



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION / CERTIFICATE OF APPROPRIATENESS

**PROPERTY** (Location of Work)

Address 2900 E. Leigh Street, Richmond, VA 23223

Historic District Church Hill North



**PROPOSED ACTION**

- Alteration (including paint colors)
- Addition
- Rehabilitation
- New Construction (Conceptual Review required)
  - Conceptual Review
  - Final Review
- Demolition

**OWNER**

Name Corey + Megan McCalla

Company N/A

Mailing Address 521 N 28th Street  
Richmond, VA 23223

Phone 804-306-2726

Email coreymccalla@gmail.com

Signature

Date 3-2-17

**APPLICANT** (if other than owner)

Name \_\_\_\_\_

Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone \_\_\_\_\_

Email \_\_\_\_\_

Signature \_\_\_\_\_

Date \_\_\_\_\_

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**ECE VED**

(Space below for staff use only)

Application received:

Date/Time \_\_\_\_\_

By \_\_\_\_\_

**MAR 02 2017**

**1:30**

Complete     Yes     No



# CERTIFICATE OF APPROPRIATENESS

## NEW CONSTRUCTION CHECKLIST

**Well in advance** of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** 2900 E. Leigh Street

### NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

### DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

### WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

### PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

## **DETAILED DESCRIPTION OF PROPOSED WORK**

The proposed single family detached home shall be located on the vacant lots of 2900-2902 East Leigh Street in Richmond's historic Church Hill North Neighborhood. As stated in the handbook, the goal of this design is that it shall be compatible with surroundings structures, while still representing the modern time in which it will be constructed. Given that it is a corner lot, we, the homeowners and architects, shall consider not only the neighbors on North 29th Street and East Leigh Street, but also the buildings at the other three corners. These three corners were studied and have greatly influenced the design of the proposed home. It is our goal to construct a new home on the vacant lot that references materials, features, proportions and massing of the surrounding historic homes.

## **SITING**

According to page 44 of the Old & Historic Districts of Richmond, Virginia: Handbook and Design Review Guidelines, "New residential infill construction should respect the prevailing front and side yard setback patterns of the surrounding block." The home is planned to align with the front yard setbacks of the other homes on East Leigh Street. The Handbook also suggests that, "New buildings should face the most prominent street bordering the site." The proposed home will face East Leigh Street.

## **FORM**

The Handbook states that, "New construction should use a building form compatible with that found elsewhere in the historic district." The massing, size, symmetry, proportions, projections and roof shapes follow that of other homes in the historic neighborhood. The windows, the front door and the porch on the prominent street follow the same size and proportions of the neighbors on East Leigh Street. The proposed gabled roof design is compatible with the neighbors on North 29th Street and East Leigh Street.

## **HEIGHT, WIDTH, PROPORTION + MASSING**

According to page 45 of the Handbook, "New residential construction should respect the typical height of surrounding residential buildings." The height of the proposed building does not exceed that of surrounding homes and commercial buildings. The front facade shall respect the neighbors on East Leigh Street with the cornice height closely aligning to the existing structures.

## **MATERIALS + COLORS**

The Handbook states that, "Materials used in new residential construction should be visually compatible with original materials used throughout the district." The materials proposed include a metal roof as well as Hardie board siding and panels. The metal railing will read as the same size as historic railings, but the material choice will reflect the present day construction. The Handbook also suggests that, "When rooftop railings are required for seating areas or for safe access to mechanical equipment, the railings should be as unobtrusive as possible, in order to minimize their appearance and visual impact on the surrounding district." The rooftop railing is tucked in the northeast corner of the lot; therefore the appearance is minimal from East Leigh Street. The proposed color is gray, such as Roycroft Mist Gray or Classic French Gray. Many of the surrounding buildings are beige and blue.

## **CORNER PROPERTIES**

The massing of the proposed residence references other corner properties in the neighborhood. The material will be the same for both the primary and secondary elevations. Where the rear massing is set back, the material and color shall vary from the main body, such as other homes in the district. Both the height of the home and the height of the foundation relate to neighboring properties. Windows on both elevations are aligned vertically. The elements of a side entrance and a side porch also contribute to the architecture of the secondary elevation.

## **DOORS + WINDOWS**

The Handbook states that, "The size, proportion, and spacing patterns of doors and window openings on free standing, new construction should be compatible with patterns established within the district." The windows and doors of the proposed home are compatible with those of the other homes on East Leigh Street.

## **PORCHES + PORCH DETAILS**

According to page 46 of the Handbook, "New porch railing designs, compatible with the overall design of the building, will also be considered," and, "Porch roofs are encouraged to utilize standing-or flat-lock metal seam roofs that are hand-seamed, or closely approximate hand-seaming." The porch railing shall be constructed of either cable wiring or metal horizontal railing, thus reflecting the contemporary design in the time period it is constructed. The design is intended to be visually unobtrusive such as the metal railing of the neighboring houses.

## **RESIDENTIAL OUTBUILDINGS**

The shed shall be constructed with the same siding materials of the main residence and shall be located at the rear of the property and away from the street side of North 29th Street to emphasize its secondary nature. The roof shall be low sloping metal or shingles that slope away from the street.

