

INTRODUCED: July 27, 2026

AN ORDINANCE No. 2026-186

To authorize the special use of the property known as 2310 Mimosa Street for the purpose of up to 22 single-family attached dwellings and one single-family detached dwelling, upon certain terms and conditions.

Patron – Mayor Avula (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: SEP 14 2026 AT 6 P.M.

WHEREAS, the owner of the property known as 2310 Mimosa Street, which is situated in a R-5 Single-Family Residential District, desires to use such properties for the purpose of up to 22 single-family attached dwellings and one single-family detached dwelling, which use, among other things, is not currently allowed by section 30-410.1 of the Code of the City of Richmond (2020), as amended; and

WHEREAS in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: _____ NOES: _____ ABSTAIN: _____

ADOPTED: _____ REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 2310 Mimosa Street and identified as Tax Parcel No. S007-1379/026 in the 2026 records of the City Assessor, being more particularly shown on a survey entitled “Map Showing the Improvements on 2.089 Acres of Land Situated on the South Side of Mimosa Street in the City of Richmond, Va.,” prepared by Virginia Surveys, and dated March 15, 2024, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to 22 single-family attached dwellings and one single-family detached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Concept L, 2310 Mimosa Street, Old South District, City of Richmond, Virginia,” prepared by Bowman, and dated February 13, 2026, and “The Mimosa, Mimosa Residence, 2310 Mimosa Street, Richmond, Virginia,” prepared by Keel Custom Homes, and dated October 16, 2025, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as up to 22 single-family attached dwellings and one single-family detached dwelling, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed two stories, substantially as shown on the Plans.

(c) All elevations and site improvements shall be substantially as shown on the Plans.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any adjoining public right-of-way.

(e) Prior to the issuance of any building permit for the Special Use, the establishment of up to 23 residential lots, and accompanying conveyance to the City of a forty-five-foot-wide public right-of-way, a forty-foot-wide public right-of-way, a twenty-four-foot-wide public right-of-way, and a sixteen-foot-wide public right-of-way, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate subdivision plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

(f) Prior to the issuance of any certificate of occupancy for the Special Use, the Owner shall install new sidewalks and four street trees on that portion of the Property labeled as “45’ PUBLIC R/W,” substantially as shown on the Plans.

(g) Prior to the issuance of any certificate of occupancy for the Special Use, the Owner shall install a nature trail on that portion of the Property labeled as “NATURE TRAIL FOR ACCESS TO OAKLAND PL (SEE INSET FOR CONTINUATION TO OAK GROVE ELEMENTARY SCHOOL),” substantially as shown on the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance

of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the right-of-way substantially as shown on the Plans, including without limitation the installation of new sidewalk and four street trees along Mimosa Street, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works or the designee thereof that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following such written confirmation by the Director of Public Works or the designee thereof, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements

and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as

amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

Item Request File Number: Admin-2026-0092

O & R Request

DATE: May 29, 2026

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Dr. Danny Avula, Mayor (by request)

(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Odie Donald II, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 2310 Mimosa Street for the purpose of up to 22 single-family attached dwellings and one single-family detached dwelling, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: The applicant is proposing to subdivide an existing vacant parcel, and construct 22 single-family attached dwellings. The property is currently located within the R-5 Single-Family Residential District. Single-family attached dwellings are not a permitted use within the R-5 zone. A Special Use Permit is therefore required.

BACKGROUND: The property is located in the Bellemeade neighborhood on Mimosa Street between Columbia and Overlook Streets. The property is an approximately 151,332 sq. ft. (3.4 acre), vacant parcel of land. The City's Richmond 300 Master Plan designates these parcels as Residential. This land use is intended to be "Neighborhoods consisting primarily of single-family houses on large- or medium-sized lots more homogeneous in nature."

Intensity: Buildings are generally one to three stories. Lot sizes generally range up to 5,000 to 20,000+ sq. ft. Residential density of 2 to 10 housing units per acre.

Primary Uses: Single-family houses, accessory dwelling units, and open space.

Secondary Uses: Duplexes and small multi-family buildings (typically 3-10 units), institutional, and cultural. Secondary uses may be found along major streets. Currently, the majority of surrounding properties are zoned R-3 Single-Family Residential. The overall density of the proposed is eight units per acre.

