

MAURY STREET TOWNHOUSE



GENERAL NOTES :

The General Contractor (GC) guarantees all materials and workmanship for a period of one (1) year from the date of Substantial Completion. GC shall repair any deficient work during this period, at no cost to Owner.

- GC verify all existing conditions prior to proceeding with any work. Notify architect if any condition does not coincide with Construction Documents.
- The GC responsible to pay for all permits and coordinate all inspections, including final inspection, unless directed in writing by owner.
- Dimensions shown are to face of studs in new construction, and to face of plaster in existing construction unless noted otherwise.
- Submit shop drawings to architect for approval on the following: WINDOWS & DOORS and specification information on ROOFING.

STRUCTURAL:

- Presumed allowable soil bearing load is 2000 psf. If the Owner chooses, the GC shall employ, at the owner's expense, a Geotechnical Engineer to perform hand augers of the footing excavations prior to pouring of footings. GC shall follow the recommendations of the engineer prior to proceeding with foundation work.
- Mixed, poured-in-place concrete shall be designed to produce compressive strengths as follows: Footings: 3000 psi at 28 days. Provide proper protection when air temperature falls below 40 degrees F. Concrete exposed to freeze-thaws cycle shall be air entrained.
 - Reinforcing Steel: Deformed bars - ASTM A615, Grade 60. Welded wire fabric (WWF) - ASTM A185.
 - All masonry to be placed with continuous horizontal joint reinforcement at 8" o.c. below grade and at 1'-4" o.c. above grade. Where foundation walls act as retaining walls provide reinforcing using #3 rebar embedded in concrete footing at 2'-8" o.c.
 - Floor Joists: Refer to Construction Documents.

EXTERIOR:

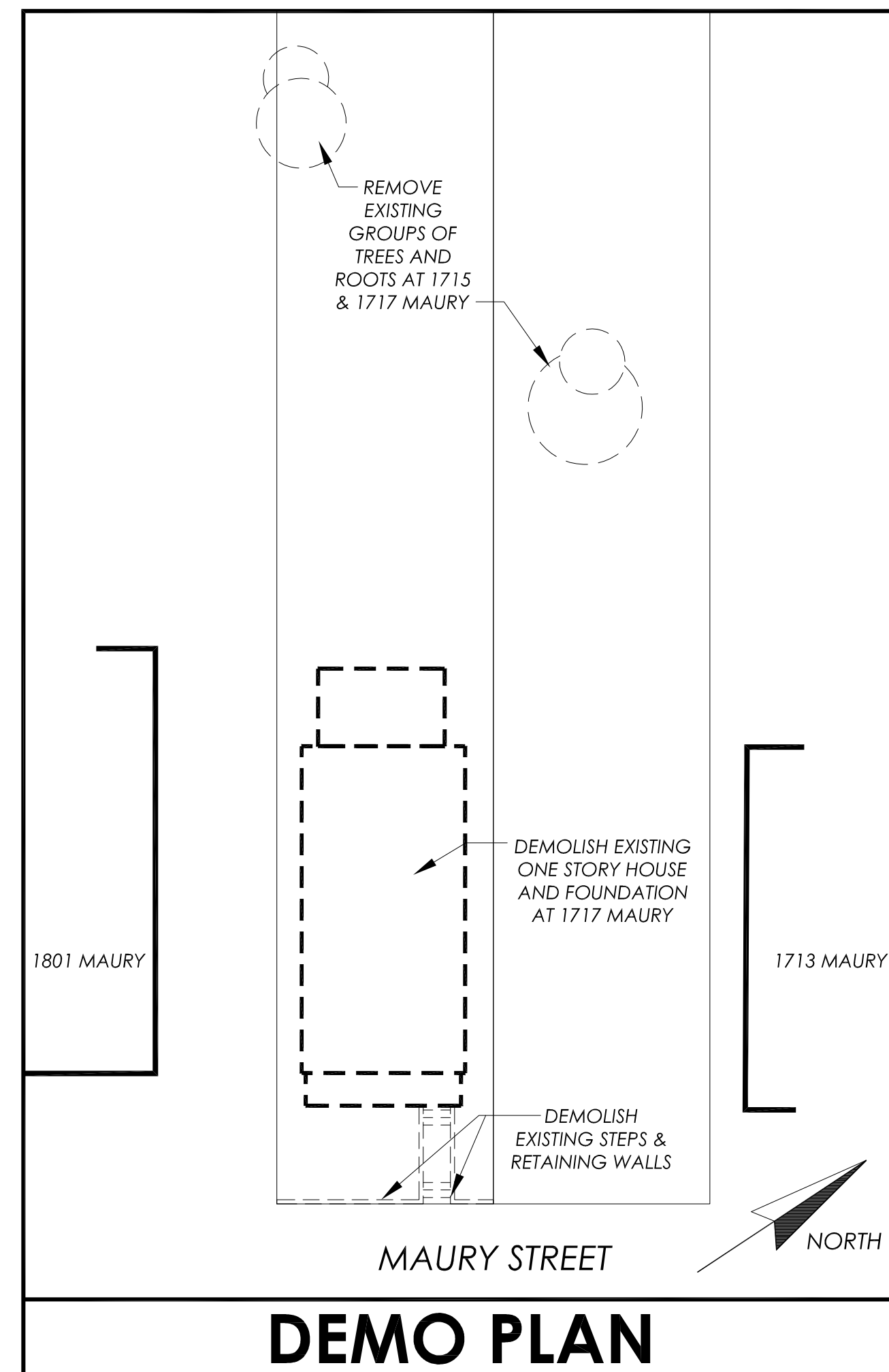
- Concrete Masonry (CMU): ASTM C90, 2000 psi compressive strength.
- Architect shall approve brick selection prior to purchase of face brick. Face brick shall be common bond pattern.
- Mortar: Shall meet ASTM C270. Below grade use Type M mortar. Above grade use Type S mortar. Joints shall be concave, 3/8" wide. Mortar color selected by Architect.
- All wood exposed to exterior in contact with concrete or CMU or below grade shall be pressure treated.
- Siding to be a Hardie Plank w/ a 6" exposure & Hardie trim boards. Hardie Board butt jointed flush siding 24" height & staggered joints.
- Plywood: Use 5/8" CC exterior grade for roof deck (use edge clips for roof deck), and 3/4" CC exterior grade tongue and groove for floor decks.
- Floor decking shall be glued and nailed to floor joists.
- Windows & doors shall be simulated divided light, aluminum clad wood. Provide aluminum flashing at heads and bottom of all windows & doors. Window & door design basis is Jeld-Wen "Siteline". Contact Scott Wagner at Customview 804-523-1167. Approval by Owner and Architect required prior to purchase.
- All wood trim shall be clear White Pine or Fir unless otherwise noted. Brush on a minimum of two coats of an oil-based wood preservative over all exposed exterior wood surfaces, including edge cuts of wood trim, prior to installation. Back prime all wood trim.
- HB&G Permasnap column wrap over 6 x 6 pressure treated wood columns under porches covered by metal roofing.
- Exterior Painting:
 - The following are acceptable paint manufacturers: Benjamin Moore, Sherwin Williams
 - Exterior paint match Sherwin-Williams colors (GC coordinate factory finishes for Jeld-Wen doors and windows):
 - Siding: SW 6075 Garret Gray
 - Trim: SW 7555 Patience
 - Window Sash: SW6993 Black of Night
 - All exterior wood is to receive two coats of oil base or acrylic paint. Prime All bare and new wood prior to receiving finish coats.