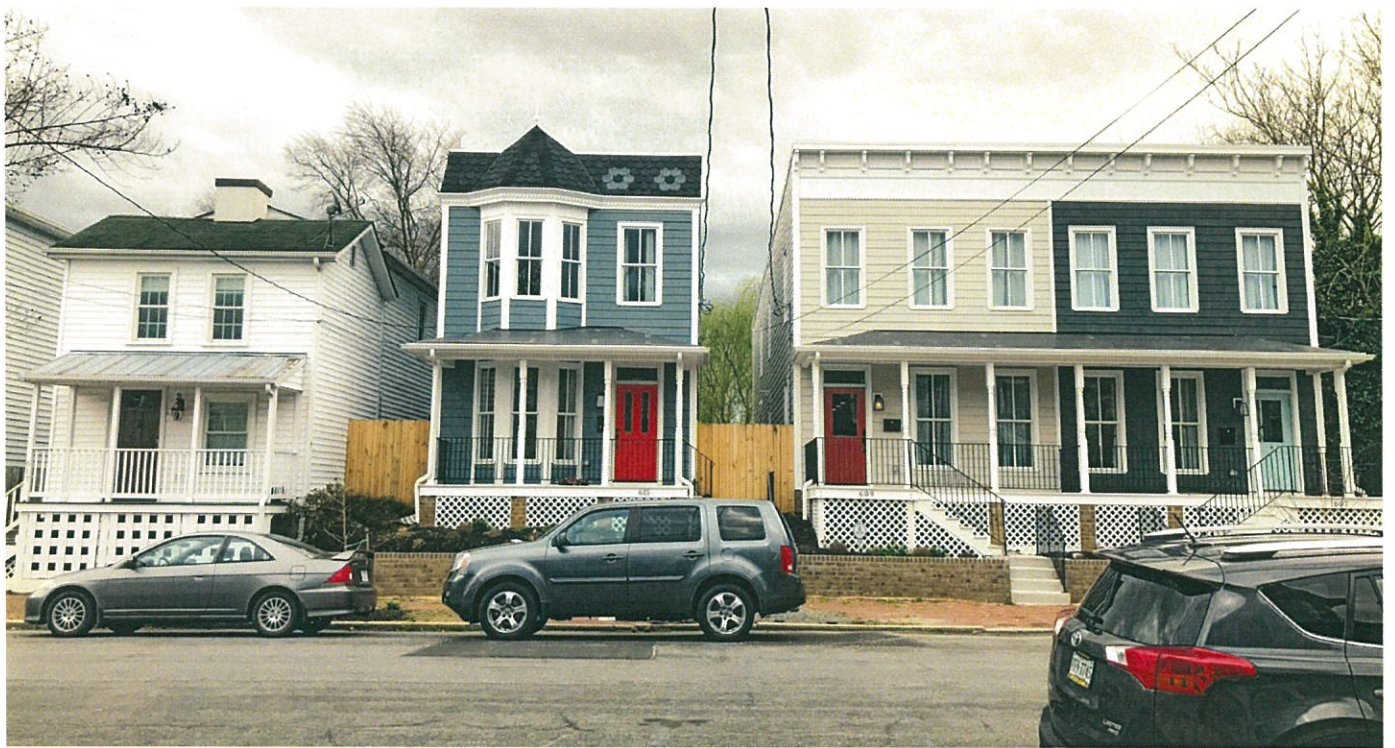
## **FENCES + WALLS**

The privacy fence at the rear of the house shall reflect the scale of the surrounding houses. It shall not be taller than 6' and be constructed of vertical posts with horizontal wood boards with a natural finish appropriate for the neighborhood.

neighborhood examples | street views of block | part one



view of east leigh street | proposed home next to tan home on far left



view of north 29th street | proposed home across alley next to gray home on far right

mccalla home | 2900 east leigh street | church hill, rva | conceptual review

neighborhood examples | street views of block | part two



view of north 29th street | alley behind east leigh street



view of north 29th street | across the street from proposed home

mccalla home | 2900 east leigh street | church hill, rva | conceptual review

neighborhood examples | study of corner residences



521 north 29th street | corner residence due south of proposed home



600 north 29th street | corner commercial space due west of proposed home

mccalla home | 2900 east leigh street | church hill, rva | conceptual review

neighborhood examples | gable roof designs | part one



522 north 29th street | corner commercial space southwest of proposed home



635 north 27th street | gable facing m street

mccalla home | 2900 east leigh street | church hill, rva | conceptual review



neighborhood examples | gable roof designs | part two



2901 m street | gable facing north 29th street



617 north 29th street



510 north 29th street



617 north 26th street

mccalla home | 2900 east leigh street | church hill, rva | conceptual review

neighborhood examples



2400 east leigh street | corner mixed use space with metal railings and roof access

