



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 715 Mosby St

Historic district Union Hill

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Check if Billing Contact

Name Sam Tuttle

Phone (757) 903-6669

Company Streetcar Properties

Email sam@streetcarproperties.ca

Mailing Address 615 N 25th St, Richmond, VA 23223

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify):

OWNER INFORMATION (if different from above)

Check if Billing Contact

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

The proposed project is a 3-story, 15-unit multifamily building. The primary cladding will be cementitious lap siding. A secondary cladding on the front facade will be vertically oriented metal panels - either flush or corrugated. Final exterior color(s) have not been determined. The proposed railings will be horizontally aligned aluminum. Front facade windows will be 1/1 with framed dimensions of 36"x78". Side and rear facades will have 1/1 windows at 28"x60".

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date 07/24/2020



CERTIFICATE OF APPROPRIATENESS

NEW CONSTRUCTION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: _____

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

DRAWINGS (refer to required drawing guidelines)

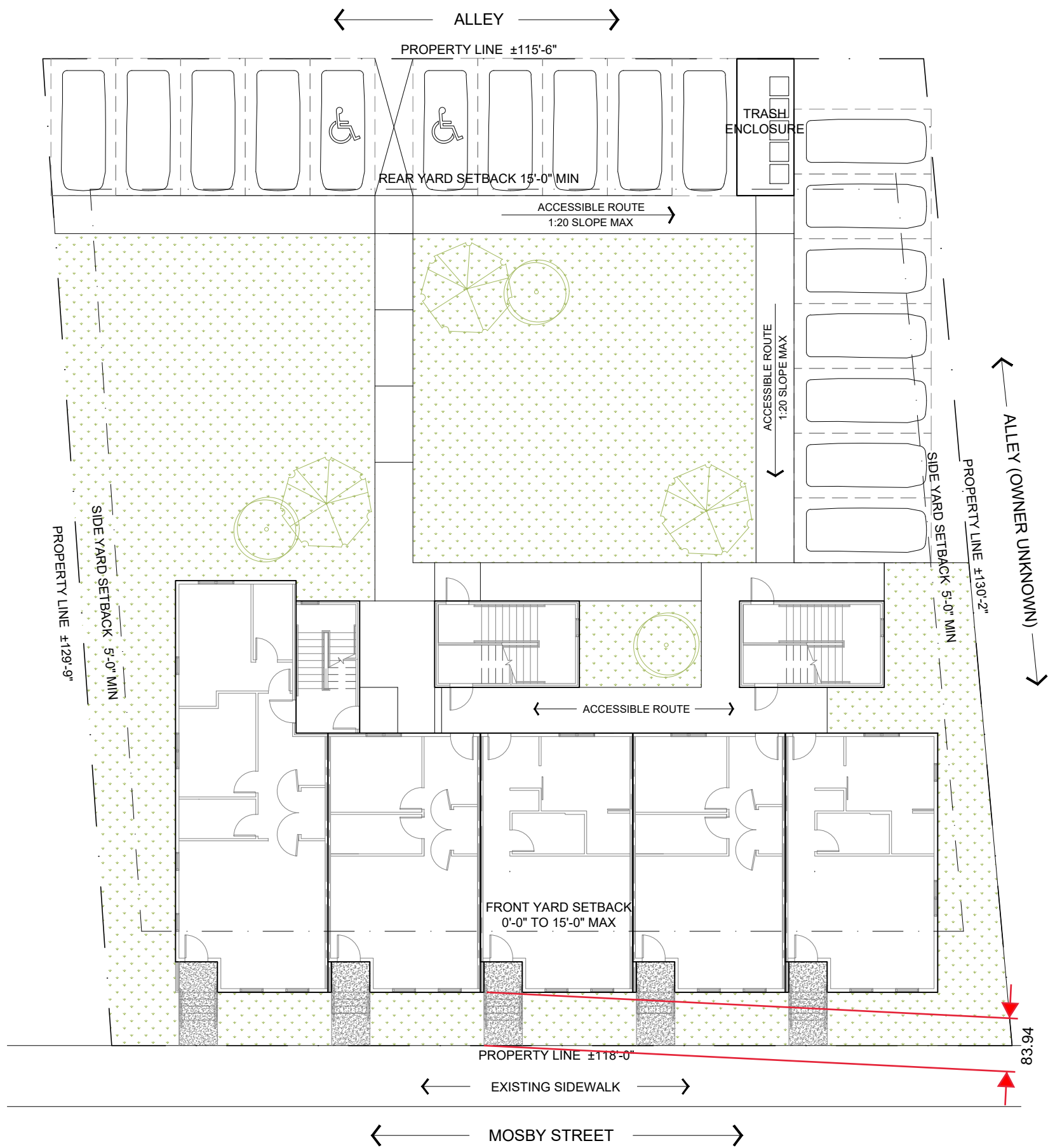
- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties



BUILDING INFORMATION & CODE DATA

USE GROUP: RESIDENTIAL GROUP R-2
 CONSTRUCTION TYPE: V-B
 ALLOWABLE # OF STORIES: (3) MAXIMUM ABOVE GRADE PLANE
 ALLOWABLE HEIGHT: 60' MAXIMUM
 ALLOWABLE AREA: 21,000 SF MAXIMUM
 SPACES WITH SINGLE EXIT: MAXIMUM OF (4) DWELLING UNITS PER EXIT ACCESS

FIRE & SMOKE PROTECTION FEATURES, FIRE PROTECTION SYSTEMS

SPRINKLER REQUIRED: YES, S13R
 FIRE ALARM REQUIRED: NO, PER 907.2.9, EXCEPTIONS 2 & 3
 FLOOR ASSEMBLY RATING: 1/2-HOUR PER EXCEPTION IN SECTION 711.2.4.3
 WALL ASSEMBLY RATING: 1-HR BETWEEN DWELLING UNITS AND AT EXIT ACCESS PASSAGEWAYS

ACCESSIBILITY INFORMATION

ELEVATOR: NOT REQUIRED, < 3 STORIES AND UPPER LEVELS CONTAIN NO COMMON / AMENITY USES
 TYPE "A" UNITS: NOT REQUIRED, < 20 UNITS ON LOT
 TYPE "B" UNITS: ALL
 ACCESSIBLE ROUTE: PROVIDED TO UNITS #1-4 ON GROUND LEVEL

CITY OF RICHMOND ZONING

ZONING DISTRICT: R-63
 PLAN OF DEVELOPMENT: REQUIRED, > 10 UNITS ON LOT
 ALLOWABLE USE, BY RIGHT: MULTI-FAMILY HOUSING
 1,000 SF LAND AREA PER UNIT, MINIMUM
 HEIGHT: NO MORE THAN (3) STORIES, DEFINED AS 10' MIN / 14' MAX
 OPENNESS: 30% OF PROPERTY AREA
 15,189 SF PER CIVIL SURVEY, 4,557 SF MIN OPEN SPACE
 FENESTRATION MINIMUM: 30" GLAZING BETWEEN 2' AND 8' ABOVE 1st FLOOR LEVEL

