

**SITE DATA**

- OWNER:** DON-BARRY LLC  
2900 SABRE ST SUITE 75  
VIRGINIA BEACH, VA 23452  
(757) 486-1122  
CONTACT: DON SMITH
- DEVELOPER:** SIFEN, INC.  
500 CENTRAL DRIVE, SUITE 106  
VIRGINIA BEACH, VA 23454  
(757) 486-1122  
CONTACT: DON SMITH  
E-MAIL: DSMITH6240@AOL.COM
- ENGINEER:** SILVERCORE  
7110 FOREST AVENUE, SUITE 204  
RICHMOND, VA 23226  
(804) 282-6900  
CONTACT: JEFF STAUB  
E-MAIL: JEFF.STAUB@SILVERCORE.US
- SURVEYOR:** NYFELER ASSOCIATES  
619 WEST CARY ST.  
RICHMOND, VA 23220  
(804) 277-4231  
CONTACT: GEORGE NYFELER
- OPIN:** HENRICO: 776-734-8993  
RICHMOND MAP REF: N0002002007
- ADDRESS:** 4300 WEST BROAD ST
- ACREAGE:** 2.72 AC. TOTAL  
1.87 AC. IN HENRICO  
0.85 AC. IN RICHMOND
- ZONING:** HENRICO: M-1 LIGHT INDUSTRIAL  
RICHMOND: B-3 GENERAL BUS.
- PROPOSED USE:** MINI-STORAGE
- PREVIOUS APPROVAL**  
A. POD # 31-09  
B. ADMINISTRATIVE # \_\_\_\_\_  
C. ZONING CASE # \_\_\_\_\_  
D. VARIANCE (BZA) CASE # \_\_\_\_\_  
E. PROVISIONAL USE PERMIT # \_\_\_\_\_  
F. SPECIAL EXCEPTION (CONDITIONAL USE) # \_\_\_\_\_
- UTILITIES**  
COUNTY WATER  YES  NO  
COUNTY SEWER  YES  NO  
WELL  YES  NO  
SEPTIC  YES  NO  
OTHER  YES  NO
- PARKING SCHEDULE**  
A. # SPACES REQUIRED NONE IN HENRICO  
B. BASIS FOR PARKING CALCULATIONS  
SEE LAYOUT FOR RIC. PARKING CALCS  
C. # SPACES PROVIDED \_\_\_\_\_  
D. # ACCESSIBLE SPACES PROVIDED \_\_\_\_\_  
INCLUDING \_\_\_\_\_ VAN ACCESSIBLE  
E. INTERIOR GREENSPACE CALCULATIONS  
N/A SF. REQUIRED  
N/A SF. PROVIDED
- PEAK HOUR TRIP GENERATION 28
- SPECIAL FLOOD HAZARD AREA INFORMATION**  
SPECIAL FLOOD HAZARD AREA (FLOODPLAIN)  
YES  NO
- BUILDING INFORMATION**  
A. SQ. FOOTAGE OF BUILDING 45,633 (CITY)  
B. NUMBER OF STORIES 3  
C. NUMBER OF UNITS N/A  
D. CONSTRUCTION TYPE NON-COMB.  
E. SPRINKLERED YES  NO   
F. USE GROUP(S) C-3  
G. MEDICAL OFFICE YES  NO
- TREE CANOPY CALCULATIONS HENRICO ONLY**  
SITE ACREAGE: 1.87 AC = 81,457 SF  
-BUILDING 14,025 SF  
-PARKING 2,268 SF  
-EASEMENTS 0 SF  
ADJ. GROSS AREA: 65,164 SF  
REQUIRED CANOPY: 6,516 SF
- OTHER MISCELLANEOUS CALCULATIONS**

**SHEET INDEX**

- SHEET 1: COVER SHEET
- SHEET 2: EXISTING CONDITIONS/ DEMOLITION PLAN
- SHEET 3: LAYOUT PLAN
- SHEET 4: UTILITY PLAN
- SHEET 5: GRADING PLAN
- SHEET 6: EROSION CONTROL PHASE I PLAN
- SHEET 7: EROSION CONTROL PHASE II PLAN
- SHEET 8: DRAINAGE PLAN
- SHEET 9: HENRICO COUNTY STD. DETAILS I
- SHEET 10: HENRICO COUNTY STD DETAILS II
- SHEET 11: HENRICO ESA SHEET
- SHEET 12: NOTES AND DETAILS
- SHEET 13: NOTES AND DETAILS
- SHEET 14: CALCULATIONS
- SHEET 15: LANDSCAPE PLAN
- SHEET 16: LIGHTING PLAN

**LAND COVER TABLE (CITY OF RICHMOND)**

LAND COVER	SQUARE FOOTAGE
BUILDING	16,211
PAVED AREA	12,390
OPEN SPACE	8,425
<b>TOTAL</b>	<b>37,026 (0.85 AC.)</b>

TOTAL GROSS FLOOR AREA OF BUILDINGS: 45,633 SF

**Survey Provided by:**  
NYFELER ASSOCIATES PERFORMED A FIELD RUN SURVEY ON 11/24/14 OVERSEEN BY GEORGE NYFELER.

**TRAFFIC IMPACT ANALYSIS DEVELOPER'S/ENGINEER'S CERTIFICATION**

I HAVE, IN ACCORDANCE WITH SECTION 19.2-2222.1 OF THE CODE OF VIRGINIA AND ITS SUPPORTING REGULATIONS, 24VAC 30-155-50, EXAMINED THE CRITERIA THAT REQUIRE THAT A TRAFFIC IMPACT ANALYSIS BE SUBMITTED TO VDOT VIA THE LOCALITY, IF THE PROPOSAL WILL SUBSTANTIALLY AFFECT TRANSPORTATION ON STATE CONTROLLED HIGHWAYS, AND HAVE DETERMINED THAT THE ABOVE REFERENCED PROPOSAL:

- DOES NOT** REQUIRE SUBMISSION OF A SUPPLEMENTAL TRAFFIC ANALYSIS (STA) PER 527 REGULATIONS FOR THIS PROPOSED PLAN.
- DOES** REQUIRE SUBMISSION OF A SUPPLEMENTAL TRAFFIC ANALYSIS (STA) PER 527 REGULATIONS FOR THIS PROPOSED PLAN.

**EROSION CONTROL QUANTITIES (FOR BOND PURPOSES ONLY)**

NO.	DESCRIPTION	EA	LF	EA	LF
1	Construction Entrance	1	EA	\$0.00	\$0.00
2	Silt Fence	400	LF	\$0.00	\$0.00
3	Inlet Protection	2	EA	\$0.00	\$0.00
4	Seeding (Area of Disturbance)	0.60	AC	\$0.00	\$0.00
5	Temporary Soil Stockpile	200	CY	\$0.00	\$0.00
<b>Total</b>			<b>TBD</b>		

# SITE AND UTILITY PLANS FOR MINI PRICE WAREHOUSE II

## WEST END DISTRICT # 1 - RICHMOND, VA BROOKLAND DISTRICT - HENRICO COUNTY, VA

**RECEIVED**  
AUG 25 2015



VICINITY MAP

SCALE 1" = 2000'

**CITY PERMITS REQUIRED:** BUILDING PERMIT (B)  
STORMSEWER PERMIT (C)  
LAND DISTURBANCE PERMIT (W)

\*PROJECT STATUS- PROJECT IS NEITHER GRANDFATHERED NOR PREVIOUSLY PERMITTED.

**EXCEPTIONS GRANTED**

DATE	DEPT(S)	DESCRIPTION

**ENGINEER'S CERTIFICATION**

TO THE BEST OF MY KNOWLEDGE, THIS PLAN SATISFIES ALL ZONING CODE REQUIREMENTS, CONDITIONS OF APPROVAL, AND PROVISIONS.

\_\_\_\_\_  
SIGNATURE

**REVISIONS TO APPROVED PLANS**

NO.	DATE	DESCRIPTION

DEPARTMENT OF PLANNING APPROVAL BLOCK

APPROVED BY THE COUNTY OF HENRICO BOARD OF SUPERVISORS

DATE \_\_\_\_\_ COUNTY MANAGER \_\_\_\_\_

APPROVED BY: THE HENRICO COUNTY PLANNING COMMISSION  
DATE \_\_\_\_\_  
 ACTING SECRETARY

APPROVED BY: THE HENRICO COUNTY PLANNING DEPARTMENT  
DATE \_\_\_\_\_  
 COUNTY PLANNER  
 PRINCIPAL PLANNER  
 DIRECTOR

THIS APPROVAL ENCOMPASSES ONLY THOSE REVISIONS NOTED IN THE LETTER OF APPROVAL.

AS INDICATED IN RED

YES  NO  10 DAY EXPEDITED SIGNATURE PROCESS

LAND USE ADMINISTRATION

AUTHORIZATION TO BEGIN WATER AND SEWER CONSTRUCTION WILL BE PROVIDED AT THE DPU PRECONSTRUCTION MEETING.

DEPARTMENT OF PUBLIC UTILITIES  
POD APPROVAL

FOR WATER AND SANITARY SEWER ONLY, SUBJECT TO COUNTY SPECIFICATIONS.

APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL FOR WATER AND SEWER EXPIRES: \_\_\_\_\_

NOTE: WATER AND SEWER SYSTEMS FOR THIS PROJECT WILL BE ACCEPTED AND WATER METERS WILL BE SET AFTER ADJACENT UTILITIES TO WHICH THEY CONNECT HAVE BEEN ACCEPTED BY THE COUNTY FOR OPERATION.

DPU PRE-CONSTRUCTION MEETING

DPU INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

D.P.U. # \_\_\_\_\_

DEPARTMENT OF PUBLIC WORKS APPROVAL BLOCK

DIRECTOR OF PUBLIC WORKS

DATE \_\_\_\_\_

DATE \_\_\_\_\_ DESIGN ENGINEER \_\_\_\_\_

DATE \_\_\_\_\_ ENVIRONMENTAL ENGINEER \_\_\_\_\_

DATE \_\_\_\_\_ TRAFFIC ENGINEER \_\_\_\_\_

DATE \_\_\_\_\_ ENVIRONMENTAL INSPECTOR \_\_\_\_\_

AS INDICATED IN RED

D.P.W. # \_\_\_\_\_

DATE	REVISION	DESCRIPTION

DISTRIBUTION BY DPW:

\_\_\_\_\_  
PUBLIC UTILITIES (S) ENGINEER

\_\_\_\_\_  
PERMIT CENTER FIRE

\_\_\_\_\_  
EASTERN GOVERNMENT CENTER

P.O.D. 2014-00000



MINI PRICE WAREHOUSE II  
COVER SHEET

WEST END DISTRICT #1  
BROOKLAND DISTRICT

RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA

REV.#	DATE	DESCRIPTION

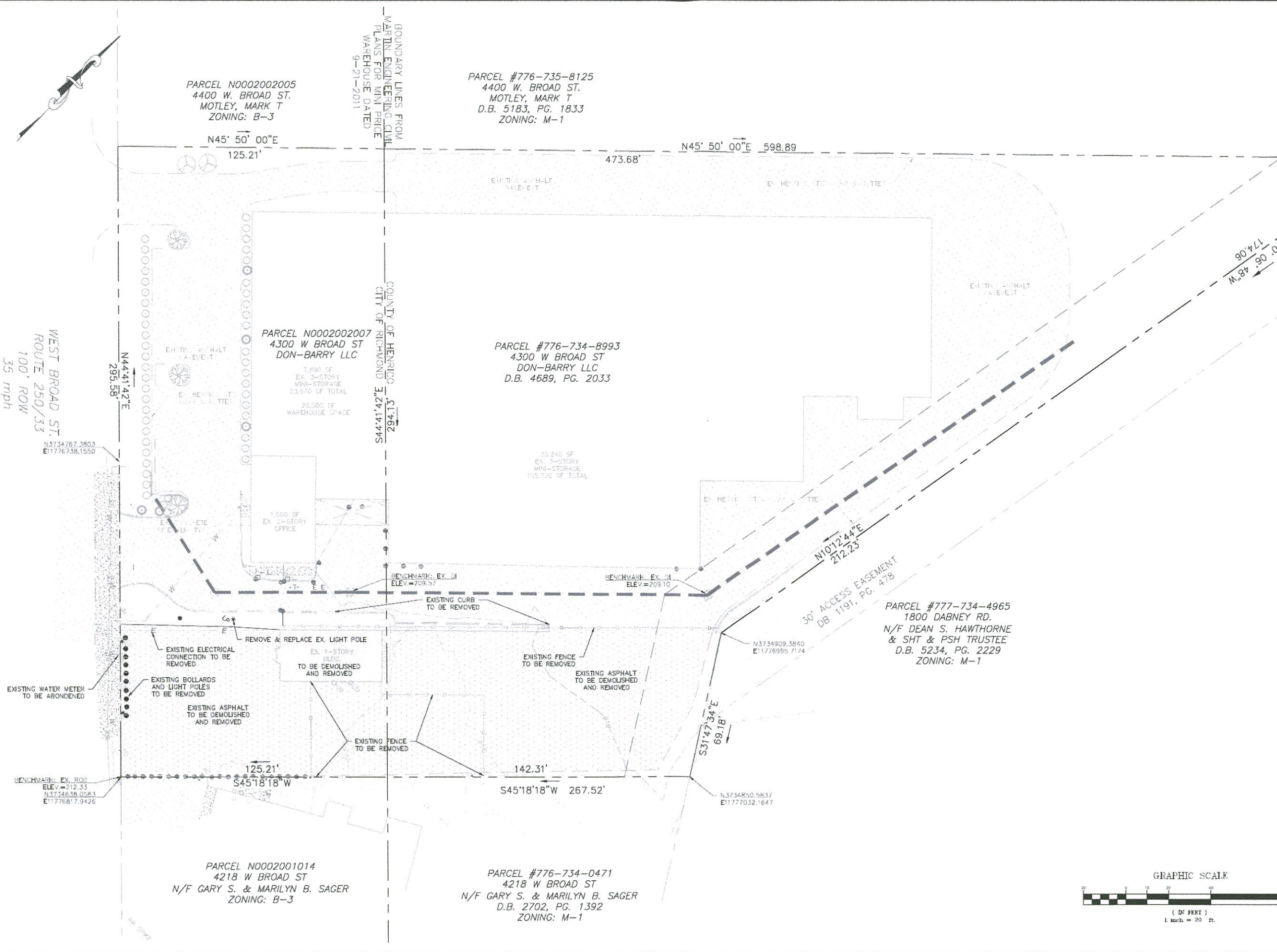
DESIGN CONTACT: Jeff Staub  
DRAWING SCALE: N/A  
DATE: 6/5/2015

**SHEET**  
**1**

JOB #: 140070



P.O.D. 2014-00000

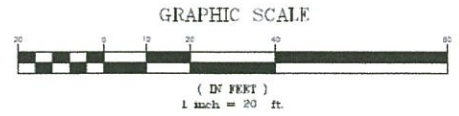


**MINI PRICE WAREHOUSE II**  
**EX. CONDITIONS / DEMO**  
 WEST END DISTRICT #1  
 BROOKLAND DISTRICT  
 RICHMOND, VIRGINIA  
 HENRICO COUNTY, VIRGINIA

REV#	DATE	DESCRIPTION

DESIGN CONTACT: Jeff Staub  
 DRAWING SCALE: 1"=20'  
 DATE: 6/5/2015

SHEET  
**2**  
 JOB #: 140070









P.O.D. 2014-00000

MINI PRICE WAREHOUSE II  
GRADING PLAN

WEST END DISTRICT #1  
BROOKLAND DISTRICT

RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA

REV. #	DATE	DESCRIPTION

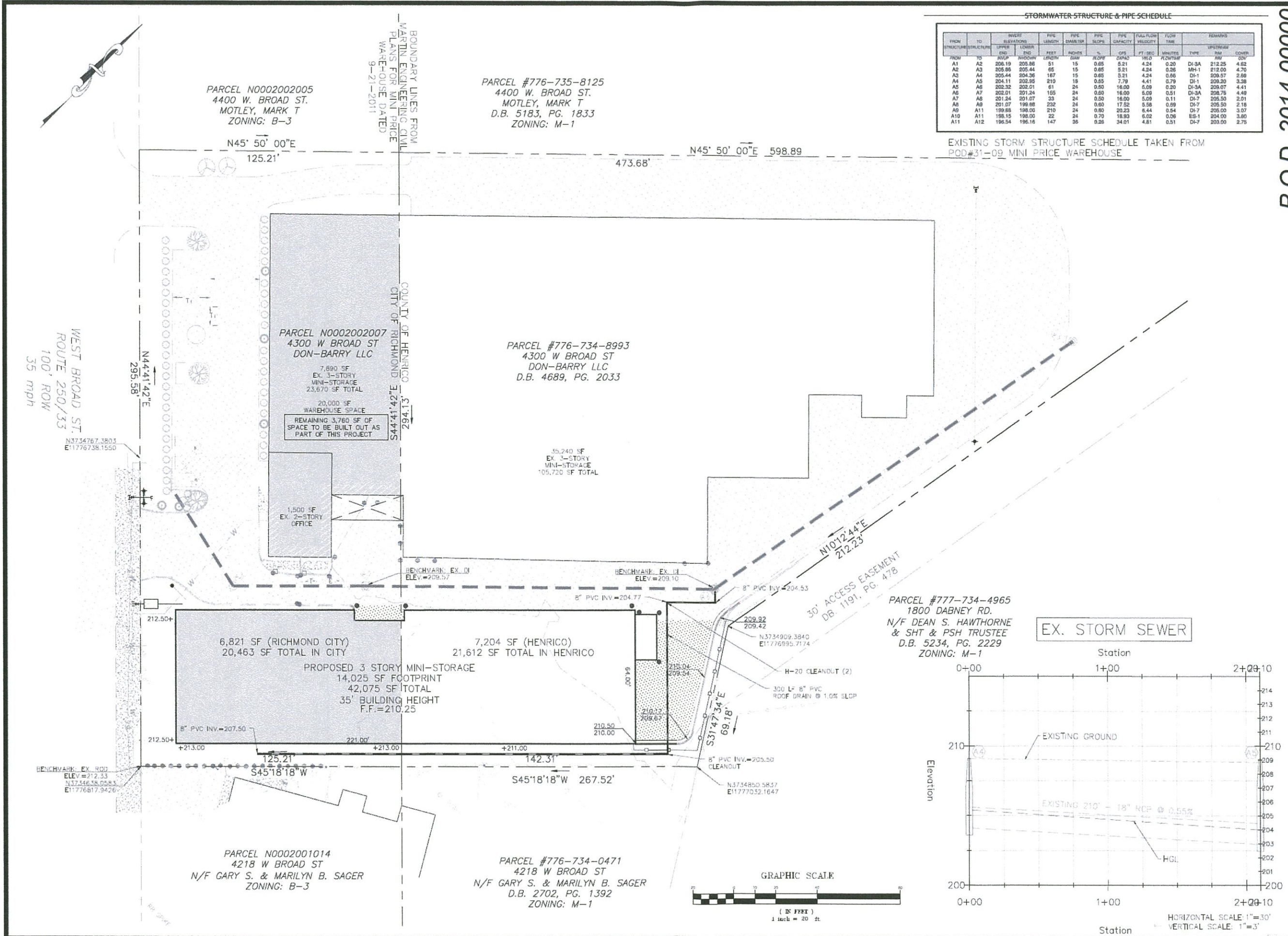
DESIGN CONTACT: Jeff Staud  
DRAWING SCALE: 1"=20'  
DATE: 6/5/2015

SHEET  
**5**  
JOB #: 140070

STORMWATER STRUCTURE & PIPE SCHEDULE

FROM STRUCTURE	TO STRUCTURE	INVERT ELEVATIONS	PIPE LENGTH	PIPE DIA.	PIPE SLOPE	PIPE CAPACITY	FULL FLOW VELOCITY	FLOW TIME	REMARKS
		UPPER END	LOWER END	FEET	INCHES	GPM	FT/SEC	MINUTES	TYPE
A1	A2	206.19	205.86	51	15	0.65	5.21	4.24	DI-3A
A2	A3	205.66	205.44	65	15	0.65	5.21	4.24	MH-1
A3	A4	205.44	204.36	167	15	0.65	5.21	4.24	DI-1
A4	A5	204.11	202.95	210	18	0.85	7.79	4.41	DI-1
A5	A6	202.32	202.01	61	24	0.50	16.00	5.09	DI-3A
A6	A7	202.01	201.24	155	24	0.50	16.00	5.09	DI-3A
A7	A8	201.24	201.07	33	24	0.50	16.00	5.09	DI-7
A8	A9	201.07	199.68	222	24	0.60	17.52	5.58	DI-7
A9	A11	199.68	198.00	210	24	0.80	20.23	6.44	DI-7
A10	A11	198.15	198.00	22	24	0.70	18.93	6.02	ES-1
A11	A12	196.54	196.16	147	36	0.28	34.01	4.81	DI-7

EXISTING STORM STRUCTURE SCHEDULE TAKEN FROM POD#31-09 MINI PRICE WAREHOUSE



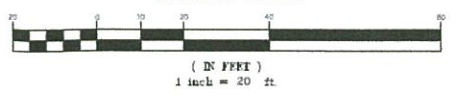
WEST BROAD ST.  
ROUTE 250/33  
100' ROW  
35 mph

N3734767.3803  
E11776738.1550

BENCHMARK, EX. ROD  
ELEV.=212.33  
N37344638.0583  
E11776817.9426

PARCEL #0002001014  
4218 W BROAD ST  
N/F GARY S. & MARILYN B. SAGER  
ZONING: B-3

PARCEL #776-734-0471  
4218 W BROAD ST  
N/F GARY S. & MARILYN B. SAGER  
D.B. 2702, PG. 1392  
ZONING: M-1



**EROSION CONTROL NARRATIVE**

PROJECT DESCRIPTION: THE EXISTING PROJECT AREA CONSISTS OF 1 EXISTING PARCEL TOTALING 2.72 ACRES. THERE IS AN EXISTING BUILDING ON THE SOUTHERN PORTION OF THE SITE THAT WILL BE DEMOLISHED. THE LIMITS OF DISTURBANCE WILL BE APPROXIMATELY 0.57 ACRES.

