



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION / CERTIFICATE OF APPROPRIATENESS

PROPERTY (Location of Work)

Address 125 N 25th Street

Historic District St. John's Church

PROPOSED ACTION

- Alteration (including paint colors)
 Rehabilitation
 Demolition
 Addition
 New Construction (Conceptual Review required)
 Conceptual Review
 Final Review

OWNER

Name Todd Dykshorn
 Company ADO
 Mailing Address Richmond VA 23223
Richmond VA 23223
 Phone 804-426-1890
 Email _____
 Signature _____
 Date _____

APPLICANT (if other than owner)

Name Todd Dykshorn
 Company ADO
 Mailing Address Richmond VA 23223
(105 E Broad St.)
 Phone 804-343-1212
 Email todd@ado.design
 Signature [Signature]
 Date 01-27-2017

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only)

Application received:

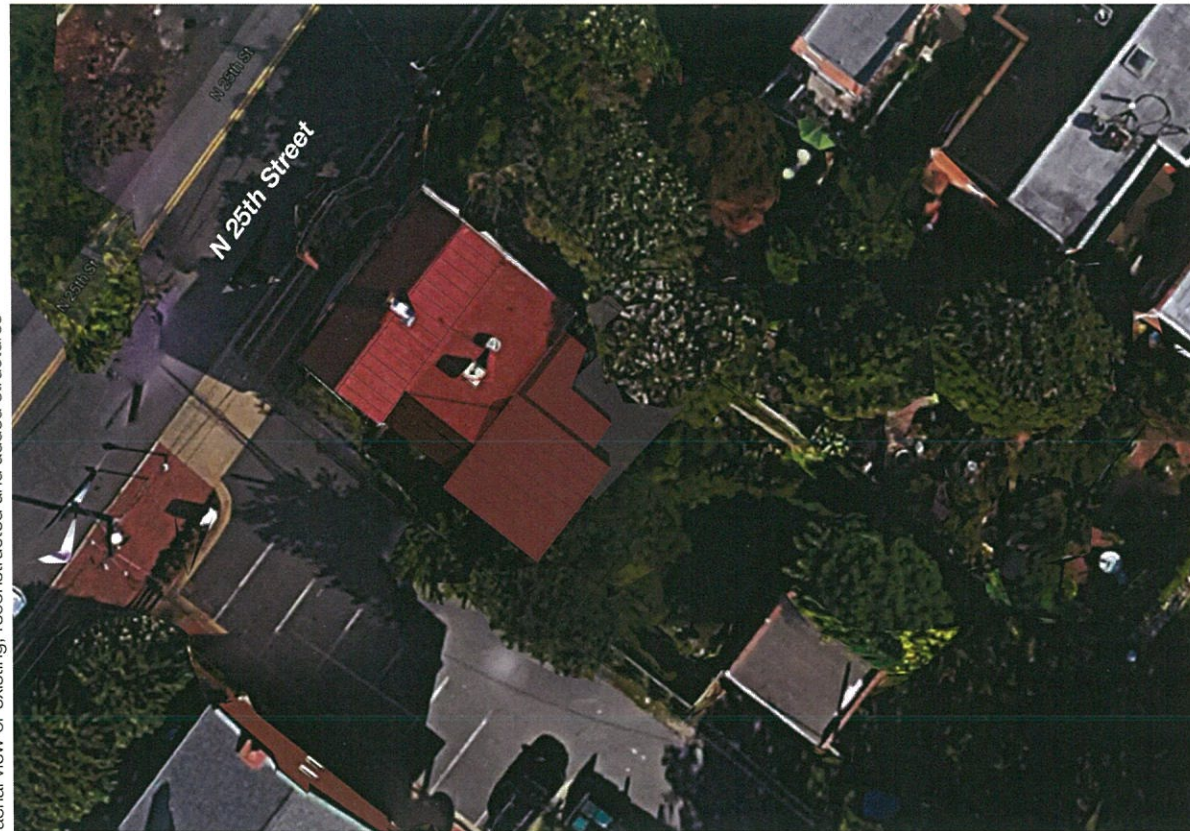
Date/Time 5:08 KC Complete Yes No

By _____

JAN 27 2017

ECE VED

aerial view or existing, reconstructed and added structures



Contents:

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Page 2, 3, 4, 5	Shed-roof section - Description and photographs of conditions leading to determination to remove it
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Page 7	2nd Level Floor Plan
Page 8	Concept View showing Addition [from previous application]
Page 9	Rendered South Elevation
Page 10	South Elevation with notes and heights
Page 11	West and East Elevations with notes and heights
Page 12	North Elevation with notes and heights
Page 13	Enlarged 1st Level Plan of Rehabilitated Area and Addition
Page 14	Materials and Colors Information [from previous application]

A Brief History:

The proposal outlined in these pages is for rehabilitation of and addition to the existing residence at 125 N 25th Street in the St John's National and Richmond Historic Districts. The existing residence is recorded as being constructed in 1849 and comprised a 16' x 32' two-story gabled volume set on the N 25th St sidewalk. It is understood this original structure served as a double-tenement, or duplex, with one room down and one up on either side of a central chimney. This arrangement remains evident today with twin staircases and equal rooms up and down in the original house. The structure was nearly doubled in area in the 1890's with a two-story shed-roofed addition on the southeast/ rear yard side. A concrete patio was constructed in the rear yard in the late 20th-century and the current owner constructed a small rear entry vestibule in 2007 under approval from the Commission of Architectural Review. The residence's context today is characterized most predominantly by its N 25th St frontage with no setback or front yard, a paved alley with fence line along the south edge of the property, and a granite retaining wall along the north edge of the property.

The structure represents a mixture of early colonial vernacular and federal styles and is characterized by a lack of ornamentation or decorative features and very simple trim, casings and exterior details. The siding today is 1x painted boards with various but average 6" exposure. Photographs of the structure in the mid-20th-century show it clad in asbestos shingles so it is evident this wood siding is not original although, as compared to St John's Church itself and similar framed structures in the immediate neighborhood, it is presumed to represent the original historic cladding and character. Roofing is standing-seam and flat-seam metal which has been painted. The roofing material is also believed to be characteristic of the original type of roofing that would have been used although no direct evidence of this exists. Windows are typically double-hung and have had sashes replaced within what are believed to be original frames and openings. Two smaller fixed windows in bathrooms may have been added at some point in the structure's history. The exteriors are in moderate to poor condition despite several substantial renovations, the most recent being done in the early 21st-century prior to the current owner's occupancy beginning in 2005. Preliminary investigation of the framing substantiates this, particularly pertaining to the rear, 1890's shed roof addition which is know to be in very poor condition structurally.