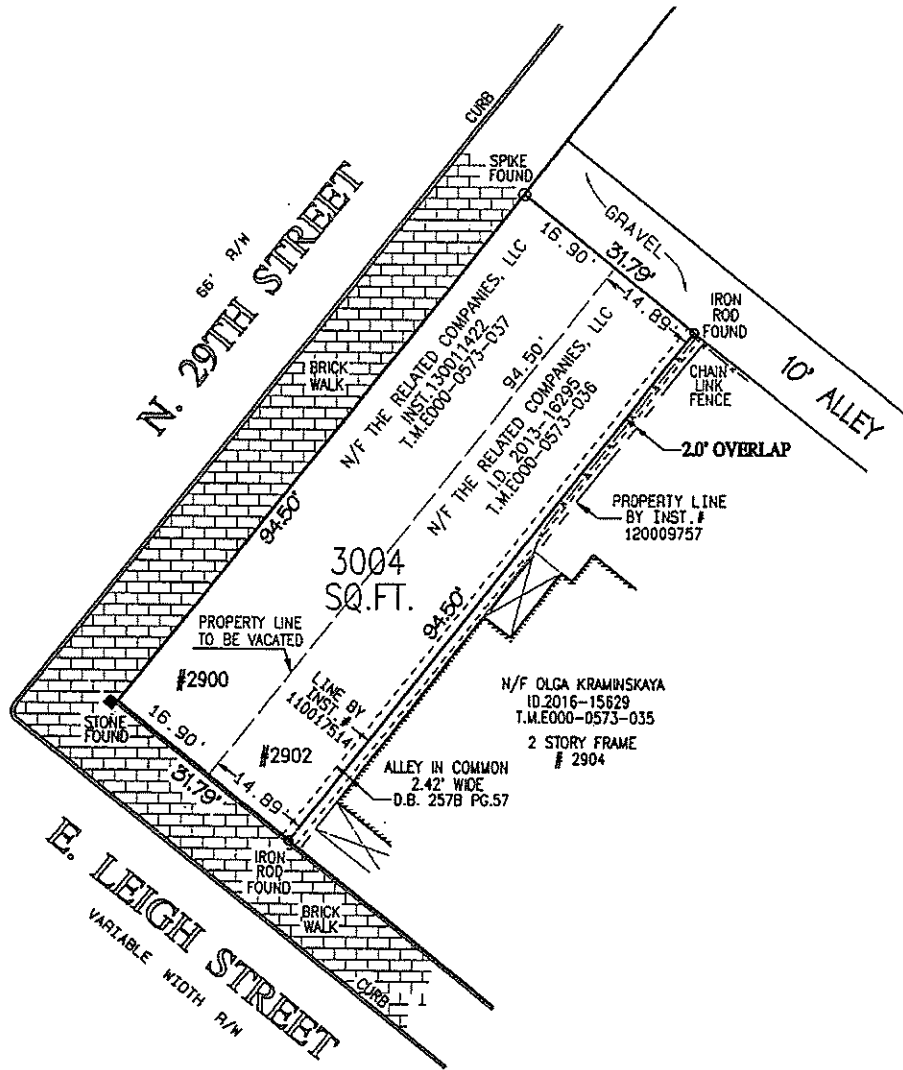


2600 cedar street | material study

mccalla home | 2900 east leigh street | church hill, rva | conceptual review

NOTES: THIS PROPERTY DOES NOT APPEAR TO BE LOCATED IN A F.E.M.A. FLOOD HAZARD AREA. FREDERICK A. GIBSON & ASSOCIATES, P.C. ASSUMES NO LIABILITY REGARDING SUB-SURFACE FEATURES SUCH AS TOXIC WASTE, GARBAGE OR WASTE DISPOSAL AREAS, LANDFILLS, UNDERGROUND STORAGE TANKS, CEMETERIES OR BURIAL SITES, SHRINK/SWELL SOILS, UNDERGROUND WATERWAYS OR UTILITIES.

CITY BASELINE  
SHEET 9 S/E



(PHYSICAL SURVEY)

**SURVEY & PLAT OF No.2900 & 2902 EAST LEIGH STREET  
IN THE CITY OF RICHMOND, VIRGINIA**

SCALE: 1" = 20'



THIS IS TO CERTIFY THAT ON FEBRUARY 1, 2017, I MADE A FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS PLAT IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS PLAT COMPLIES WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, AND CERTIFIED LANDSCAPE ARCHITECTS.