EXISTING SITE CONDITIONS: THE SITE IS MOSTLY IMPERVIOUS WITH TWO EXISTING BUILDINGS. THE SITE SLOPES FROM SOUTH TO NORTH MODERATELY. THE MAJORITY OF THE SITE DRAINS TO THE EXISTING INLETS WITHIN THE DRIVE AISLES OF THE PROPERTY.

ADJACENT SITE: THE SITE IS SURROUNDED BY "M" & "B" ZONING. TO THE NORTH, EAST AND WEST. AN EXISTING AUTO SALES BORDERS A PORTION OF THE SITE TO THE NORTH AND SOUTH. THERE ARE NO STREAMS, WETLANDS, OR LAKES ADJACENT.

OFF-SITE AREAS: IF THE SITE REQUIRES ANY BORROW OR WASTE AREAS IT WILL BE UNDER A SEPARATE PERMIT.

SOILS: THE MAPPING UNIT FOR OUR SITE IS UR - URBAN LAND.

CRITICAL AREAS: CRITICAL AREAS FOR THIS PROJECT IS THE INLETS IN THE DRIVES AS A MAJORITY OF THE RUNOFF WILL DRAIN TO THESE INLETS.

EROSION & SEDIMENT CONTROL MEASURES: MUCH OF THE SITE IS IMPERVIOUS AND WE WILL BE DISTURBING UNDER 1 ACRE. WE WILL PROVIDE SILT FENCE AT THE PERIMETER (SOUTHERN AND EASTERN BORDERS). INLET PROTECTION ON EXISTING DOWNSTREAM INLETS. THE EXISTING ENTRANCE ON BROAD STREET WILL BE UTILIZED AS THE CONSTRUCTION ENTRANCE DURING DEMOLITION OF THE EXISTING BUILDING AND PROPOSED DEVELOPMENT.

PERMANENT STABILIZATION: THE SITE WILL HAVE LANDSCAPE AREAS THAT WILL BE PLANTED, SEEDED AND/OR MULCHED. THE REST OF THE SITE WILL BE BUILDING, OR CONCRETE PAVING.

STORM WATER RUNOFF: THE SITE WILL DECREASE IN RUNOFF.

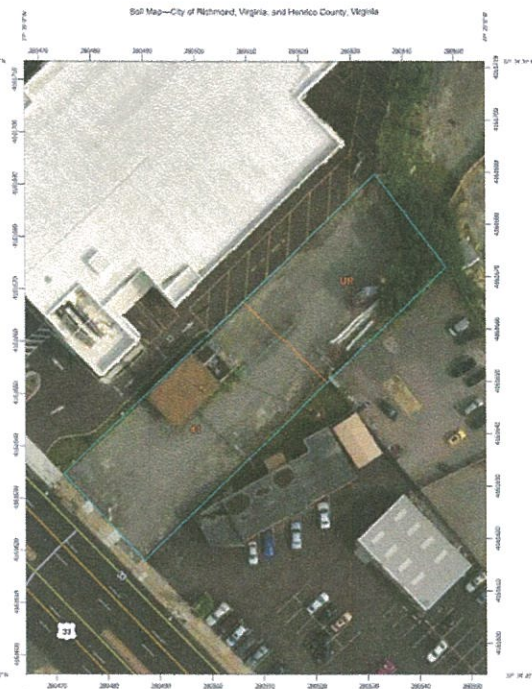
CALCULATIONS: ALL CALCULATIONS HAVE BEEN PROVIDED IN THIS PLAN SET.

**STRUCTURAL PRACTICES:**

- 3.02 - CONSTRUCTION ENTRANCE**  
A CONSTRUCTION ENTRANCE SHALL BE INSTALLED ON THE SOUTHERN PORTION OF THE SITE OFF OF EAST BROAD STREET. DURING MUDDY CONDITIONS, DRIVERS OF CONSTRUCTION VEHICLES WILL BE REQUIRED TO WASH THEIR WHEELS BEFORE ENTERING THE HIGHWAY.
- 3.05 - SILT FENCE**  
SILT FENCE SEDIMENT BARRIER WILL BE INSTALLED DOWNSLOPE OF ANY LAND DISTURBING ACTIVITIES TO FILTER SEDIMENT LADEN SHEET FLOW.
- 3.07 - STORM DRAIN INLET PROTECTION**  
ALL STORM SEWER INLETS SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITIES. ALL RUNOFF SHALL BE FILTERED PRIOR TO ENTERING STORM SEWER SYSTEM.

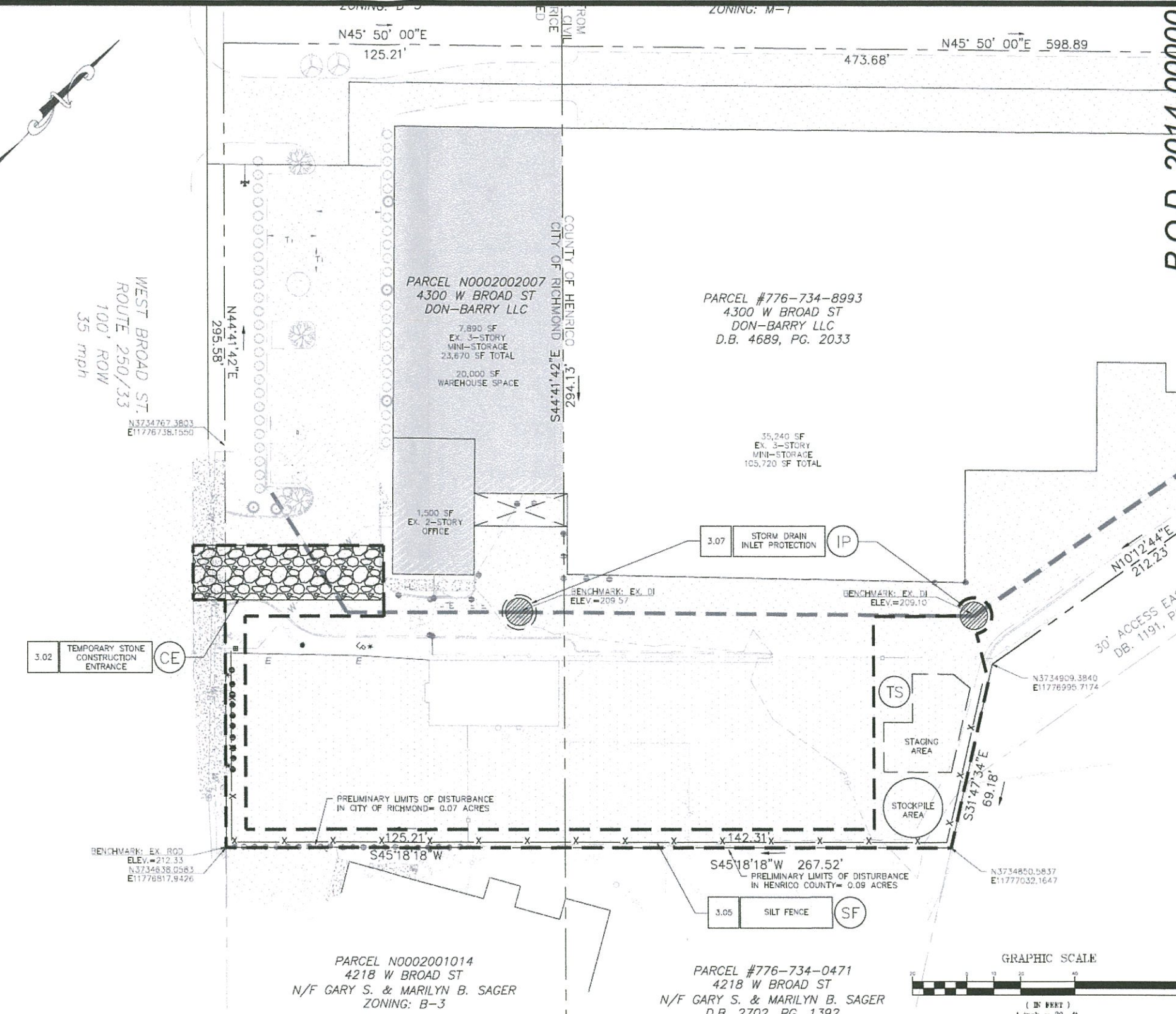
**EROSION CONTROL NOTES**

- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE LEFT DORMANT FOR MORE THAN ONE YEAR.
- EXCESS EXCAVATION DISPOSED OF OFF SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
- EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED IN ACCORDANCE WITH VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP OF LAND DISTURBING ACTIVITY.
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED SO THAT THE SEDIMENT CARRYING RUNOFF FROM THE SITE WILL NOT ENTER STORM DRAINAGE FACILITIES.
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL THE DISTURBED AREA IS STABILIZED.
- PROPERTIES ADJOINING THE SITE SHALL BE KEPT CLEAN OF MUD OR SILT CARRIED FROM THE SITE BY VEHICULAR TRAFFIC OR RUNOFF.
- THE DISPOSAL OF WASTE MATERIAL REMOVED FROM EROSION AND SEDIMENT CONTROL FACILITIES AND THE DISPOSAL OF FACILITIES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
- STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.



**Map Unit Legend**

City of Richmond, Virginia (VA060)			
Map Unit Symbol	Map Unit Name	Acres in ADI	Percent of ADI
41	Urban land	0.3	99.2%
Subtotals for Soil Survey Area		0.3	99.2%
Totals for Area of Interest		0.5	100.0%
Henrico County, Virginia (VA087)			
Map Unit Symbol	Map Unit Name	Acres in ADI	Percent of ADI
UR	Urban land	0.2	40.0%
Subtotals for Soil Survey Area		0.2	40.0%
Totals for Area of Interest		0.5	100.0%



**EROSION CONTROL PHASE I SEQUENCE/SCHEDULE**

- CONTACT THE ENVIRONMENTAL DIVISION TO ESTABLISH A PRE-CONSTRUCTION MEETING PRIOR TO CONSTRUCTION.
- NO LAND DISTURBANCE MAY OCCUR OUTSIDE THE PRELIMINARY LIMITS OF DISTURBANCE UNTIL THE INSTALLATION OF THE ESC MEASURES HAS BEEN APPROVED BY THE ENVIRONMENTAL INSPECTOR.
- AFTER PRE-CONSTRUCTION MEETING, INSTALL CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN.
- BEGIN DEMOLITION OF EXISTING BUILDING AND PAVEMENT AT THE PERIMETER OF THE PROPERTY TO ALLOW FOR INSTALLATION OF SILT FENCE.
- INSTALL SILT FENCE AND INLET PROTECTION, AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.
- EXISTING PAVED AREA WILL SERVE AS CONSTRUCTION ENTRANCE DURING PHASE I.
- AFTER APPROVAL BY ENVIRONMENTAL INSPECTOR, BEGIN GRADING OPERATIONS MAINTAINING POSITIVE DRAINAGE TOWARDS THE SILT FENCE AND SILT FENCE OUTLET.
- IF CONSTRUCTION DOES NOT COMMENCE FOR 180 DAYS FOLLOWING THE PRE-CONSTRUCTION MEETING OR IF THE PROJECT IS DORMANT FOR 180 DAYS DURING THE CONSTRUCTION PHASE, A NEW PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE CONSTRUCTION CAN RE-START.
- NO EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED WITHOUT APPROVAL OF THE ENVIRONMENTAL INSPECTOR.

**EROSION CONTROL LEGEND & QUANTITIES:**

NOTE: DETAILS AND SPECIFICATIONS OF EROSION AND SEDIMENT MEASURES ARE FOUND IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.

KEY-	NUMBER	TITLE	QUANTITY
CE	3.02	CONSTRUCTION ENTRANCE	1 EACH
SF	3.05	SILT FENCE	395 LF
IP	3.07	INLET PROTECTION	2 EACH
TS	3.31	TEMPORARY SEEDING	0.30 AC
PS	3.32	PERMANENT SEEDING	0.02 AC

P.O.D. 2014-00000



**SILVERCORE**  
LAND DEVELOPMENT CONSULTANTS

MINI PRICE WAREHOUSE II  
EROSION CONTROL  
PHASE I PLAN

RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA

WEST END DISTRICT #1  
BROOKLAND DISTRICT

REV#	DATE	DESCRIPTION

DESIGN CONTACT: Jeff Staub  
DRAWING SCALE: 1"=20'  
DATE: 6/5/2015

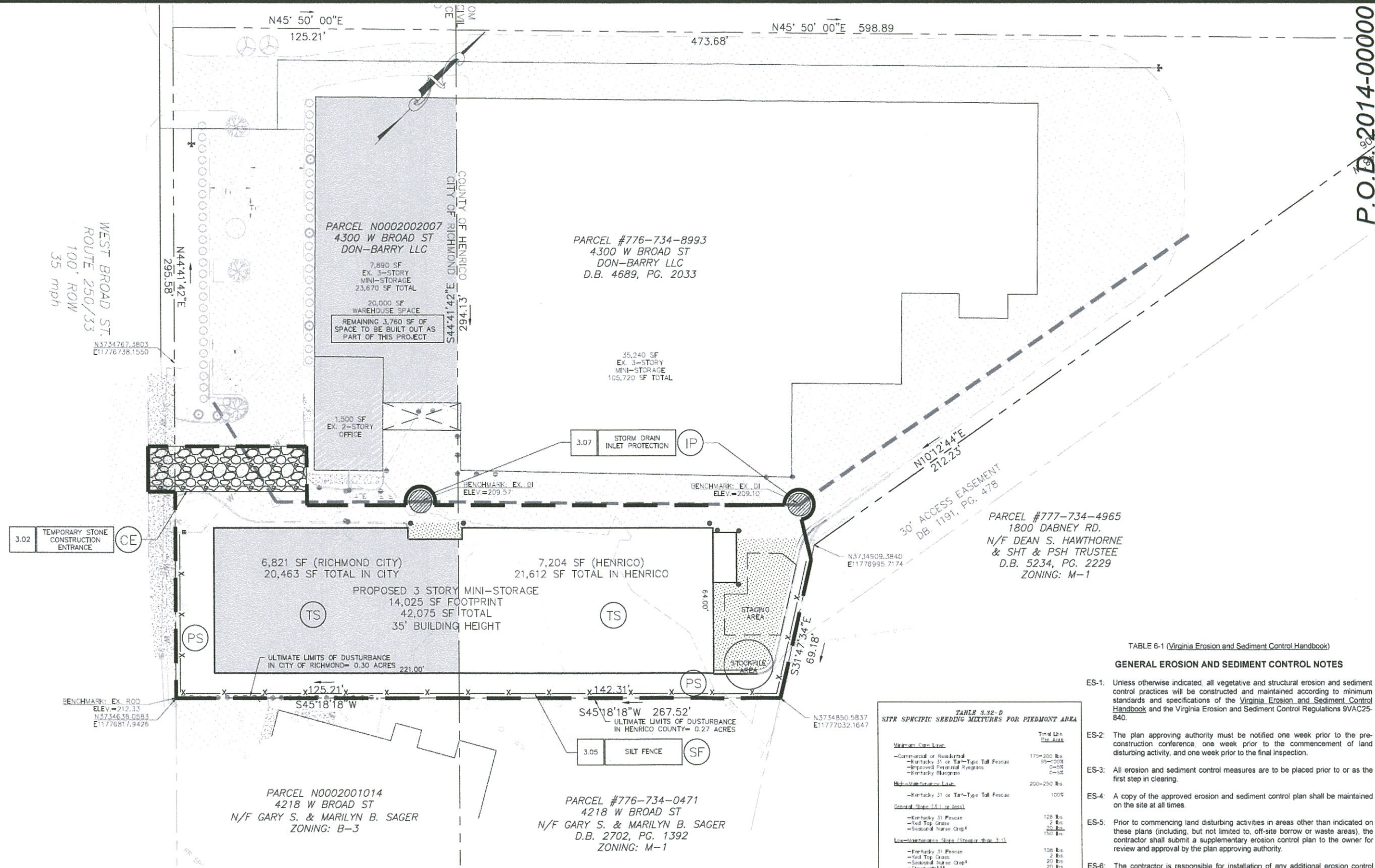
SHEET  
**6**  
JOB #: 140070



**SILVERCORE**  
LAND DEVELOPMENT CONSULTANTS  
1115 PARKWAY AVE. E. - SUITE 204 - RICHMOND, VA 23226 (804) 261-4500

P.O.D. 2014-00000

MINI PRICE WAREHOUSE II  
EROSION CONTROL  
PHASE II PLAN  
WEST END DISTRICT #1  
BROOKLAND DISTRICT  
RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA



**EROSION CONTROL PHASE II SEQUENCE/SCHEDULE**

1. MAINTAIN ALL PHASE I EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION OR AS INDICATED ON THE PHASE II PLANS.
2. BEGIN GRADING OPERATIONS MAINTAINING POSITIVE DRAINAGE TO INLETS WITH PROTECTION AT ALL TIMES.
3. STRIP TOPSOIL, GRADE BUILDING PADS AND BEGIN BUILDING CONSTRUCTION.
4. INSTALL UTILITIES, CURB AND GUTTER AND STORM SEWER WITH INLET PROTECTION.
5. BACK FILL, GRADE AND STABILIZE PARKING AREA.
6. TOPSOIL, SEED, AND STABILIZE ANY REMAINING DISTURBED AREAS.
7. STOCKPILE IS TO BE REMOVED FROM THE SITE PRIOR TO CESSATION OF CONSTRUCTION ACTIVITIES ON THE SITE AND ISSUANCE OF CERTIFICATION OF OCCUPANCY FOR THE BUILDING.
8. INSTALL PAVEMENT.
9. INSTALL OTHER HARDSCAPING & LANDSCAPING THEN TOPSOIL SEED & STABILIZE ANY REMAINING DISTURBED AREAS.
10. CONTACT ENVIRONMENTAL DIVISION FOR FINAL INSPECTION.
11. UPON APPROVAL OF SITE STABILIZATION, ALL E&S MEASURES CAN BE REMOVED.

TABLE 6-1 (Virginia Erosion and Sediment Control Handbook)

**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- ES-1: Unless otherwise indicated, all vegetative and structural erosion and sediment control practices will be constructed and maintained according to minimum standards and specifications of the Virginia Erosion and Sediment Control Handbook and the Virginia Erosion and Sediment Control Regulations 9VAC25-840.
- ES-2: The plan approving authority must be notified one week prior to the pre-construction conference, one week prior to the commencement of land disturbing activity, and one week prior to the final inspection.
- ES-3: All erosion and sediment control measures are to be placed prior to or as the first step in clearing.
- ES-4: A copy of the approved erosion and sediment control plan shall be maintained on the site at all times.
- ES-5: Prior to commencing land disturbing activities in areas other than indicated on these plans (including, but not limited to, off-site borrow or waste areas), the contractor shall submit a supplementary erosion control plan to the owner for review and approval by the plan approving authority.
- ES-6: The contractor is responsible for installation of any additional erosion control measures necessary to prevent erosion and sedimentation as determined by the plan approving authority.
- ES-7: All disturbed areas are to drain to approved sediment control measures at all times during land disturbing activities and during site development until final stabilization is achieved.
- ES-8: During dewatering operations, water will be pumped into an approved filtering device.
- ES-9: The contractor shall inspect all erosion control measures periodically and after each runoff-producing rainfall event. Any necessary repairs or cleanup to maintain the effectiveness of the erosion control devices shall be made immediately.