Project Description: Application for Revised Certificate of Appropriateness and Partial Demolition:

This application follows previous application #16-115 approved July 28th, 2016 and is submitted following initial work in the residence which revealed levels of damage and deterioration within the rear, shed roof, section of the structure that necessitated removal of this structure in entirety. Preparation for rehabilitation of the front, original gable section of the dwelling, by contrast, revealed only minor damage and deterioration which requires shoring and repair of the north wall in order to correct settling that has occurred along the north foundation line and particularly at the northeast corner of that section. Conditions that were discovered in the rear, shed roof, section, are described in detail on Pages 2-5 of this application. Having discovered these conditions and making the determination to remove the rear section of the structure, the opportunity to re-establish the prominence of the historically significant front, gable, section of the residence became apparent. That realization has resulted in proposed refinements to the architectural plans previously approved which are outlined in this revised application and can be summarized as:

- 1/ Demolition of the rear shed-roof section of the structure
- 2/ Proposed plans for reconstruction of the the rear, shed-roof, section between the historic gable section and proposed addition
- 3/ Repairs to the north wall of the historic gable section including re-siding

As a note, no significant alterations to the previously approved visible south or west elevations of the proposed addition are suggested other than slightly revised storefront frame patterning. This revision patterns the storefront glazing shown on the South and East Elevations, pages 10 and 11, according to the Concept View from N 25th St which is included again on Page 8.



Existing Rear Section, Photographs 1 & 3 - 1st level north section

Photographs of this area show the underside of the second level floor framing including repaired areas. Referring also to photograph 10 on page 4, the structure and decking were severely bowed do to over-spanning, particularly in the area north of the existing chimney shown in photos 1, 3 and 10.



Existing Rear Section, Photograph 2 - 1st level south section

This view of the 1st level southeast corner shows localized repair of stud framing, joists and decking. While these repairs are presumed to have removed rotted and damaged material, the extent of additional damage adjacent to repairs, and in particular at the sill plates, even at this repaired area, made additional repairs to existing damaged structure infeasible and impractical.



Conditions within the rear, shed roof, section:

Initial construction activities and preparation for rehabilitation discovered inadequate framing member sizes for the 2nd level floors, accompanied by further reduction of carrying capacity associated with contemporary systems installations, together with extensive rot and water damage of primary and secondary framing members accompanied by active termite damage. These conditions, taken together, were considered by the architect and framing contractor to make practical repair and reuse of the structure infeasible: 2nd level floors were framed with 2x6 lumber at approximately 24" centers spanning +15' on the north section of the area. In addition to being functionally inadequate for the span, bearing ends of these members at the exterior top plates were consistently rotted to the point that the majority were found to have no bearing capacity and several had rotted to where the joists no longer made contact with the plate. 2x6 joists were carried by single 2x6 members acting as girders on either side of the masonry chimney. These carrying members spanned over 14'. Besides being grossly overstressed, these carrying members both had been compromised additionally by systems installation including a notch for a gas pipe, cut into the bottom edge and extending into the member 1 1/4" and a 4" diameter hole for a high-velocity duct bored through the center of the member.

The roof structure was framed similarly with 2x6 members spanning north/south from a carrying beam, also a single 2x6, to the exterior side walls. Roof rafters were not as compromised as the floor joists but had rotted at the chimney and at the outside corners. The carrying beam extended from the east exterior wall to a wood 3x4 post set approximately 12" off the main gable wall. This post itself was seated on nothing more than a single 2x6 floor joist, part of the 2nd level floor framing, below. Previous repairs, both at the floor and roof, did remove what is presumed to have been rotted material however they did not adequately tie back to the overall structure or contribute to bracing the main frame.

To some extent, these conditions were anticipated and construction permit drawings called for new 2x10's to be sistered to existing joists and beams at the floor and for new roof rafters to be set on cleaned and leveled top plates. The degree of damage to wall studs and plates, however, would have negated the installation of new wood floor and roof members. In areas, contemporary treated wall studs were inserted to offset the effect of damaged studs however this type of localized repair did nothing to alleviate rot and damage to the sill plates on all sides.



Existing Rear Section, Photographs 4, 5

Photographs are taken along the north wall from 1st and 2nd level and show condition at wood joist bearing ends. This condition was the extreme however it can be assessed relative to typical joist end conditions shown in photograph 8 on Page 4. The location shown in these photos had an attempt at repair by installing new 2x6 lumber nailed to the side wall. However, as shown, this repair was not adequate to fully capture the damaged end nor to brace the frame including stud bases above.

Existing Rear Section, Photograph 6

This photo shows roof framing and decking adjacent to the masonry chimney penetration. This area could have feasibly been corrected in and of itself however the extent of adjacent and additional damage and rot rendered even localized corrections impractical for long-term stability of the structure.



Existing Rear Section, Photograph 7

This photograph was at the 1st level south east corner and shows deteriorated framing lumber. This was a severe instance yet, as noted throughout this section, the overall condition of the structure made removal and repair of specific instances of damage such as this impractical.



Existing Rear Section, Photograph 8

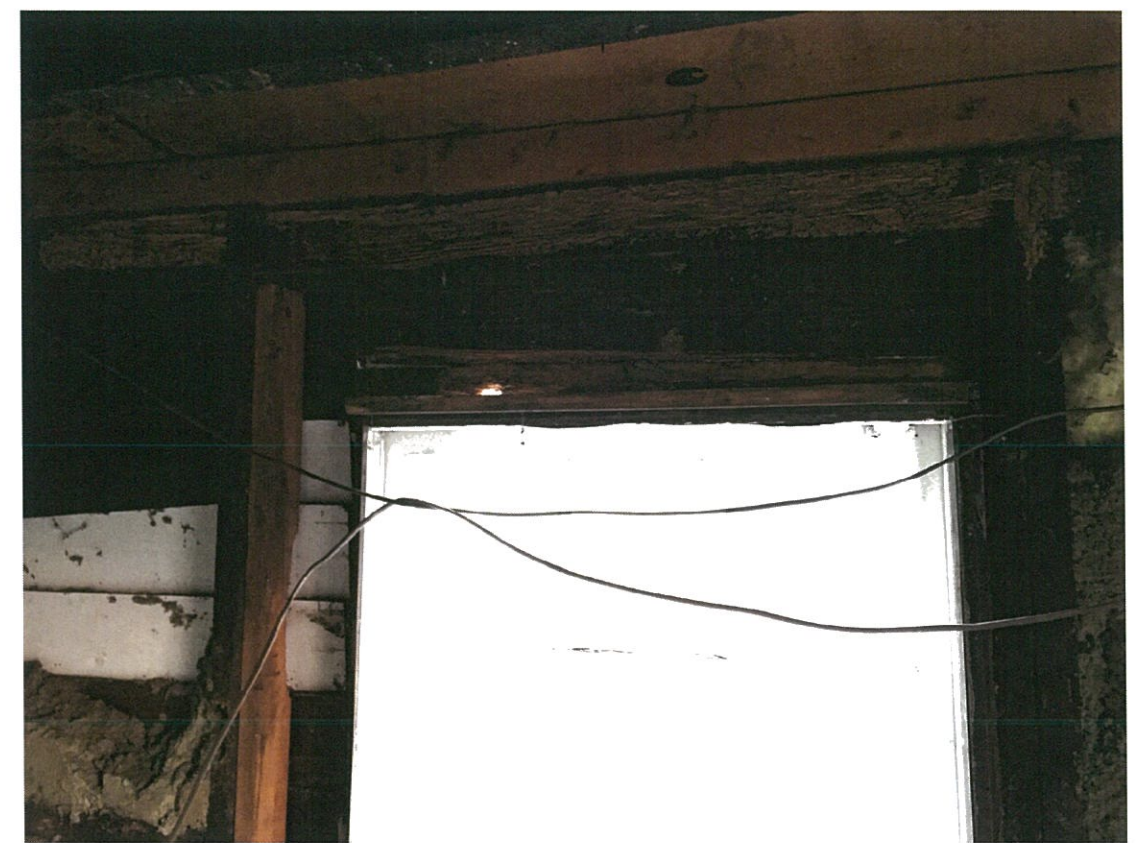
Photograph 8 shows the condition at a joist bearing end and top plate. This specific instance is at the south wall however it represents the typical condition at all joists bearing locations on both the south and north walls.