**FREDERICK A. GIBSON  
& ASSOCIATES, P.C.**  
LAND SURVEYORS

**LEGEND**  
○ = IRON ROD FOUND  
● = IRON ROD SET  
UNLESS OTHERWISE NOTED.

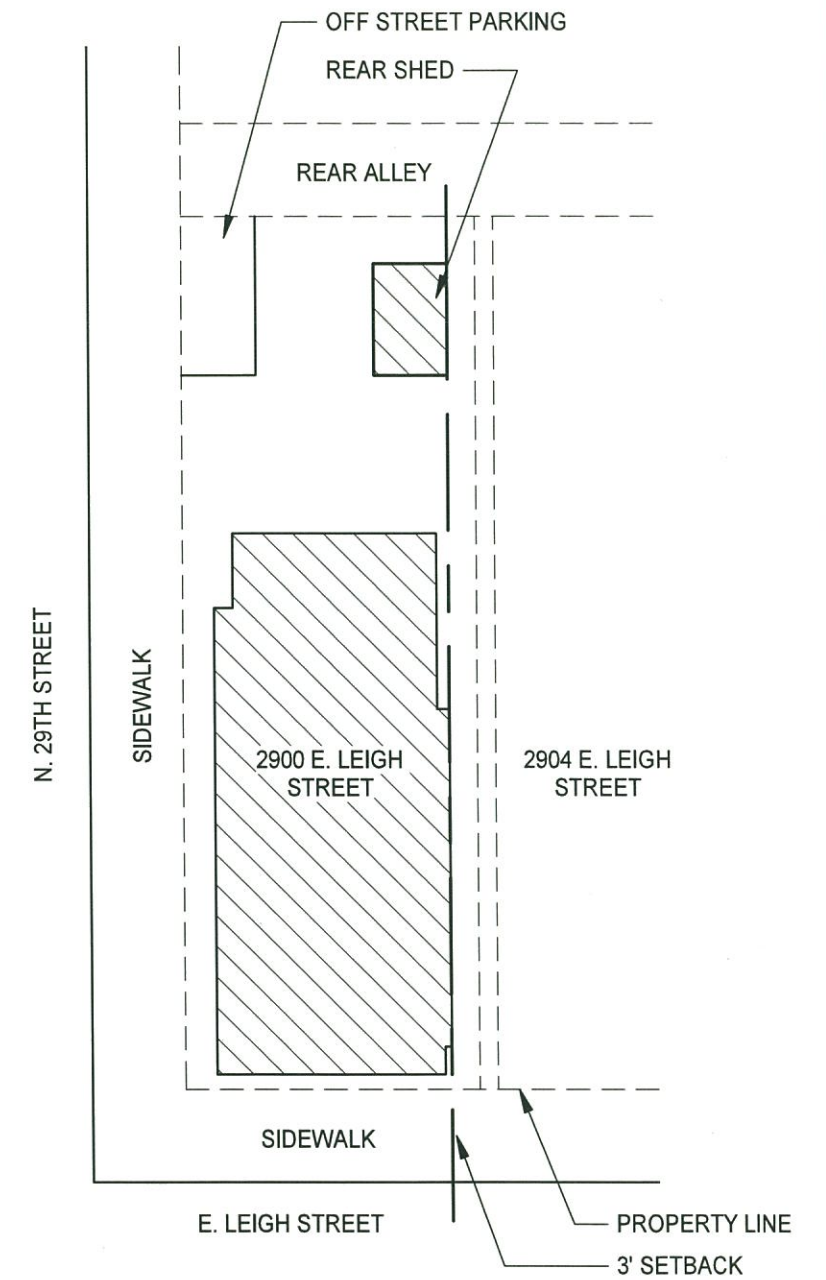
J.N. 1306-04

11521-G MIDLOTHIAN TURNPIKE NORTH CHESTERFIELD, VIRGINIA 23235 PHONE 804 378-4485



**VICINITY MAP**

12" = 1'-0"



**SITE PLAN**

1" = 20'-0"