TABLE 3.32-D  
SITE SPECIFIC SEEDING MIXTURES FOR PIEDMONT AREA

Minimum Cover Level	Total Lbs. Per Acre
Commercial or Residential	175-200 Lbs.
- Kentucky 31 or Tall-Type Tall Fescue	100-125 Lbs.
- Improved Perennial Ryegrass	0-50 Lbs.
- Kentucky Bluegrass	0-30 Lbs.
Mulch/Seepage Area	200-250 Lbs.
- Kentucky 31 or Tall-Type Tall Fescue	100% Lbs.
General Slope (1.5:1 or less)	
- Kentucky 31 Fescue	125 Lbs.
- Tall Top Grass	20 Lbs.
- Seasonal Nurse Crop†	150 Lbs.
Low/Steepness Slope (Steeper than 1:1)	
- Kentucky 31 Fescue	100 Lbs.
- Tall Top Grass	20 Lbs.
- Seasonal Nurse Crop†	20 Lbs.
- Oats/vetch††	150 Lbs.

† Use seasonal nurse crop in accordance with seeding dates as stated below:  
 April: February 15th through April  
 May: May 1st through August  
 15th: August 15th through October  
 15th: October 15th through February  
 15th: November through March

†† Substitute Sorghum Sorghum for Oats/vetch east of Farmville, VA. (May through September use hulled Sorghum, all other periods, use unhulled Sorghum). If Fescue is used in lieu of Oats/vetch, increase rate to 30 Lbs./acre. All legumes used must be properly inoculated. Seeding legumes may be added to any slope or low-steepness slope during warmer seeding periods; add 10-20 Lbs./acre in excess.

REV. #	DATE	DESCRIPTION

DESIGN CONTACT: Jeff Staub  
DRAWING SCALE: 1"=20'  
DATE: 6/5/2015

SHEET  
**7**  
JOB #: 140070



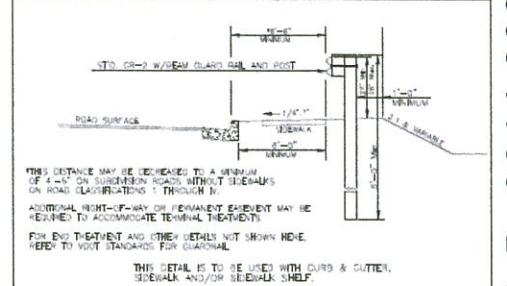




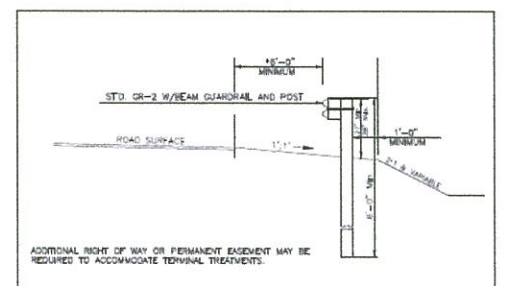
REFER TO HENRICO COUNTY DESIGN MANUAL FOR ADDITIONAL DETAILS

P.O.D. 2014-0000

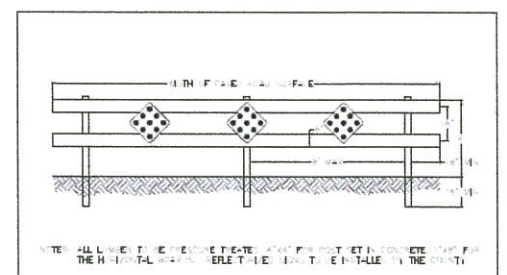
SILVERCORE LAND DEVELOPMENT CONSULTANTS  
1500 FINEST AVENUE - SUITE 200 - RICHMOND, VA 23226 (804) 491-6950



GUARDRAIL DETAIL WITH CURB & GUTTER  
County of Henrico  
Department of Public Works  
JANUARY 1, 2002  
HW-CD-02-002



GUARDRAIL DETAIL WITHOUT CURB & GUTTER  
County of Henrico  
Department of Public Works  
JANUARY 1, 2002  
HW-CD-02-003



END OF ROAD BARRICADE  
County of Henrico  
Department of Public Works  
JANUARY 1, 2002  
BARRICADE-001



ROAD EXTENSION SIGN  
County of Henrico  
Department of Public Works  
REVISED 6/1/04  
JANUARY 1, 2002  
ROAD\_EXTENS\_SIGN-001

MINI PRICE WAREHOUSE II  
HENRICO STD DETAILS I  
WEST END DISTRICT #1  
BROOKLAND DISTRICT  
RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA

GENERAL NOTES

- All construction and materials shall be in accordance with the current Virginia Department of Transportation Road and Bridge Specifications, Virginia Department of Transportation Road and Bridge Standards, and Henrico County Specifications and Standards where applicable.
- Incidental concrete must be Class A3 in accordance with VDOT specifications.
- A permit must be secured from the Henrico County Department of Public Works before any work is performed within an existing County right-of-way or easement.
- The Department of Public Works must be notified at least 24 hours prior to beginning any construction work.
- The contractor shall notify the Henrico County Department of Public Utilities prior to doing any utility work.
- The location of existing utilities, as shown, is approximate. The contractor shall verify the location of existing utilities prior to any construction work.
- A permit must be obtained from the Virginia Department of Transportation for any work performed within the State right-of-way.
- The contractor shall notify "Miss Utility" at 1-800-552-7001 prior to any construction work in this area.
- When it appears that the proposed work may have some impact to adjacent private or commercial properties, the applicant must inform the property owners of the proposed work and keep them apprised of time schedules, delays, impacts, changes in pedestrian and vehicle access or traffic patterns, and final restoration plans.
- When a temporary cut-de-sac is no longer required due to a road extension, the developer of the road being extended is responsible for removing the temporary cut-de-sac and extending the road and property components (curbs and gutters, gravel driveways, paved driveways, sidewalks, mailboxes, etc.) to the new road section and re-grading areas to finished contours acceptable to the adjacent property owners and to Henrico County.
- No driveway access points shall be allowed within the radius of a public road intersection.
- When driveways are located within roll face curb and gutter, transitions to a drop inlet, curb cuts and aprons are required.
- Prior to the issuance of any building permits, all signs and barricades for dead end stub roads must be in place.

CURB AND GUTTER

- All curb and gutter and storm sewer/inlets located within the existing County right-of-way shall be staked by the County upon written request being made to the County Engineer or by calling 501-4619.
- All curb and gutter shall be Henrico County standard curb and gutter, except as noted.
- This plan establishes curb and gutter elevations along the public right-of-way. The County reserves the right to modify the proposed grades, if necessary.
- All curb and gutter in the County right-of-way must be wet curb and gutter. The use of dry curb and gutter is prohibited in the County right-of-way.
- The transition from standard six (6) inch curb to roll-faced curb shall be at intersections at the point of curvature (PC) of curb returns.
- Where sidewalks are present or proposed, all driveways must be concrete from the back of curb to at least the rear of the sidewalk.
- Class 57 stone must be placed under all curb and gutter and must extend one foot beyond the back of the curb.
- CG-12's must be installed at curb returns where there is existing or proposed sidewalks. In locations where there is no sidewalk being proposed, the curb must be depressed for the future location of a CG-12.

CONDITIONS FOR GUARDRAIL

- Guardrail is typically required on sections of roadway when any of the following conditions exist within the clear zone:
- A roadside parallel embankment (fill slope) of 3:1 or steeper and a depth of four feet or more.
  - A water hazard with a depth of two feet or more.
  - A ditch section with a depth of three feet or more (as measured from the near edge of pavement).
  - A fixed object (such as a culvert, pipe, headwall, retaining wall, bridge pier, or abutment).
  - Other hazards as determined by the Traffic Engineer.
  - Additional right-of-way or permanent easements may be required to accommodate the guardrail in its entirety.
- All guardrail must be approved by the Department of Public Works and shown on the plans, including any necessary details, type, and lengths of rail.

PAVEMENT

- The pavement section is subject to change based on soil conditions at the time of construction, as determined by the Construction Engineer for Henrico County.
- Any necessary pavement widening between the existing pavement and the proposed improvements is the responsibility of the developer.
- All medians for turn lanes must be VDOT Std. MS-1. For turn lanes being constructed on existing roads, the old median must be removed entirely and the solid raised median poured on the asphalt base course in accordance with the standards for MS-1 Median. Standard MS-1A or variations of the same will not be permitted.
- Pavement sections for through lanes and turn lanes must be the same as the existing pavement section. These turn lanes must have underdrains.
- No pavement open cuts are allowed on existing County maintained roads unless specifically approved by the Construction Engineer for Henrico County.
- If utility connections are located outside of the pavement and right-of-way, no pavement disturbance is required and all utility crossings must be bored.
- Soil tests and CBR information, with an appropriate pavement design, must be performed and made available to the Construction Engineer prior to subgrade approval.

DRAINAGE

- All storm sewer within the County right-of-way and easements must be ASTM C-76, Class III or better, reinforced concrete pipe with sealed joints in accordance with VDOT specifications.
- Precast drop inlets are not permitted at locations where the grade of the adjacent curb and gutter is less than 1.5%. Precast drop inlets with flat inverts are not permitted in sag locations when the total length of the required throat opening exceeds six (6) feet.
- All storm sewer within a County easement or right-of-way must have a minimum of four (4) inches of aggregate bedding material and must be backfilled in accordance with the detail on this sheet.
- All drop inlets must have Type B noses.
- Drop inlets on grade must be poured with the throat on the same grade as the adjoining curb and gutter.
- 4# x 8" dowels must be placed at approximately 12" c-c in all areas adjacent to abutting concrete to prevent settlement.
- When using non-concrete pipe for private areas, the connection to the structure in the County easement or right-of-way must be concrete. Non-concrete pipe must terminate in a concrete structure and continue concrete to the point where it ties into the County easement or right-of-way. All manholes and inlets must be concrete.
- UD-4 underdrains are required along the entire length of all proposed roads and/or road widening within the public right-of-way unless waived by the Director of Public Works.
- Irrigation is not permitted in the shoulder area within the County right-of-way unless specifically approved by the County Engineer.
- CD-1 underdrains are required on all vertical sags.
- UD-2 underdrains are required in all raised grass medians and islands within the public right-of-way.
- The outlet end of all underdrains must terminate in drainage structures or daylight out of fill slopes with a standard EW-12 endwall placed at the outlet end of the underdrain.

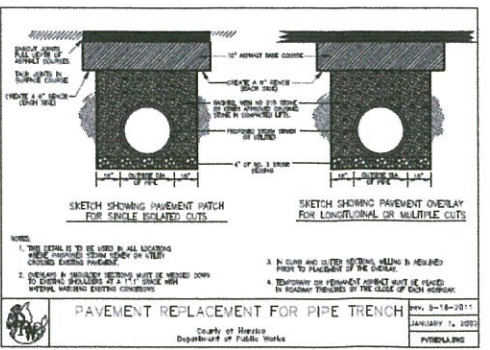
GRADING

- The subgrade area shall be scarified to a depth of eight inches for a minimum of two feet beyond the proposed edges of the pavement on both sides (or from the curb and gutter) and compacted to a density of not less than 95 percent.
- When materials which are unsuitable for foundation, subgrade or other roadway purposes occur within the roadway limits, such materials must be excavated below the grade shown on the plans as directed by the geotechnical engineer or as approved by the Henrico County Construction Engineer and the areas must be backfilled with suitable material.
- All solid rock or boulders found in the roadway shall be excavated to the full roadway width to a depth of one foot below subgrade and then backfilled to the proper grade with suitable materials.
- A six (6) feet wide pedestrian shelf is required behind all curb and gutter in the County right-of-way. The shelf must be cleared/constructed at the time of road construction, including the relocation of all power poles and other above ground obstacles.
- All graded islands must be graded to 1/4" rise to minimize sight distance problems.
- All areas to be filled within the buildable area (ponds, sediment basins, sediment traps, wetlands, etc.) must be backfilled with structural fill and compacted to 95% compaction.
- All grading shown on lots must be done prior to building permit issuance.
- The design and construction of basins must be in compliance with the general requirements for dams in the Virginia Stormwater Management Program Manual. A geotechnical engineer must certify that the construction compaction requirements have been achieved. BMPs for subdivisions will not be accepted for County maintenance until the geotechnical certification is provided and accepted by the Department of Public Works.

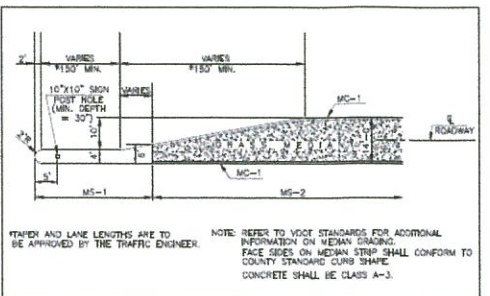
SURVEY

- All roadways must be cleared in the area of proposed construction prior to requesting staking from the County.
- All utility poles, fire hydrants, and other above ground obstacles located within the public right-of-way and in conflict with the proposed sidewalk shelf, curb and gutter, and/or the pavement widening shall be relocated at the developer's expense prior to Henrico County staking the curb and gutter.
- This plan approval establishes the curb and gutter and storm sewer/inlet elevations along the public right-of-way. These elevations (located within the existing County right-of-way) shall be staked by Henrico County upon written request being made to the County Engineer or by calling 501-4619. The County reserves the right to modify the proposed grades, if necessary.
- Prior to requesting County stakeout, all appropriate information necessary for stakeout must be provided to the Henrico County Survey Department.
- Right-of-way and baseline information must be established in the field and clearly tied to monuments/benchmarks prior to requesting stakeout by the County.

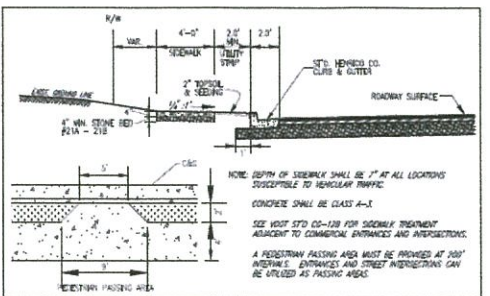
WHERE CONFLICTS EXIST, THE NOTES AND DETAILS ON THIS SHEET SUPERCEDE THE CURRENT VERSION OF THE HENRICO COUNTY DESIGN MANUAL.



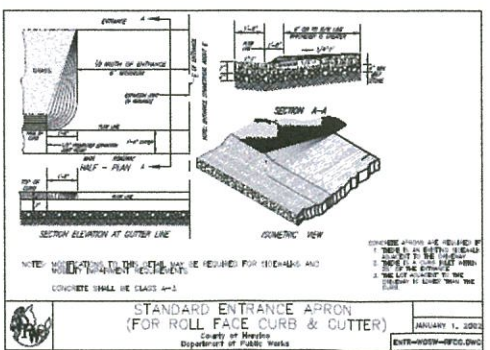
PAVEMENT REPLACEMENT FOR PIPE TRENCH  
County of Henrico  
Department of Public Works  
REVISED 6/1/04  
JANUARY 1, 2002  
PVE-001



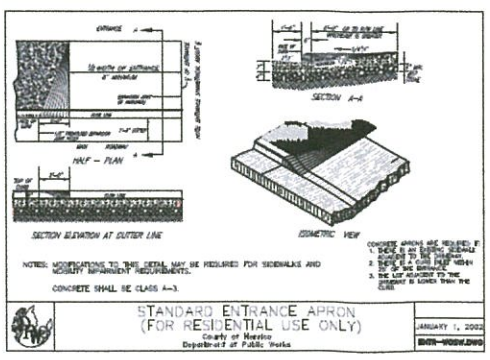
RAISED 14' MEDIAN W/LEFT TURN LANE DETAIL  
County of Henrico  
Department of Public Works  
JANUARY 1, 2002  
MED-12-14.000



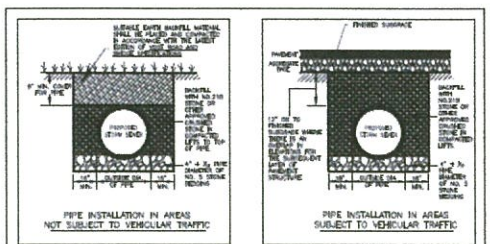
SIDEWALK DETAIL  
County of Henrico  
Department of Public Works  
JANUARY 1, 2002  
SIDEWALK-001



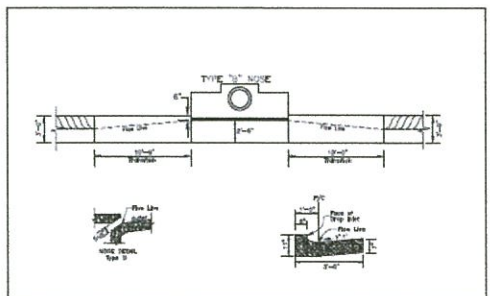
STANDARD ENTRANCE APRON (FOR ROLL FACE CURB & GUTTER)  
County of Henrico  
Department of Public Works  
JANUARY 1, 2002  
ENTR-001-APRON-001



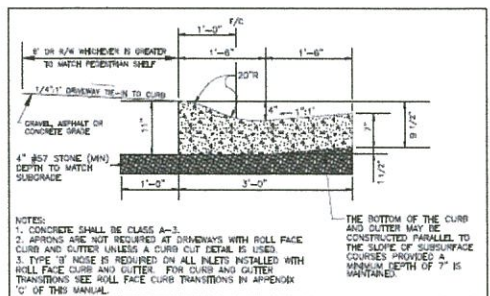
STANDARD ENTRANCE APRON (FOR RESIDENTIAL USE ONLY)  
County of Henrico  
Department of Public Works  
JANUARY 1, 2002  
ENTR-001-RES-001



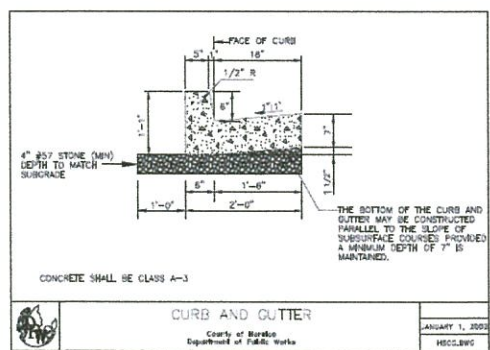
PIPE BEDDING & BACKFILL  
(For See Standard 2 - Non-Road Construction)  
County of Henrico  
Department of Public Works  
REVISED 6/1/04  
JANUARY 1, 2002  
PVE-001-BED-001



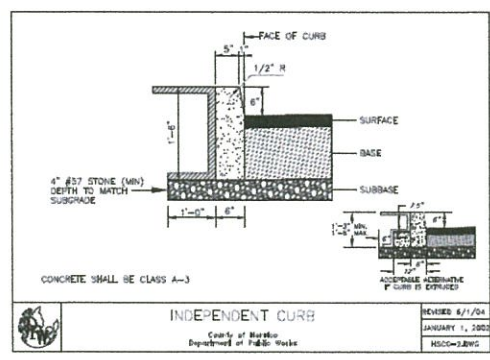
ROLL FACE CURB TRANSITIONS  
County of Henrico  
Department of Public Works  
REVISED 6/1/04  
JANUARY 1, 2002  
RFB-001-TRANS-001



ROLL FACE CURB AND GUTTER  
County of Henrico  
Department of Public Works  
REVISED 6/1/04  
JANUARY 1, 2002  
RFB-001



CURB AND GUTTER  
County of Henrico  
Department of Public Works  
JANUARY 1, 2002  
HW-CD-02-002



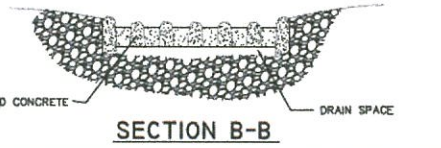
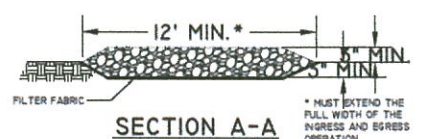
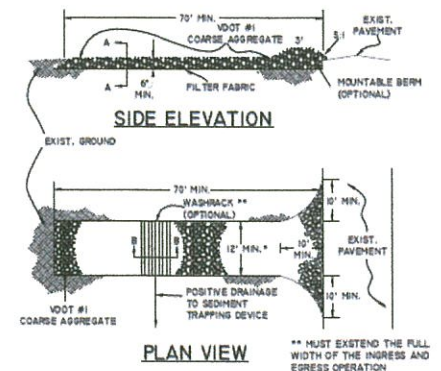
INDEPENDENT CURB  
County of Henrico  
Department of Public Works  
REVISED 6/1/04  
JANUARY 1, 2002  
HW-CD-02-003

CITY SUBMITTAL	DATE	DESCRIPTION
CITY/COUNTY COMMENTS		
REVIEW	6/16/15	
REVISION	6/17/15	
REV		

DESIGN CONTACT: Jeff Staub  
DRAWING SCALE: N/A  
DATE: 6/5/2015

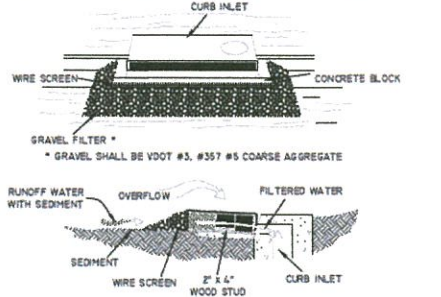
### STONE CONSTRUCTION ENTRANCE

STD. & SPEC. 3.02 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)



### BLOCK AND GRAVEL CURB INLET SEDIMENT FILTER

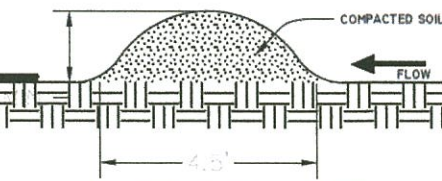
STD. & SPEC. 3.07 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)



**SPECIFIC APPLICATION**  
THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE AN OVERFLOW CAPABILITY IS NECESSARY TO PREVENT EXCESSIVE PONDING IN FRONT OF THE STRUCTURE.

