



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 3317 MONUMENT AVENUE
Historic district MONUMENT AVENUE

Date/time rec'd: _____
Rec'd by: COA-045479-2018
Application #: NOV 19 2018
Hearing date: _____
BY: CLJ

↳ 12.18.18

APPLICANT INFORMATION

Name JOSEPH F. YATES,
Company JOSEPH F. YATES, ARCHITECT
Mailing Address P.O. Box 544
RICHMOND, VA. 23218

Phone (804) 839-3747
Email JOE@JFYARCHITECTS.COM

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify):

OWNER INFORMATION (if different from above)

Name Ms. ANNE GRIER
Mailing Address 3317 MONUMENT AVE.
RICHMOND, VA. 23221

Company N/A
Phone (804) 303-5080
Email ANNEGRIER33@gmail.com

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
Project Type: Alteration Demolition

New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Anne Griener

Date 11/14/2018

PROJECT DESCRIPTION - 3317 MONUMENT AVENUE

Construct a new single car carport adjacent to an existing single bay masonry garage. New carport to match construction of rear addition to main house completed in 2016 and approved by the Commission of Architectural Review.

Carport columns and trim to be PVC painted to match main house, which has a cream color trim.

New carport roof to be a hipped roof, standing seam copper and will extend over the existing garage. This will necessitate removal of the brick parapet wall on the garage.

The garage will be converted into a "garden shed" and the existing modern garage door will be removed and in-filled with three six light fixed sash windows over a panel of tongue and groove boards that will rest on a low brick wall. the brick wall is necessary to provide positive drainage away from the garage because the floor of the garage is lower than the adjacent alley.

An existing deteriorated six-over-six wood window will be replace with a new aluminum clad wood window.

How the *RICHMOND OLD AND HISTORIC DISTRICTS HANDBOOK & DESIGN REVIEW GUIDELINES* informed the proposed design:

The carport design, columns cornice and hipped roof were adapted from the rear addition to the house that was approved by the Commission in 2016. The design is traditional and complements the addition and the original house. It is in scale and keeping with other garages and outbuildings along the alley.