Existing Rear Section, Photograph 9 [upper right]

Photograph 9 shows the condition at the top plate in the area adjacent to that shown in Photograph 8. As with Photograph 8, This specific instance is along the south wall however it represents the typical condition at all joists bearing locations on both the south and north walls.

Existing Rear Section, Photograph 10 [lower right]

Photograph 10 is taken on the 2nd level and shows the condition of wood decking which had been encapsulated under plywood without first being leveled or structurally corrected. The open area at the end has evidence of being a stair opening at some point and had been infilled with t&g strip flooring that had largely rotted owing to the presence of a bathtub and associated plumbing at this location.



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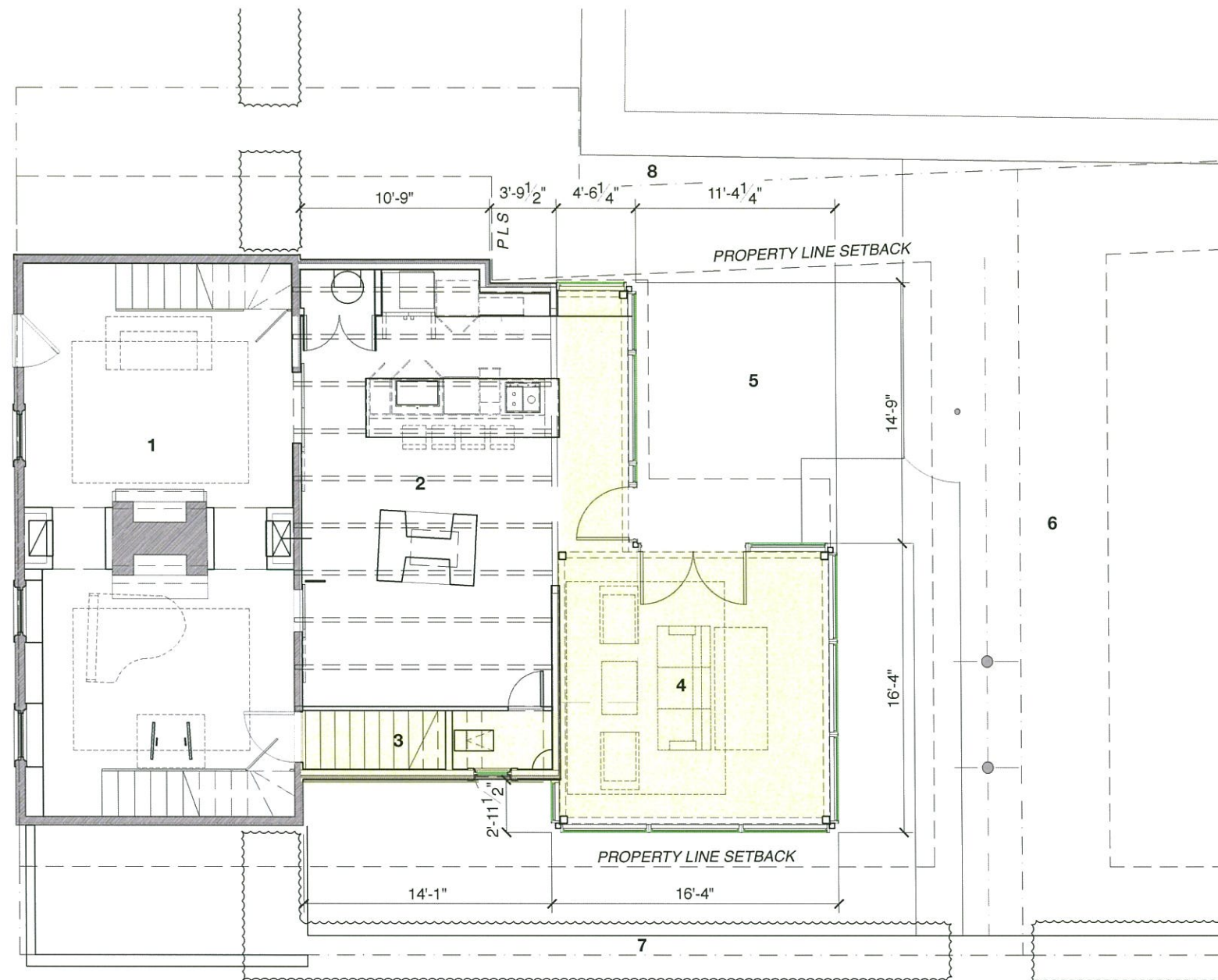


Existing Rear Section, Photographs 11, 12 [left and center]

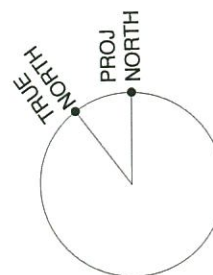
Photographs 11 & 12 show general types of damage and wear found throughout the shed-roof section. Photograph 12 shows an area of existing wood clapboard siding that was uncovered and is proposed to be removed and, if possible, relocated to the north wall of the historic gable section of the residence.

Summary of Conditions Leading to determination to remove section:

- 1/ 2nd floor level joists and beams were severely undersized for carrying capacity and that, additionally, had been compromised by contemporary systems installation including gas and water piping and hvac ducting.
- 2/ Roof level joists and beams that were undersized for carrying capacity and including severely deficient bearing on a single wood post, itself bearing on a single 2x6 2nd level floor joist.
- 3/ Extensive water damage and rot of framing members and decking with associated termite damage that is known to have been active since most recent repairs were made. Damage was particularly acute at 2nd floor joist bearing ends.
- 4/ In contrast to the front, gable, section which is balloon framed, the shed-roof section was platform framed. This condition with the extent of damage to 2nd level joists bearing ends, made retention of the roof and upper walls technically infeasible owing to the combined effects of the joists condition and condition of the sill plates described below.
- 5/ The wood sill plates on all walls were severely compromised and in a state of crushing. This was particularly acute along the south and east walls, including at areas that had received localized repairs and new studs, where the sill plates had become recessed between successive layers of concrete flooring on both the interior and exterior sides, creating a recessed cavity at the wall bases that had no way of properly draining or drying out.