ROOFING:

- Roofing Materials: Single-Ply EPDM Roofing
 - Provide and install Single-Ply EPDM 0.60 roofing as manufactured by Carlisle or Equal.
 - Entire roof deck is shall be covered with ice and water shield as recommended by manufacturer.
- Tapered roof insulation to create roof minimum roof slope 1/4" per foot.
- Roofing Materials: Standing seam metal roof.
 - Provide and install new 26 gauge Kynar pre-finished standing seam metal roofing over porches.
 - Install continuous ice and water shield over sheathing on entire roof. Install continuous slip sheet over entire roof.
- Downspouts: All downspouts prefinished aluminum, 4" wide.

INTERIOR:

- All joists, rafters and beams shall have a minimum bearing of not less than 3-1/2" x 3-1/2". All bearing masonry shall be grouted solid to footings.
- Framing lumber shall be Southern Yellow Pine, No. 2, kiln dried, min. Fb = 1200 psi. Studs spaced at 16" OC
- Plywood: Use 3/4" CC exterior grade tongue and groove for floor decks. Glue and nail floor decking to floor joists.
- Install fiberglass batt insulation, in all exterior walls, to achieve a minimum rating of R-19. Butt edges of insulation, do not leave voids in wall. Install R-38 batt insulation at roof joists.
- WALLS/CEILINGS:
 - Walls: Install 5/8" rated gypsum board in fire walls and 1/2" in other stud wall. Ceilings: 1/2" gypsum board
 - Use only brand name gypsum board and finishing materials. Install ceilings first, so that edges are supported and concealed by gypsum board at walls.
- WOOD FLOORS:
 - Solid red oak wood flooring.
 - Floor stain color approved by Owner.
 - Apply two coats of semi-gloss and one coat of matte finish polyurethane floor finish to all wood floors. Follow manufacturer's instructions for application and drying times.
- INTERIOR PAINTING, TRIM & DOORS:
 - The following are acceptable paint manufacturers: Sherwin Williams
 - Use all flat finish for easy spot painting.
 - Prime All gypsum board walls and ceilings with one coat of latex primer and two coats of latex paint. Prime All bare and new wood trim with one coat of oil based primer two finish coats of oil or acrylic paint. Color scheme as follows:
 - Walls: SW7004
 - Trim: SW7018 Dovetail
 - Doors: SW7019 Gauntlet
 - Interior DOORS: Solid core, flush, birch for stained finish
 - Interior TRIM:
 - Door & Window casing: RE Trim, SI-44B1, 3/4 x 3-1/2 YP
 - Window stool: SI-17C, 5-1/2 YP
 - Window apron: RE Trim, SI-44B1, 3/4 x 3-1/2 YP
 - Baseboard: SI-11D, 3-1/2 YP
- Door Hardware: (Brushed Nickel Finish)
 - Front and rear doors to have latch with lever handle, key operated deadbolt lock, 3 hinges each
 - Interior doors to have lever handle, 3 hinges each
 - Passage locks at bathroom doors
- TILE provide and install:
 - Kitchen back splash: Glossy 3" x 6" Subway tile.
 - Floors: Townscape Porcelain 12" x 24" (TS03 Dark Grey).
 - Tub / Shower Surround: Townscape 12" x 24" (TS02 Light Grey), installed vertically.
- CASEWORK (KITCHEN & BATH) provide and install:
 - Cabinets / Vanities: Wolf Grey Shaker Style cabinets.
 - Counter Tops: Granite- Furlow white tops.
- WINDOW BLINDS provide and install:
 - Aluminum mini blinds equal to Bali brand at all windows.
- TOILET ACCESSORIES provide and install:
 - At each toilet, Pamex BC12-43 paper holder satin nickel finish
 - In each bathroom, Pamex BC12-15824 towel bars satin nickel finish
 - At each tub, Pamex BSR-552, 652 satin nickel finish
 - Above each vanity, AJW U701 Series frameless mirror 24" x 34"



APPLIANCES:

GC provide and install All products are Frigidaire (aka Electrolux), stainless steel, with black side finishes.

- Laundry units are white.
- Refrigerator model # FFH1832TS with ice maker and the water line kit
 - Range model # FFEF3054TS with 4 prong 220 volt lead cords
 - Laundry center (one piece washer dryer 220 volt) model # FFLE4033QW with a 3" vent kit and flexible water lines and with 4 prong 220 volt lead cords
 - Dishwasher model # FFB2406NS
 - Garbage disposals Badger brand 1/3 H. P or equal.
 - Microwave, above range mounting model# FFMV1645TS

ELECTRICAL:

- Install 200 amp service at each unit.
- GC pays for all permits and coordinates with Dominion Energy for service installation.
- GC provide and install all wiring, outlets, junction boxes and panel boxes as required for a complete installation. All new wiring to be concealed, surface mounted conduit will not be permitted.
- Lighting Fixtures: Selected by Owner, purchased and installed by Contractor.
 - Recessed Ceiling Halogen Lights: equal to WAC.
 - Vanities: Quorum International, Catalog #: 86525-2-65.
 - Over Tub / Shower: GM Lighting, 120V Driverless LED Surface Downlight.
 - Walk-In Closets: Lithonia Lighting, Wraparound Narrow End Utility Fluorescent.
 - Living Rooms & Bedrooms: Royal Pacific Ltd., Catalog #: 1079 Series w/ light kit.
 - Exterior Doors: Hinkley & FR, Aria 2300KZ-LED.