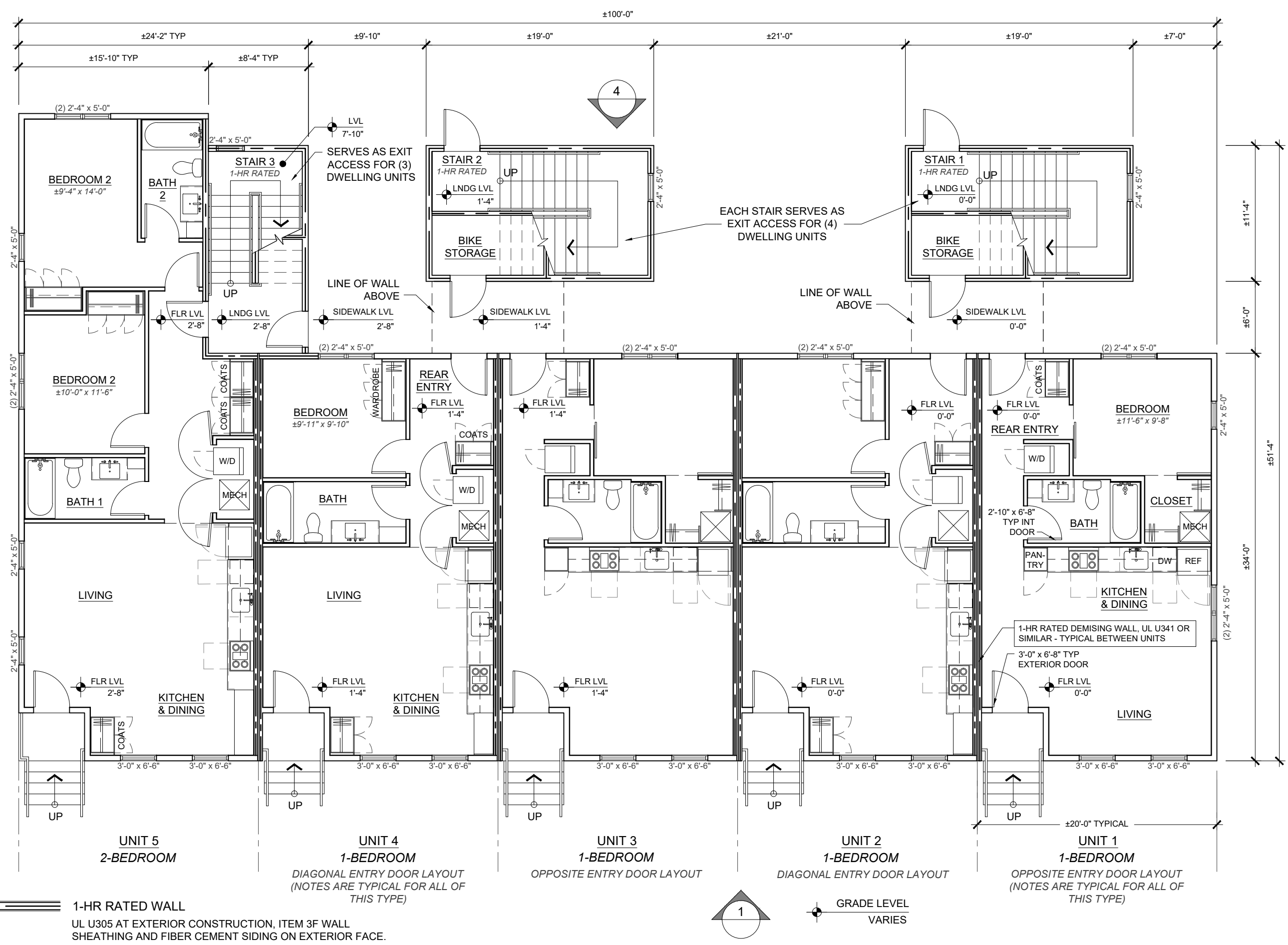
HISTORIC DISTRICT:

UNION HILL

OFF-STREET PARKING REQUIREMENTS:

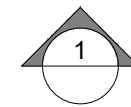
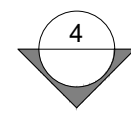
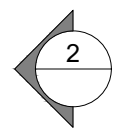
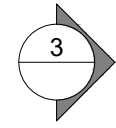
(1) SPACE PER DWELLING UNIT, TOTAL OF (15)

