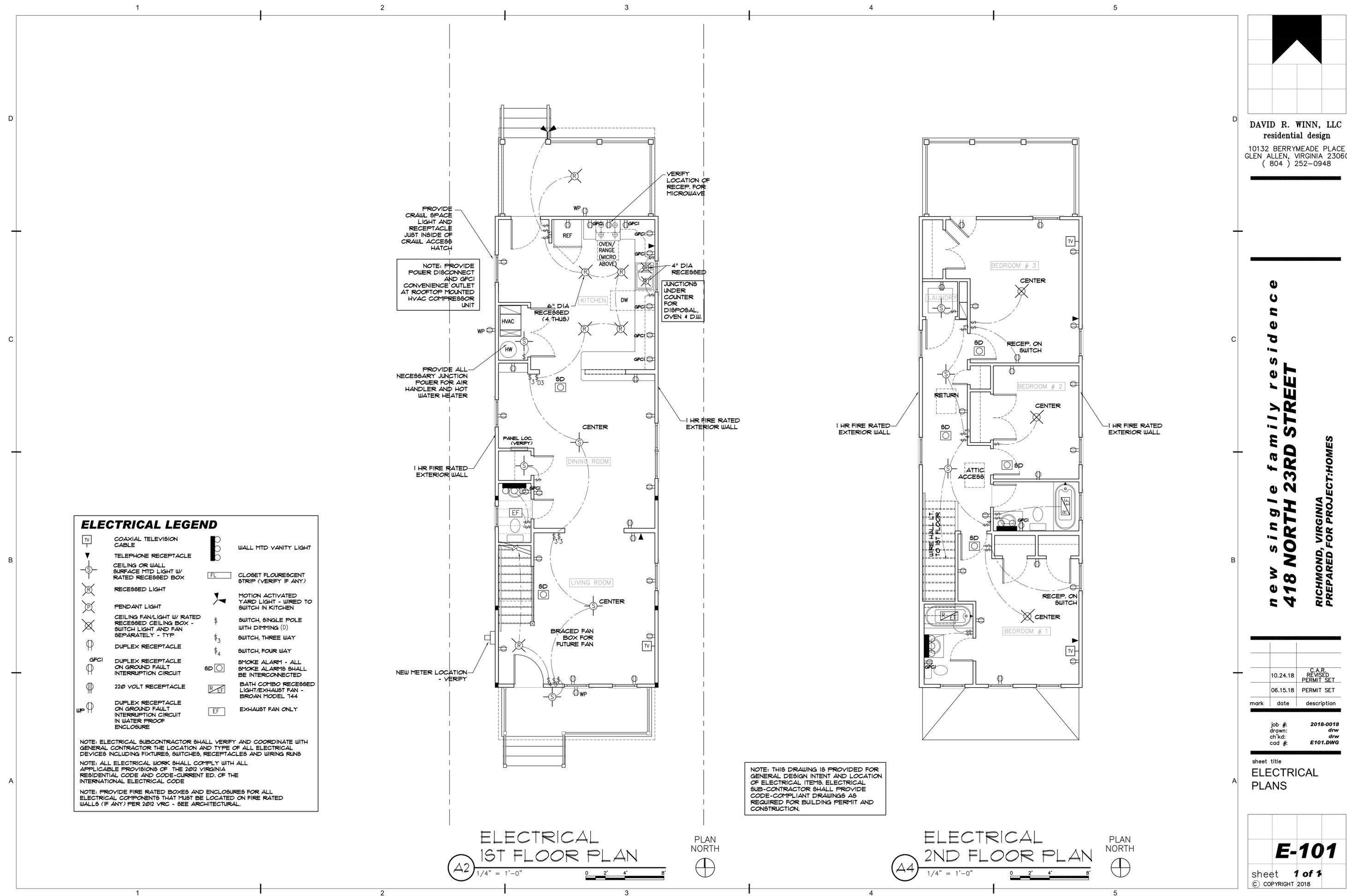
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cad #: A301.DWG

sheet title
WALL SECTIONS AND U.L. DESIGNS

A-301
sheet **7 of 7**
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ELECTRICAL LEGEND