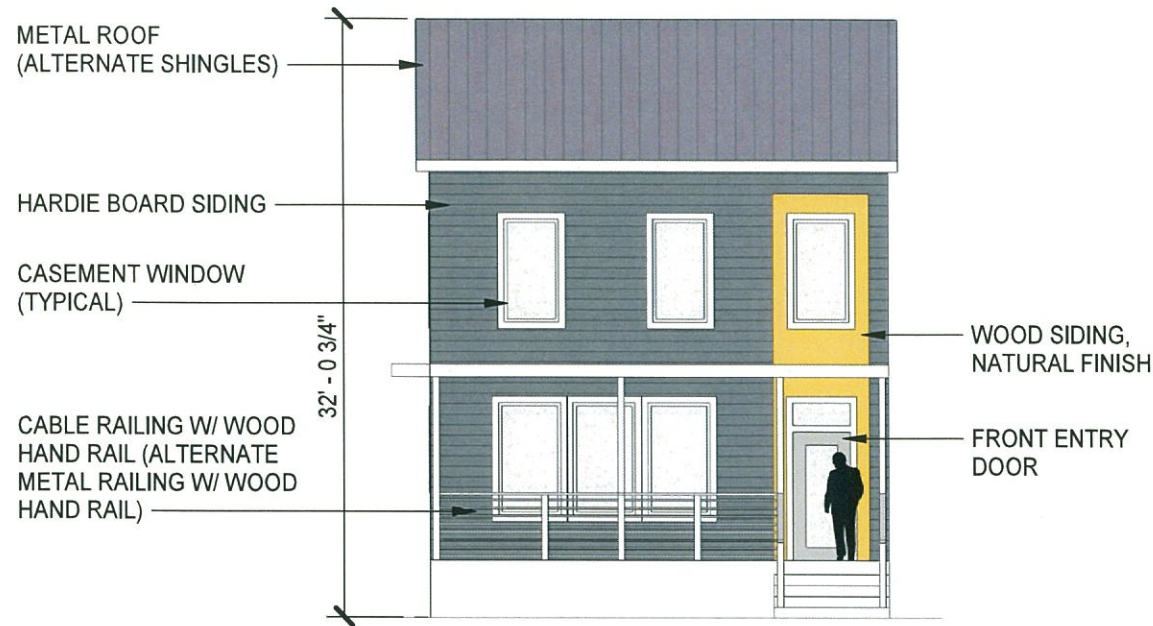
C + M McCALLA

DRAWING TITLE:  
VICINITY MAP & SITE PLAN

PROJECT:  
SINGLE FAMILY HOUSE  
2900 E. LEIGH STREET, RICHMOND, VA 23223

CAR  
CONCEPTUAL REVIEW  
DATE: 03/01/17  
PROJECT NO: 2900-2902

DRAWING:  
**A101**



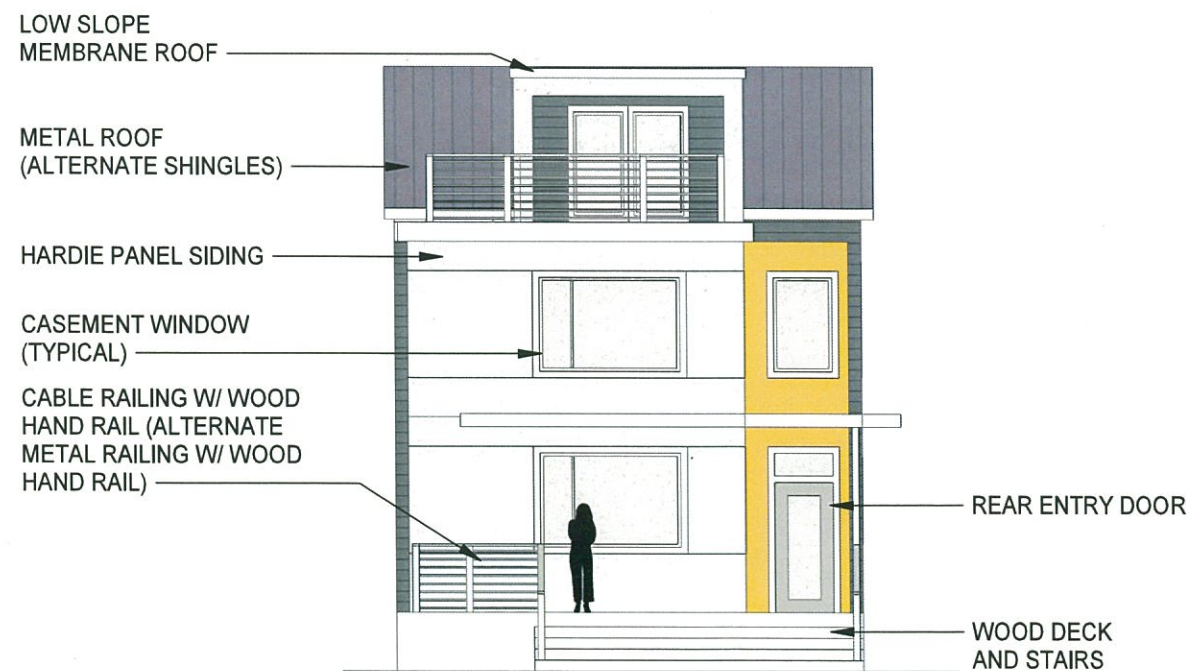
**SOUTH ELEVATION (FACING E LEIGH ST)**

1" = 10'-0"