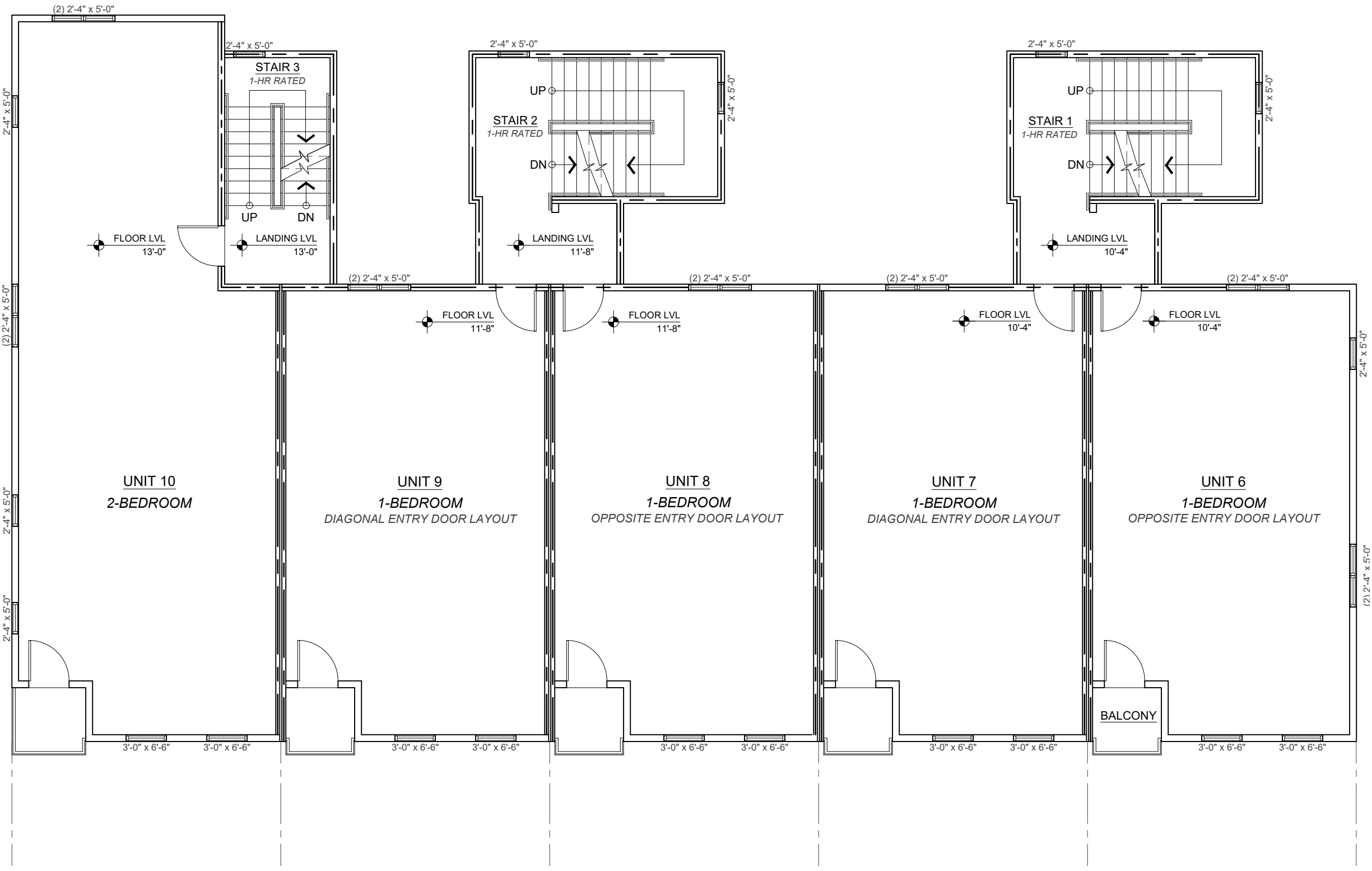


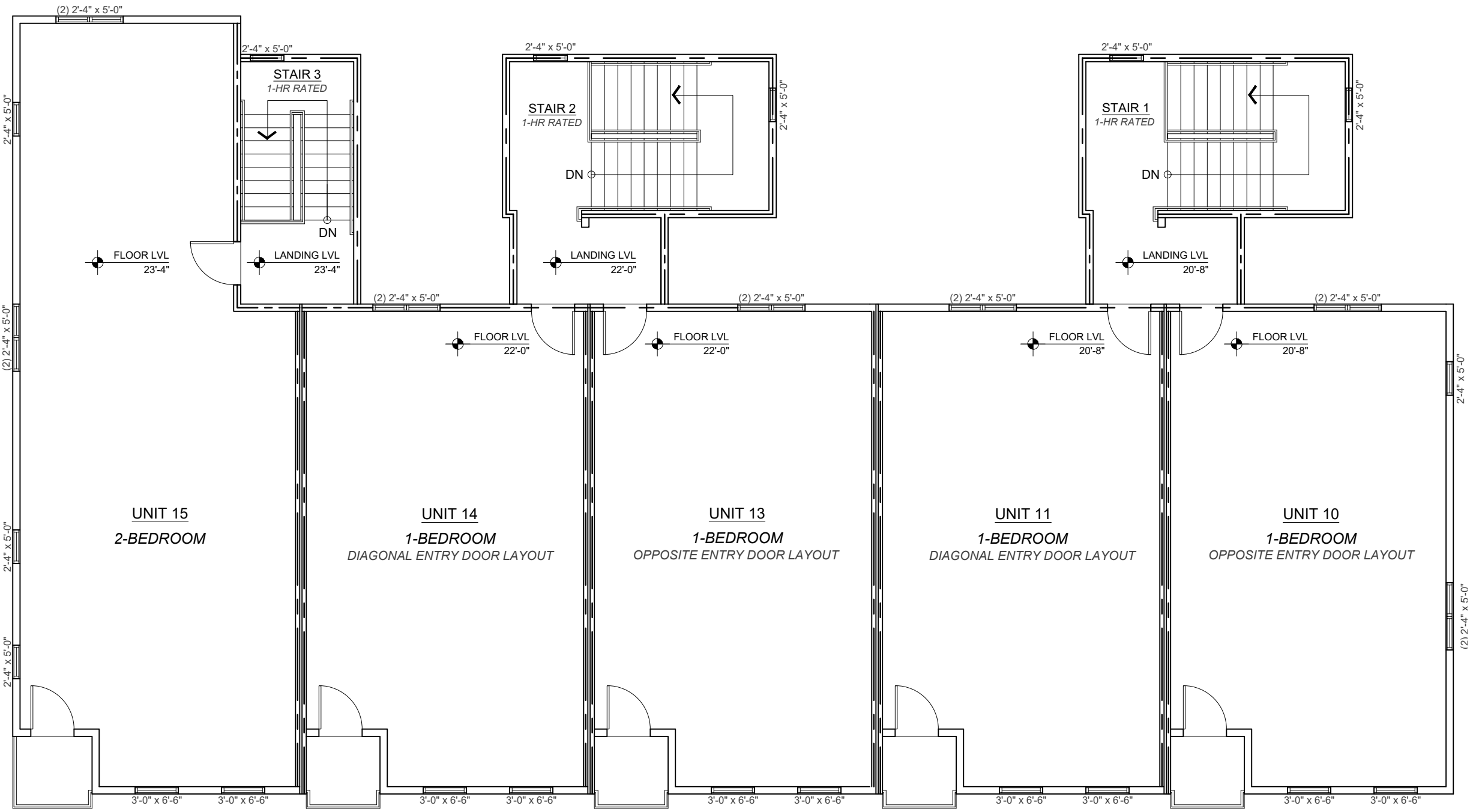