### TEMPORARY DIVERSION DIKE

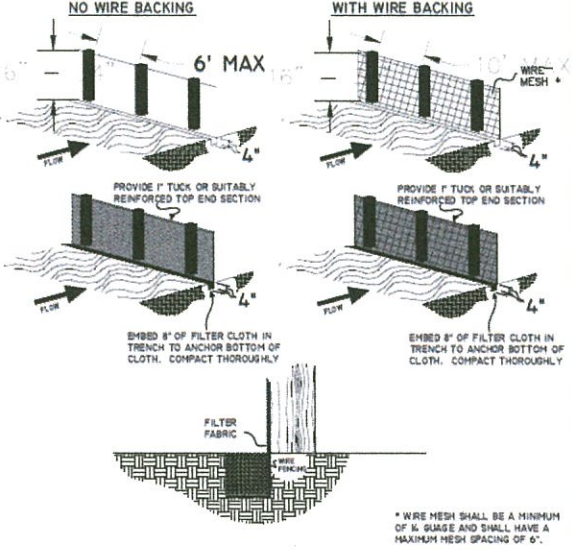
STD. & SPEC. 3.09 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)



SIDE SLOPES MUST BE 1.5:1 OR FLATTER  
TEMPORARY OR PERMANENT SEEDING AND MULCH MUST BE APPLIED IMMEDIATELY UPON CONSTRUCTION

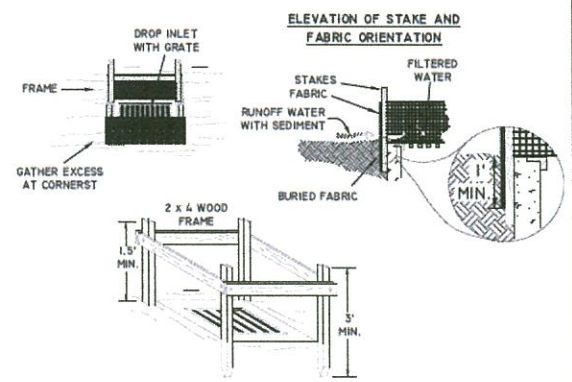
### SILT FENCE

STD. & SPEC. 3.05 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)



### SILT FENCE DROP INLET PROTECTION

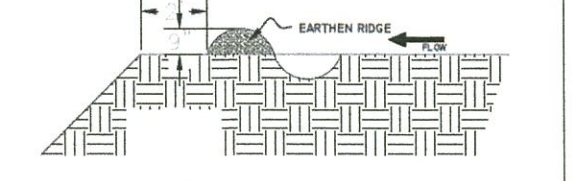
STD. & SPEC. 3.07 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)



**SPECIFIC APPLICATION**  
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5%) WHERE INLET SHEET OR OVERLAND FLOWS (NOT EXCEEDING 1 cfs) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

### TEMPORARY FILL DIVERSION

STD. & SPEC. 3.10 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)



THE DIVERSION SHALL BE AT LEAST 2' INSIDE OF THE TOP EDGE OF FILL  
THE SUPPORTING RIDGE SHALL BE CONSTRUCTED WITH A UNIFORM HEIGHT ALONG ITS ENTIRE LENGTH TO PREVENT BREACHING.

### OUTFALL ADEQUACY

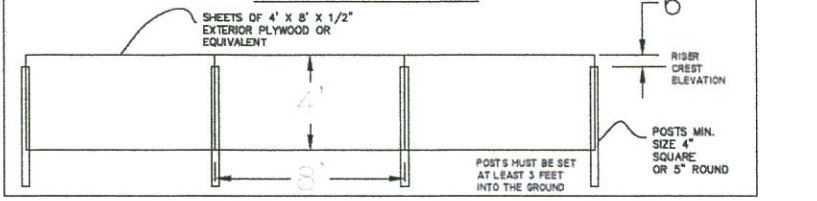
In accordance with Minimum Standard 19 of the Virginia Erosion and Sediment Control Regulations and the Henrico County Design Manual, adequacy of off-site receiving channels or pipes must be verified by addressing one of the following Adequacy Situations:

- A. The drainage area from the project at the discharge point is less than or equal to one percent of the total drainage area at the discharge point and the 10-year storm is contained within the channel banks (Project Drainage Area and Total Drainage area are required), OR
- B. Natural channels must be analyzed to demonstrate that (1) the 10-year storm will not overtop the channel banks and (2) the 2-year storm will not cause erosion of the channel bed and banks ( $Q_{Capacity}$ ,  $Q_{10}$ ,  $V_{Allowable}$ , and  $V_2$  are required), except  $Q_{Capacity}$  and  $Q_{10}$  are not applicable if the channel is in the 100-year floodplain, RPA, SPA. OR
- C. Man-made channels must be analyzed to demonstrate that (1) the 10-year storm will not overtop the channel banks and (2) the 2-year storm will not cause erosion of the channel bed and banks ( $Q_{Capacity}$ ,  $Q_{10}$ ,  $V_{Allowable}$ , and  $V_2$  are required), OR
- D. Pipes and storm sewer systems must be analyzed to demonstrate that the 10-year storm will be contained within the system ( $Q_{Capacity}$ ,  $Q_{10}$ , and Hydraulic Grade Line calculations are required), OR
- E. Runoff is discharged through an energy dissipator at the limits of the 100-year floodplain, RPA buffer, or SPA buffer.

Discharge Point	Adequacy Situation	Project Drainage Area	Total Drainage Area	$Q_{Capacity}$	$Q_{10}$	$V_{Allowable}$	$V_2$	Cross-section, Profile, and Calculations Shown on Sheet (s)
A 4	D	0.62 ac.	0.99 ac.	7.79 cfs	7.62 cfs			pipe calc on sheet 8

Discharge Point = Unique identifier for the discharge point  
Project Drainage Area = the drainage area of the project that drains to the discharge point in acres  
 $Q_{Capacity}$  = the carrying capacity of the channel or pipe in CFS  
 $V_{Allowable}$  = the maximum velocity (in FPS) that the channel lining can withstand without eroding  
Adequacy Situation - either A, B, C, D, or E as described above  
Total Drainage Area - the total drainage area to the discharge point in acres  
 $Q_{10}$  = the peak discharge at the discharge point for the 10-year storm in CFS  
 $V_2$  = the velocity at the discharge point for the 2-year storm in FPS  
Generally, scaled channel cross-sections must be provided every fifty (50) feet and at the most constricted locations of all outfall channels for a minimum of 150 feet of profile.

### BAFFLE DETAIL

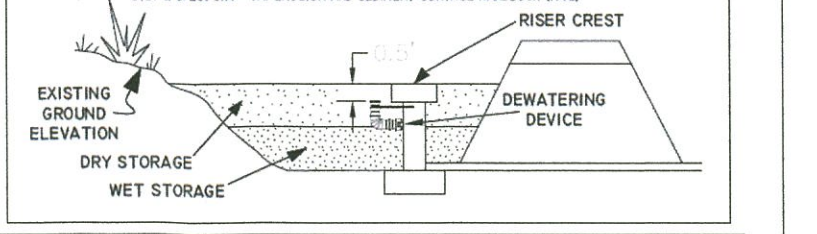


### SEDIMENT BASINS

Basin #	Drainage Area (acres)	Wet Storage		Dry Storage		Bottom Elevation	Riser Crest Elevation	Riser Diameter	Dewatering Device Elevation	Dewatering Device Diameter	25-Yr. Storm Elevation	Emergency Spillway Elevation	Anti-Vortex Device Diameter	Top of Dam Elevation	Top of Dam Width	BAFFLE		BARREL		
		Volume Required (Cu. Yd.)	Volume Provided (Cu. Yd.)	Volume Required (Cu. Yd.)	Volume Provided (Cu. Yd.)											Flowlength to Width Ratio	Baffle Length	Top of Baffle	Pipe Length	Pipe Diameter

### TEMPORARY SEDIMENT BASIN

STD. & SPEC. 3.14 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)

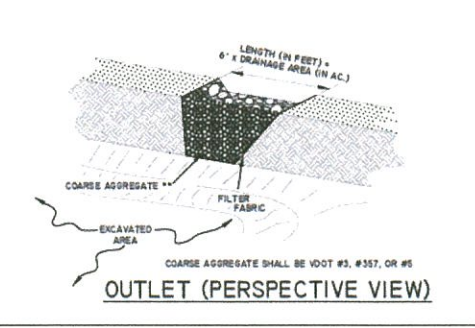
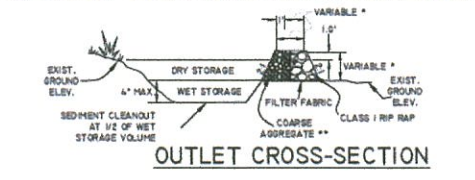


### SEDIMENT TRAPS

Trap #	Drainage Area (acres)	Wet Storage		Dry Storage		Outlet Length (feet)	Bottom Elevation	Top of Berm Elevation	Top of Berm Width	Dimensions (L x W)
		Volume Required (Cu. Yd.)	Volume Provided (Cu. Yd.)	Volume Required (Cu. Yd.)	Volume Provided (Cu. Yd.)					

### TEMPORARY SEDIMENT TRAP

STD. & SPEC. 3.15 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)



### 50/10 DETENTION SUMMARY

	D (QPS)	AREA (ACRES)	C	I	C ADJ. FACTOR
$Q_{10}$ PRE-DEVELOPMENT (A)					
$Q_{10}$ POST-DEVELOPMENT (ON-SITE BYPASS) (B)					
$Q_{10}$ POST-DEVELOPMENT (OFF-SITE THROUGH PROJECT) (C)					
$Q_{10}$ ALLOWABLE (A - B + C)					
$Q_{10}$ FROM BASIN/PIPE (ROUTED)					

\*PROJECT IS REDUCING TOTAL IMPERVIOUS AREA FOR SITE, THUS 50/10 DETENTION IS ALREADY MET.

P.O.D. 2014-0000



SILVERCORE  
LAND DEVELOPMENT CONSULTANTS



MINI PRICE WAREHOUSE II  
HENRICO STD DETAILS II  
WEST END DISTRICT #1  
BROOKLAND DISTRICT  
RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA

REV.	DATE	DESCRIPTION

DESIGN CONTACT: Jeff Staub  
DRAWING SCALE: N/A  
DATE: 6/5/2015

**MINIMUM STANDARDS FOR EROSION AND SEDIMENT CONTROL**

- MS-1 Any area that has reached final grade must receive temporary or permanent soil stabilization within seven days. Areas not at final grade that will remain dormant longer than 30 days must have temporary soil stabilization within seven days. Areas that will be dormant longer than one year must have permanent soil stabilization.
- MS-2 All soil stockpiles and borrow areas must be stabilized or protected with sediment trapping measures. Temporary protection and permanent stabilization shall be applied to all on-site soil stockpiles and borrow areas and soil intentionally transported from the project site.
- MS-3 Permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieved that is uniform, mature enough to survive, and will inhibit erosion.
- MS-4 Sediment basins and traps, and perimeter ESC measures intended to trap sediment must be constructed as a first step in any land-disturbing activity and shall be made functional before uplope land disturbance takes place.
- MS-5 Stabilization measures shall be applied to earthen structures such as dams, dikes, and diversions immediately upon installation.
- MS-6 Sediment basin and trap design information. \*\*
- MS-7 Cut and fill slopes must be designed and constructed in a manner that will minimize erosion. Slopes that are found to be eroding excessively within one year of permanent stabilization shall be provided with additional slope stabilizing measures until the problem is corrected.
- MS-8 Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume, or slope drain structure.
- MS-9 Whenever water seeps from a slope face, adequate drainage or other protection must be provided.
- MS-10 Inlet protection is required for all storm inlets that will be made operable during construction.
- MS-11 Before newly constructed storm water conveyance systems are made operational, adequate outlet protection and any required channel lining must be installed in both the conveyance channel and receiving channel.
- MS-12 When work in a live watercourse is performed, precautions must be taken to minimize encroachment, control sediment transport, and stabilize the work area to the greatest extent during construction. Non-erodible material shall be used for the construction of causeways and cofferdams. Earthen fill may be used if armored by non-erodible cover materials.
- MS-13 When a live watercourse must be crossed by construction vehicles more than twice in any six-month period, a temporary vehicular stream crossing constructed of non-erodible material must be provided.
- MS-14 All applicable federal, state, and local regulations related to working in or crossing live watercourses must be met.
- MS-15 The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse is completed.
- MS-16 Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
  - a. No more than 500 linear feet of trench may be opened at one time.
  - b. Excavated material shall be placed on the uphill side of trenches.
  - c. Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged so that it does not adversely affect flowing streams or off-site property.
  - d. Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.
  - e. Re-stabilization shall be accomplished in accordance with these regulations.
  - f. Comply with all applicable safety regulations.
- MS-17 Construction entrances are required at all access points to the construction site. Where sediment is transported onto a paved or public road surface, the road surface shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This applies to individual development lots as well as to larger land-disturbing activities.
- MS-18 All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed, unless otherwise authorized by the local program authority. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures must be permanently stabilized to prevent further erosion and sedimentation.
- MS-19 Adequate outfall information \*\*

\*\* MS-6 and MS-19 deal with the design aspects of the plan. For further information, please consult the latest edition of the Virginia Erosion and Sediment Control Handbook. Also, refer to the sediment basin/trap design tables and the adequate outfall table located on the "Erosion and Sediment Control - Standard Details/Calcs." sheet.

Any variance to the above listed minimum standards must be requested and approved in writing.

**UTILITY NOTES**

- All excavated material is to be placed on the uphill side of trench.
- All storm and sanitary sewer lines not in streets are to be mulched and seeded within 7 days after backfill. No more than 500 feet of trench is to be open at one time.
- Construction access roads shall be located on the uphill side of the trench or over the trench whenever possible.
- All construction discharge water shall be adequately filtered to remove silt prior to discharge into waterways and wetlands.
- Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.
- All work must be in compliance with applicable safety regulations.
- All stream crossings and stream diversions require approval from the Environmental Engineer prior to any instream work (see STREAM CROSSINGS / DIVERSIONS / WORK IN STREAMS).

**SILT FENCE NOTES**

- Silt fence and filter fabric must be entrenched.
- Posts for silt fences shall be either 2-inch diameter oak, 4-inch diameter pine or 1.33 pounds per linear foot steel. Posts will be a minimum of 5 feet in length. Steel posts shall have projections for fastening wire to them.
- Wire fence reinforcement for silt fences using standard strength filter cloth shall be a minimum of 42 inches in height, a minimum of 14 gauge and shall have a maximum mesh spacing of 6 inches.
- Post shall be spaced a maximum of 10 feet apart at the barrier location and driven securely into the ground (min. of 12 inches) when extra strength fabric is used. Without the wire support fence, post spacing shall not exceed 6 feet.
- When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the post.
- Sediment must be removed when deposits reach approximately one - half the height of the barrier.
- Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared, and seeded.
- Under no circumstances should silt fence be installed in live streams.
- Silt fence shall be removed upon completion of the project.

**STREAM CROSSINGS / DIVERSIONS / WORK IN STREAMS**

- When a live watercourse must be crossed by construction vehicles or temporarily diverted, a plan/sketch showing appropriate details of the crossing/diversion must be submitted for approval to Henrico County's Environmental Engineer prior to any work involving the stream. The plan shall include but is not limited to: all pipes, mats, channel details, erosion control devices, sequence for construction, etc. Guidelines for pipe diameters can be found in table 3.24-A of the Virginia Erosion and Sediment Control Handbook. Channel liners will be in accordance with Section 3.25 of the Handbook.
- No motorized equipment will at any time be within a waterway unless supported by flotation equipment or a temporary construction pad composed of clean non-erodible material (rocks, rip-rap, mats).
- Clearing and grubbing of wetland areas will be kept to a minimum. All wetlands temporarily disturbed during construction will be restored to their original elevation, by removing excess material, grading and seeding with a wetland seed mix. In no case shall wetland areas be reseeded with any species of fescue.
- The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse has been completed.

**BMP INSPECTIONS / CERTIFICATIONS**

Inspections of proposed BMPs must be conducted at two phases of construction - "rough grading" and "final conformance". County staff, the Developer or his/her representative, and the Developer's engineer should be present at the inspections.

The Developer or his/her representative is responsible for notifying the Environmental Inspector at the appropriate times during construction when the inspections should occur. Failure to request the inspections may result in delay of final acceptance of the BMP. Three inches of topsoil is required for areas of the BMP that will be stabilized with vegetation.

The Developer's Engineer/Surveyor will provide a letter of conformance once the final conformance inspection has been performed and all issues resolved.

Prior to release of the Erosion and Sediment Control bond, the Developer's Engineer/Surveyor will provide a BMP Certification using standard County forms.

**RESPONSIBLE LAND DISTURBER (RLD) POLICY**

As a prerequisite to engaging in the land-disturbing activities shown on this plan, the individual responsible for carrying out the plan and holding a certificate of competence shall be identified (the RLD).

The RLD will:

1. Attend the Pre-Construction meeting and sign the approved plans.
2. Inspect the ESC measures periodically at least once every two weeks, or within 48 hours of any runoff producing storm event.
3. For projects with site area of 1 acre or greater, submit inspection reports using a standard form supplied by the County to the Environmental Inspector listing all deficiencies or stating no deficiencies were found, and
4. Coordinate the implementation and maintenance of all erosion and sediment control measures in accordance with the approved plan.

**MOSQUITO CONTROL NOTES**

All construction sites and erosion and sediment control measures must be inspected and maintained to eliminate or minimize areas that promote mosquito breeding. Remove or empty all containers and trapped water in tarps. Fill and grade tire ruts or other imperfections in grade. Any standing water that remains for FIVE (5) days or more must be treated with an appropriate larvicide, including water in sediment basins and traps.

When a mosquito breeding area is found, removal or treatment of the area is required immediately. Inspection and treatment questions may be directed to Henrico County at (804) 501-7333. Other pesticide application questions should be directed to the Virginia Department of Agricultural & Consumer Services (VDACS) at (804) 371-8560.

**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

Henrico County's Environmental Inspector (804-727-8328) must be contacted at least 48 hours prior to any land disturbing activity.

All activities on the site must comply with Chapter 10 of the Henrico County Code.