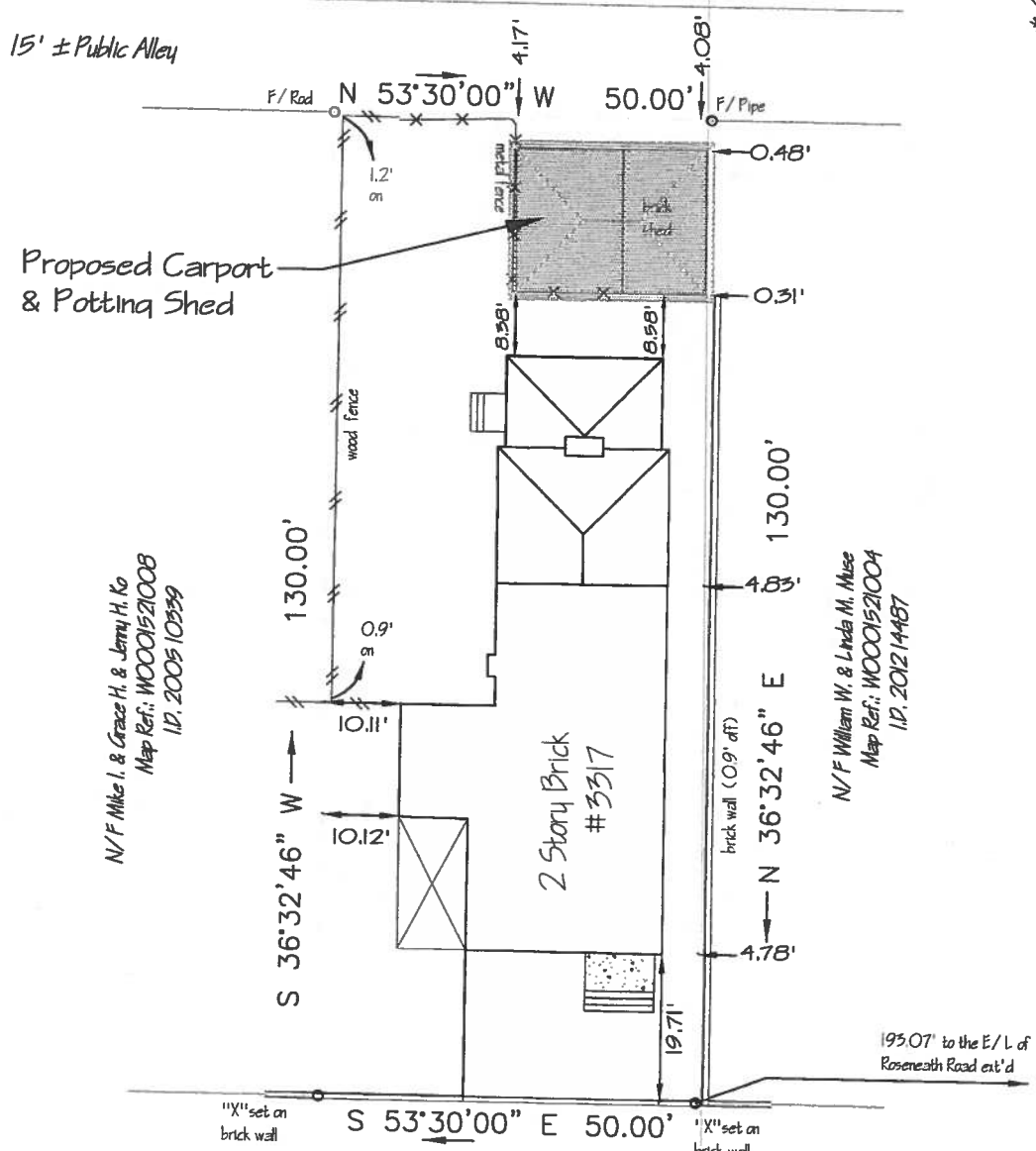
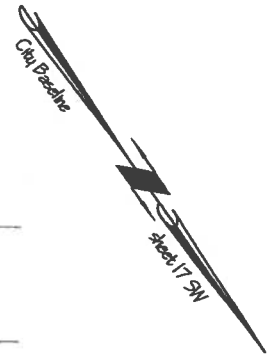






Current Owner: Anne Maslin Grier
 Map Ref.: W0001521007
 I.D. 2007 25837

Note: Bearings protracted from City
 Baseline sheet 17 SW.



N/F Mike I. & Grace H. & Jerry H. Ko
 Map Ref.: W0001521008
 I.D. 2005 10359

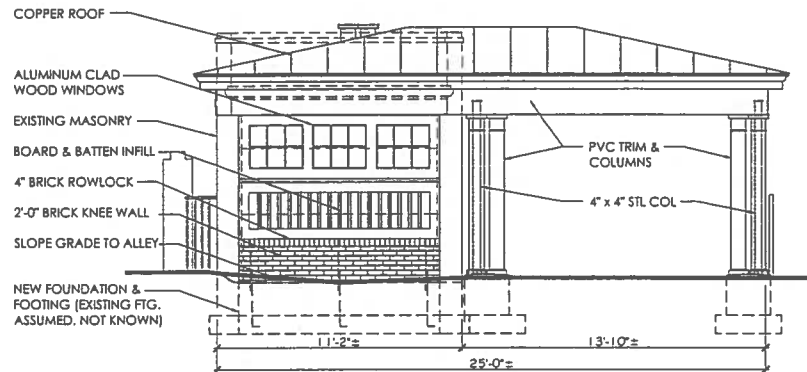
N/F William W. & Linda M. Muse
 Map Ref.: W0001521004
 I.D. 2012 14487

