



Commission for Architectural Review Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804)-646-6569
www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

Address: 535 Mosby Street, Richmond, VA 23223

Historic District: Union Hill

Applicant Information **Billing Contact**

Name: Greg Shron

Email: greg@centercreekhomes.com

Phone: 804-362-7727

Company: Center Creek Homes

Mailing Address: 11 S. 12th St. #115

Richmond, VA 23219

Applicant Type: Owner Agent Lessee

Architect Contractor

Other (specify): _____

Owner Information **Billing Contact**

Same as Applicant

Name: _____

Email: _____

Phone: _____

Company: _____

Mailing Address: _____

****Owner must sign at the bottom of this page****

Project Information

Project Type: Alteration Demolition New Construction (Conceptual Review Required)

Project Description (attach additional sheets if needed):

535 Mosby Street will be an detached single family home located near the intersection of Cedar and Mosby. It will be a two story structure with a recessed front porch. The total square footage, distributed equally over two floors, is 2,074 SF. The facade will be a composition of cementitious siding.

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required an application materials should be prepared in compliance with zoning.

Signature of Owner

Date 10-13-2022

Certificate of Appropriateness Application Instructions

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: www.rva.gov/planning-development-review/commission-architectural-review

Staff Contact: (804)-646-6569 | alex.dandrige@rva.gov | alyson.oliver@rva.gov

Submission Instructions

Certain exterior work can be administratively approved by Staff. Please contact staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner's signature required
- One (1) copy of supporting documentation, as indicated on appropriate checklist (PDF)
- Application fee, if required, will be invoiced via the City's Online Permit Portal. Payment of the fee must be received before the application will be scheduled. Please see fee schedule brochure available on the CAR website for additional information.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.
- A complete application includes a signed application form, related checklist, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in Sec. 30-930.6(b).
- The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

Meeting Schedule and Application Due Dates

- The CAR meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- The hearing of applications starts at 4:00pm via Microsoft Teams. The owner and/or applicant is encouraged to attend the meeting.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit www.rva.gov/planning-development-review/commission-architectural-review or contact staff.
- Exception: Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.

Fees

- **Full Demolition:** \$1,500
- **New construction/addition to a building other than for a single- or two-family dwelling or accessory building, including multi-family or mixed-use developments:** \$500
- **New construction/addition to a single- or two-family dwelling, or accessory building:** \$250
- **Amendments to previous certificates of appropriateness (COAs) concerning non-structural alterations, changes to signage, and changes to plans:** \$150
- **Extension of a certificate of appropriateness (COA):** \$25



535 Mosby Street

ONE SINGLE-FAMILY DETACHED RESIDENCE

UNION HILL HISTORIC DISTRICT

RICHMOND COMMISSION OF ARCHITECTURAL REVIEW - CONCEPT SUBMISSION #2

PREPARED: OCTOBER 10, 2022

APPLICANT: CENTER CREEK HOMES c/o Greg Shron

PROJECT DESCRIPTION:

The submission includes a single, detached, 2-story, 2,074 square-foot single-family home on a 2,246 square-foot vacant lot at 535 Mosby Street. The property is an irregular, almost triangular, lot in the Union Hill Historic District, zoned R-63. Our proposed height is below the district's maximum height of 35'-0".

The exterior of the home is contemporary but shares similar massing and materials to the contributing structures that neighbor it. Union Hill is characterized by modest detached and semi-detached single-family homes of wood construction. Homes typically have a full-width front porch and shallow pitch roof, often in the Italianate style with a cornice and no visible roof line at the façade.

Union Hill is also defined by its dramatic topography, and this lot is no exception. There is a strong grade change up from Mosby Street, and side-to-side on the lot. The design includes concrete stairs up from the street to a full-width concrete front porch that tapers mirroring the lot shape. Our lot is very narrow along the Mosby Street frontage (under 12'), making it advantageous to keep the front of the house close to the maximum rear setback to gain width at the entry. Per the Commission's comments at the September meeting, the front of the house has been moved forward to mimic the sawtooth placement of the historic houses adjacent relative to the street. The projecting second floor has also been removed per recommendation, and the entry has been recessed to mimic the historic house fronts. The front porch has been redesigned to include a suspended awning in lieu of a typical porch design with columns, to maximize the limited remaining space. This house will be slab on grade, with wood framing, gray horizontal lap siding, and a smooth panel and trim design accentuating the opening pattern at the front façade. The low-slope roof will be concealed by a modest parapet.