COMMUNITY ENGAGEMENT: Letters of notification shall be sent to near-by property owners, and a sign noting this request shall be placed on the property once the ordinance is introduced to City Council.

FISCAL IMPACT: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: July 27, 2026

CITY COUNCIL PUBLIC HEARING DATE: September 14, 2026

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Planning Commission, September 1, 2026

AFFECTED AGENCIES: Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Principal Planner, Land Use Administration (Room 511) 646-5734

Jennifer D. Mullen

Richmond Office
(804) 977-3374


BY HAND DELIVERY
Planning and Development Review
900 E. Broad St., Room 511
Richmond, VA 23219

February 20, 2026

RE: Special Use Permit: S0071379026, 2310 Mimosa Street (the "Property")

Dear Matthew:

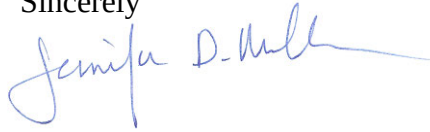
This letter shall serve as the Applicant's Report for the accompanying application for a Special Use Permit ("SUP") for the Property to authorize use of the Property to waive feature requirements of front and side yards and lot area and width from the R-5 district regulations. The Property is located at 2310 Mimosa Street and contains approximately 3.5 acres. There is a resource protection area located on the southern portion of the Property, which will remain undeveloped.

This proposed use is compatible with the surrounding neighborhood uses and provides additional opportunities to create high quality affordable housing in the City of Richmond. The Special Use Permit would authorize the development of 23 lots which would be affordable to those making 80% of the Area Median Income. The Property is identified as Residential in the Land Use Recommendations of the Richmond300 and the proposed use fits within that recommendation as well as the goals to create more affordable residential housing.

The Special Use Permit would authorize a small increase in overall density of Property with the ability to transform a challenging development site into an opportunity for high quality affordable housing. The proposed use meets the requirement set forth in the City Charter that the use will not (i) be detrimental to the safety, health, morals and general welfare of the community involved; (ii) tend to create congestion in the streets, roads, alleys and other public ways and places in the area involved; (iii) create hazards from fire, panic or other dangers; (iv) tend to cause overcrowding of land and an undue concentration of population; (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or (vi) interfere with adequate light and air.

Matthew J. Ebinger, AICP
June 17, 2024
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Sincerely

A handwritten signature in blue ink, appearing to read "Jennifer D. Mullen", with a long horizontal flourish extending to the right.

Jennifer D. Mullen

Cc: Mike Schewel via email



CITY OF RICHMOND, VA
Department of Planning and Development Review
Land Use Administration Division
900 East Broad Street, City Hall - Room 511, Richmond, Virginia 23219

AUTHORIZATION FROM PROPERTY OWNER

TO BE COMPLETED BY THE APPLICANT
Applicant must complete ALL items

HOME/SITE ADDRESS: _____ APARTMENT NO/SUITE _____

APPLICANT'S NAME: _____ EMAIL ADDRESS: _____

BUSINESS NAME (IF APPLICABLE): _____

SUBJECT PROPERTY OR PROPERTIES: _____

APPLICATION REQUESTED

- ☐ Plan of Development (New or Amendment)
- ☐ Wireless Plan of Development (New or Amendment)
- ☐ Special Use Permit (New or Amendment)
- ☐ Rezoning or Conditional Rezoning
- ☐ Certificate of Appropriateness (Conceptual, Administrative Approval, Final)
- ☐ Community Unit Plan (Final, Preliminary, and/or Amendment)
- ☐ Subdivision (Preliminary or Final Plat Correction or Extension)

TO BE COMPLETED BY THE AUTHORIZED OWNER
Owner must complete ALL items

Signing this affidavit acknowledges that you, as the owner or lessee of the property, authorize the above applicant to submit the above selected application/s on your behalf.