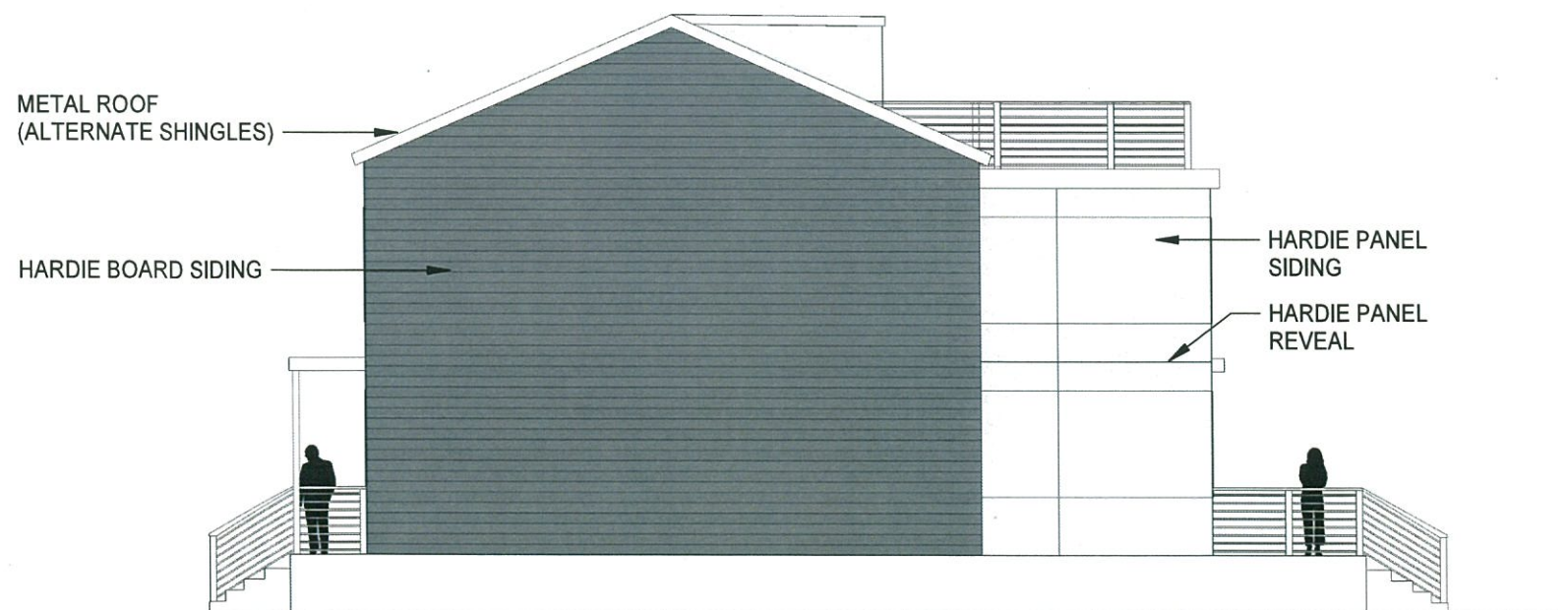
**WEST ELEVATION (FACING N 29TH ST)**

1" = 10'-0"



**NORTH ELEVATION (FACING REAR ALLEY)**

1" = 10'-0"



**EAST ELEVATION (FACING 2904 E LEIGH ST)**

1" = 10'-0"

**C + M McCALLA**

DRAWING TITLE:

ELEVATIONS

PROJECT:

SINGLE FAMILY HOUSE  
2900 E. LEIGH STREET, RICHMOND, VA 23223

CAR

CONCEPTUAL REVIEW

DATE:

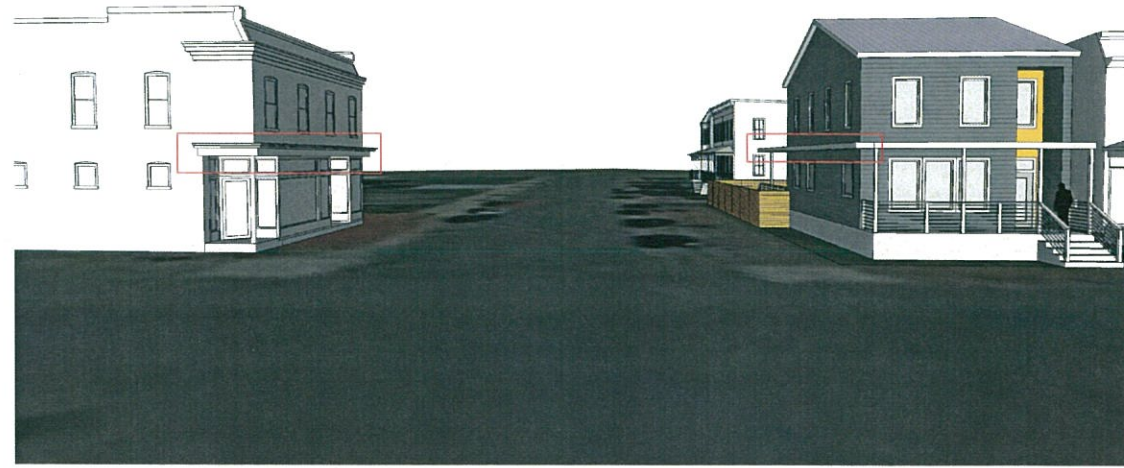
03/01/17

PROJECT NO.:

2900-2902

DRAWING:

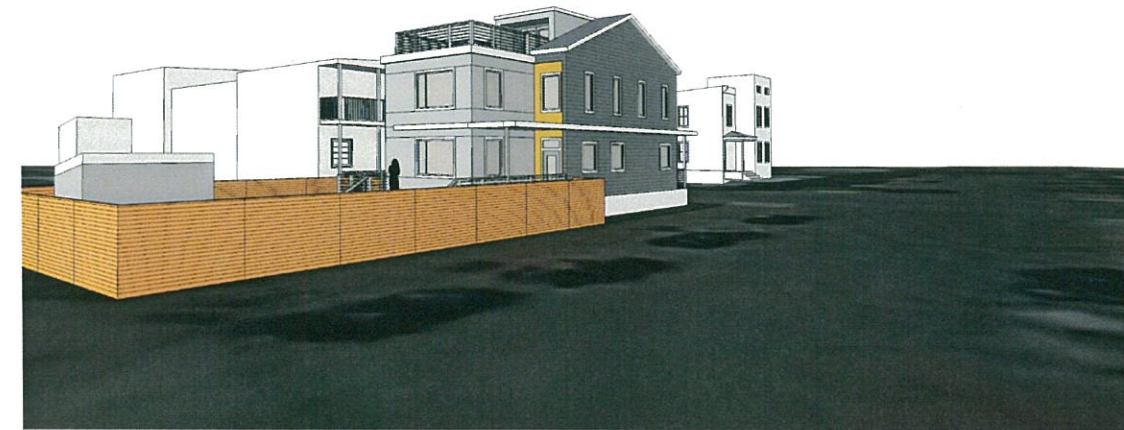
**A102**



**VIEW NORTH ON N 29TH STREET**  
 HORIZONTAL ELEMENTS INCORPORATED ON N 29TH STREET ELEVATION INSPIRED BY COMMERCIAL BUILDING ACROSS THE STREET. VISUALLY ESTABLISHES ENTRANCE INTO N 29TH STREET BLOCK. RESPECTS THE TYPICAL HEIGHT OF SURROUNDING AND NEARBY BUILDINGS.