We look forward to working with the CAR and staff towards approval for this project.



PROJECT CONTACTS:

DEVELOPER:
CCRH HOLDINGS LLC
C/O CENTER CREEK HOMES
GREG SHRON
804-362-7727

ARCHITECT:
CHRIS WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

NEW SINGLE-FAMILY DETACHED HOUSE
IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD

535 MOSBY ST. HOUSE

535 MOSBY STREET
RICHMOND, VIRGINIA 23223

NEW SINGLE-FAMILY DETACHED HOUSE
IN RICHMOND'S HISTORIC UNION HILL NEIGHBORHOOD
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DRAWING INDEX

DRAWINGS	
NO.	SHEET TITLE
CS	COVER SHEET
XI.1	SITE PHOTOS
CI.1	ARCHITECTURAL SITE PLAN
AI.1	FIRST & SECOND FLOOR PLANS
A2.0	RENDERINGS
A2.1	FRONT & REAR EXTERIOR ELEVATIONS & EXTERIOR FINISH SCHEDULE
A2.2	LEFT & RIGHT SIDE EXTERIOR ELEVATIONS



SET/REVISION:
C.A.R. 2ND SUBMITTAL SET

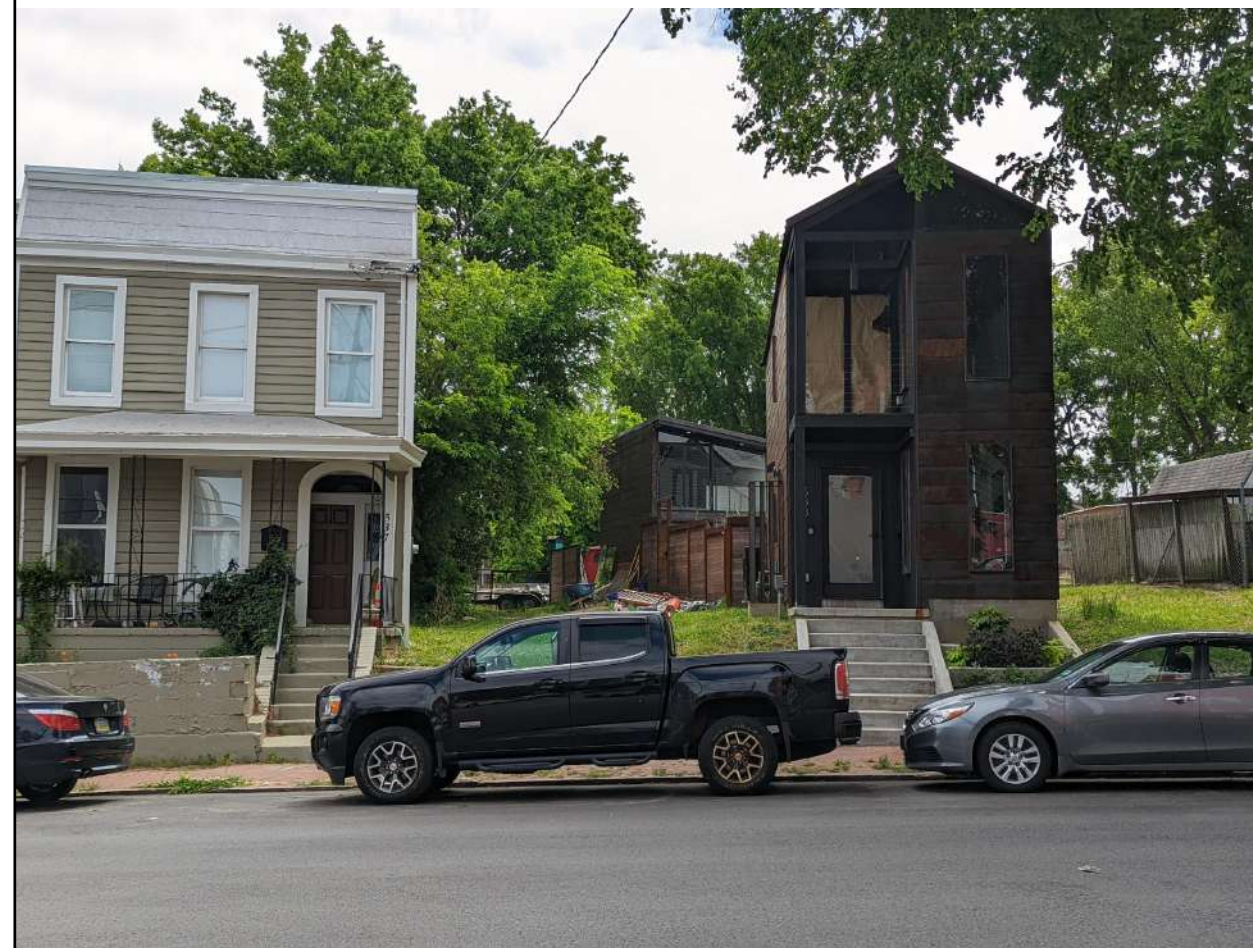
DATE/MARK:
10.10.2022

COVER SHEET

CS



537 MOSBY ST. - NEIGHBOR TO LEFT



535 MOSBY ST. - PROJECT SITE



533 MOSBY ST. - NEIGHBOR TO RIGHT



BUILDING ACROSS MOSBY ST.



PROJECT LOT CLOSEUP



REAR VIEW OF PROJECT LOT



NORTH END OF PROJECT BLOCK



529 & 525 MOSBY ST.



SOUTH END OF PROJECT BLOCK



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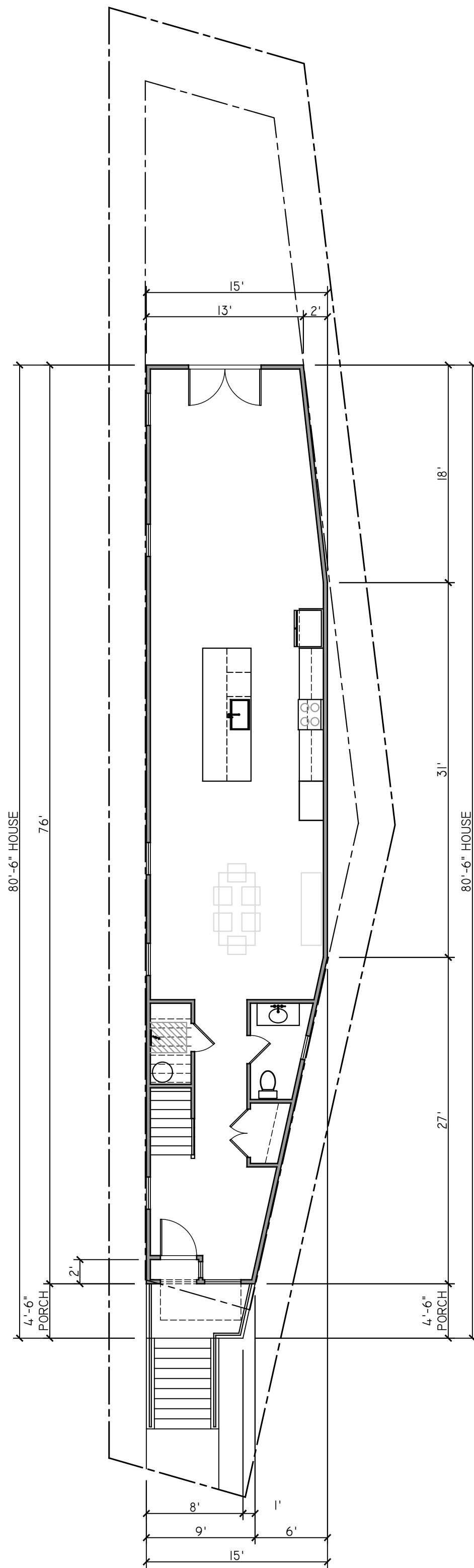
SITE PHOTOS
XI.1