All erosion and sediment control (ESC) measures must be placed prior to, or as the first step in grading. The preliminary limits of disturbance must be the minimum necessary to allow installation of the ESC measures and should include all areas necessary for installing the initial ESC measures, including stockpiles, borrow areas, staging areas, etc. Disturbance outside of the preliminary limits of land disturbance may not occur until the Environmental Inspector has approved the ESC measure installation.

If additional ESC devices are found necessary during construction, they must be installed as directed by the Environmental Inspector for Henrico County.

Unless otherwise approved by the Environmental Engineer, all runoff must drain to a sediment basin or trap during all phases of construction.

All ESC devices must be installed and maintained in accordance with the latest version of the Virginia Erosion and Sediment Control Handbook and the Virginia Erosion and Sediment Control Regulations.

A construction entrance must be constructed and properly maintained in accordance with Std. & Spec. 3.05 - Construction Entrance, in the latest version of the Virginia Erosion and Sediment Control Handbook. If mud tracking becomes a problem, the Environmental Inspector will require additional measures (i.e. wash rack).

If dust becomes a problem during construction, a water truck will be required on-site at all times, and dust must be controlled in accordance with Std. & Spec. 3.39 - Dust Control, in the latest version of the Virginia Erosion and Sediment Control Handbook.

Dewatering of footings, excavated trenches, sediment basins/traps, etc. must be done in accordance with Std. & Spec. 3.26 - Dewatering Structure, in the latest version of the Virginia Erosion and Sediment Control Handbook. The Environmental Inspector must approve the method prior to beginning dewatering.

All temporary stockpile locations must be shown on the plan. Stockpiles may remain in place one year from the final plan approval date, unless the Director of Public Works grants an extension in response to a written request.

Any soil or fill material intentionally transported from the project site must be taken to an approved location, such as an active landfill or other active site that is operating under an approved Erosion and Sediment Control Plan.

In subdivision developments, temporary sediment basins/traps must remain in place until at least 80% of homes that drain to the basins/traps are complete and the associated disturbed areas are stabilized. Sediment basins/traps cannot be removed without approval of the Environmental Inspector. Once the temporary sediment basins/traps have been removed, the developer, contractor, and/or homebuilder are responsible for erosion and sediment control on individual lots until stabilization is achieved.

In the event a contractor dumps, discharges or spills any oil or chemical that reaches or has the potential to reach a waterway, the contractor shall immediately notify all appropriate jurisdictional State, Federal, and County (501-5000) agencies and shall take immediate actions for containment and removal of the oil or chemical.

**SEEDING NOTES**

All stabilization/seeding will be accomplished in accordance with the Virginia Erosion and Sedimentation Control Handbook.

Any disturbed area not paved, sodded, or built upon, will have a vegetative cover prior to final inspection, and in the opinion of the Environmental Engineer will be mature enough to control soil erosion satisfactorily and survive severe weather conditions.

Stream diversion areas, waterways, banks, and related areas will be seeded and mulched immediately after work in watercourse is completed. In no case shall wetland areas be reseeded with any species of fescue.

Winterization - any disturbed area not paved, sodded, or built upon by October 15 is to be seeded and mulched on that date unless waived by the Environmental Engineer.

Permanent or temporary soil stabilization shall be applied to denuded areas with in seven (7) days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven (7) days to denuded areas that may not be at final grade, but will remain dormant for longer than thirty (30) days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.

Electric power, telephone, and gas supply trenches must be compacted, seeded, and mulched within 7 days after backfill.

All temporary earth berms, diversions, and silt dams are to be mulched and seeded for vegetative cover immediately after grading. Straw or hay mulch is required. The same applies to all stockpiles, on site as well as soil (intentionally) transported from the project site.

Nutrients shall be applied in accordance with manufacturer's recommendations or an approved nutrient management plan and shall not be applied during rainfall events.

**RESOURCE PROTECTION AREAS, STREAM PROTECTION AREAS, WETLANDS, AND WATERS OF THE U.S.**

Prior to beginning any land disturbing activity, all Resource Protection Areas (RPAs), Stream Protection Areas (SPAs), wetlands, and Waters of the U.S. (WOUS) not permitted for impact shall be delineated for protection with orange safety fence or non-tearable yellow and black barricade tape. This includes, but is not limited to, clearing limits associated with roadways, utilities, and buildings.

Additional restoration or replanting may be required for RPAs, SPAs, wetlands, and WOUS disturbed during construction.

**ENVIRONMENTAL SITE ASSESSMENT INFORMATION**

Plans must accurately show all RPA, SPA, and RMA features.

**RESOURCE PROTECTION AREAS (RPA):**

1. Is there a tributary stream located on the parcel?  YES  NO
2. Are there any tidal wetlands present on the parcel?  YES  NO
3. Are there any non-tidal wetlands connected by surface flow and contiguous to tidal wetlands or tributary streams?  YES  NO
4. Are there any tidal shores on the parcel?  YES  NO
5. Does the site lie within 100 feet of any of the above site characteristics designated as Resource Protection Areas (RPAs)?  YES  NO

If the answer to any of the above questions is "YES", the parcel contains a Resource Protection Area (RPA).

**RESOURCE MANAGEMENT AREAS (RMA):**

6. Are there any special flood hazard areas (100-year floodplain) located on the parcel?  YES  NO
7. Are highly erodible soils, including steep slopes, present on the parcel and contiguous to any of the above RPA features?  YES  NO
8. Does the parcel contain any highly permeable soils contiguous to an RPA?  YES  NO
9. Does any portion of the parcel lie within 100 feet of a Resource Protection Area?  YES  NO
10. Does the entire site (outside of the RPA) lie within a Resource Management Area?  YES  NO

**STREAM PROTECTION AREAS (SPA):**

11. Is there any non-perennial stream with greater than 100 acres of contributing drainage area located on the parcel?  YES  NO
12. Does any of the site lie within 50 feet of the stream bank of a SPA stream?  YES  NO

**OTHER ENVIRONMENTAL SITE INFORMATION:**

13. Are there any wetlands/waters of the United States located on the parcel?  YES  NO
14. Is development or land disturbance proposed in any wetlands/waters of the United States?  YES  NO

Parcels containing RPAs/RMAs/SPAs must satisfy all requirements of the Henrico County Code applicable to development within Chesapeake Bay Preservation Areas. Land disturbance in wetlands and/or waters of the United States requires either a evidence of U.S. Army Corps of Engineers/Virginia Department of Environmental Quality (DEQ) permits or a certification from a principal in the engineering firm that the proposed wetland impacts are authorized by law.

I hereby certify that the above information is based on a field visit at (project name)

**MINI PRICE WAREHOUSE II**

performed on 12-12-14 and that I have reviewed all maps and other documentation deemed necessary to certify the accuracy of this information.

*Signature*  
**JEFFREY L. STAUB**  
Name (please print)

12-21-14  
Date

My Virginia License or Certificate Number is: 000927

**ACKNOWLEDGMENTS**

I hereby acknowledge that prior to any land disturbing activity, all buffer areas and wetlands as defined in the Henrico County code shall be conspicuously flagged or otherwise identified and not disturbed unless authorized by law, and that the applicant shall notify the Engineering and Environmental Services Division (EESD) upon completion of flagging. (Contact the EESD at 727-8328 to arrange a pre-construction meeting to verify the limits of flagging.)

I hereby certify that no more land is being disturbed than is necessary to provide for the desired development use.

I hereby certify that all erosion and sediment control measures shall be maintained, and the owner and/or agent will inspect the erosion and sediment control measures at least once every two week period, and within 48 hours following rainstorm events during construction to ensure compliance with the approved plan. Records of self-inspection shall be maintained on the site and available for review by County Inspectors.

I hereby acknowledge that the U.S. Army Corps of Engineers and/or Virginia Department of Environmental Quality may have additional jurisdiction over wetlands not regulated by Henrico County.

I hereby acknowledge that a Virginia Pollutant Discharge Elimination System (VPDES) permit application [including a Virginia Stormwater Management Program (VSMMP) permit application], if required, has been made for land disturbing activities of 2,500 square feet or greater.

Signature (Owner/Developer): *Michael D. Sifen*

Name (please print): **MICHAEL D. SIFEN**

Date: 12-21-14

P.O.D. 2014-00000



**SILVERCORE**  
LAND DEVELOPMENT CONSULTANTS



MINI PRICE WAREHOUSE II

**HENRICO ESA**

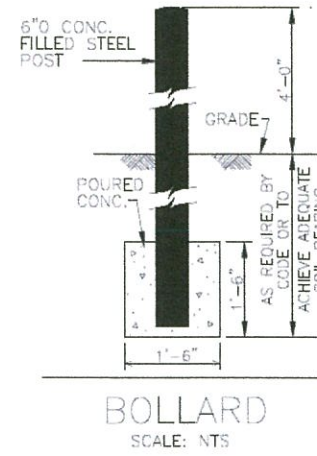
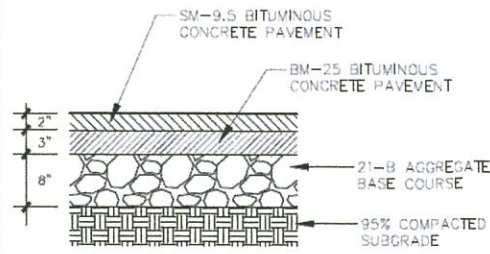
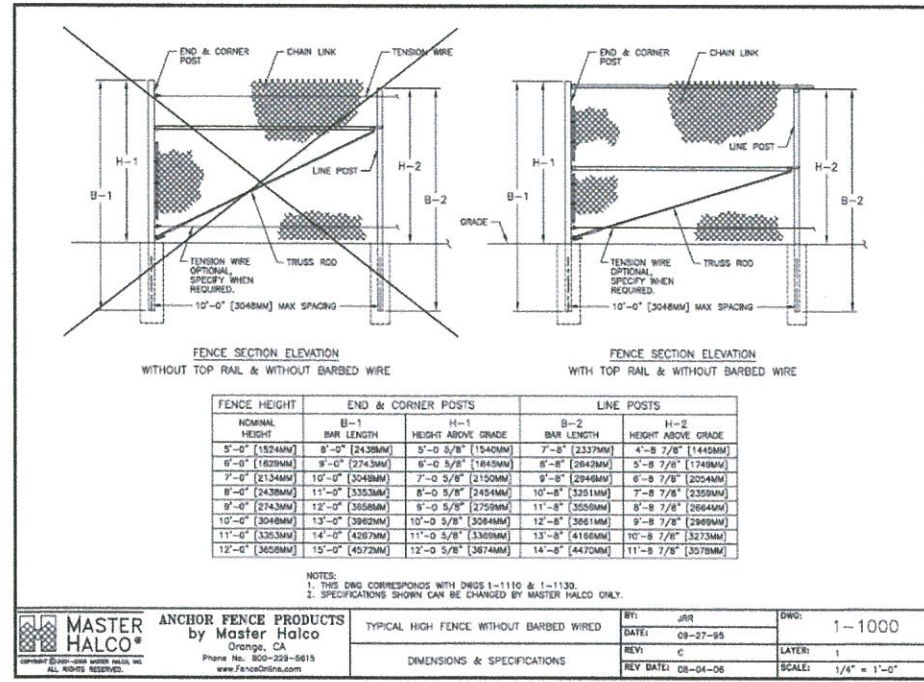
RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA  
WEST END DISTRICT #1  
BROOKLAND DISTRICT

REV.#	DATE	DESCRIPTION

DESIGN CONTACT: Jeff Staub  
DRAWING SCALE: N/A  
DATE: 6/5/2015

SHEET  
**11**

JOB #: 140070



**HENRICO COUNTY DPU FIRE FLOW ESTIMATE FORM**  
ISO (Insurance Service Office) Method of Calculating NFF (Needed Fire Flow)

ENGINEER: SILVERCORE DATE: 12/29/2014

PROJECT NAME: MINI PRICE WAREHOUSE II CALC. BY: AFB

TYPE OF CONSTRUCTION: 3 - NON COMBUSTIBLE  
Class of Construction Coef. = F: 0.80

GROUND FLOOR AREA = 14,025 # of Stories: 3  
Total Floor Area = A<sub>f</sub> (effective area): 28,050

FIRE AREA CONSIDERED Construction Factor C<sub>c</sub> = 1.0 (A<sub>f</sub>)<sup>0.17</sup> C<sub>c</sub> = 2.500  
(Determined by nearest 250 sq ft)

TYPE OF OCCUPANCY: COMBUSTIBLE (C-3)  
(Worst Case) Occupancy Factor = Q: 1.0

EXPOSURE (X) AND COMMUNICATION (P):  
X<sub>1</sub> + P<sub>1</sub> = 0.10\* X<sub>2</sub> + P<sub>2</sub> = 0 \*4218 WEST BROAD  
X<sub>3</sub> + P<sub>3</sub> = 0.09\* X<sub>4</sub> + P<sub>4</sub> = \*4300 WEST BROAD  
X<sub>5</sub> + P<sub>5</sub> = 0 X<sub>6</sub> + P<sub>6</sub> =

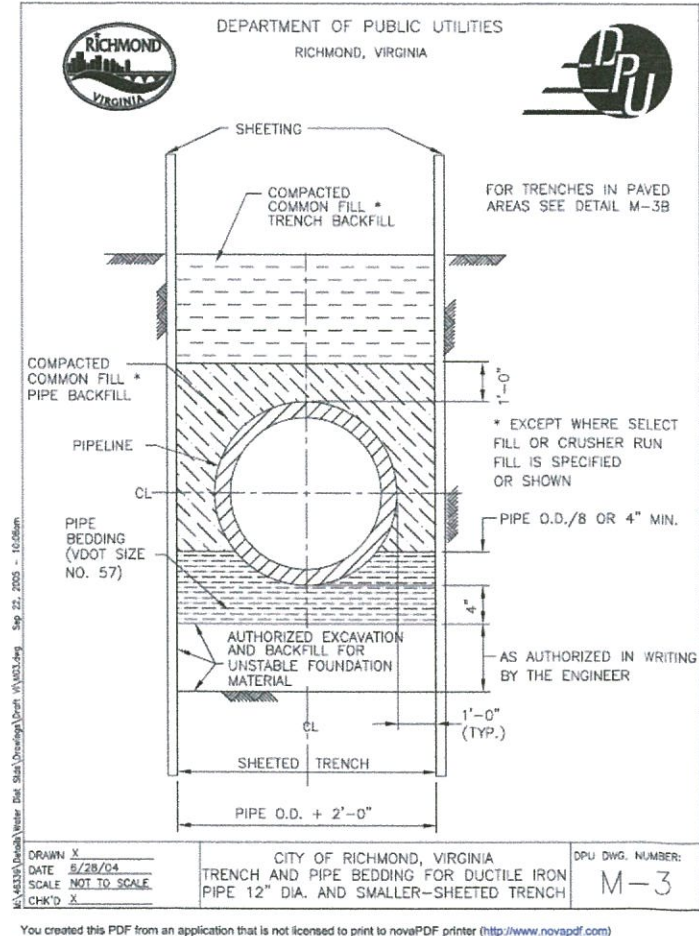
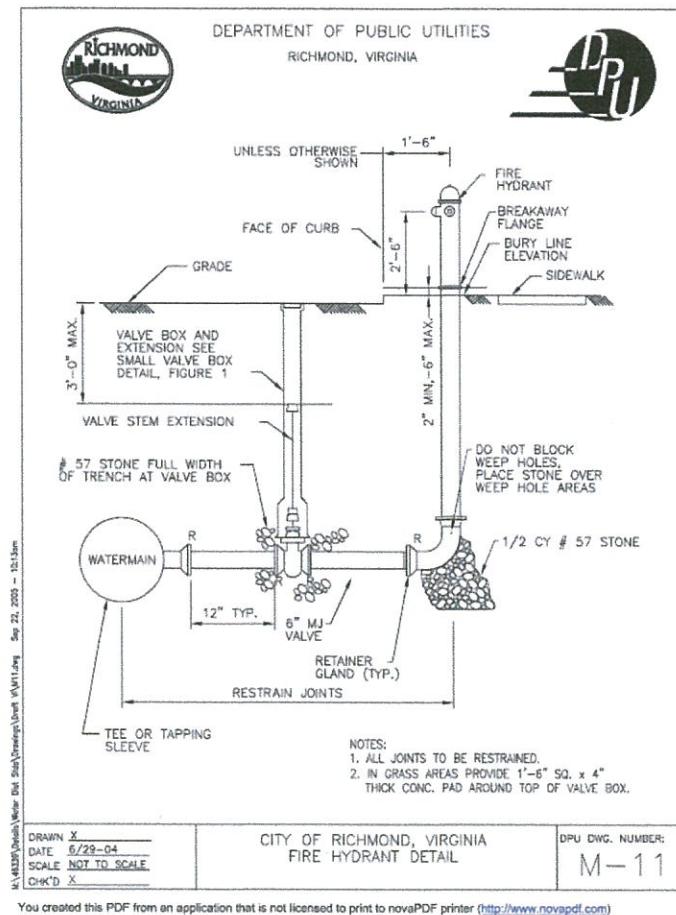
$(X+P) = 1.0 + \sum_{i=1}^n (X_i + P_i)$   
[Max. (X + P) = 1.75] 1.19  
(n = NUMBER OF SIDES OF SUBJECT BUILDING)

NEEDED FIRE FLOW NFF = (C<sub>c</sub>)(Q)(X+P) NFF = 2,975  
Automatic Sprinklers (YES X NO) Reduction Factor 50 % x NFF = 1,488

TOTAL: 1,488  
Required Fire Flow - Rounded: 1,500 gpm  
\* Fire Hydrants Required: 2

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT.  
SIGNATURE: P.E.

REMARKS: NFF CALCULATION PROCEDURE DESCRIBED IN A.W.M.A. M-31, I.S.O.'S 1980 COMMERCIAL FIRE RATING SCHEDULE AND I.S.O.'S 1980 FIRE SUPPLY RATING SCHEDULE.  
Form F-9



**CITY OF RICHMOND**  
Department of Public Utilities  
Richmond, Virginia

September 12, 2011

Mr. John C. Higgins, IV  
Claxton Light Enterprises  
437E Columbus Street  
Virginia Beach, VA 23462

RE: Hydrant Flow Test Data  
Mini Price Warehouse - 4300 West Broad Street

Dear Mr. Higgins:

This office is in receipt of the hydrant flow test data conducted September 1, 2011 by your testers Chad Mitchell and Michael Pollard. A copy is attached for your records.

Based on this test, the fire flow availability is 2,942 GPM @ 20' psi.

Please be advised that this letter does not provide approval of the referenced site plans by the City of Richmond. This letter only confirms the fire flow as requested per Henrico Public Utilities for their review of the plans as it pertains to Henrico County, for the Henrico County Planning Division commencing October 8, 2009. Final construction start dates of courses be granted until Richmond has reviewed and approved the plans.

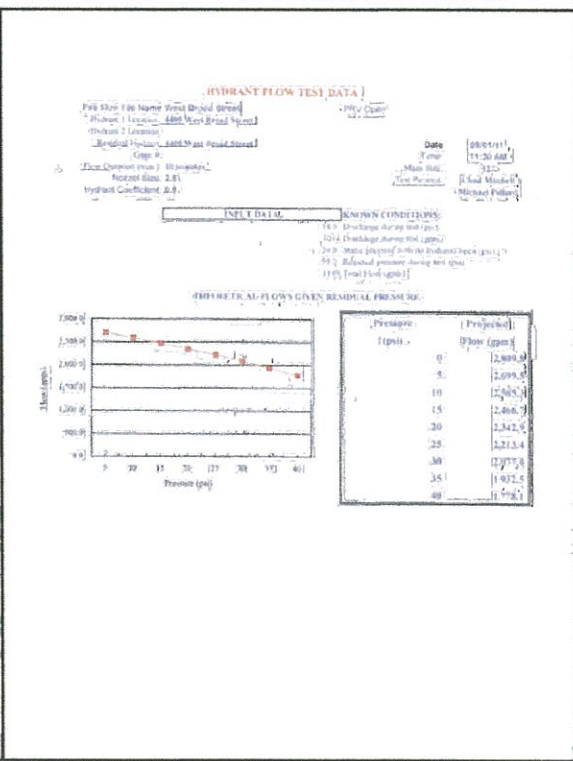
Should you have additional questions or concerns, you may contact me at (804) 646-5231.