- PLAN NOTES
- 1 1849 2-STORY GABLE SECTION
 - 2 RECONSTRUCTED REAR ADDITION
 - 3 PROPOSED NEW STAIR ENCLOSURE [EXISTING CONCRETE WALK]
 - 4 PROPOSED REAR ADDITION
 - 5 PROPOSED TERRACE
 - 6 EXISTING YARD
 - 7 EXISTING STAINED WOOD FENCING W LIGUSTRUM HEDGEROW ON ALLEY SIDE
 - 8 EXISTING GRANITE RETAINING WALL



Notes on Procedures planned to rebuild the middle, shed roof, section:

An unintended consequence of removing the rear section has been the realization that the current R-6 sideyard setback overlapped the northeast corner of previous wall and existing footings and, more significantly, that without the presence of the shed addition, the front historically prominent gable section of the dwelling regains its emphasis on the north elevation.

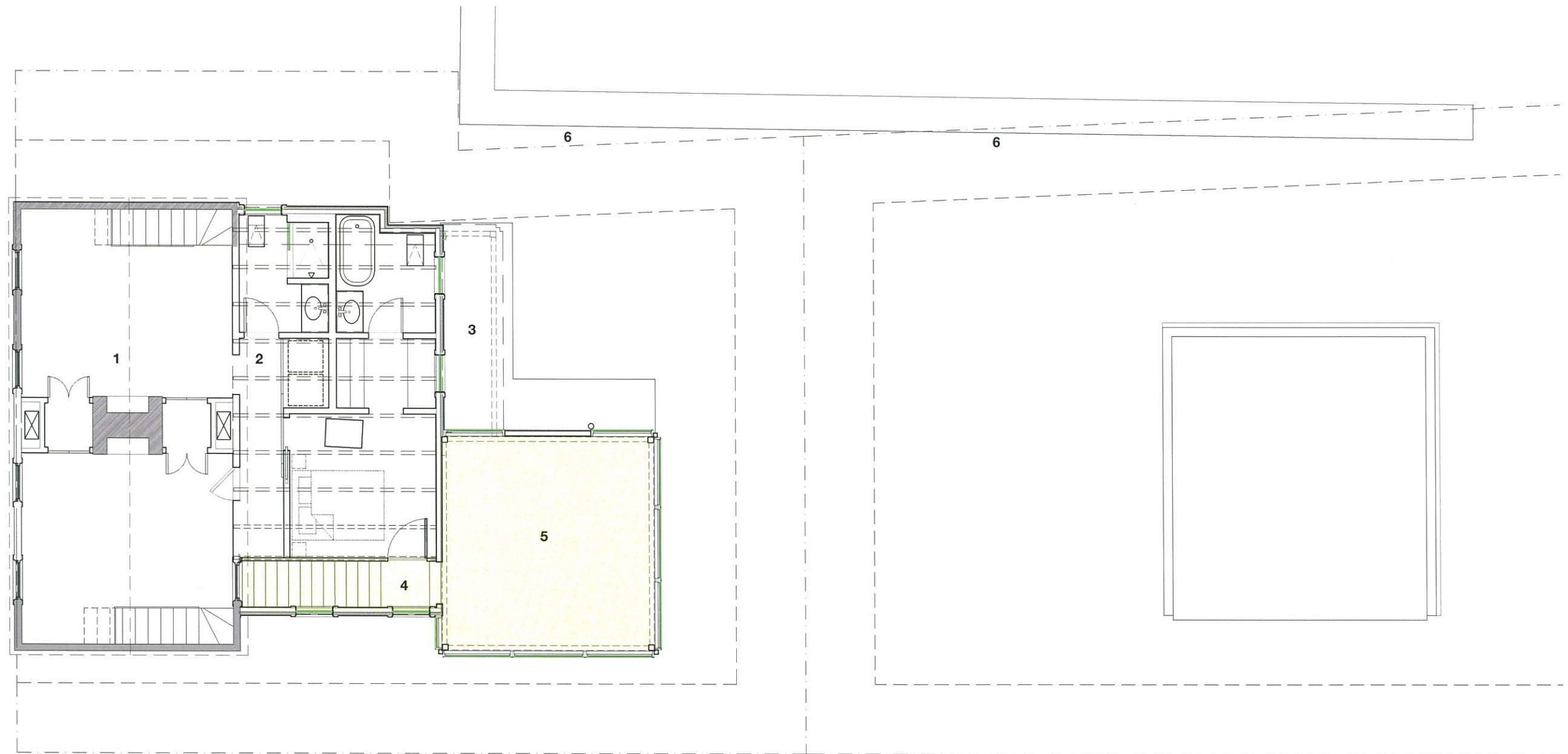
Having reviewed options for zoning variance to reconstruct entirely on the existing foundation, as initially planned, it is requested to instead inset this corner of the new structure in order to remain in compliance with current zoning. Although this proposes a step away from the historic footprint, it is believed that the inset corner will have the effect of shortening the rear shed roof section as seen from N 25th St, lending emphasis to the more historically prominent gable end of the original dwelling. Reviewing the north elevation with this emphasis in mind, the additional features are proposed when reconstructing the rear section:

1/ The north wall framing and foundation had been aligned and siding run continuously from the front to rear section with the minor presence of an older corner board remaining buried on the upper section of the wall. It is now proposed to, along with the inset corner, step the wall framing in approximately 8" from the existing gable wall framing such that, fully clad and with exterior insulation, the new wall surface will be inset approximately 4" from the original, allowing a new corner board to be installed from foundation to eave, reinstating the scale and character of the original gable end on this elevation.

2/ No original siding remains on the building's exteriors. Having removed materials added over time to the east wall of the original gable residence, now interiorized, large areas of what are presumed to be original pine siding were discovered in place on this wall. This discovery has led to two requested conditions. The first is to allow siding of the front gable section on the north, west and south walls entirely and with wood siding to match as closely as possible the profile and exposure of the siding found on the original east/back wall. The second is to allow siding on the rebuilt shed roof addition's north and east exposed walls to match that previously shown and approved on this section's south wall. The description of this material remains unchanged from the previous application although it is understood the request to clad the east and north walls is a revision. The effect of this proposal is to further distinguish the historic front gable section while retaining the historic character of the composition.

3/ Although shown in the previous application and detailed in the construction permit set, work to level the upper bearing plate at the height of the tallest section of the shed roof was not implicitly described. Additionally, the previous application proposed a valley and ridge condition be interjected along the south section of the shed section in order to create a level horizontal line on the south elevation in the area between the historic gable and the proposed addition. This request for work is maintained which results in the south/alley profile of the mid section which was previously approved.