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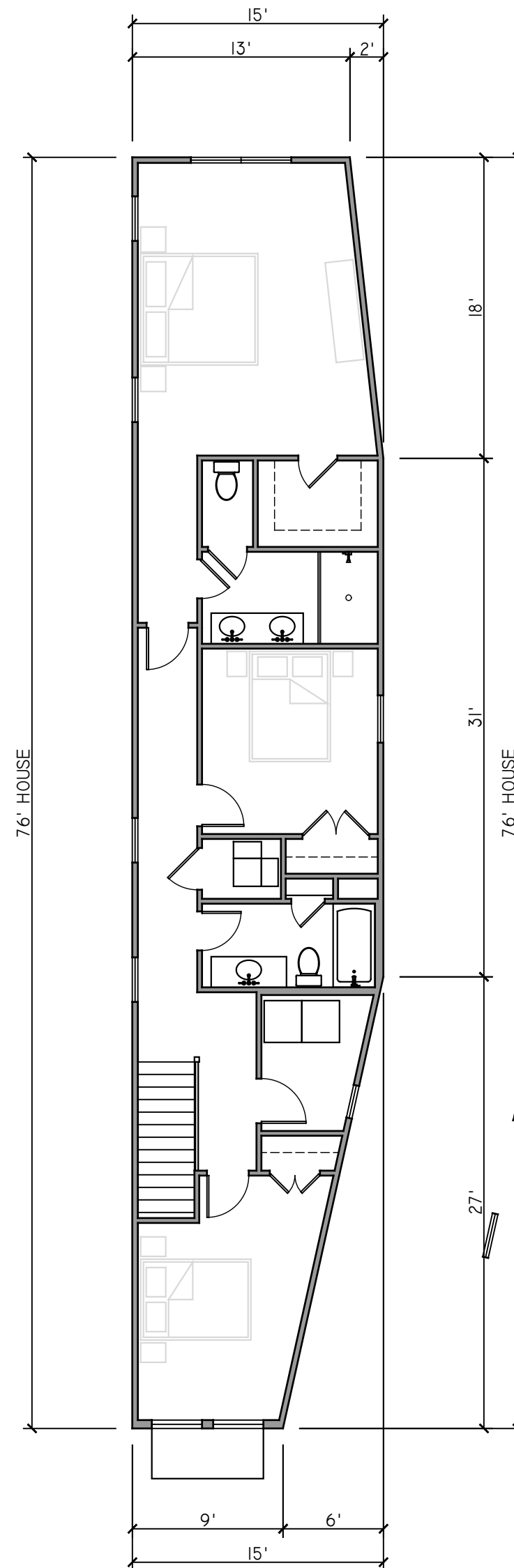
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01 | FIRST FLOOR PLAN

1/8" = 1'



02 | SECOND FLOOR PLAN

1/8" = 1'

NOT FOR
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FIRST & SECOND
FLOOR PLANS