Sincerely,  
Albert J. Williams, Jr., P.E.  
Engineer IV

CC: Brad Martin, PE  
Martin Engineering  
1900 Lynnhaven Pkwy, Suite 111  
Virginia Beach, VA 23452

John Clark, PE  
Utilities Engineer  
Henrico Department of Public Utilities  
701 E. 9975  
Henrico, VA 23235-0775

NO. EAST BROAD STREET, ROOM 315 • RICHMOND, VA 22215 • 800 616 8544 • FAX 804 646 3434 • WWW.CORPORATE.COM



**SILVERCORE**  
LAND DEVELOPMENT CONSULTANTS

1501 WEST BROAD ST. SUITE 300 RICHMOND, VA 23220 (804) 646-4900

**MINI PRICE WAREHOUSE II**  
**NOTES & DETAILS**  
WEST END DISTRICT #1  
BROOKLAND DISTRICT  
RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA

REV#	DATE	DESCRIPTION

DESIGN CONTACT: Jeff Staub  
DRAWING SCALE: N/A  
DATE: 6/5/2015

**SHEET 12**

JOB #: 140070

COMMONWEALTH OF VIRGINIA  
COUNTY OF HENRICO

18  
October 20, 2009

DR. BERRY, LLC  
c/o M. Ronald Field,  
350 Central Express, Suite 106  
Virginia Beach, VA 23464

RE: POB-91-09  
Tikemall & POCOB99-00140  
Mid Price Warehouse

536

The Planning Commission at its meeting on October 16, 2009, granted your request for approval of a plan of development as required by Chapter 34, Section 24-106 of the Henrico County Code, as amended, and existing regulations and standards for a three-story 133,140 sq. ft. office building with 1,000 sq. ft. of parking located on the north side of W. Broad Street (V.R. 210) between 22nd and 23rd Streets, subject to the following conditions:

- The owner shall enter into the necessary contracts with the Department of Public Utilities for installation of public water and sewer.
- The Director of the Department of Public Utilities shall approve the plan of development for installation of public water and sewer prior to beginning any installation of these utilities. The Department of Public Utilities shall be notified at least 45 days prior to the start of any construction or service connection.
- The public lot shall be subject to the requirements of Chapter 34, Section 24-99 of the Henrico County Code.
- The parking spaces shall be located on the perimeter of the site with four-foot-wide traffic aisles. All ten-foot wide parking stalls shall be wider in order with the exception for three driving stalls that shall be wider. If spaces indicate the need, additional parking shall be provided.
- On- and off-site and necessary storm water shall be controlled as shown on approved plans.

Don Berry, LLC  
October 20, 2009  
Page 2

- The plan of development shall be revised as indicated on the staff plan dated October 16, 2009, which shall be an integral part of this approval as if it were fully described herein. Eight (8) sets of revised plans, including the revised drainage, parking, and utility plans, shall be submitted by the design engineer who prepared the plan to the Department of Planning for review. Upon review of the plan by the Department of Planning, the Department of Public Works shall be notified that all comments have been addressed, except for (1) items of which the Department shall be notified as the Department of Planning for approval. Two (2) sets of the approved plan shall be submitted to the Department of Planning. Two (2) sets of the approved plan shall be submitted to the Department of Public Works shall be notified at least 20 days prior to the start of any construction.
- A detailed landscaping plan shall be submitted to the Department of Planning for review and approval prior to the issuance of any construction permits.
- All construction and landscaping shall be completed in a timely manner at all times. Dead plant material shall be removed within a reasonable time and replaced no later than the next planting season.
- Prior to the approval of an amended permit application and installation of the site lighting system, a plan including light fixture and intensity diagrams, and fixture specifications and mounting height details shall be submitted to the Department of Planning for review and approval.
- All exterior lighting shall be designed and arranged to direct the light and glow away from nearby residential property and streets.
- The site, including the parking area, shall be kept clear of trees and shrubs on a daily basis. Trees and shrubs shall be maintained with regular pruning and watering and replaced as needed. The pruning shall be done in a manner that does not damage the tree and shall be done in a manner that does not damage the tree. The pruning shall be done in a manner that does not damage the tree.
- Approved site plans shall be maintained in accordance with the Virginia Standards for Professional Practice.
- Traffic control signs shall be provided as indicated on the Department of Planning staff plan. All signs shall be maintained as shown in the National Manual on Uniform Traffic Control Devices for Streets and Highways and The Virginia Standards for Professional Practice.
- The proposed property address shall be displayed on the site as early as possible from the start of construction. The Department of Planning shall be notified of the address.
- The owner shall have a set of plans approved by the Department of Public Works, Public Utilities and Department of the Planning Commission available at the site at all times when work is being performed. A designated employee shall be available to provide the plans to the Department of Public Works.
- The property shall be developed as shown on the plan filed with the city and no changes or additions to the layout shall be made without the approval of the Commission.

Don Berry, LLC  
October 20, 2009  
Page 3

- Upon completion of the improvements and prior to the certification of the permanent occupancy permit, the owner shall furnish a statement by the engineer or land surveyor who prepared the POD plan, to the effect that all construction including water and sewer is in accordance with the regulations and requirements of the POD.
- The approved plan of development is granted by the Planning Commission only to the extent of the plan of development and does not constitute an approval of the plan of development for any other purpose.
- Upon various conditions to the Director of Planning, the Plan of Development approval may be transferred to subsequent owners or subject to approval by the Commission.
- Violations shall be noted only as approved and maintained parking spaces.
- The site, including parking, pavement markings, signs, curbs and gutters, dumpster enclosures, walls, fences, lighting and other site improvements shall be properly maintained to good condition at all times. Any necessary repairs shall be made in a timely manner.
- The developer shall provide the hydrant as indicated by the Department of Public Utilities and Division of Fire.
- Insurance Surety Bonds (SR) shall be provided to the Department of Public Utilities for approval by the Department of Public Utilities prior to issuance of a building permit.
- Any necessary electric, drainage and water and sewer connections shall be obtained in a form acceptable to the County Attorney prior to final approval of the construction plan.
- The contractor shall be responsible for the County Attorney prior to any construction permit being issued. The contractor shall be responsible for the County Attorney prior to any construction permit being issued.
- Drawings from County standards for pavement, curb and gutter design shall be approved by the County Engineer prior to final approval of the construction plan by the Department of Public Works.
- On-site storage shall not be permitted.
- The location of all existing and proposed utility and mechanical equipment (including HVAC units, air conditioning units, and other equipment) shall be shown on the landscape plan. All building-mounted equipment shall be located to avoid the building, and all equipment shall be screened by such measures as deemed appropriate by the Director of Planning or the Planning Commission at the time of plan approval.
- Evidence that the City of Richmond has reviewed and approved construction plans for the portion of the lot located within the City limits shall be provided prior to final approval of construction plans by Henrico County.

There may be a requirement for a Wetland Permit from the U.S. Army Corps of Engineers. Further information on such a requirement should be obtained by contacting the Corps at 877-3781.

Don Berry, LLC  
October 20, 2009  
Page 4

Also, you should be aware that a permit or permits may be required from the Virginia Department of Environmental Quality (VDQ). Please contact VDQ at (804) 227-9205 to determine the permit requirements of your proposed project.

Forward in Section 24-146(1) of the Code of Henrico, this approval shall expire on October 20, 2011, unless building permits have been obtained. In accordance therewith, as a single one-year extension of approval has been granted by the Director of Planning as provided herein, or further extension of approval is otherwise provided by Section 15.3-225 of the Code of Virginia.

The approval of this plan of development includes only the requirements of Chapter 24, Section 24-106 of the Henrico County Code. The applicant shall be responsible for securing all necessary permits as required by law. A copy of the plan approved by the Planning Commission is available upon request.

When applying for your building permit, please attach two sets of the approved construction plans and refer to case POB-91-09.

Respectfully,  
Linda A. Adams, for  
S. Joseph Harrison, Jr., AIA  
Director of Planning

per: Deputy zoning Enforcement Officer  
Building Official  
Paul Edgar Anderson  
Department of Public Works  
Division of the Chief Fire Marshal  
Mark Rosenberger

DEPARTMENT OF PUBLIC UTILITIES  
RICHMOND, VIRGINIA

NOTES:

- DETAIL FOR DUCTILE IRON PIPE ONLY.
- CONTRACTOR TO DETERMINE OD OF EXISTING PIPE FOR SLEEVE SLIDABILITY.
- CITY TO PROVIDE TAPPING SLEEVE AND VALVE.
- CONTRACTOR TO INSTALL SLEEVE.
- CITY TO PERFORM TAPPING.

CITY OF RICHMOND, VIRGINIA  
TYPICAL WATER MAIN TAPPING SLEEVE AND TAPPING VALVE DETAIL

DPU DWG. NUMBER: M-934

DATE: 8/22/04  
SCALE: NOT TO SCALE  
CHK'D: X

DEPARTMENT OF PUBLIC UTILITIES  
RICHMOND, VIRGINIA  
THRUST RESTRAINT TABLE

Restrained Joint Length	8"				12"				16"				tee*		Reducer	
	Bore	Polyprop	Bore	Polyprop	Bore	Polyprop	Bore	Polyprop	Bore	Polyprop	Bore	Polyprop	Bore	Polyprop	Bore	Polyprop
11.25" HB	7/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"
22.5" HB	3"	4"	5"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"
45" HB	14"	16"	20"	22"	26"	26"	26"	26"	26"	26"	26"	26"	26"	26"	26"	26"
90" HB	34"	38"	45"	54"	63"	70"	70"	70"	70"	70"	70"	70"	70"	70"	70"	70"
11.25" VB (down)	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"	1 1/8"
22.5" VB (down)	2 1/2"	3"	3 1/2"	4 1/4"	4 1/2"	4 1/2"	4 1/2"	4 1/2"	4 1/2"	4 1/2"	4 1/2"	4 1/2"	4 1/2"	4 1/2"	4 1/2"	4 1/2"
45" VB (down)	11"	12"	15"	17"	21"	23"	23"	23"	23"	23"	23"	23"	23"	23"	23"	23"
11.25" VB (up)	3"	4"	5"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"
22.5" VB (up)	7"	8"	10"	11"	13"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"
45" VB (up)	14"	16"	20"	22"	26"	29"	29"	29"	29"	29"	29"	29"	29"	29"	29"	29"
12" x 8" Tee	-	-	-	-	-	-	-	-	-	66"	94"	-	-	-	-	-
12" x 12" Tee	-	-	-	-	-	-	-	-	-	104"	149"	-	-	-	-	-
16" x 12" Tee	-	-	-	-	-	-	-	-	-	62"	89"	-	-	-	-	-
16" x 16" Tee	-	-	-	-	-	-	-	-	-	95"	136"	-	-	-	-	-
8" x 8" Reducer	-	-	-	-	-	-	-	-	-	133"	150"	-	-	133"	46"	-
12" x 8" Reducer	-	-	-	-	-	-	-	-	-	-	-	-	-	59"	80"	-
12" x 10" Reducer	-	-	-	-	-	-	-	-	-	-	-	-	-	61"	47"	-
16" x 12" Reducer	-	-	-	-	-	-	-	-	-	-	-	-	-	62"	89"	-

NOTES:

- RESTRAINED JOINTS ARE BASED ON THE FOLLOWING LAYERING CONDITIONS:  
Restrained Joints Based on:  
Laying Condition: Type 5  
Soil Condition: Coh-gram  
Depth of Cover: 3.5 ft.  
Design Pressure: 250 psi  
Safety Factor: 1.5
- RESTRAINED JOINT LENGTHS ARE TO BE CONFIRMED BY ENGINEER BASED ON PROJECT CONDITIONS.

CITY OF RICHMOND, VIRGINIA  
RESTRAINED JOINT TABLE

DPU DWG. NUMBER: M-5A

CITY OF RICHMOND  
DEPARTMENT OF PUBLIC UTILITIES

ALTERNATE INSIDE INSTALLATION\*

LOW HAZARD FIRE SYSTEM WITH DETECTOR CHECK - BUILDING INSTALLATION

DPU DWG. NO.: LO-HAZ3

DATE: APR. 2005  
REVISIONS:

DEPARTMENT OF PUBLIC UTILITIES  
RICHMOND, VIRGINIA

CITY OF RICHMOND, VIRGINIA  
6" DETECTOR

DPU DWG. NUMBER: M-299

DATE: 6/22/04  
SCALE: NOT TO SCALE  
CHK'D: X

DEPARTMENT OF PUBLIC UTILITIES  
RICHMOND, VIRGINIA

NOTES:

- PROVIDE EXTENSION STEM IF TOP OF VALVE OPERATING NUT IS GREATER THAN 48" BELOW GROUND SURFACE.
- PROVIDE MIDDLE SECTION TO EXTEND FOR DEEP BOXES.
- ADJUST BOX TOP FOR STREET PAVEMENT OVERLAY, IF OVERLAY IS PERFORMED.
- IN GRASS AREAS PROVIDE 1'-6" SQ x 4" THICK CONC. PAD AROUND TOP OF VALVE BOX.

CITY OF RICHMOND, VIRGINIA  
SMALL VALVE BOX

DPU DWG. NUMBER: M-1

DATE: 8/28/04  
SCALE: NOT TO SCALE  
CHK'D: X

COMMONWEALTH OF VIRGINIA  
JEFFREY L. STUBBS  
8/14/2015  
LANDSCAPE ARCHITECT

SILVERCORE  
LAND DEVELOPMENT CONSULTANTS

MINI PRICE WAREHOUSE II  
NOTES & DETAILS

RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA

WEST END DISTRICT #1  
BROOKLAND DISTRICT

CITY SUBMITTAL	DATE	DESCRIPTION
CITY/COUNTY COMMENTS		
REV#	DATE	DESCRIPTION
REV# 6/22/05		
REV# 8/17/05		

DESIGN CONTACT: Jeff Stubb  
DRAWING SCALE: N/A  
DATE: 6/5/2015

SHEET  
13

JOB #: 140070

Name of Project: Mini Price Warehouse II  
 State: Virginia County: Henrico  
 Name of Culvert: Existing Conditions  
 LOCATION:  
 UNITS ENGLISH

RATIONAL METHOD - DATA:

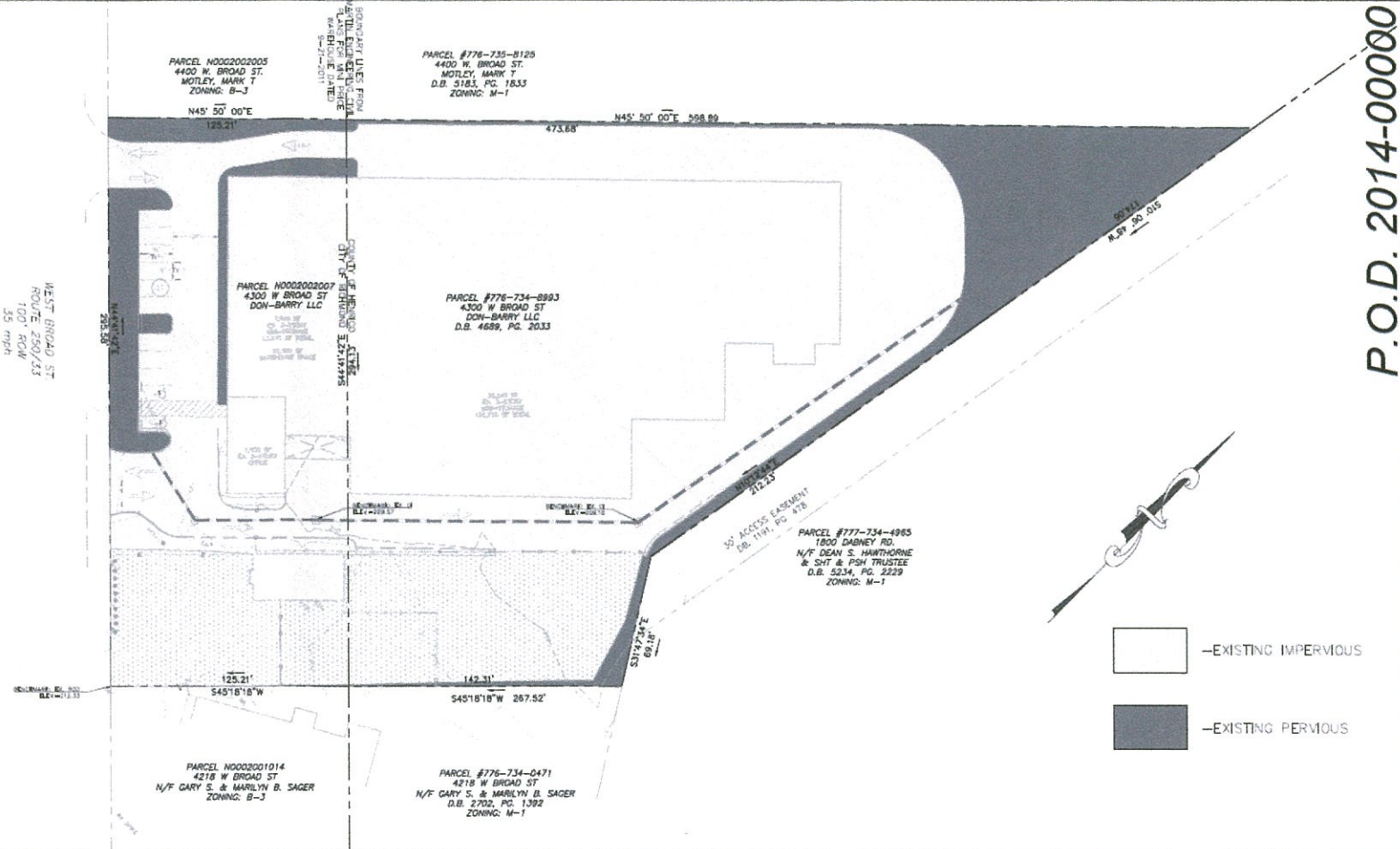
SUBSHED #	Land Use Description	Area Acres	C	CA
	Business: Industrial and Commercial (0.80-0.90)			
	Apartments and Townhomes (0.65-0.75)			
	Schools (0.50-0.60)			
	Residential - lots 10,000 sq. ft. (0.40-0.50)			
	- lots 12,000 sq. ft. (0.40-0.45)			
	- lots 17,000 sq. ft. (0.35-0.45)			
	- lots 1/2 acre or more (0.30-0.40)			
	Parks, Cemeteries and Unimproved Areas (0.20-0.35)			
	Paved and Roof Areas (0.90)	2.37	0.90	2.13
	Cultivated Areas (0.50-0.70)			
	Pasture (0.35-0.45)			
	Lawns (0.25-0.35)	0.34	0.30	0.10
	Forest (0.20-0.30)			
	Sleep Grass (2:1) (0.40-0.70)			
	Shoulder and Ditch Areas (0.35-0.50)			
Totals =		2.71	0.82	2.24

Time of Concentration (Tc)

Reach	Soil / Surface Type/Land Cover	Flow Distance Ft.	Upper Elev. Ft.	Lower Elev. Ft.	Slope Ft./Ft.	Rational C	Tc (Minutes)
<b>Overland Flow (E.E. Seelye - VDOT Modified)</b>							
	Paved and Roof Areas (0.90)	254.00	210.00	209.57	0.005	0.90	7.00
<b>Channel Flow (Kirpich - VDOT Modified)</b>							
	Height Ft.	Length Ft.	Surface Factor				
	0.01	0.01			1.00		
<b>Shallow Concentrated Flow</b>							
	Flow Distance Ft.	Upper Elev. Ft.	Lower Elev. Ft.	Slope (%)	Intercept Coeff.		
<b>Channel / Pipe Flow</b>							
				Slope Ft./Ft.	Manning's 'n'	Velocity FPS	
				0.00000	0.013	0.00	0.00
	Area =	2.00	Wetted P =		2.000		
Total Tc (Minutes) = 7.00							

Rainfall Intensity Inches / Hour:  
 Absorption Coefficient / Ground Saturation Correction Coefficient Cf  
 Peak Discharge CFS

	1-Year	2-Year	10-Year	25-Year	50-Year	100-Year
Rainfall Intensity	4.10	4.82	6.34	7.03	7.66	8.03
Absorption Coefficient / Ground Saturation Correction Coefficient Cf	1.00	1.00	1.00	1.10	1.20	1.25
Peak Discharge CFS	9.16	10.78	14.16	17.28	20.55	22.44



Name of Project: Mini Price Warehouse II  
 State: Virginia County: Henrico  
 Name of Culvert: Proposed Conditions  
 LOCATION:  
 UNITS ENGLISH

RATIONAL METHOD - DATA:

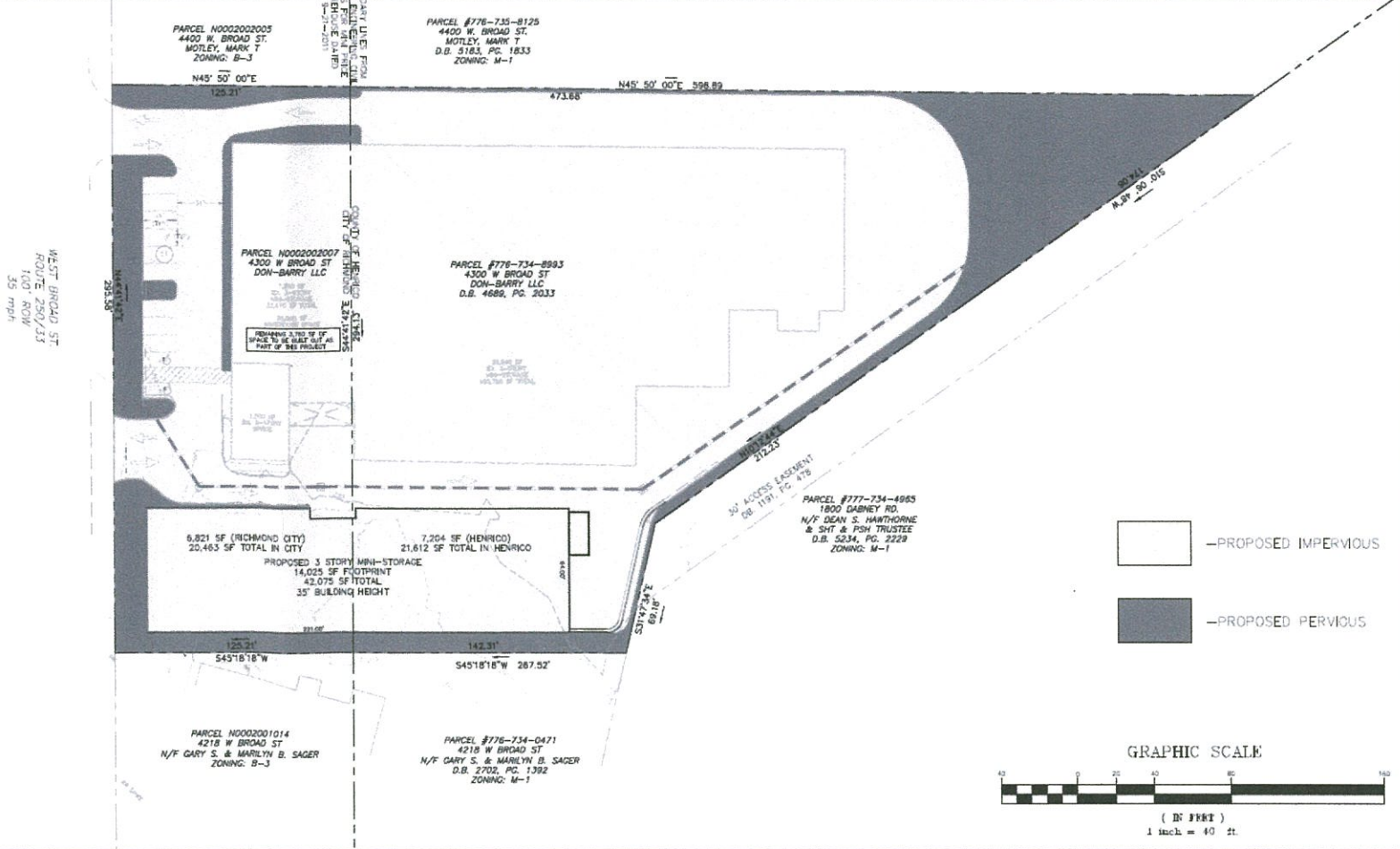
SUBSHED #	Land Use Description	Area Acres	C	CA
	Business: Industrial and Commercial (0.80-0.90)			
	Apartments and Townhomes (0.65-0.75)			
	Schools (0.50-0.60)			
	Residential - lots 10,000 sq. ft. (0.40-0.50)			
	- lots 12,000 sq. ft. (0.40-0.45)			
	- lots 17,000 sq. ft. (0.35-0.45)			
	- lots 1/2 acre or more (0.30-0.40)			
	Parks, Cemeteries and Unimproved Areas (0.20-0.35)			
	Paved and Roof Areas (0.90)	2.29	0.90	2.06
	Cultivated Areas (0.50-0.70)			
	Pasture (0.35-0.45)			
	Lawns (0.25-0.35)	0.42	0.30	0.13
	Forest (0.20-0.30)			
	Sleep Grass (2:1) (0.40-0.70)			
	Shoulder and Ditch Areas (0.35-0.50)			
Totals =		2.71	0.81	2.19

Time of Concentration (Tc)

Reach	Soil / Surface Type/Land Cover	Flow Distance Ft.	Upper Elev. Ft.	Lower Elev. Ft.	Slope Ft./Ft.	Rational C	Tc (Minutes)
<b>Overland Flow (E.E. Seelye - VDOT Modified)</b>							
	Paved and Roof Areas (0.90)	254.00	210.00	209.57	0.005	0.90	7.00
<b>Channel Flow (Kirpich - VDOT Modified)</b>							
	Natural basin with well defined channel	0.01	0.01	Surface Factor			
						1.00	
<b>Shallow Concentrated Flow</b>							
	Flow Distance Ft.	Upper Elev. Ft.	Lower Elev. Ft.	Slope (%)	Intercept Coeff.		
<b>Channel / Pipe Flow</b>							
				Slope Ft./Ft.	Manning's 'n'	Velocity FPS	
				0.00000	0.040	0.00	0.00
	Area =	1.00	Wetted P =		1.000		
Total Tc (Minutes) = 7.00							

Rainfall Intensity Inches / Hour:  
 Absorption Coefficient / Ground Saturation Correction Coefficient Cf  
 Peak Discharge CFS

	1-Year	2-Year	10-Year	25-Year	50-Year	100-Year
Rainfall Intensity	4.10	4.82	6.34	7.03	7.66	8.03
Absorption Coefficient / Ground Saturation Correction Coefficient Cf	1.00	1.00	1.00	1.10	1.20	1.25
Peak Discharge CFS	8.97	10.55	13.86	16.91	20.11	21.86



P.O.D. 2014-00000



MINI PRICE WAREHOUSE II  
**CALCULATIONS**  
 RICHMOND, VIRGINIA  
 HENRICO COUNTY, VIRGINIA  
 WEST END DISTRICT #1  
 BROOKLAND DISTRICT

REV.	DATE	BY	DESCRIPTION

DESIGN CONTACT: Jeff Staub  
 DRAWING SCALE: 1"=40'  
 DATE: 6/5/2015

SHEET  
**14**  
 JOB #: 140070



**SILVERCORE**  
LAND DEVELOPMENT CONSULTANTS  
1705 FINEST ARCADE - SUITE 100 - HENRICO, VA 23224 (804) 761-4500

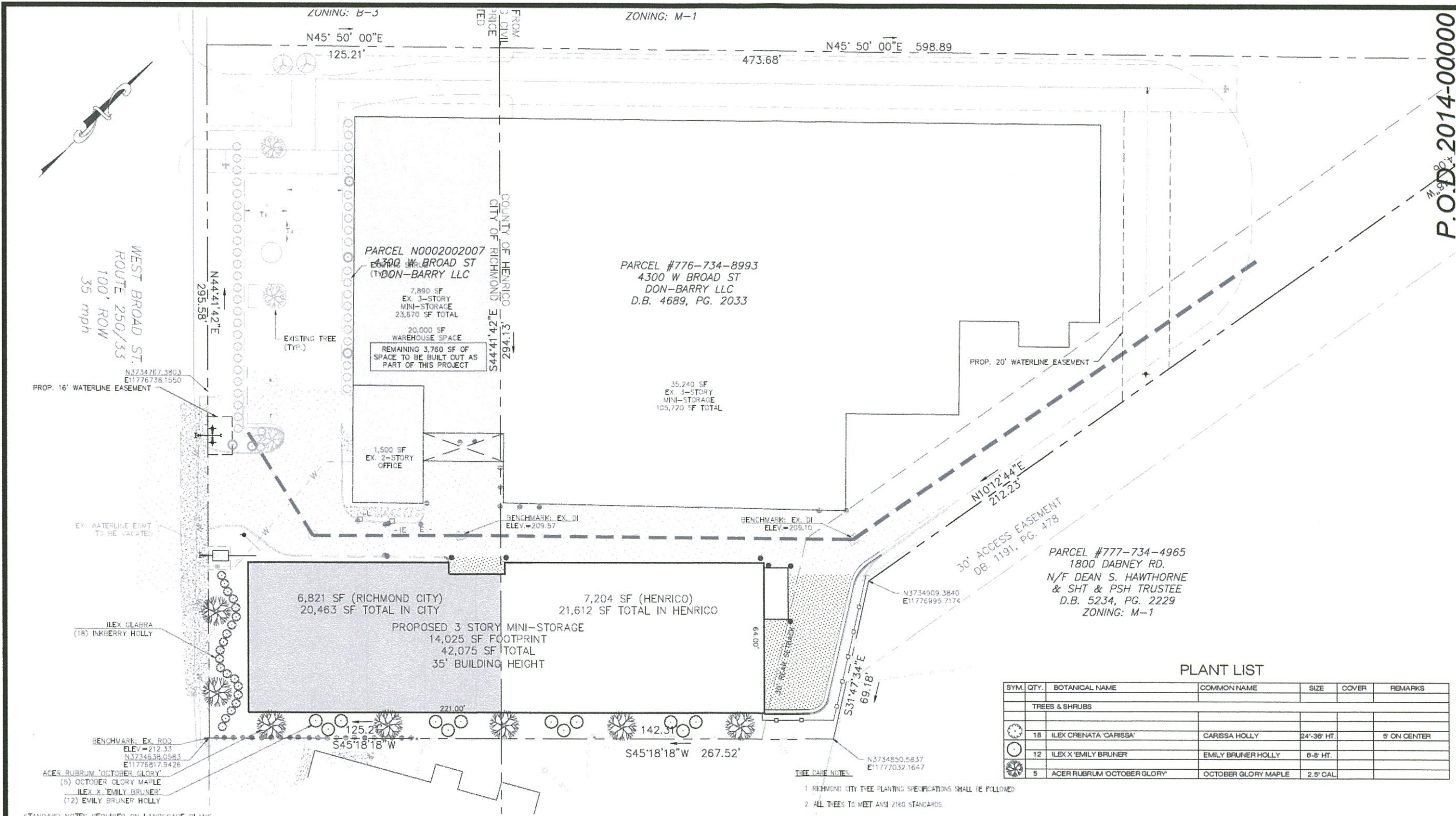
P.O.D. 2014-00000

MINI PRICE WAREHOUSE II  
**LANDSCAPE PLAN**  
WEST END DISTRICT #1  
BROOKLAND DISTRICT  
RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA

CITY SUBMITTAL	CITY/COUNTY COMMENTS	DESCRIPTION	REV#	DATE

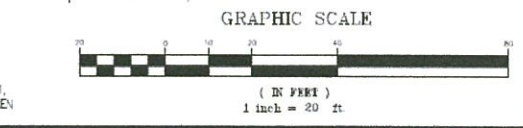
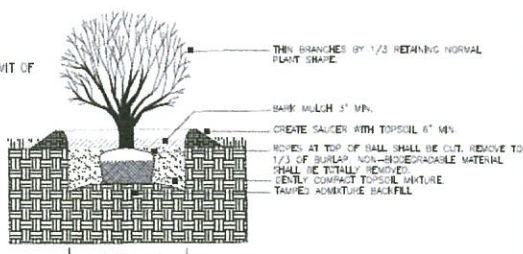
DESIGN CONTACT: Jeff Stubb  
DRAWING SCALE: 1"=20'  
DATE: 05/27/2015

**SHEET**  
**15**  
JOB #: 140070



**PLANT LIST**

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COVER	REMARKS
<b>TREES &amp; SHRUBS</b>						
18		ILEX CRENATA 'CARISSA'	CARISSA HOLLY	24'-36" HT.		5' ON CENTER
12		ILEX X 'EMILY BRUNER'	EMILY BRUNER HOLLY	6-8 HT.		
5		ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	2.5' CAL.		



- STANDARD NOTES REQUIRED ON LANDSCAPE PLANS**
- PLANT MATERIAL SIZES AND GRADING ARE TO COMPLY WITH THE LATEST EDITION OF "AMERICAN STANDARDS OF NURSERY STOCK," PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
  - CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. PRIOR TO COMMENCING ANY WORK, CONTACT "MISS UTILITY" AT 1-800-552-7001.
  - NO CHANGES TO PLANT SCHEDULE UNLESS FIRST APPROVED BY THE CITY OF RICHMOND PLANNING DEPARTMENT PLANS REVIEW SECTION.
  - LANDSCAPING WILL BE DESIGNED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREAS AND AT THE ENTRANCE/EXIT LOCATIONS.
  - PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE CITY OF PETERSBURG PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
  - THE OWNER IS RESPONSIBLE FOR MAINTAINING SHRUBS AND TREES THAT ARE REQUIRED PER APPROVED LANDSCAPING PLANS. DYING OR DEAD PLANT MATERIALS ARE TO BE REPLACED DURING THE NEXT PLANTING SEASON.
  - PLANT MATERIALS SHALL HAVE ALL STRINGS OR ROPES AT THE BASE OF THE PLANT CUT AWAY FROM THE TRUNK (INCLUDING BIODEGRADABLE BRANDS OF ROPE).
  - NO LANDSCAPING SHALL BE INSTALLED THAT OBSTRUCTS ACCESS TO FIRE HYDRANT OR OTHER FIRE DEPARTMENT CONNECTIONS. A CLEAR AREA OF 5' SHALL BE MAINTAINED AROUND ALL FIRE DEPARTMENT CONNECTIONS.

**GENERAL NOTES**

- ALL PLANTING SHALL BE IN ACCORDANCE WITH PROJECT DOCUMENTS.
- SIZE OF PLANTS INDICATED ON THIS SUMMARY SHEET REFER TO SIZE OF PLANTS DELIVERED TO THE PROJECT SITE.
- THE CONTRACTOR SHALL WATER ALL LIVING TREES DURING THE WARRANTY PERIOD, SEE WATERING SCHEDULE BELOW.
- LOCATION OF PLANT MATERIALS SHOWN ON THE PLANS ARE APPROXIMATE AND SHALL BE ADJUSTED AS REQUIRED FOR CHANGES DUE TO ACTUAL FIELD CONDITIONS WHEN DIRECTED BY THE LANDSCAPE ARCHITECT.
- ON CENTER SPACING OF PLANT MATERIAL SHALL BE INDICATED IN THE LANDSCAPE SUMMARY OR PLAN, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
- THE LOCATION OF ALL PLANT MATERIAL SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANTING HITS AND/OR BEDS AND INSTALLATION OF ANY PLANT MATERIAL.
- THE MULCHING MATERIAL FOR THIS PROJECT SHALL BE SHREDED HARDWOOD BARK.

**TREE CARE NOTES**

- RICHMOND CITY TREE PLANTING SPECIFICATIONS SHALL BE FOLLOWED.
- ALL TREES TO MEET ANSI Z160 STANDARDS.
- ALL TREES SPECIFIED ARE BALLED AND BURLAPED. CONTAINER TREES ARE CONSIDERED SUBSTITUTES AND REQUIRE LANDSCAPE ARCHITECT APPROVAL PRIOR TO PLANTING.
- STAKES MUST BE REMOVED WITHIN 1 YEAR OF PLANTING.
- WHEN A BRANCH, STEW, OR LIMB IS BROKEN A CLEAN CUT AT THE SITE SHALL BE MADE.
- DEBRIS AND OTHER MATERIAL MAY NOT BE PLACED OR STORED AT THE BASE OF A TREE OR ANYWHERE OUTSIDE THE UNIT OF WORK.
- DRIVING OR PARKING HEAVY EQUIPMENT ON THE BASE OF TREES SHALL BE AVOIDED WHENEVER POSSIBLE.
- STUMPS SHALL BE CUT AS CLOSE TO THE GROUND AS POSSIBLE.
- LANDSCAPE ARCHITECT SHALL APPROVE LOCATION OF ALL TREE PROTECTION FENCE.
- NO LARGE TREES SHALL BE PLANTED BENEATH WIRES.

**WATERING SCHEDULE**

- DURING THE ESTABLISHMENT PERIOD THE CONTRACTOR SHALL WATER EACH PLANT WITH THE FOLLOWING MINIMUM QUANTITIES OF WATER FOR EACH WATERING, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
  - DECIDUOUS TREES OVER 10' HT. -12 GALLONS PER UNIT
  - DECIDUOUS TREES 10' HT OR LESS -5 GALLONS PER UNIT
  - EVERGREEN TREES -8 GALLONS PER UNIT
- THE CONTRACTOR SHALL WATER ALL LIVING PLANTS EVERY 4 WEEKS DURING THE PERIOD BETWEEN APRIL 1 AND MAY 31, EVERY 2 WEEKS DURING THE PERIOD BETWEEN JUNE 1 AND SEPTEMBER 30, EVERY 4 WEEKS DURING THE PERIOD BETWEEN OCTOBER 1 AND NOVEMBER 30.

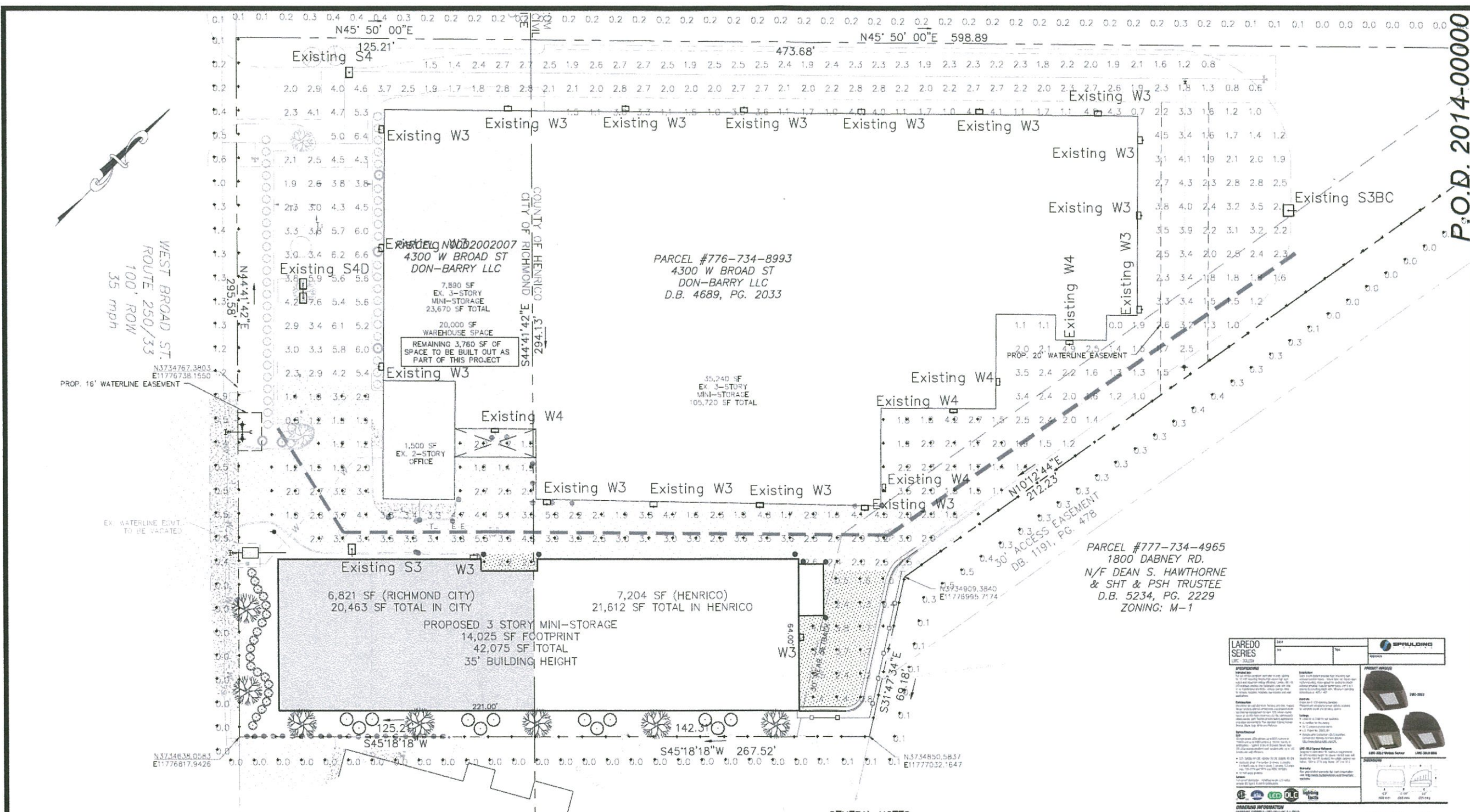


P.O.D. 2014-0000

MINI PRICE WAREHOUSE II

LIGHTING PLAN

WEST END DISTRICT #1  
BROOKLAND DISTRICT  
RICHMOND, VIRGINIA  
HENRICO COUNTY, VIRGINIA



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg	Max	Min
10' Beyond PL	Illuminance	Fc	0.21	1.4	0.0	N.A.	N.A.	N.A.
Existing Pavement	Illuminance	Fc	2.67	7.6	0.0	N.A.	N.A.	N.A.
New Pavement	Illuminance	Fc	2.01	4.5	0.4	5.03	11.25	

Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description
[Symbol]	1	Existing S4D	BACK-BACK	0.900	EXISTING Pole Mounted Fixture - 20' AFG
[Symbol]	1	Existing S3	SINGLE	0.900	EXISTING Pole Mounted Fixture to be relocated to new wall - 20' AFG
[Symbol]	1	Existing S4	SINGLE	0.900	EXISTING Pole Mounted Fixture - 20' AFG
[Symbol]	1	Existing S3BC	SINGLE	0.900	EXISTING Pole Mounted Fixture - 20' AFG
[Symbol]	5	Existing W4	SINGLE	0.900	Existing Wall Mount Fixture - 13' AFG
[Symbol]	16	Existing W3	SINGLE	0.900	Existing Wall Mount Fixture - 13' AFG
[Symbol]	2	W3	SINGLE	0.900	Spaulding LMC-30LU-5K-3 - Wall Mount at 13' AFG

PARCEL #776-734-0471  
4218 W BROAD ST  
N/F GARY S. & MARILYN B. SAGER  
D.B. 2702, PG. 1392  
ZONING: M-1

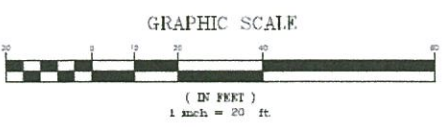
PREPARED BY:  
LIGHTING VIRGINIA/FIRST LIGHT  
June 2, 2015

GENERAL NOTES:

- NO ALTERATIONS OR MODIFICATIONS SHALL BE MADE TO THIS PLAN WITHOUT THE PERMISSION OF LIGHTING VIRGINIA.
- THE PHOTOMETRIC INFORMATION CONTAINED HEREIN IS SPECIFIC TO THE MANUFACTURER AND MODEL NUMBER LISTED IN THE LUMINAIRE SCHEDULE. SUBSTITUTIONS OR DEVIATIONS FROM THIS PLAN WILL RESULT IN SIGNIFICANTLY DIFFERENT RESULTS. ANY PROPOSED SUBSTITUTIONS MUST RECEIVE ENGINEER AND ARCHITECT APPROVAL. REVIEW COSTS, REWORKED PHOTOMETRIC LAYOUTS, PRODUCT SUBMITTALS AND ILLUMINATION REPORTS WILL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTING FIRM PROPOSING THE SUBSTITUTION, AND MUST FULLY COMPLY WITH DESIGN CRITERIA AND ANY OTHER APPLICABLE JURISDICTIONAL CODES.

LAREDO SERIES  
LMC-30LU-5K-3

SPYGLASSING



REV#	DATE	DESCRIPTION

DESIGN CONTACT: Jeff Staub  
DRAWING SCALE: 1"=20'  
DATE: 6/5/2015

SHEET  
**16**  
JOB #: 140070



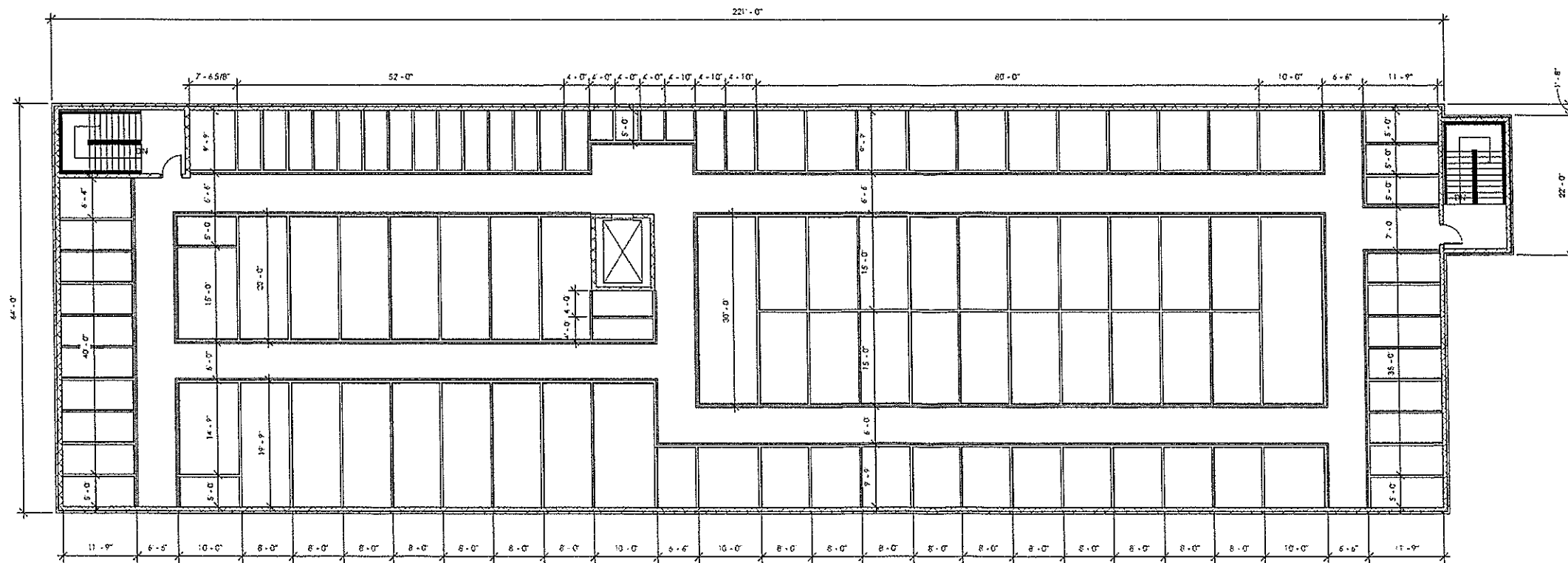








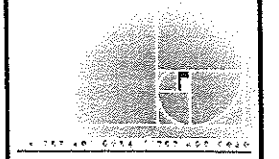
5/22/2016 10:55:50 AM



OVERALL THIRD FLOOR PLAN  
1" = 10'-0"

BUILDING 2 FOR  
**MINI-PRICE WAREHOUSE**  
 WEST BROAD STREET RICHMOND, VIRGINIA

COVINGTON HENDRIX ANDERSON  
 450 Mulberry Creek  
 Suite 200  
 Charlottesville, VA 22904  
 Phone: 800.828.8282  
 Fax: 434.973.1100  
 www.covingtonhendrixanderson.com



CHA PROJECT	15060
ISSUE DATE	05/28/15
REVISION NO.	DATE

PHASE 2 THIRD FLOOR PLAN

A3.0

8/5/2015 2:44:44 PM



OVERALL THIRD FLOOR PLAN  
1/16" = 1'-0"

EXISTING PHASE 1  
**MINI-PRICE WAREHOUSE**  
 WEST BROAD STREET RICHMOND, VIRGINIA

COVINGTON ANDERSON  
 ARCHITECTS  
 1000 Northport Circle  
 Suite 100  
 Virginia Beach, VA 23462  
 (757) 435-1234



CHA PROJECT 09045  
 ISSUE DATE 01/22/14  
 REVISIONS DATE

OVERALL THIRD FLOOR PLAN -  
 EXISTING PHASE 1

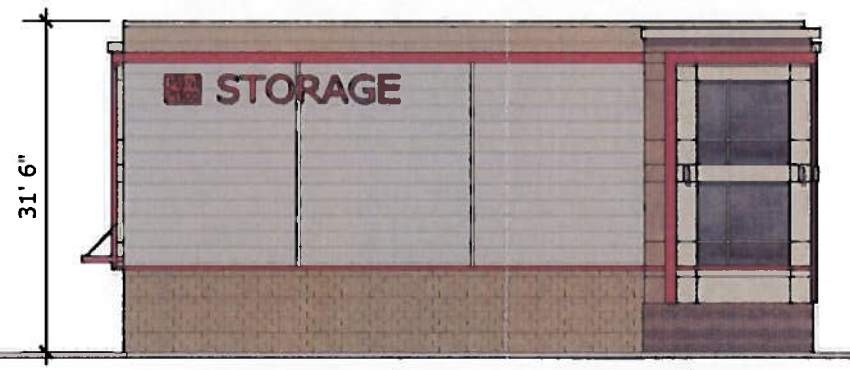
RECEIVED  
AUG 25 2015  
LAND USE ADMINISTRATION



Overall Front Elevation at 1/16" = 1'-0"

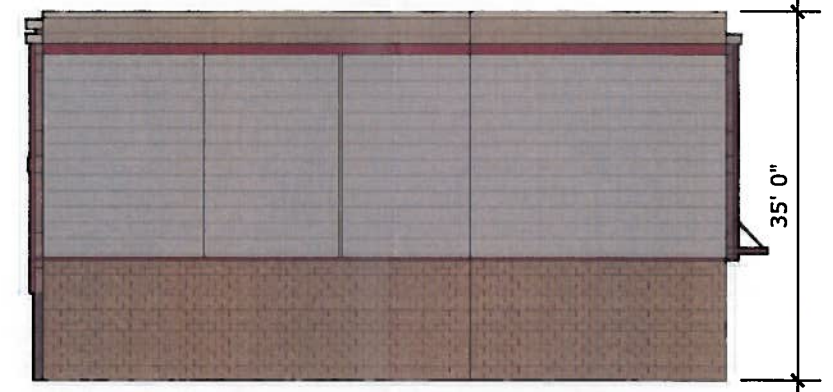


Existing Building

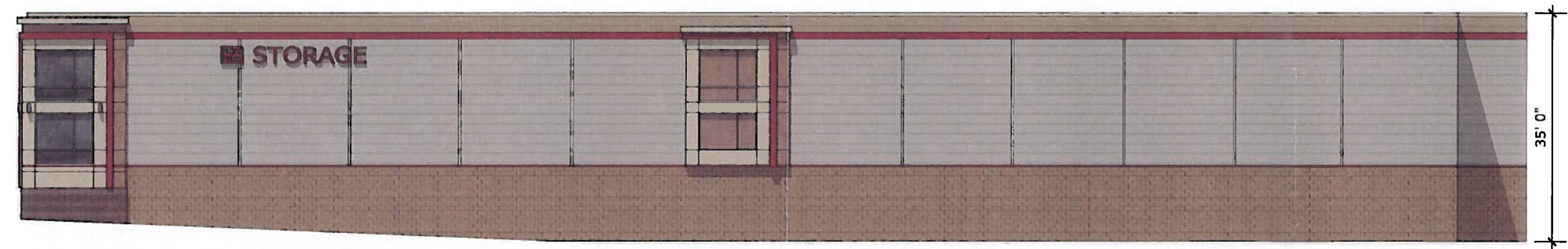


Bottom floor is partially underground on this side of building

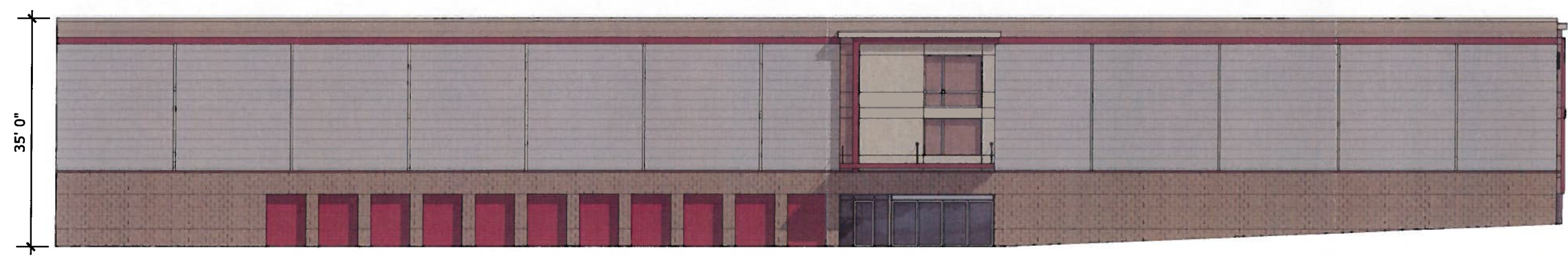
Front Elevation at 3/32" = 1'-0"



Back Elevation at 3/32" = 1'-0"



Right Elevation at 3/32" = 1'-0"



Left Elevation at 3/32" = 1'-0"

View 1



# Mini Price Storage: 4300 West Broad Street Expansion

Richmond, VA May 28, 2015

RECEIVED  **FINLEY DESIGN**  
ARCHITECTURE + INTERIORS

JUL 02 2015

LAND USE ADMINISTRATION

 **SIFEN**  
INCORPORATED



View 2



## Mini Price Storage: 4300 West Broad Street Expansion

Richmond, VA May 28, 2015

 **FINLEY DESIGN**  
ARCHITECTURE + INTERIORS

 **SIFEN**  
CONSTRUCTION

View 3

Materials Legend

- The following materials shall apply to this project:
- EIFS 1: Tan
- EIFS 2: Medium Brown
- Metal 1: Red
- Aluminum Storefront: Black Anodized
- Glass: Clear with Charcoal Spandrel
- Brick: Brown
- CMU: Beige
- Metal Panel 1: Light Gray
- Metal Panel 2: Medium Brown
- All colors and materials to match existing building



Mini Price Storage: 4300 West Broad Street Expansion

Richmond, VA May 28, 2015



PROPERTY OF



Jean Drive  
Beach, Va. 23452

486-3412

486-7658

STOLLINGS@CARDINALSIGN.COM

Price  
per sq ft

Location:  
Beach City

Project No.:  
19-R3

Client:

Contractor:  
Stollings

1'-0"

15

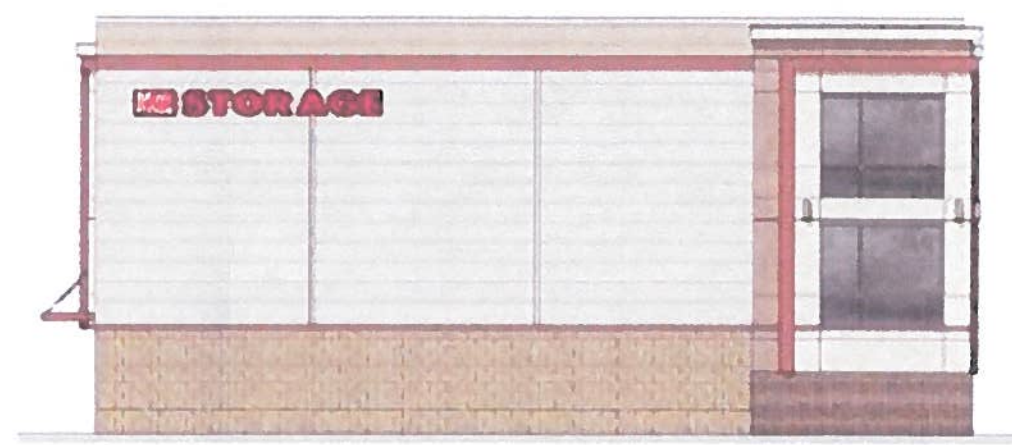
Per Approval:

220''

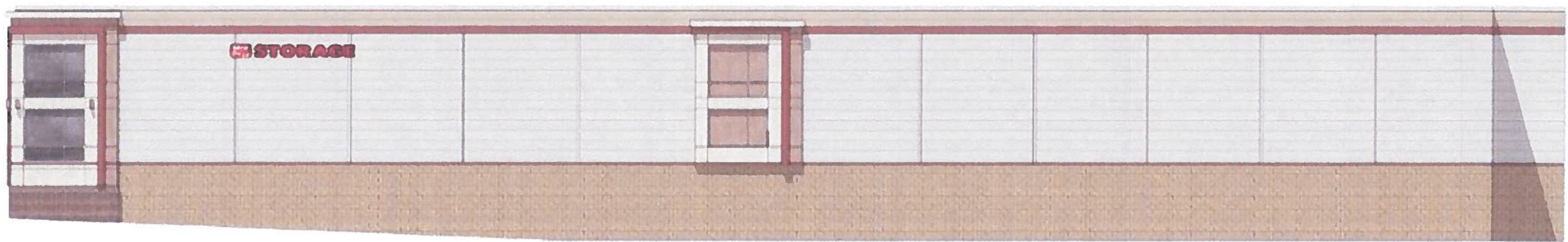
22''  
8'' RW

**Mini Price STORAGE** <sup>Ⓐ</sup>

SIGN A: CHANNEL LED LETTERS ON RACEWAY



FRONT ELEVATION



RIGHT ELEVATION

EXISTING CONDITIONS LEGEND

- IRF = IRON ROD FOUND
- — — — — = PROPERTY LINE
- ////// = BUILDING LINE
- ===== = CURB AND GUTTER
- = ASPHALT

NOTES:

1. THIS MAP IS NOT A BOUNDARY SURVEY AND DOES NOT MEET MINIMUM STANDARDS FOR BOUNDARY SURVEYING IN VIRGINIA
2. CITY/COUNTY COMMON BOUNDARY, 30' ACCESS EASEMENT, AND BOUNDARY LINES FROM MARTIN ENGINEERING CIVIL PLANS FOR MINI PRICE WAREHOUSE DATED 9-21-2011

PARCEL #776-735-8125  
4400 W BROAD ST  
N/F MARK T. MOTLEY  
D.B. 5183, PG. 1833

PARCEL #777-734-4965  
1800 DABNEY RD.  
N/F DEAN S. HAWTHORNE  
& SHT & PSH TRUSTEE  
D.B. 5234, PG. 2229

SOME IMPROVEMENTS  
EXIST THAT ARE NOT  
SHOWN

PARCEL #776-734-8993  
4300 W BROAD ST  
N/F DON-BARRY LLC  
D.B. 4689, PG. 2033  
HENRICO COUNTY PORTION

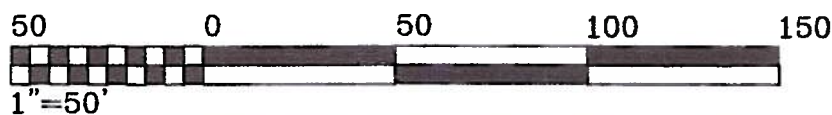
PARCEL #776-734-0471  
4218 W BROAD ST  
N/F GARY S. &  
MARILYN B. SAGER  
D.B. 2702, PG. 1392

COUNTY OF HENRICO  
CITY OF RICHMOND

PARCEL #N0002002005  
4400 W BROAD ST  
N/F MARK T MOTLEY  
DEED REF. 2013-19902

PARCEL #N0002002007  
4300 W BROAD ST  
N/F DON-BARRY LLC  
DEED REF. 2009-20257  
CITY OF RICHMOND PORTION  
+/- 0.847 ACRES

PARCEL #N0002001014  
4224 W BROAD ST  
N/F GARY S & MARILYN  
B SAGER  
DEED REF. 97-3893



RECEIVED  
JUL 02 2015  
LAND USE ADMINISTRATION

COMPILED MAP

FOR:  
**A PORTION OF  
4300 W BROAD ST**  
CITY OF RICHMOND, VA  
AND COUNTY OF HENRICO, VA  
PREPARED FOR: SILVERCORE



**NYFELER  
ASSOCIATES**

LAND SURVEYING & MAPPING  
619 W CARY ST. RICHMOND, VA 23220  
804-277-4231  
www.NyfelerAssociates.com

DATE: 6-18-2015	SCALE: 1" = 50'
JOB NUMBER: 14112	DRAWN BY: JRW
	APPROVED BY: GLN