MONUMENT AVENUE

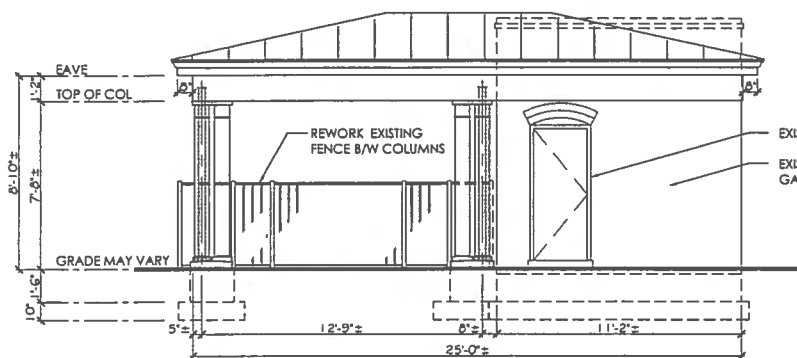
Survey and Plat of
 The Property Known as
 #3317 Monument Avenue in
 the City of Richmond, VA

SCALE: 1"=25'-0"

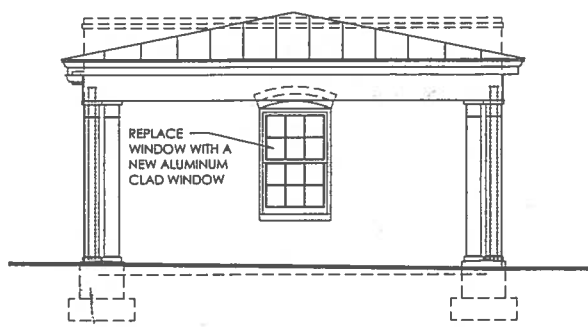
PLAT PLAN



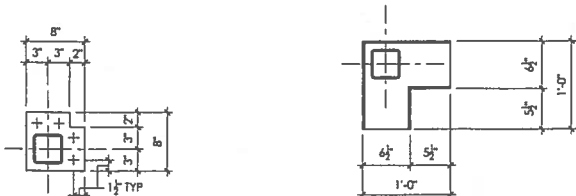
Rear Elevation
SCALE: 1/4" = 1'-0"



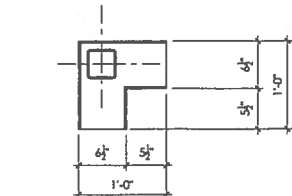
Front Elevation
SCALE: 1/4" = 1'-0"



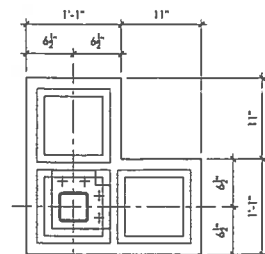
Side Elevation
SCALE: 1/4" = 1'-0"



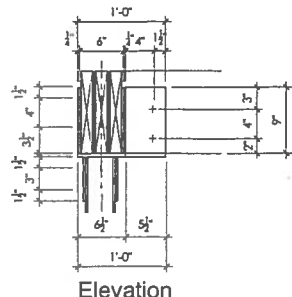
Base Plate Detail
SCALE: 1" = 1'-0"