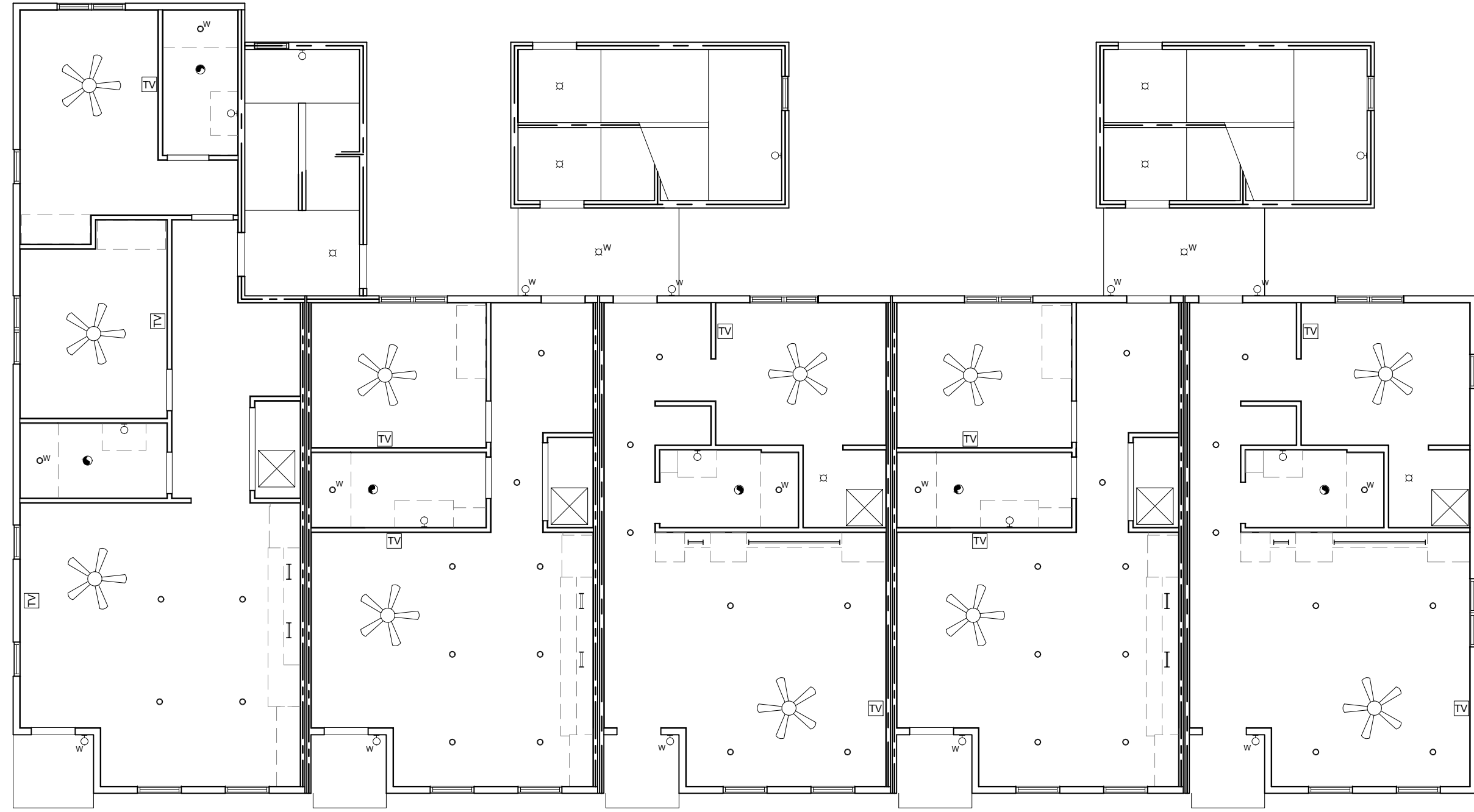
1-HR RATED WALL
 UL U305 AT EXTERIOR CONSTRUCTION, ITEM 3F WALL
 SHEATHING AND FIBER CEMENT SIDING ON EXTERIOR FACE.