**VIEW OF WEST/SOUTHWEST CORNER ON N 29TH STREET AND E LEIGH STREET**  
 FRONT FACADE ALIGNS WINDOWS, PORCH AND PORCH ROOF WITH NEIGHBORING HOUSES. WINDOW PATTERNS FROM NEIGHBORS ARE CONTINUED ON E LEIGH STREET FACADE AND N 29TH STREET FACADE. WINDOWS ARE VERTICALLY ALIGNED TO MATCH PROPORTIONS OF NEIGHBORING HOUSES. RESPECTS THE TYPICAL HEIGHT OF SURROUNDING AND NEIGHBORING BUILDINGS.



**VIEW OF NORTHWEST CORNER ON N 29TH STREET**  
 REAR ELEMENT OF HOUSE SET BACK FROM N 29TH STREET INSPIRED BY HISTORICAL DESIGNS OF THE DISTRICT. REAR YARD INCLUDES PRIVACY FENCE WITH HORIZONTAL WOOD AND A SMALL SHED WITH A LOW SLOPE METAL ROOF.



**VIEW OF PROMINENT STREET FRONT ALONG E LEIGH STREET**  
 HEIGHT OF GABLE ROOF ANCHORS WEST CORNER OF THE BLOCK AND HEIGHT OF 2912 E LEIGH STREET NEWLY CONSTRUCTED HOME ANCHORS EAST CORNER. THE FACADE HEIGHT, FRONT PORCH PROPORTIONS AND WINDOW PLACEMENT ALL RESPECT THE ARCHITECTURAL ELEMENTS ALONG THE STREET FRONT.