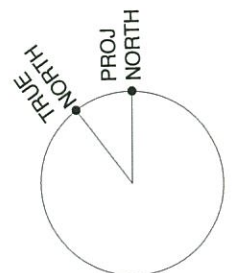
4/ Although their dates are not certain, windows were removed and are being stored for refurbishment and installation within the rebuilt back section in locations shown on the previous application and with one altered location on the new north wall proposed. Window casings are in varied conditions with all requiring replacement of the wood sill which is proposed to be done in wood milled to match the existing profiles. Sashes are not historic but are in keeping with the historic character of the dwelling and so are proposed to be repaired and reused in the rebuilt shed-roof section. Additionally, bricks, lumber and wood trim boards are being retained for re-use as appropriate within the rebuilt shed-roof section.



PLAN NOTES

- 1 1849 2-STORY GABLE SECTION
- 2 RECONSTRUCTED REAR ADDITION
- 3 ROOF AT 1ST FLOOR EXTENSION
- 4 PROPOSED NEW STAIR ENCLOSURE [EXISTING CONCRETE WALK]
- 5 PROPOSED ADDITION
- 6 EXISTING GRANITE RETAINING WALL

1/8" = 1'-0"



Page 7
2ND LEVEL FLOOR PLAN
 showing existing residence and proposed addition areas

Additions and Rehabilitation at
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Page 8
MONTAGE VIEW FROM SOUTHWEST
looking north on N 25th St showing existing residence and proposed addition areas

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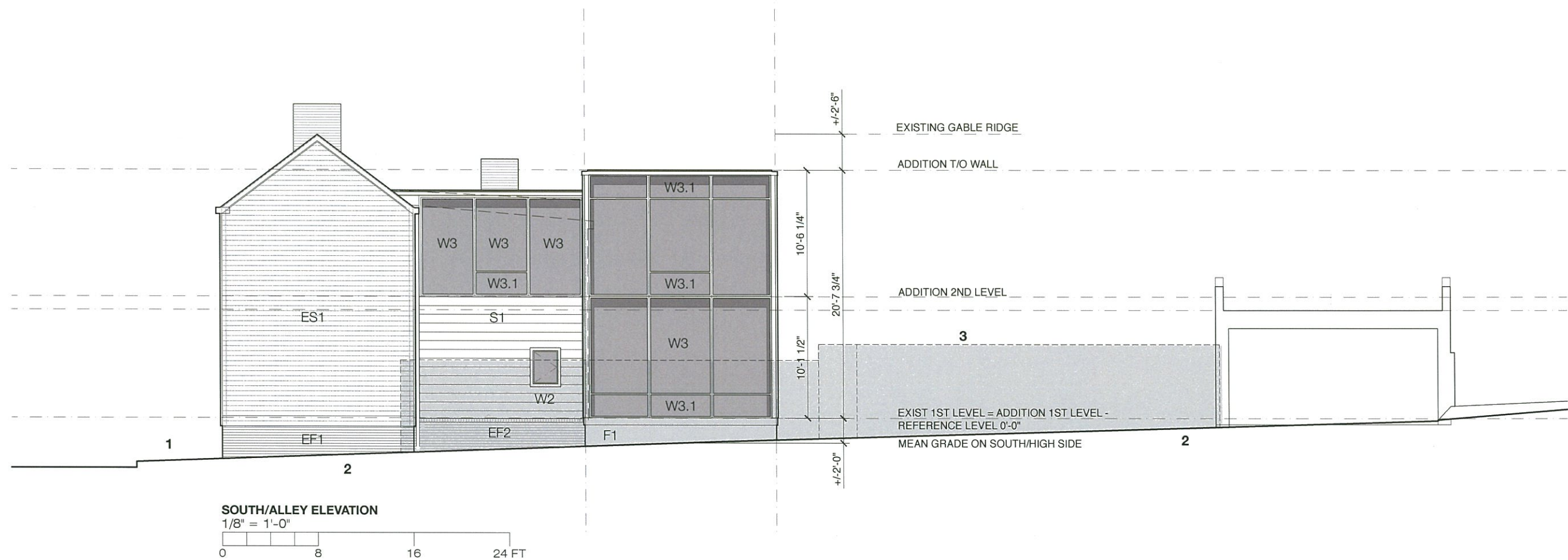
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Page 9
SOUTH/ALLEY ELEVATION
showing existing residence and proposed addition areas
from public ROW

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SOUTH/ALLEY ELEVATION

1/8" = 1'-0"



MATERIALS KEY [Note: Shaded areas indicate areas of the structure obscured from view from the public right-of-way by fencing, landscaping, or other features]

FOUNDATIONS

- EF1** EXISTING BRICK FOUNDATION WALL PAINTED BLACK [WITHIN WOOD EDGED LANDSCAPED AREA THIS SIDE]
- EF2** EXISTING RED BRICK FOUNDATION WALL W CONTINUOUS ROWLOCK TOP TO REMAIN
- F1** **[REVISED]** MORTAR PARGED CMU FOUNDATION WALL W GROUND PLANTING. THIS FOUNDATION IS NOT VISIBLE FROM THE ROW ON ANY ELEVATION

SIDING

- ES1** **[REVISED]** NEW PINE LAP SIDING IN HISTORIC PROFILE, 8" EXPOSURE, PAINT FINISH GLIDDEN/TUILE WHITE
- S1** HORIZONTAL 1X WOOD BOARD SIDING, 10" EXPOSURE W RABBETED 1/4" REVEAL BTWN BOARDS, PAINT FINISH GLIDDEN/TUILE WHITE AND W DIAGONAL LATTICE - REFER TO RENDERED VIEW PAGE 6

ROOF AREAS

- R1** FLAT SEAM METAL ROOFING ON MODIFIED LOW SLOPED ROOF AREAS, COLOR - ROYCROFT COPPER RED
- G1** PREFINISHED ALUMINUM GUTTER AND MATCHING DOWNSPOUT, COLOR: GRAY TO APPROXIMATE FRAME COLOR/SHERWIN WILLIAMS/RARE GRAY