A.I.I



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RENDERINGS
A2.0

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EXTERIOR FINISH SCHEDULE

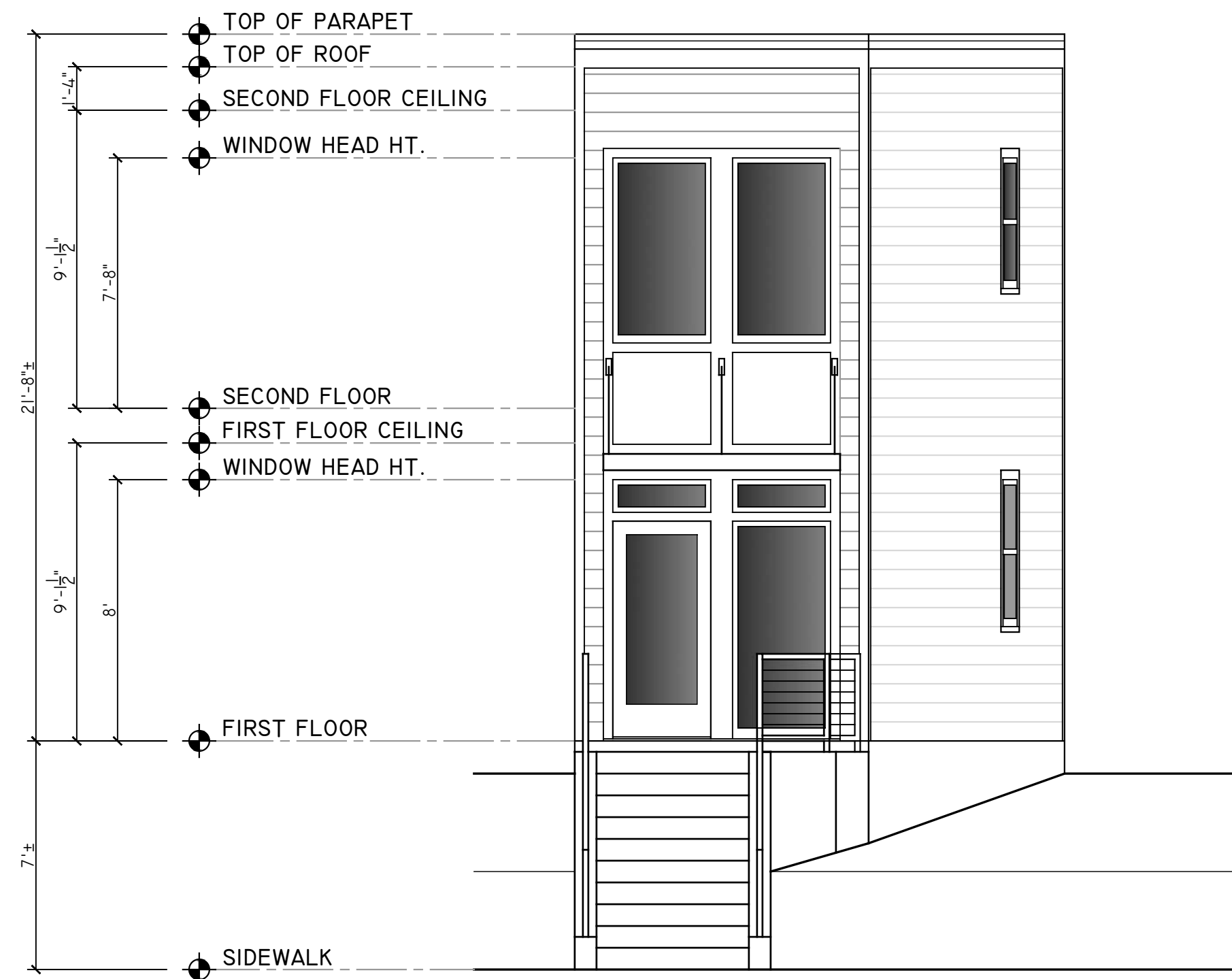
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	PARGED OR CONCRETE FOUNDATION	THRU-COLOR GRAY/BLACK OR NATURAL CONCRETE
02	CONCRETE FRONT PORCH/STAIRS/RETAINING WALLS	PARGED BLOCK OR NATURAL CONCRETE
03	FIBER-CEMENT FRONT FEATURE WITH FLAT PANELS	IRON GRAY OR SIMILAR
04	FIBER-CEMENT HORIZONTAL LAP SIDING (7" EXPOSURE)	LIGHT GRAY
05	COMPOSITE TRIM- SEE WALL SECTION	PAINTED TO MATCH SIDING
06	PORCH CEILING	PAINTED PER DEVELOPER
07	ALUMINUM FLASHING	FACTORY BLACK
08	WOOD & GLASS ENTRY DOORS	PAINTED PER DEVELOPER
09	ALUM.-CLAD WOOD WINDOWS - SEE SCHEDULE	PREFINISHED BLACK
10	FRONT PORCH METAL AWNING	PRE-FINISHED BLACK
11	FRONT PORCH HORIZONTAL METAL RAILING WITH HANDRAIL	PREFINISHED BLACK
12	TPO ROOF	FACTORY WHITE