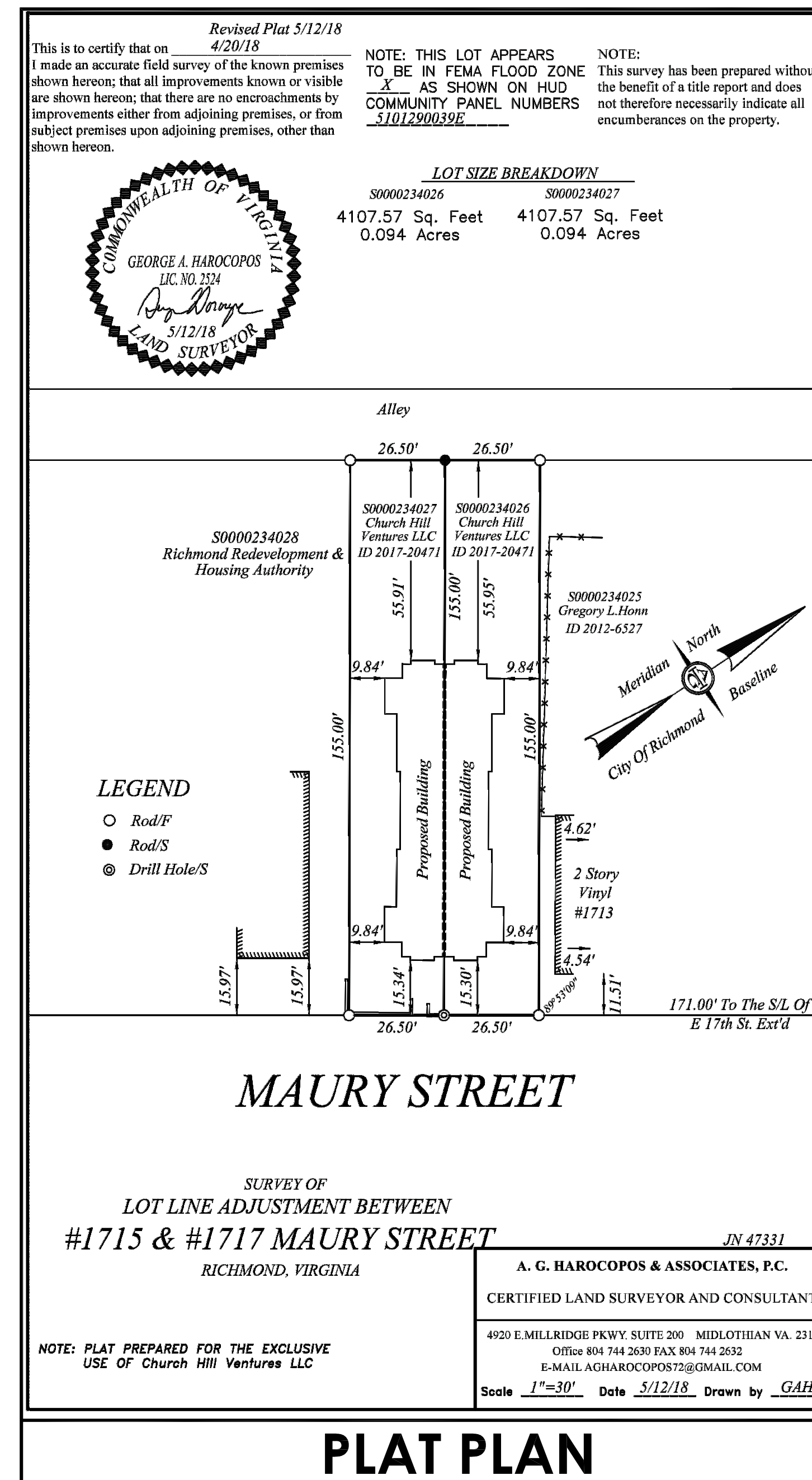
- GC provide all necessary rough-in and hook-ups for appliances, including washer and dryer.
- GC provide and install following appliances: Refrigerator/Freezer, Dishwashers, Range, Microwave, Hood Exhaust system, Sink Disposers, Washer/Dryer

PLUMBING:

- GC provide and install materials for all plumbing work.
- Plumbing Fixtures and Accessories - Complete fixtures and accessories to be selected by Owner and GC provide and install the following:
 - Bathtubs: Bootcast Porcelain enamel 60" x 30" x 14 1/4" by Bootz Industries.
 - Tub & Shower Faucet Trim: Delta Tub/Shower (BT13410 Series).
 - Rough-in Valve: Delta "MultiChoice" Universal Rough Valve Body.
 - Toilets: Alto, Model 137-160, Elongated Front, "SmartHeight", Vitreous China, Two-Piece Toilet by Mansfield.
 - Lavatory Faucets: Delta 559-LF"Trinsic" Collection, single handle deck mount.
 - Kitchen Faucets: Delta 917 8-DST "Leland" Collection, single handle pull-down.
 - Water Heaters: "Proline" commercial-grade residential by State Water Heaters.

MECHANICAL:

- GC responsible for installing a complete heating and air conditioning system, including all controls, piping, etc.
- Locate first floor HVAC units in designated closets.



CODE DATA

- CODE: Virginia Residential Code
- ZONING: R-7
- CURRENT USE: Vacant Lot
- PROPOSED USE: Single Family
- SQUARE FOOTAGE:

| | |
|--------------|-------------|
| 1715: UNIT A | 1,000 SQ FT |
| UNIT B | 1,000 SQ FT |
| 1717: UNIT C | 1,000 SQ FT |
| UNIT D | 1,000 SQ FT |
- USE GROUP: R-5
- TYPE OF CONSTRUCTION: III B
- SPRINKLER: NONE
- OCCUPANCY:

| |
|------------------------------------|
| 1715: 2,000 ÷ 200 SQ FT = 10 GROSS |
| 1717: 2,000 ÷ 200 SQ FT = 10 GROSS |

DRAWING INDEX

| | |
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1715 & 1717 Maury Townhouse

1715 & 1717 MAURY STREET
RICHMOND, VIRGINIA

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Set Date:

JUN 06, 2018

Revisions:

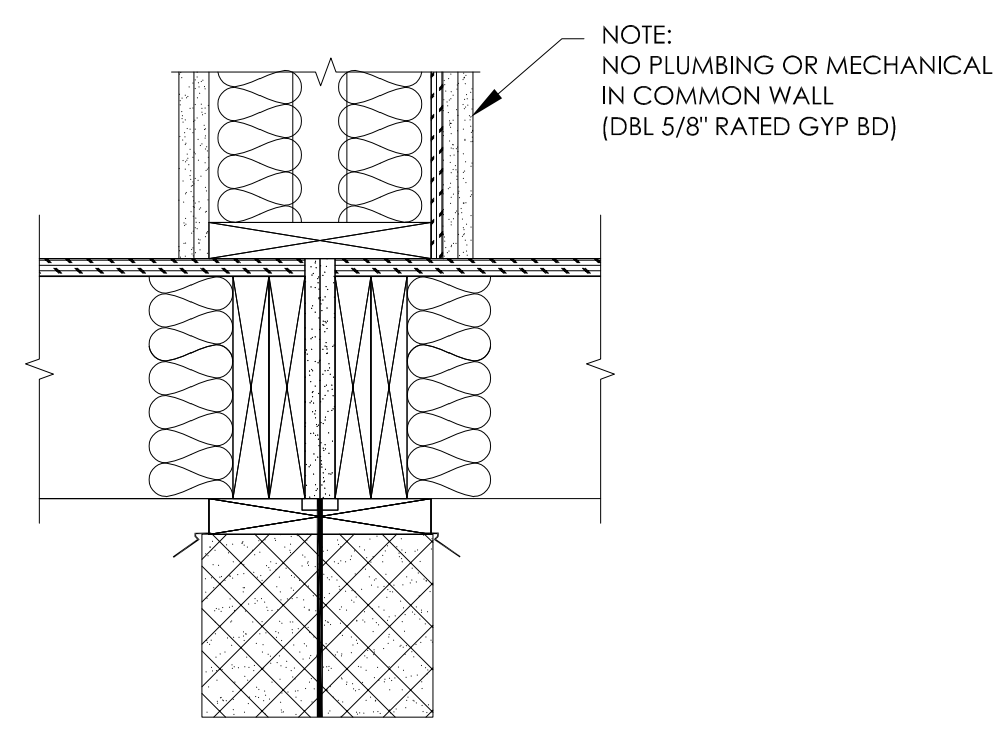
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T1.1

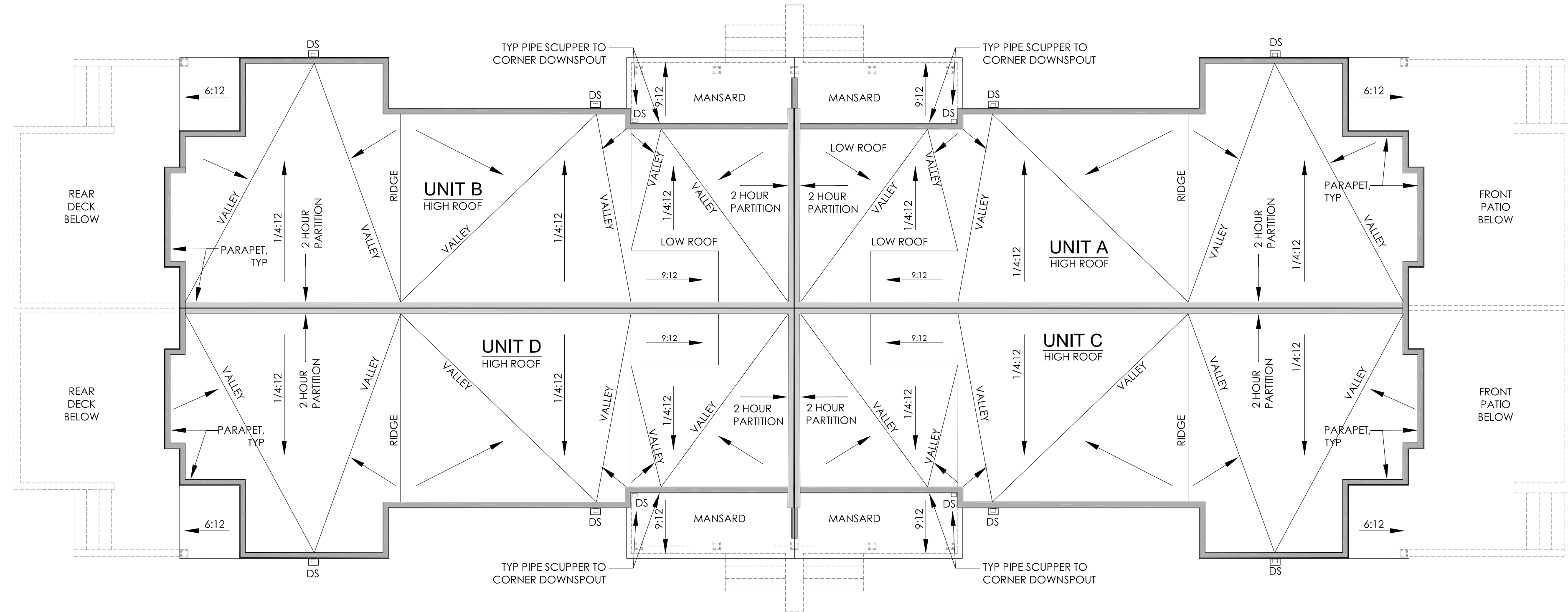


GA FILE NO. WP 3910 (* SIMILAR)
 GENERIC 2 HOUR FIRE
 50 to 54 STC SOUND
 FM WP 360, 9-27-74;
 UL R4024, 10-31-68
 GYPSUM WALLBOARD, WOOD STUDS