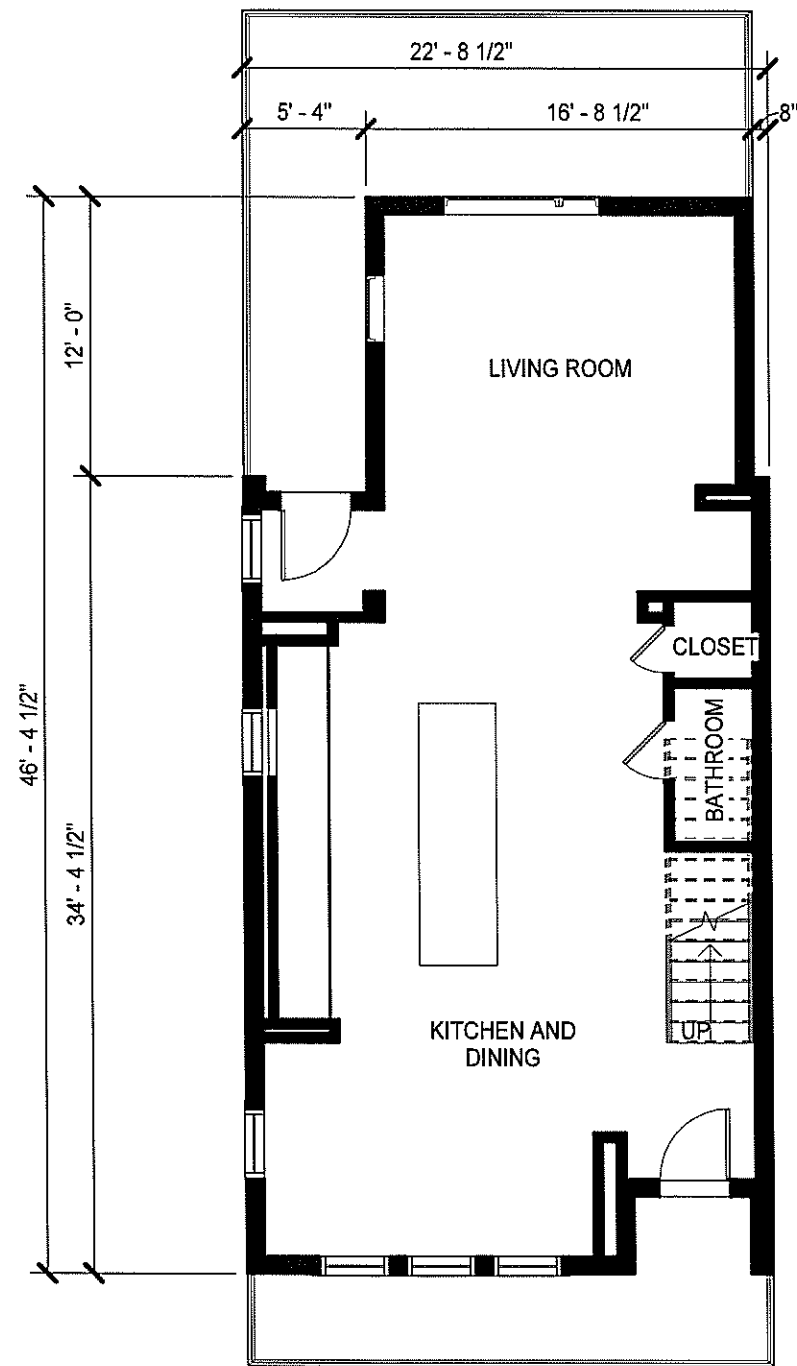
**C + M McCALLA**

DRAWING TITLE:  
**PERSPECTIVE IMAGES**

PROJECT:  
**SINGLE FAMILY HOUSE**  
 2900 E. LEIGH STREET, RICHMOND, VA 23223

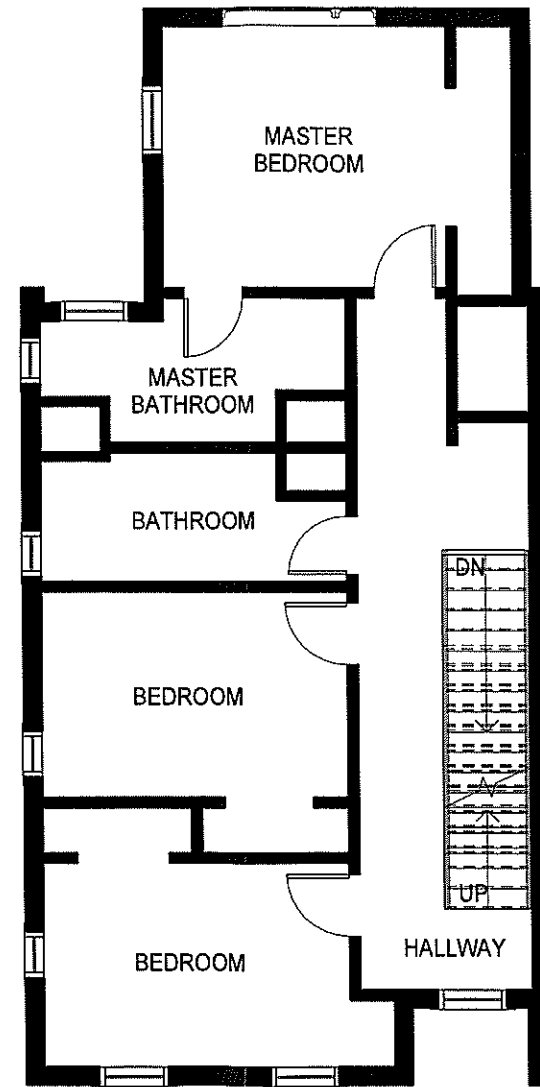
CAR  
**CONCEPTUAL REVIEW**  
 DATE:  
 03/01/17  
 PROJECT NO:  
 2900-2902

DRAWING:  
**A103**



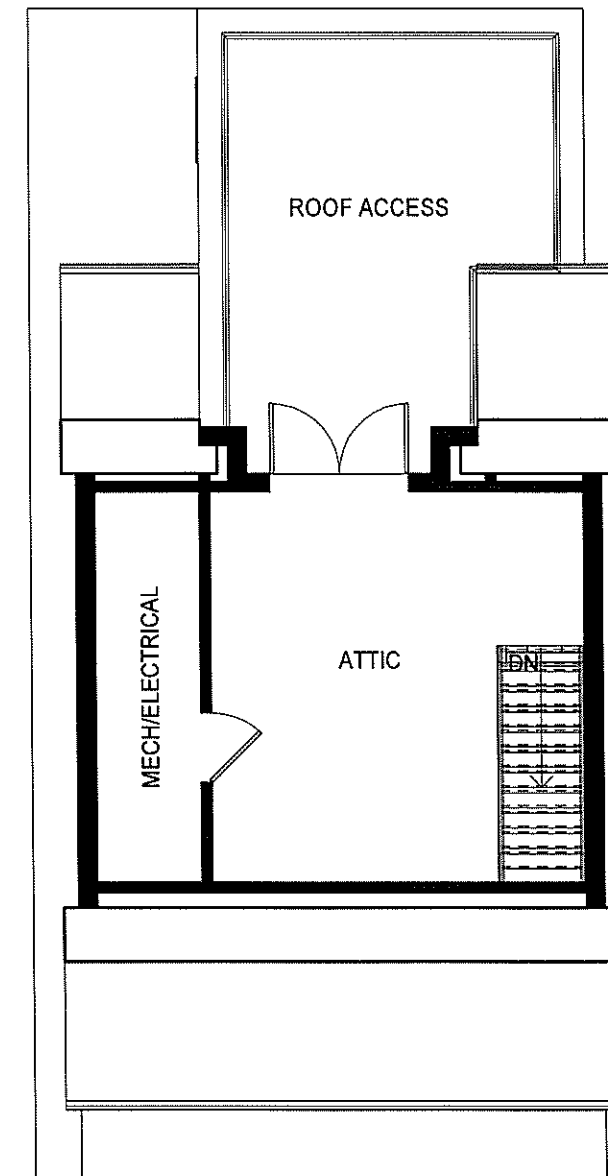
**FIRST FLOOR PLAN**

1/8" = 1'-0"



**SECOND FLOOR PLAN**

1/8" = 1'-0"



**ATTIC PLAN**

1/8" = 1'-0"

C + M McCALLA

DRAWING TITLE:

FLOOR PLANS

PROJECT:

SINGLE FAMILY HOUSE  
2900 E. LEIGH STREET, RICHMOND, VA 23223

CAR

CONCEPTUAL REVIEW

DATE:

03/01/17

PROJECT NO:

2900-2902

DRAWING:

**A104**