WINDOWS

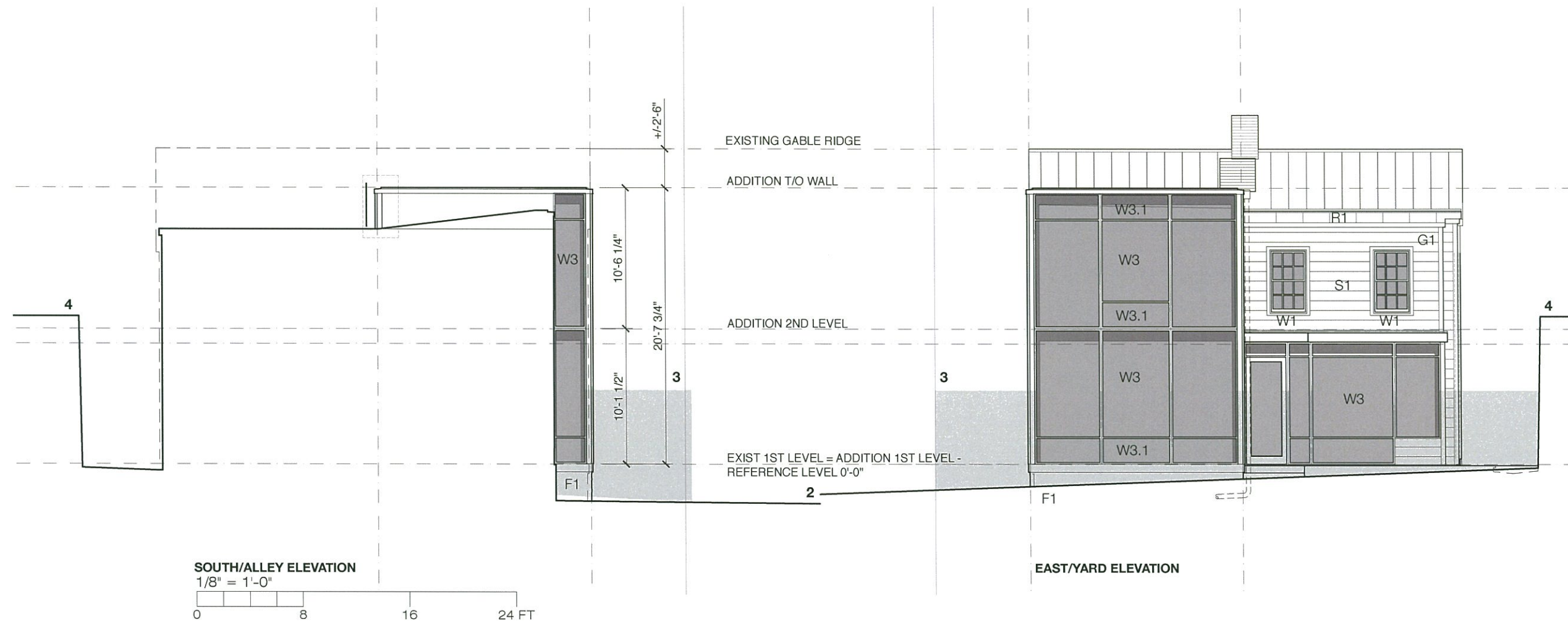
- W1** **[REVISED]** 3'-0"W X 5'-0"H EXISTING WOOD DOUBLE-HUNG WINDOW REFURBISHED AND RELOCATED FROM ORIGINAL REAR SECTION
- W2** **[REVISED]** 2'-0"W X 3'-6"H EXISTING WOOD DOUBLE-HUNG WINDOW SASH REFURBISHED AND RECONFIGURED IN CASEMENT FRAME, FROM ORIGINAL REAR SECTION
- W3** WOOD OR ALUMINUM FRAME WINDOW SYSTEM - COLOR - NATURAL ALUMINUM OR SEALED DOUGLAS FIR
- W3.1** 5'-0"W X 2'-0"H AWNING WINDOW - PELLA SERIES 450 PREFINISHED ALUMINUM CLAD, COLOR: 'PUTTY' OR GERKIN 'RHINO' SERIES 58F, COLOR ALUMINUM

ELEVATION NOTES

- 1** N 25TH STREET SIDEWALK, HOUSE ABUTS SIDEWALK ALONG WEST PROPERTY LINE
- 2** LINE OF APPROXIMATE GRADE ALONG SOUTH PROPERTY LINE/ALLEY
- 3** DASHED LINE INDICATES TOP OF EXISTING WOOD FENCE AND LANDSCAPING TO REMAIN ALONG SOUTH PROPERTY EDGE

SOUTH/ALLEY ELEVATION

showing existing residence and proposed addition areas with notes from public ROW



MATERIALS KEY [Note: Shaded areas indicate areas of the structure obscured from view from the public right-of-way by fencing, landscaping, or other features]

FOUNDATIONS

- EF1** EXISTING BRICK FOUNDATION WALL PAINTED BLACK [WITHIN WOOD EDGED LANDSCAPED AREA THIS SIDE]
- EF2** EXISTING RED BRICK FOUNDATION WALL W CONTINUOUS ROWLOCK TOP TO REMAIN
- F1** **[REVISED]** MORTAR PARGED CMU FOUNDATION WALL W GROUND PLANTING. THIS FOUNDATION IS NOT VISIBLE FROM THE ROW ON ANY ELEVATION

SIDING

- ES1** **[REVISED]** NEW PINE LAP SIDING IN HISTORIC PROFILE, 8" EXPOSURE, PAINT FINISH GLIDDEN/TUILE WHITE
- S1** HORIZONTAL 1X WOOD BOARD SIDING, 10" EXPOSURE W RABBETED 1/4" REVEAL BTWN BOARDS, PAINT FINISH GLIDDEN/TUILE WHITE AND W DIAGONAL LATTICE - REFER TO RENDERED VIEW PAGE 6

ROOF AREAS

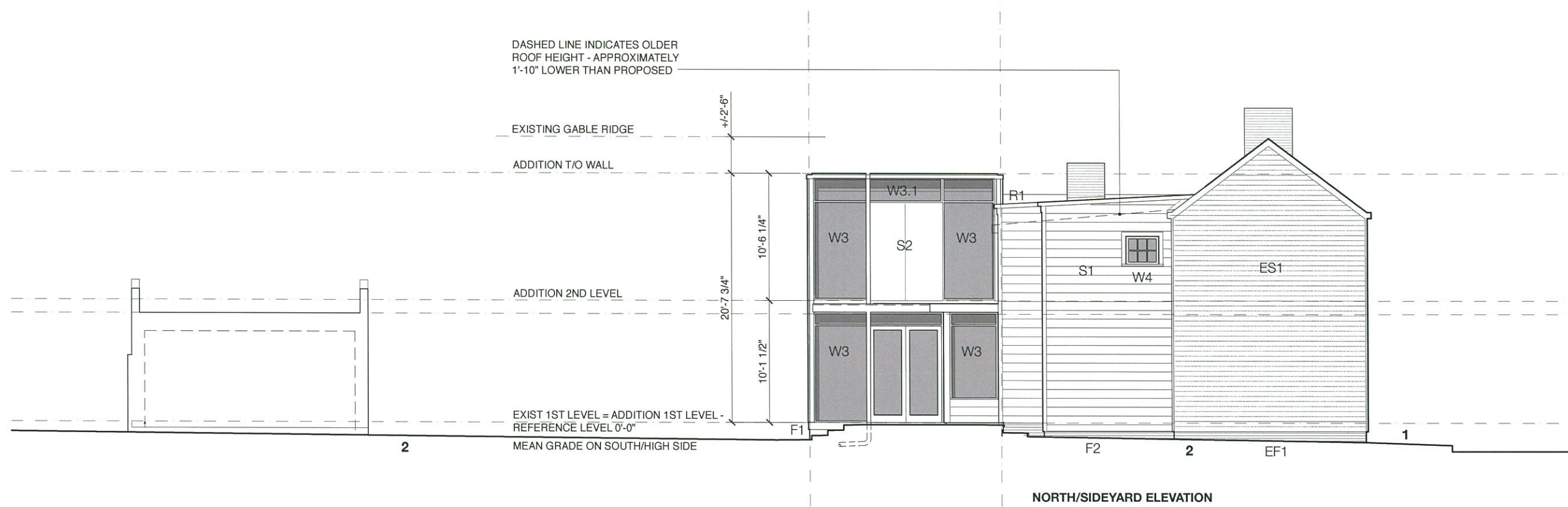
- R1** FLAT SEAM METAL ROOFING ON MODIFIED LOW SLOPED ROOF AREAS, COLOR - ROYCROFT COPPER RED
- G1** PREFINISHED ALUMINUM GUTTER AND MATCHING DOWNSPOUT, COLOR: GRAY TO APPROXIMATE FRAME COLOR/SHERWIN WILLIAMS/RARE GRAY