	COAXIAL TELEVISION CABLE		WALL MTD VANITY LIGHT
	TELEPHONE RECEPTACLE		CLOSET FLOURESCENT STRIP (VERIFY IF ANY)
	CEILING OR WALL SURFACE MTD LIGHT W/ RATED RECESSED BOX		MOTION ACTIVATED YARD LIGHT - WIRED TO SWITCH IN KITCHEN
	RECESSED LIGHT		SWITCH, SINGLE POLE WITH DIMMING (D)
	PENDANT LIGHT		SWITCH, THREE WAY
	CEILING FAN/LIGHT W/ RATED RECESSED CEILING BOX - SWITCH LIGHT AND FAN SEPARATELY - TYP		SWITCH, FOUR WAY
	DUPLEX RECEPTACLE		SMOKE ALARM - ALL SMOKE ALARMS SHALL BE INTERCONNECTED
	DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTION CIRCUIT		BATH COMBO RECESSED LIGHT/EXHAUST FAN - BROAN MODEL T44
	220 VOLT RECEPTACLE		EXHAUST FAN ONLY
	DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTION CIRCUIT IN WATER PROOF ENCLOSURE		

NOTE: ELECTRICAL SUBCONTRACTOR SHALL VERIFY AND COORDINATE WITH GENERAL CONTRACTOR THE LOCATION AND TYPE OF ALL ELECTRICAL DEVICES INCLUDING FIXTURES, SWITCHES, RECEPTABLES AND WIRING RUNS

NOTE: ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE 2012 VIRGINIA RESIDENTIAL CODE AND CODE-CURRENT ED. OF THE INTERNATIONAL ELECTRICAL CODE

NOTE: PROVIDE FIRE RATED BOXES AND ENCLOSURES FOR ALL ELECTRICAL COMPONENTS THAT MUST BE LOCATED ON FIRE RATED WALLS (IF ANY) PER 2012 VRC - SEE ARCHITECTURAL.

PROVIDE CRAWL SPACE LIGHT AND RECEPTACLE JUST INSIDE OF CRAWL ACCESS HATCH

NOTE: PROVIDE POWER DISCONNECT AND GFCI CONVENIENCE OUTLET AT ROOFTOP MOUNTED HVAC COMPRESSOR UNIT

VERIFY LOCATION OF RECEPT FOR MICROWAVE

4" DIA RECESSED JUNCTIONS UNDER COUNTER FOR DISPOSAL, OVEN & D.W.

6" DIA RECESSED (4 THUS)

PROVIDE ALL NECESSARY JUNCTION POWER FOR AIR HANDLER AND HOT WATER HEATER

1 HR FIRE RATED EXTERIOR WALL

NEW METER LOCATION - VERIFY

BRACED FAN BOX FOR FUTURE FAN

DINING ROOM

LIVING ROOM

KITCHEN

REF

OVEN/RANGE (MICRO ABOVE)

DW

HVAC

WP

SD

EF

PANEL LOC. VERIFY

1 HR FIRE RATED EXTERIOR WALL

1 HR FIRE RATED EXTERIOR WALL

ELECTRICAL 1ST FLOOR PLAN

A2

1/4" = 1'-0"

0 2' 4' 8'

PLAN NORTH

NOTE: THIS DRAWING IS PROVIDED FOR GENERAL DESIGN INTENT AND LOCATION OF ELECTRICAL ITEMS. ELECTRICAL SUB-CONTRACTOR SHALL PROVIDE CODE-COMPLIANT DRAWINGS AS REQUIRED FOR BUILDING PERMIT AND CONSTRUCTION.

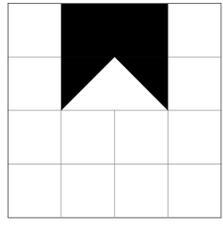
ELECTRICAL 2ND FLOOR PLAN

A4

1/4" = 1'-0"

0 2' 4' 8'

PLAN NORTH



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ELECTRICAL PLANS