PROPERTY OWNER: Belle4316, LLC

PROPERTY OWNER ADDRESS: _____

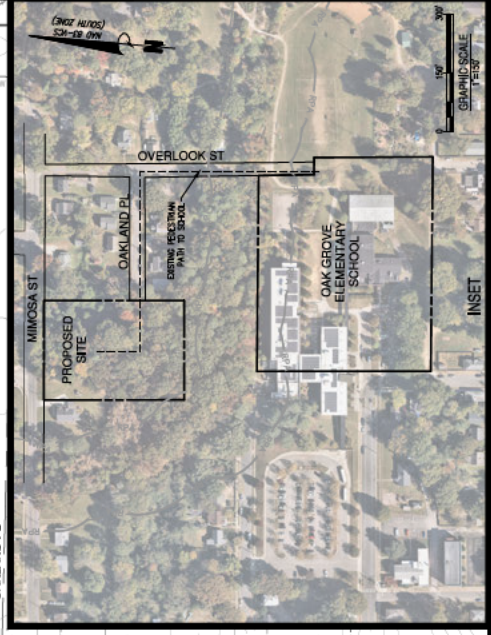
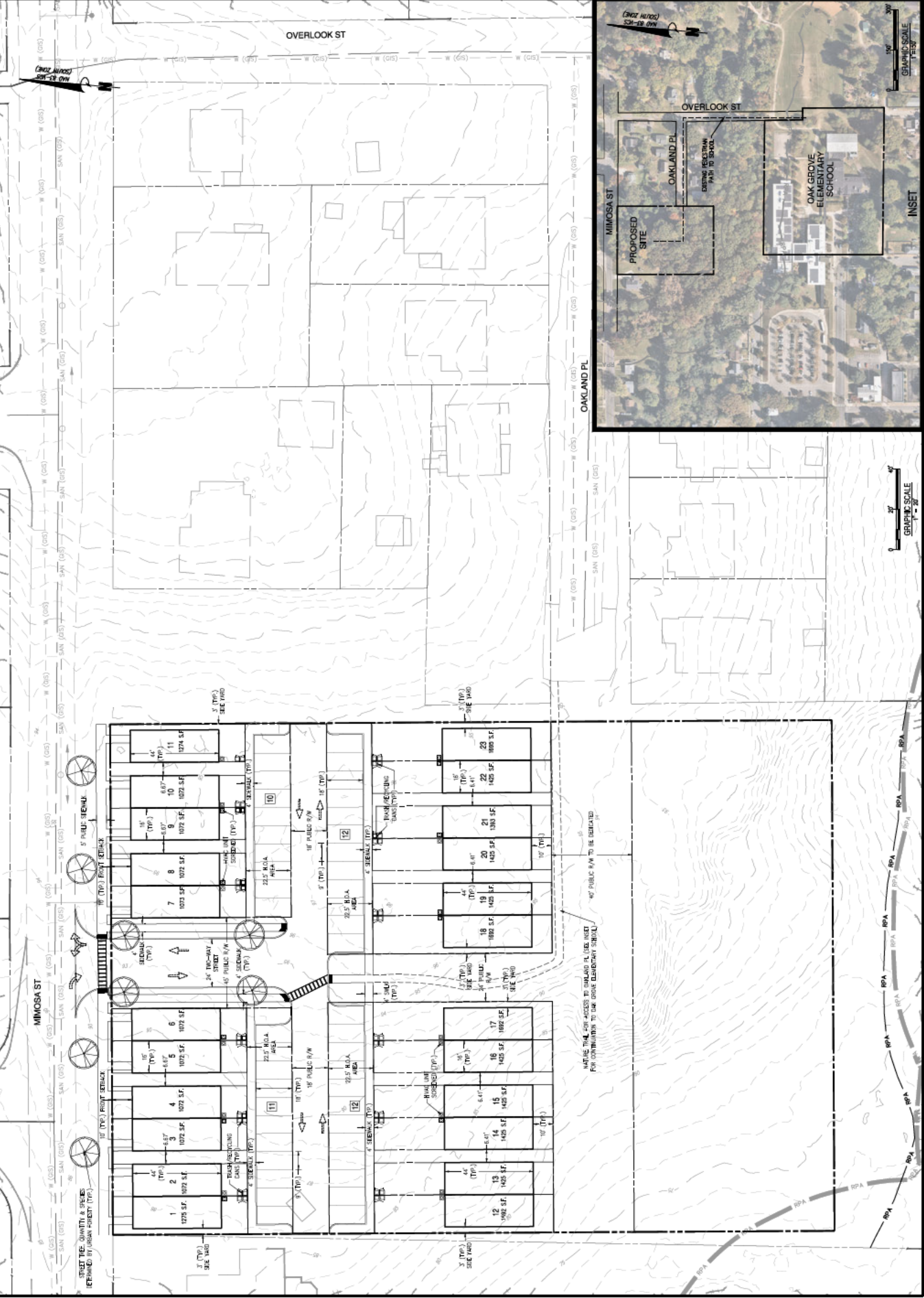
PROPERTY OWNER EMAIL ADDRESS: _____

PROPERTY OWNER PHONE NUMBER: _____

Signed by: _____
Property Owner Signature Michael Schewel
D91A1DD94ADB4B0...