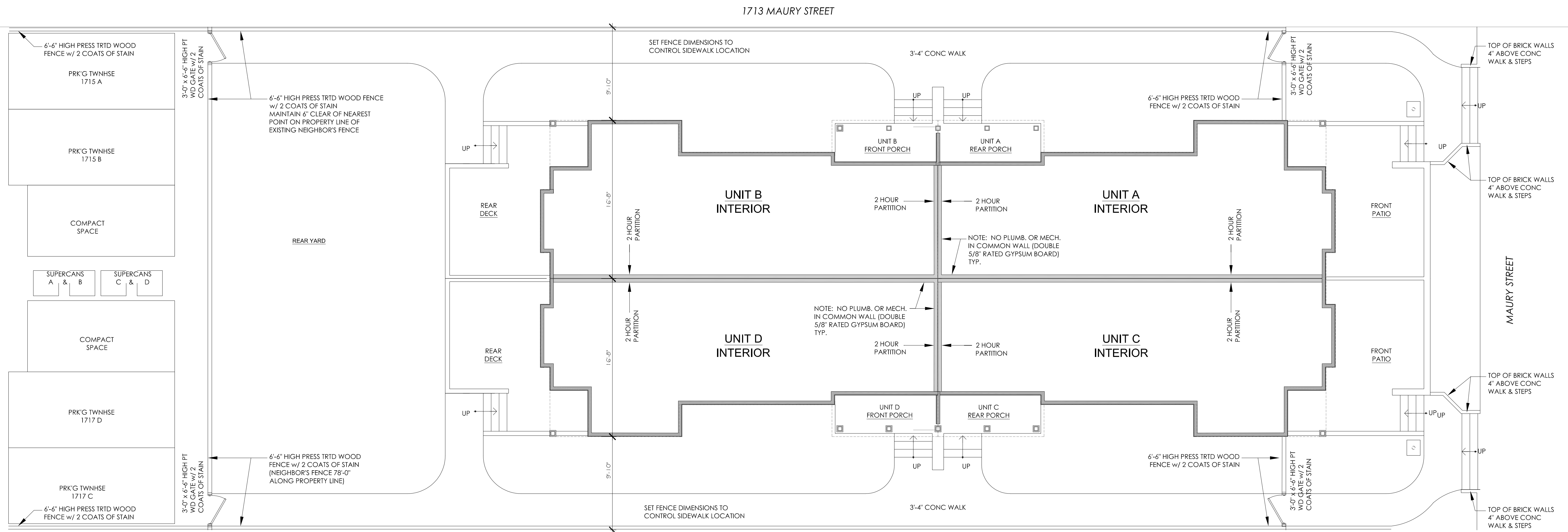
Base layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to each side of 2 x 4 wood studs 16" oc, staggered 8" oc on 2 x 6 wood plates, with 4d coated nails, 1 7/8" long, 0.085" shank, 1/4" heads, 24" oc Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to each side with 8d coated nails, 2 3/8" long, 0.113 shank, 9/32" heads, 8" oc Joints staggered 16" each layer and side. Sound tested with nails for base layer spaced 6" o.c. Horizontal bracing required at mid-height. (LOAD-BEARING)

*NOTE: SHEATH ONE SIDE OF DEMISING WALL WITH 1/2" STRUCTURAL SHEATHING WITH 10d NAILS @ 4" OC SEE FLOOR PLANS

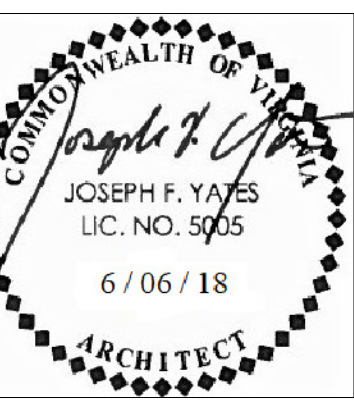
2 HOUR FIRE RATED PARTITION
 (GA FILE # WP 3910)



FIRE WALL ROOF PLAN
 SCALE: 3/16" = 1' - 0"



SITE/ FIRE WALL PLAN
 SCALE: 3/16" = 1' - 0"



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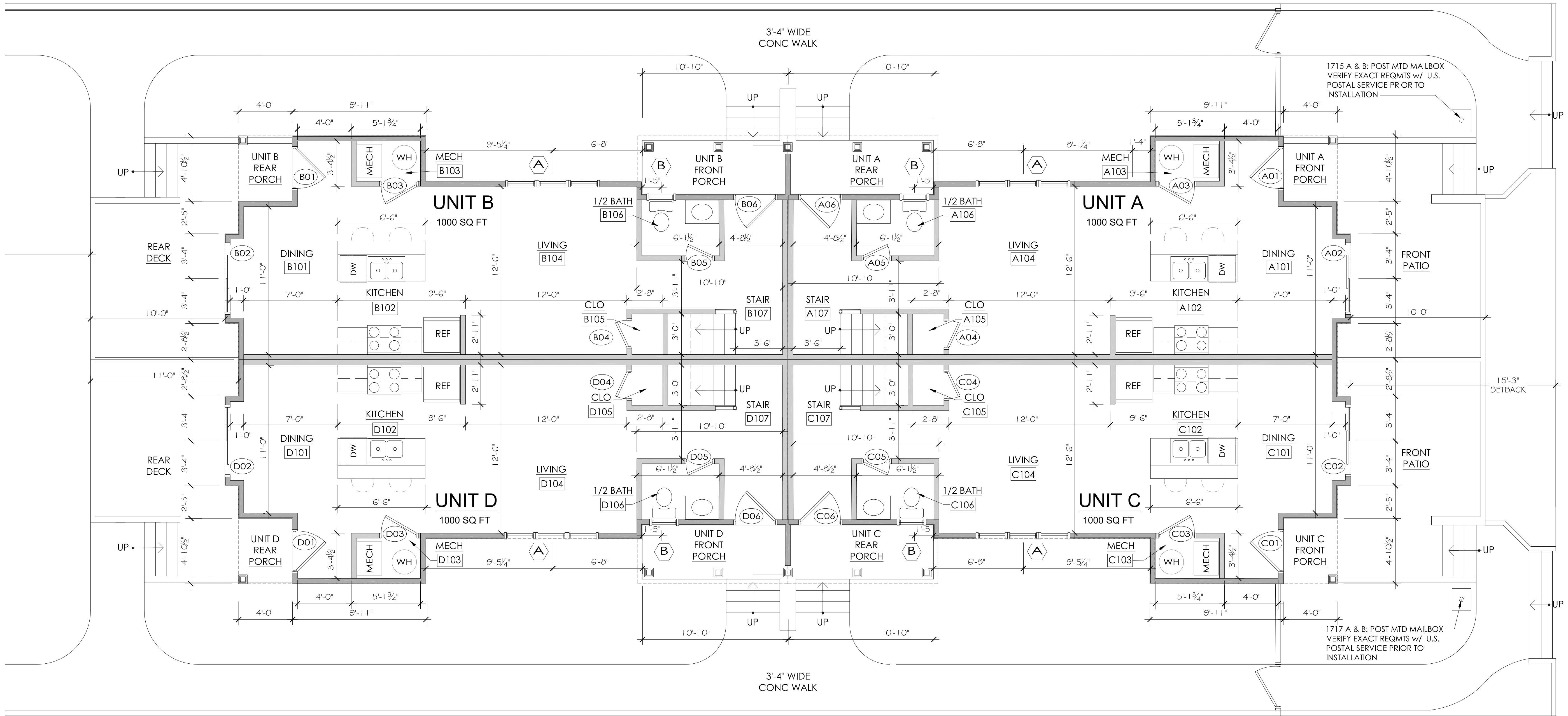
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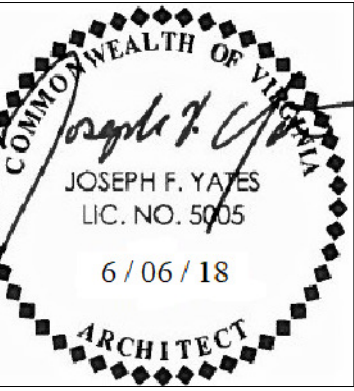
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A2.1