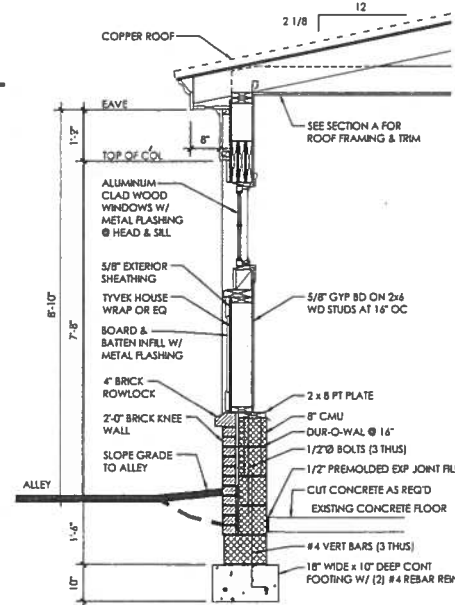
Plan



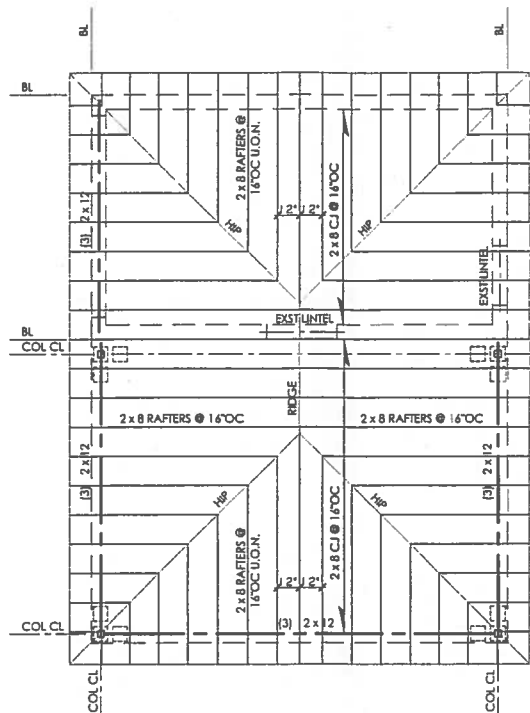
Pier Detail
SCALE: 1" = 1'-0"



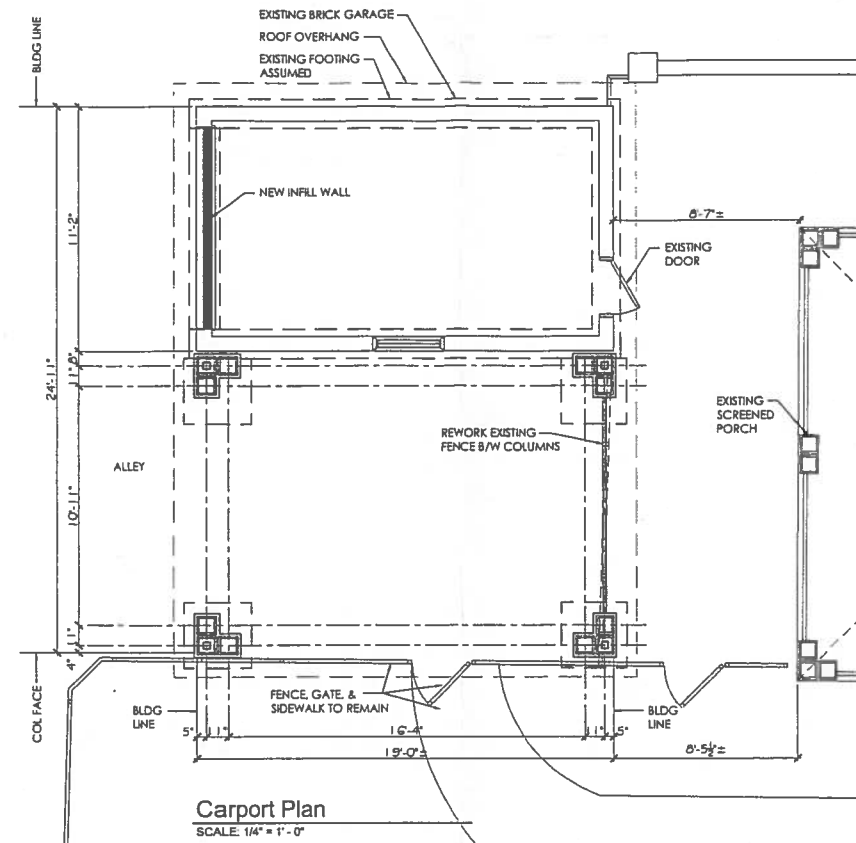
Cap Plate Detail
SCALE: 1" = 1'-0"