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney.

NO.	DATE	REVISION
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MIMOSA RESIDENCE

THE MIMOSA

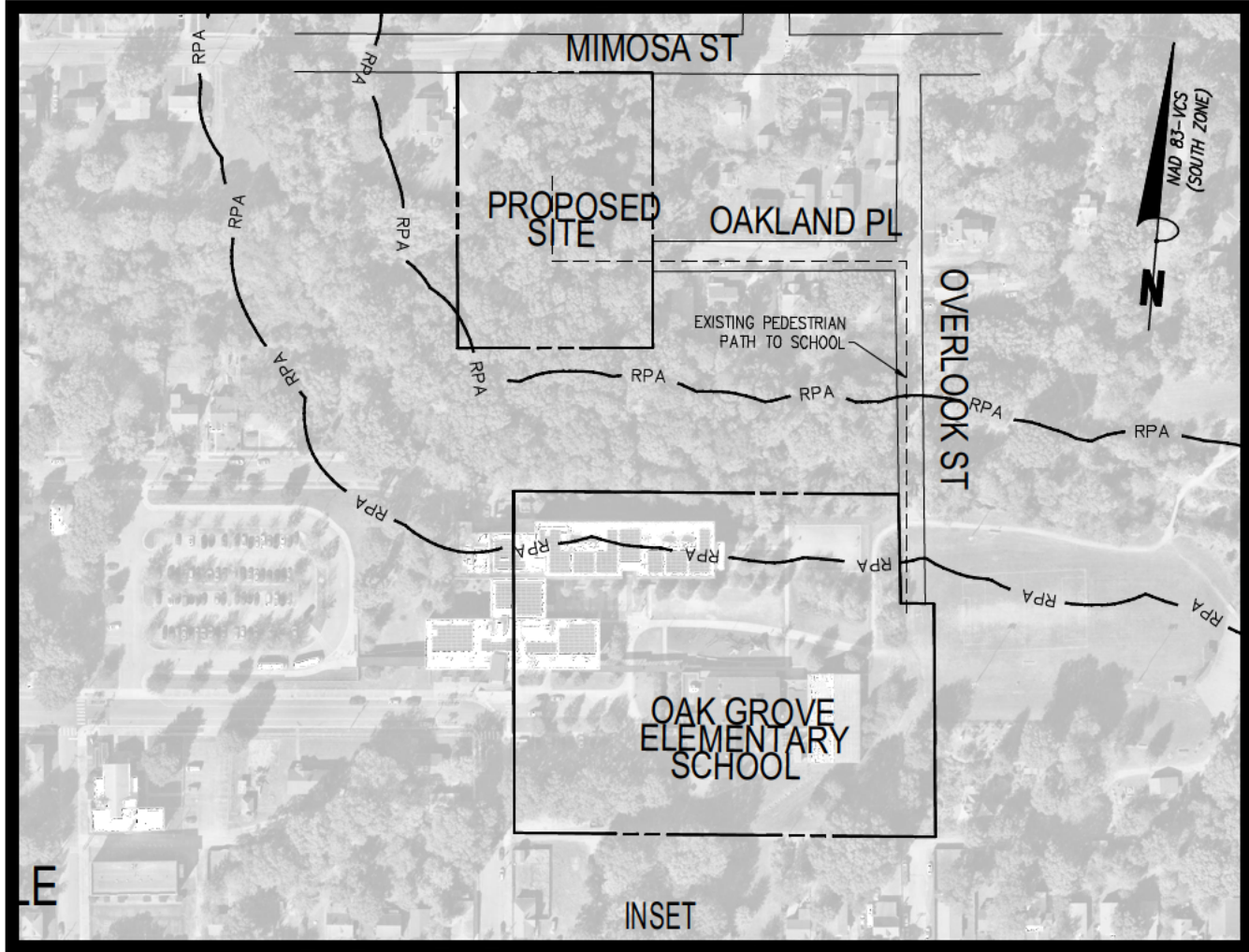
FRONT FACADE



PROJECT DESCRIPTION

TWO STORY NEW CONSTRUCTION SINGLE FAMILY RESIDENCE WILL BE A 3 BEDROOM & 2 1/2 BATH HOUSE .