1st FLOOR
SCALE: 1/4" = 1' - 0"

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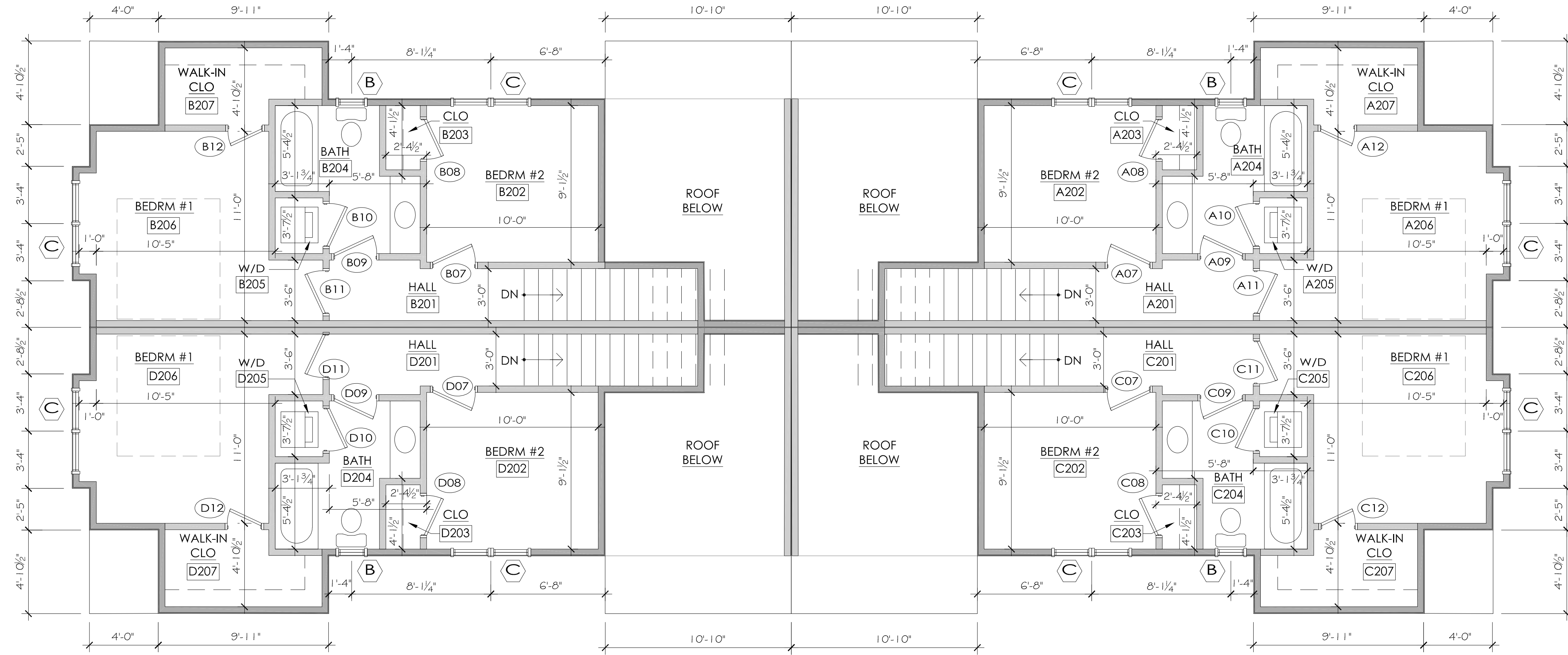
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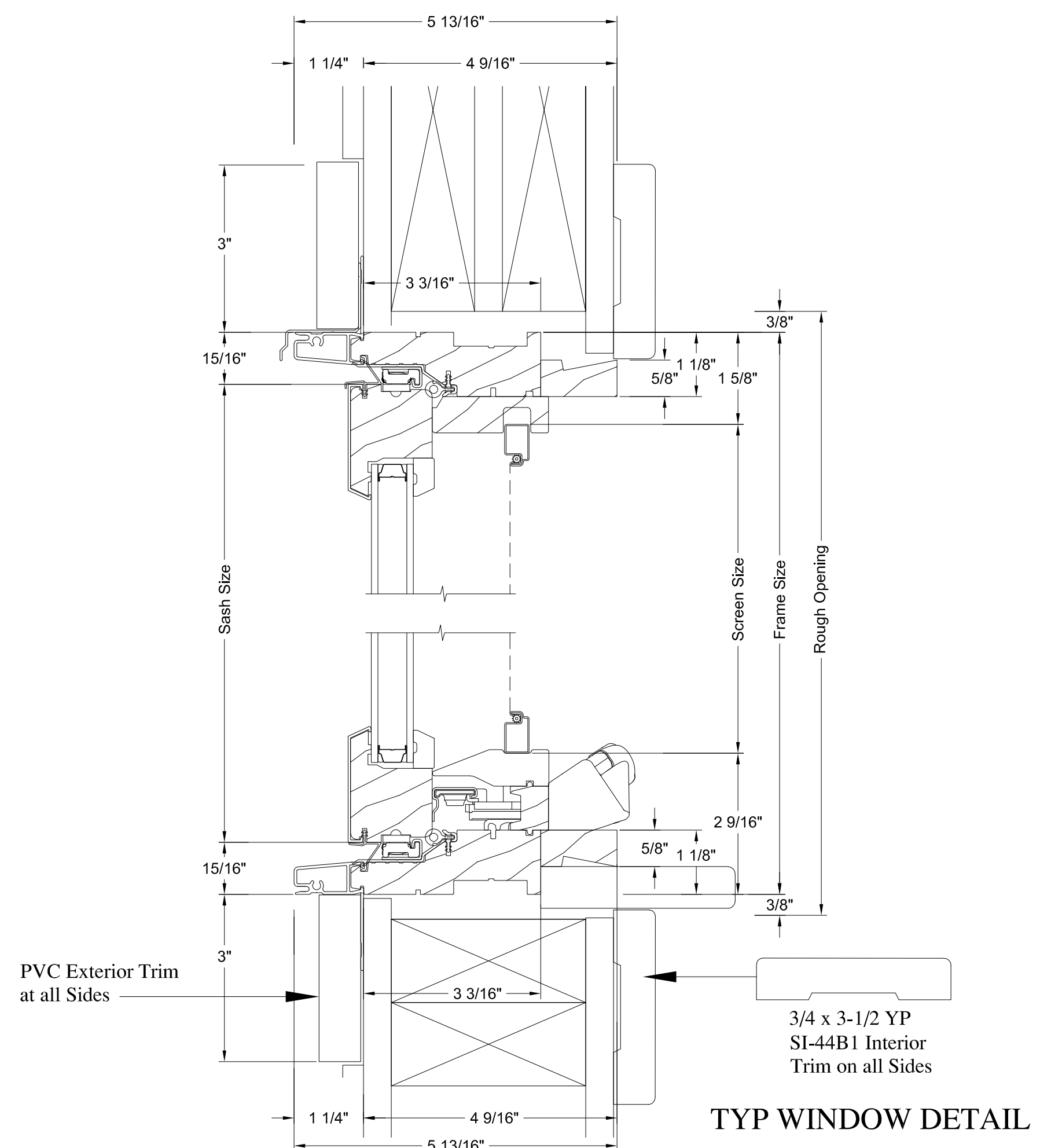
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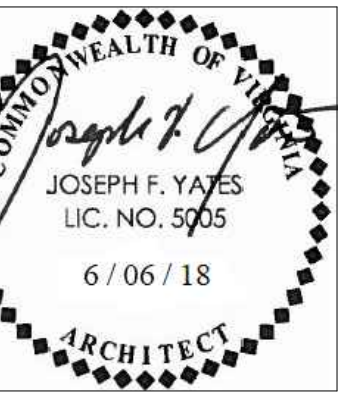
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A2.2