GRADE LEVEL
 VARIES









UNITS 5, 10 & 15
2-BEDROOM

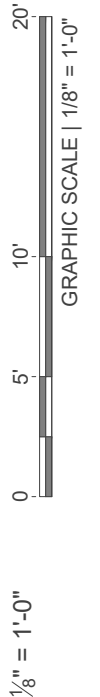
UNITS 4, 9 & 14
1-BEDROOM
DIAGONAL ENTRY DOOR LAYOUT

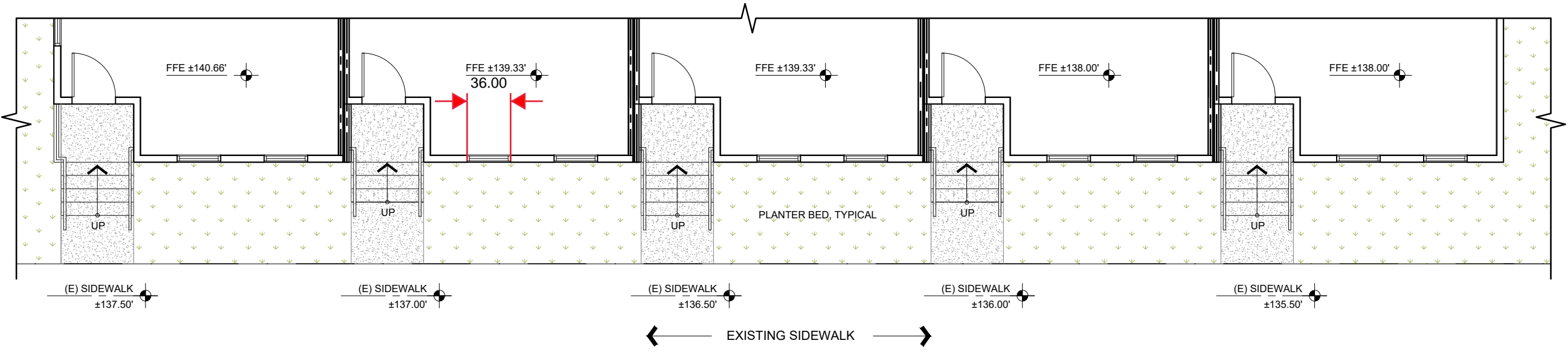
UNITS 3, 8 & 13
1-BEDROOM
OPPOSITE ENTRY DOOR LAYOUT

UNITS 2, 7 & 12
1-BEDROOM
DIAGONAL ENTRY DOOR LAYOUT

UNITS 1, 6 & 11
1-BEDROOM
OPPOSITE ENTRY DOOR LAYOUT

TYPICAL REFLECTED CEILING & LIGHTING PLAN





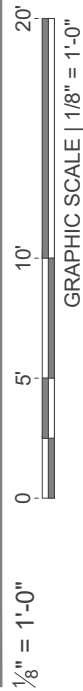


SIDE | NORTH ELEVATION 3



UNIT ENTRY DOOR BEYOND SIDE ALLEY | SOUTH ELEVATION 2

NORTH & SOUTH ELEVATIONS





STAIR TOWER ENTRY DOOR WITH VISION LITE

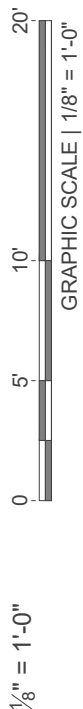
PARAPETS BEYOND

MEMBRANE ROOF WITH MINIMAL SLOPE, TYPICAL

REAR ALLEY | EAST ELEVATION

3

PROPOSED EXTERIOR ELEVATIONS



715 MOSBY STREET | MULTI-FAMILY DEVELOPMENT

05.22.2020



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CONCEPTUAL ILLUSTRATION | VIEW 1

05.22.2020

715 MOSBY STREET | MULTI-FAMILY DEVELOPMENT





CONCEPTUAL ILLUSTRATION | VIEW 2

05.22.2020

715 MOSBY STREET | MULTI-FAMILY DEVELOPMENT