WINDOWS

- W1** **[REVISED]** 3'-0"W X 5'-0"H EXISTING WOOD DOUBLE-HUNG WINDOW REFURBISHED AND RELOCATED FROM ORIGINAL REAR SECTION
- W2** **[REVISED]** 2'-0"W X 3'-6"H EXISTING WOOD DOUBLE-HUNG WINDOW SASH REFURBISHED AND RECONFIGURED IN CASEMENT FRAME, FROM ORIGINAL REAR SECTION
- W3** WOOD OR ALUMINUM FRAME WINDOW SYSTEM - COLOR - NATURAL ALUMINUM OR SEALED DOUGLAS FIR
- W3.1** 5'-0"W X 2'-0"H AWNING WINDOW - PELLA SERIES 450 PREFINISHED ALUMINUM CLAD, COLOR: 'PUTTY' OR GERKIN 'RHINO' SERIES 58F, COLOR ALUMINUM

ELEVATION NOTES

- 2** LINE OF APPROXIMATE GRADE
- 3** DASHED LINE INDICATES TOP OF EXISTING WOOD FENCE AND LANDSCAPING TO REMAIN ALONG SOUTH PROPERTY EDGE
- 4** LINE OF APPROXIMATE PROFILE OF EXISTING GRANITE WALL ALONG NORTH PROPERTY LINE



MATERIALS KEY [Note: Shaded areas indicate areas of the structure obscured from view from the public right-of-way by fencing, landscaping, or other features]

- FOUNDATIONS**
- EF1** EXISTING BRICK FOUNDATION WALL [UNPAINTED THIS SIDE]
 - F1** **[REVISED]** MORTAR PARGED CMU FOUNDATION WALL W GROUND PLANTING. THIS FOUNDATION IS NOT VISIBLE FROM THE ROW ON ANY ELEVATION
 - F2** RED BRICK FOUNDATION WALL - NEW LOCATION USING EXISTING BRICK SALVAGED FROM SITE
- SIDING**
- ES1** **[REVISED]** NEW PINE LAP SIDING IN HISTORIC PROFILE, 8" EXPOSURE, PAINT FINISH GLIDDEN/TUILE WHITE
 - S1** HORIZONTAL 1X WOOD BOARD SIDING, 10" EXPOSURE W RABBETED 1/4" REVEAL BTWN BOARDS, PAINT FINISH GLIDDEN/TUILE WHITE AND W DIAGONAL LATTICE - REFER TO RENDERED VIEW PAGE 6
 - S2** CEMENTITIOUS PANEL, PAINT FINISH [NOT VISIBLE FROM ROW]
- ROOF AREAS**
- R1** FLAT SEAM METAL ROOFING ON MODIFIED LOW SLOPED ROOF AREAS, COLOR - ROYCROFT COPPER RED
 - G1** PREFINISHED ALUMINUM GUTTER AND MATCHING DOWNSPOUT, COLOR: GRAY TO APPROXIMATE FRAME COLOR/SHERWIN WILLIAMS/RARE GRAY
- WINDOWS**
- W1** **[REVISED]** 3'-0"W X 5'-0"H EXISTING WOOD DOUBLE-HUNG WINDOW REFURBISHED AND RELOCATED FROM ORIGINAL REAR SECTION
 - W2** **[REVISED]** 2'-0"W X 3'-6"H EXISTING WOOD DOUBLE-HUNG WINDOW SASH REFURBISHED AND RECONFIGURED IN CASEMENT FRAME, FROM ORIGINAL REAR SECTION
 - W3** WOOD OR ALUMINUM FRAME WINDOW SYSTEM - COLOR - NATURAL ALUMINUM OR SEALED DOUGLAS FIR
 - W3.1** 5'-0"W X 2'-0"H AWNING WINDOW - PELLA SERIES 450 PREFINISHED ALUMINUM CLAD, COLOR: 'PUTTY' OR GERKIN 'RHINO' SERIES 58F, COLOR ALUMINUM
 - W4** **[ADDED]** 3'-0"W X 2'-6"H EXISTING WOOD DOUBLE-HUNG WINDOW SASH REFURBISHED AND RECONFIGURED IN AWNING FRAME, FROM ORIGINAL REAR SECTION

- ELEVATION NOTES**
- 1** N 25TH STREET SIDEWALK, HOUSE ABUTS SIDEWALK ALONG WEST PROPERTY LINE
 - 2** LINE OF APPROXIMATE GRADE

Page 12
NORTH/SIDE YARD ELEVATION
 showing existing residence and proposed reconstructed shed-roof section
 this side wall is visible only obliquely from the N 25th St ROW

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1ST LEVEL ENLARGED FLOOR PLAN
at addition and renovated areas