2nd FLOOR
 SCALE: 1/4" = 1' - 0"





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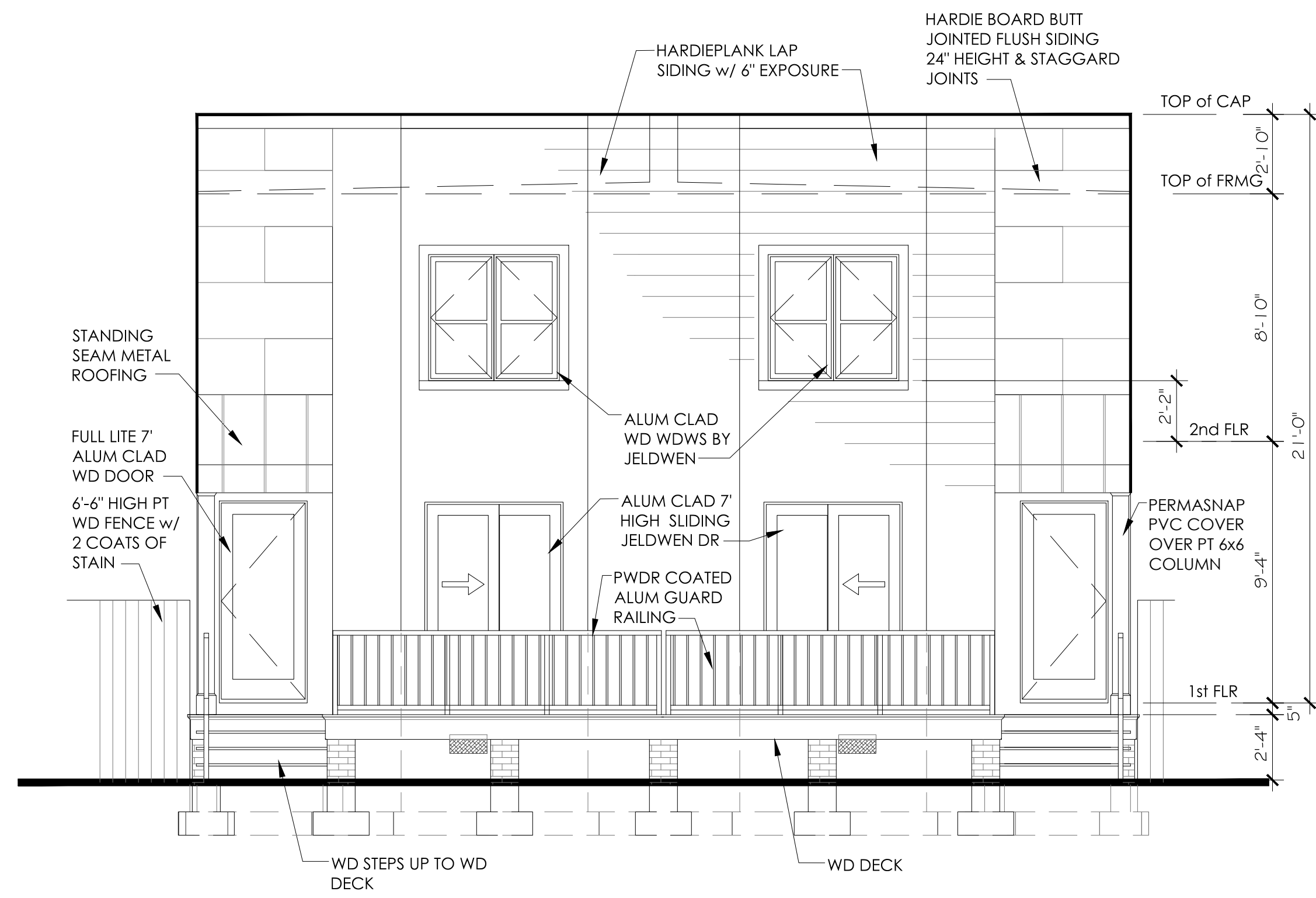
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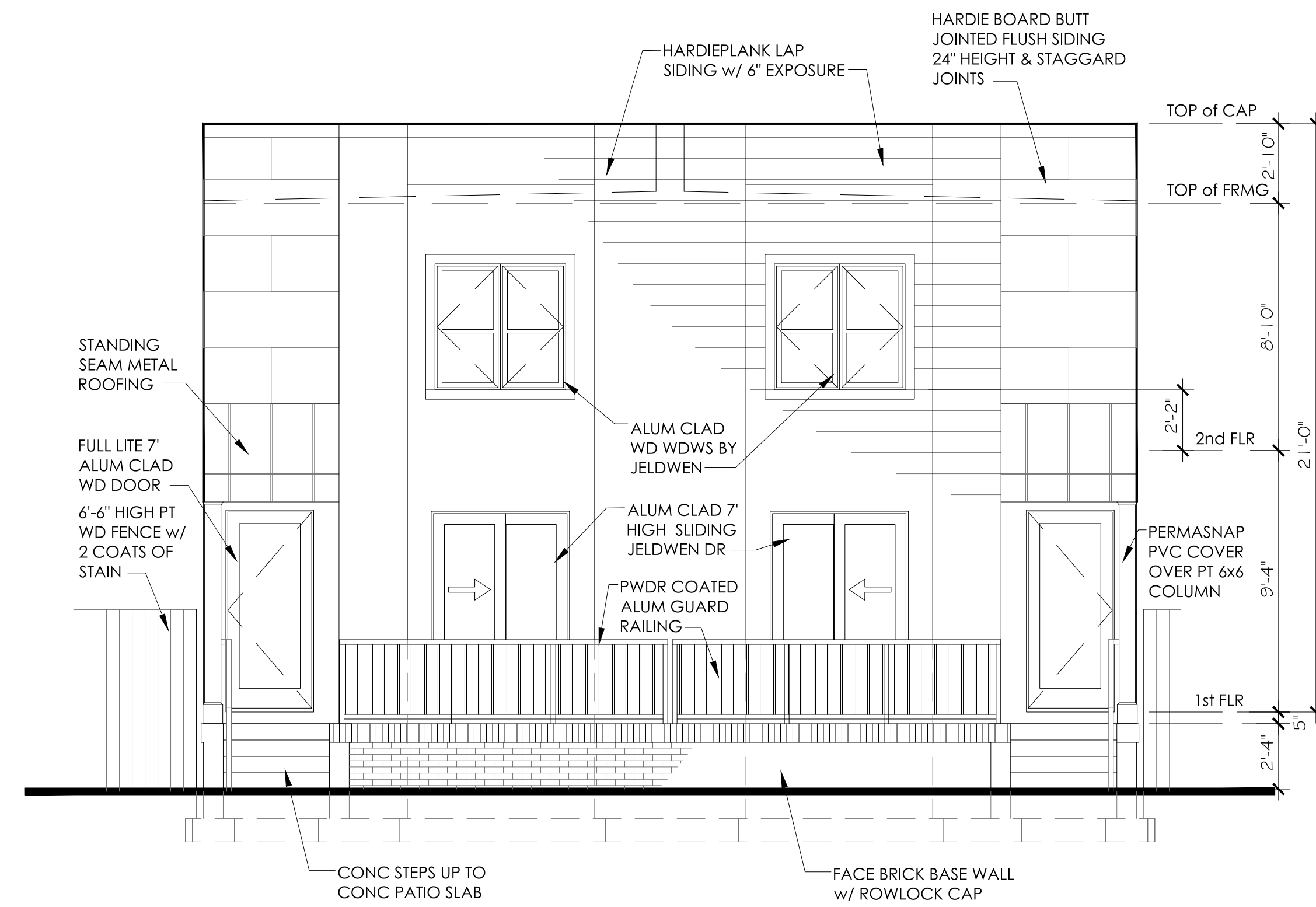