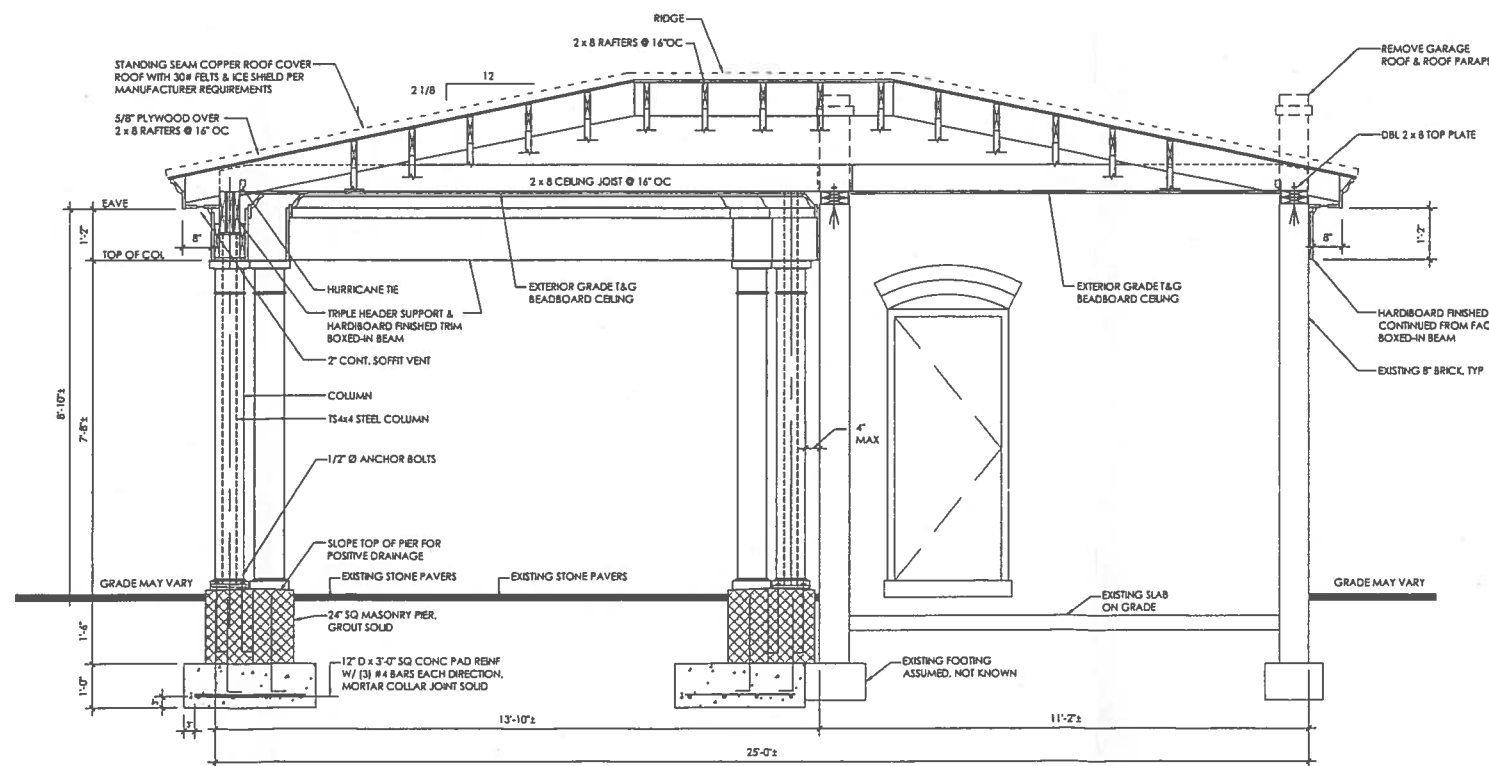
Section B
SCALE: 1/2" = 1'-0"



Roof Framing Plan
SCALE: 1/4" = 1'-0"



Carport Plan
SCALE: 1/4" = 1'-0"



Section A
SCALE: 1/2" = 1'-0"

PROGRESS PRINT - NOT FOR CONSTRUCTION



Joseph F. Yates
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Set Date:
NOV 9, 2018
Revisions:

Project No.:
2018-16

A1
OF

Grier Residence
3317 Monument Avenue
Richmond, Virginia