EXTERIOR FINISH NOTES:

1. ALL EXTERIOR MATERIALS, COLORS, & FINISHES SHALL BE APPROVED BY C.A.R..
2. EXTERIOR ELEVATION NOTES ARE TYPICAL ACROSS ALL EXTERIOR ELEVATIONS U.N.O..
3. GRADES SHOWN APPROXIMATE. V.I.F..
4. SEE SPECIFICATIONS BY OWNER.
5. VERIFY ALL MATERIAL & COLOR SELECTIONS WITH DEVELOPER.



02 | REAR ELEVATION
1/4" = 1'



01 | FRONT ELEVATION
1/4" = 1'

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FRONT & REAR
EXTERIOR ELEVATIONS

A2.1

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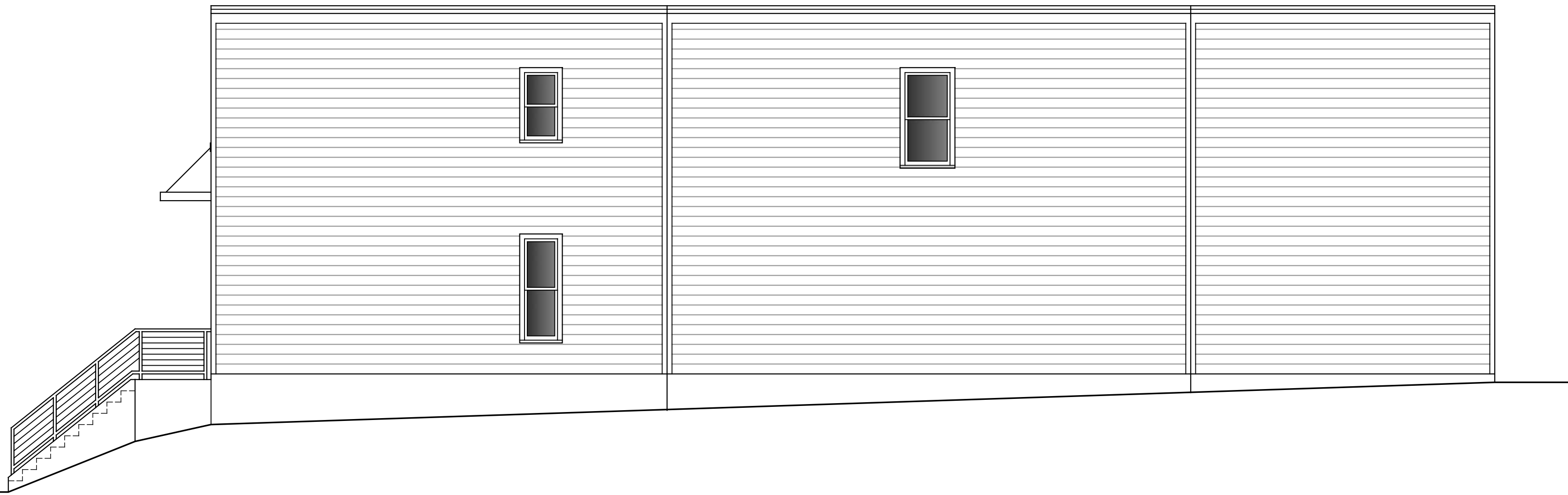
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01 | RIGHT SIDE ELEVATION
3/16" = 1'



02 | LEFT SIDE ELEVATION
3/16" = 1'

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LEFT & RIGHT SIDE
EXTERIOR ELEVATIONS

A2.2