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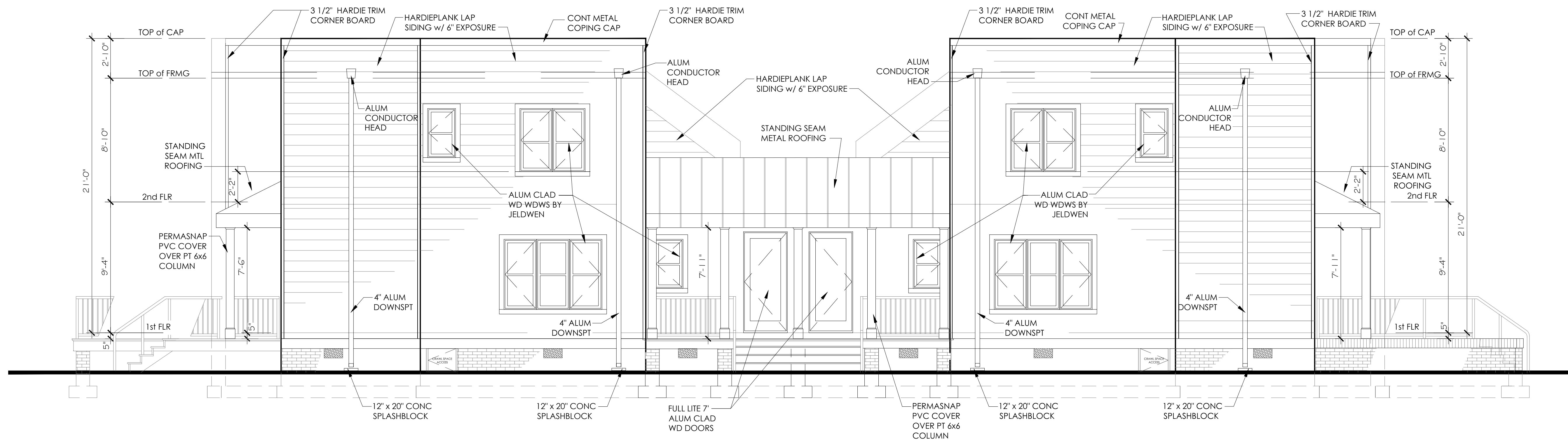
A3



Rear Elevation
SCALE: 1/4" = 1' - 0"



Front Elevation
SCALE: 1/4" = 1' - 0"



Side Elevation
SCALE: 1/4" = 1' - 0"



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