PLAN NOTES

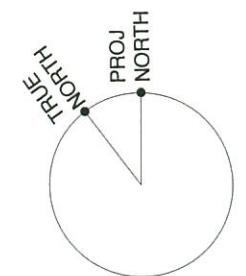
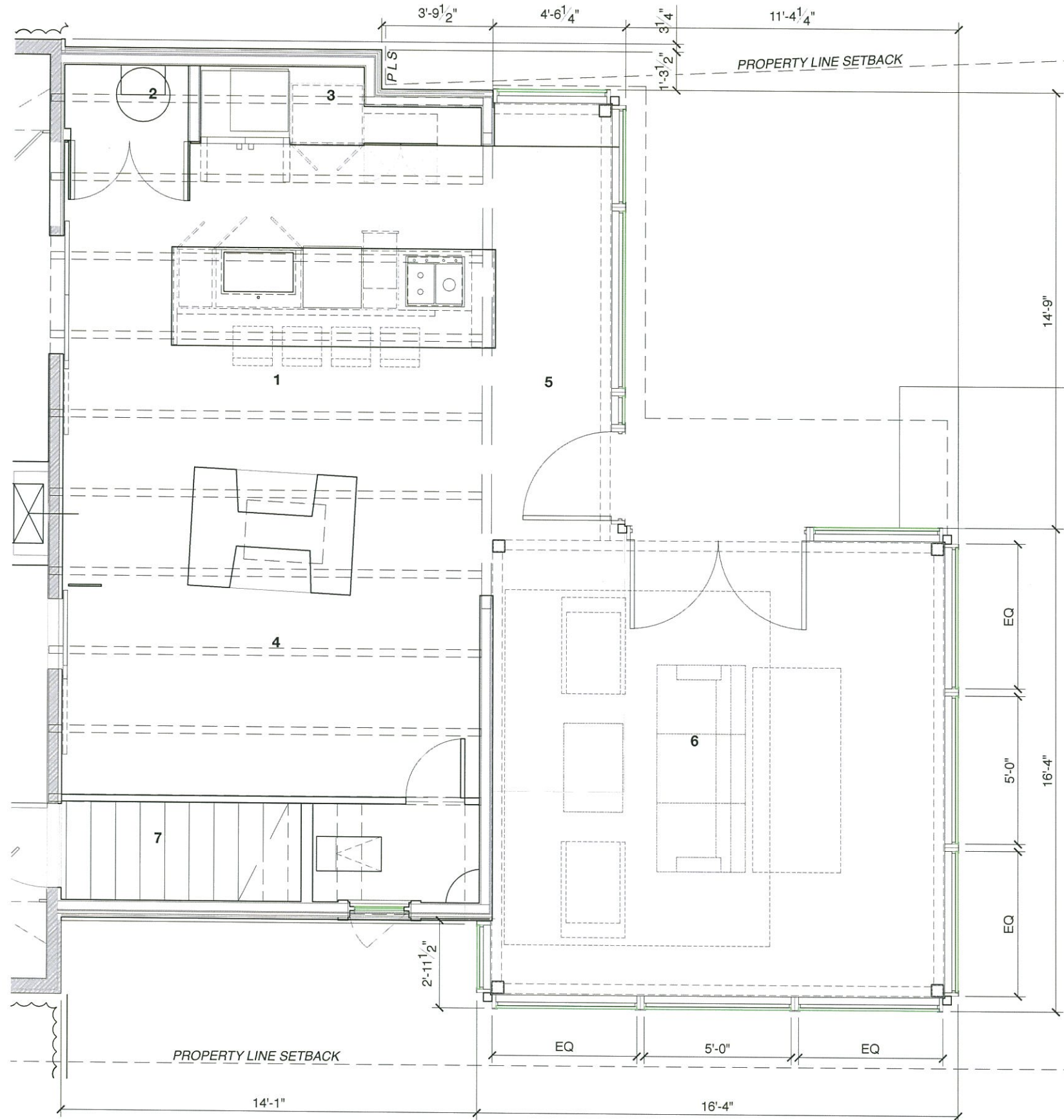
[REFURBISHED EXISTING AREA]

- 1 KITCHEN
- 2 POWDER RM
- 3 UTILITY
- 4 FIREPLACE ROOM

[ADDED AREA]

- 5 ENTRY
- 6 FAMILY RM
- 7 NEW STAIR

1/4" = 1'-0"



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ROOF:
 FLAT-SEAM METAL ROOFING,
 COLOR - 'ROYCROFT COPPER RED'
 [REVISED] NOT VISIBLE THIS
 ELEVATION

WINDOW SURROUND TRIM:
 [REVISED] REMOVED

UPPER WINDOWS MID SECTION:
 ALUMINUM OR WOOD FRAMED WINDOW
 SYSTEM WITH INFILL OPERABLE WINDOW
 UNITS. FINISH OF PRIMARY FRAME TO BE
 NATURAL ALUMINUM OR SEALED DOUG-
 LAS FIR [SHOWN]. WINDOW INSERTS TO
 BE PELLA OR GERKIN IN COLOR ABOVE.

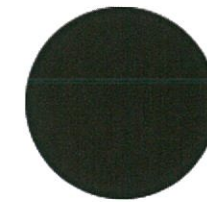
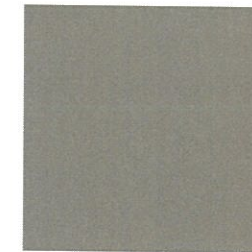


SIDING - MID SECTION:
 1X10 PINE BOARD, RABBETED OVER-
 LAP JOINT W 1/4" REVEAL
 PAINT FINISH - GLIDDEN/TUILE WHITE
 TRELLIS OVERLAY - ENGLISH IVY ON
 APPROXIMATELY 18" X 18" CEDAR
 STICK FORMED LATTICE MOUNTED
 DIAGONALLY IN FRONT OF SIDING
 FROM BRICK FOUNDATION TO WIN-
 DOW SILL - REFER TO RENDERED
 ELEVATION



ADDITION ROOF:
 GRAY TPO MEMBRANE
 [NOT VISIBLE FROM ANY SIDE]

STRUCTURAL FRAME TRIM:
 PAINTED FIR OR CEMENTITIOUS
 RUNNING TRIM ON VERTICAL AND
 HORIZONTAL STRUCTURAL MEMBERS
 [FLOOR AND ROOF STRUCTURAL
 ASSEMBLIES ARE SET BEHIND PLANE
 OF GLASS], COLOR-RARE GRAY



PELLA - BLACK OR GERKIN - DARK BRONZE ANODIZED

ADDITION WINDOWS:
 ALUMINUM OR WOOD FRAMED WINDOW
 SYSTEM WITH INFILL OPERABLE WINDOW
 UNITS. FINISH OF
 PRIMARY FRAME TO BE NATURAL ALUMINUM OR
 SEALED DOUGLAS FIR [SHOWN]. WINDOW INSERTS
 TO BE PELLA OR GERKIN IN COLOR ABOVE.

[PATTERNING IN WINDOWS SHOWN REPRESENTS CUR-
 TAIN POTENTIAL CURTAIN PATTERN BEYOND]

ADDITION FOUNDATION [REVISED FROM PREVIOUS APPLICATION]:
 MORTAR PARGED CMU W GROUND PLANTING. FOUNDATION OF ADDITION IS
 NOT VISIBLE FROM ROW ON ANY SIDE

Page 5
SOUTH/ALLEY ELEVATION
 showing existing residence and proposed addition areas
 from public ROW

Additions and Rehabilitation at
125 N 25th Street
 St John's National Historic District
 Richmond, VA 23223

Application for Certificate of Appropriateness
COMMISSION OF ARCHITECTURAL REVIEW
 submitted Jan 27, 2017
 [revised from previous approved application]