VICINITY MAP



BUILDING AREA (SF)

BUILDING AREA TOTAL:	1,405.97	SQ. FT.
FIRST FLOOR HEATED:	671.99	SQ. FT.
SECOND FLOOR HEATED:	635.93	SQ. FT.
ENTRY PORCH:	35.84	SQ. FT.
REAR PORCH:	35.84	SQ. FT.
STAIR VOID/VOID:	26.37	SQ. FT.
APPROX. BUILDING HEIGHT:	23'-10"	

DRAWING INDEX

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FLOOR PLANS	A1.2
ELEVATIONS	A1.3

GENERAL NOTES & REQUIREMENTS

GENERAL NOTES

- THESE DRAWINGS ARE DIAGRAMMATIC INTENDED TO OUTLINE GENERAL REQUIREMENTS ONLY AND NOT INTENDED TO BE COMPLETE IN ALL DETAILS. SPECIFIC IMPLEMENTATIONS OF THE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO REPRESENTS HE HAS THE SKILLS AND EXPERT KNOWLEDGE TO EXECUTE THE WORK REQUIRED.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE REQUIRED TO CHECK AND VERIFY THAT PLANS CONFORM TO ALL REQUIREMENTS AND LOCAL ORDINANCES, BUILDING CODES AND MANUFACTURERS' RECOMMENDATIONS PRIOR TO BEGINNING WORK.
- SOIL BEARING CAPACITY IS ASSUMED TO BE 1500 PSF MINIMUM. FOOTINGS SHALL BE PLACED ON UNDISTURBED EARTH, AND SLAB ON COMPACTED FILL WITH 95% DRY DENSITY.
- MEASUREMENTS AND WORKING CONDITIONS FOR ALL WORK SHALL BE TAKEN AT THE SITE AND COORDINATED WITH CONNECTIONS WORKS BY EACH SUBCONTRACTOR.
- ANY WORK NOT DIRECTLY SHOWN ON THE DRAWINGS OR LISTED IN THE SPECIFICATIONS (IF APPROVED), BUT ARE IMPLIED OR OTHERWISE NORMALLY CONSIDERED PART OF A SUCCESSFUL INSTALLATION, SHALL BE REQUIRED AND CONSIDERED AN INTEGRAL PART OF THIS WORK.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, DIMENSIONS AND DETAILS SHOWN IN THE DRAWINGS BEFORE LAYING OUT OR PROCEEDING WITH WORK AND SHALL BE HELD ACCOUNTABLE FOR ANY ERROR RESULTING FROM FAILURE TO EXERCISE SUCH VERIFICATION. DISCREPANCIES SHALL BE PROVIDED TO THE BUILDER IN WRITING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES FOR PROPER INSTALLATION. ALL WORK SHALL BE DONE BY SKILLED MECHANICS IN ACCORDANCE WITH THE BEST PRACTICE FOR A SUBSTANTIAL AND COMPLETE JOB.
- ANY MODIFICATIONS TO THE DRAWINGS OR CHANGES TO THE CONSTRUCTION ON SITE SHALL BE CHECKED FOR EFFECT TO OTHER AREAS AND VERIFIED WITH THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL ENGINEERED LUMBER SUCH AS LAMINATED VENEER LUMBER, ROOF TRUSSES, FLOOR TRUSSES & I-JOIST ARE INDICATED AS STRUCTURAL MEMBERS. CONTRACTOR TO HAVE MANUFACTURER'S REPRESENTATIVE ISSUE CALCULATIONS FOR ALL ENGINEERED LUMBER TO THE BUILDING INSPECTIONS DEPARTMENT UPON APPLICATION OF BUILDING PERMIT.

CONSTRUCTION NOTES

- ROOFING CONTRACTOR TO INSTALL ICE & WATER SHIELD ON ROOF TO EAVE 2'-0" INSIDE EXTERIOR WALL LINE.
- USE PRESSURE TREATED LUMBER BAND BOARD AND SILL PLATE WHERE DECKS, PORCHES AND OTHER APPURTENANCES ARE ATTACHED.
- MECHANICAL, ELECTRICAL AND PLUMBING INFORMATION PROVIDED BY OTHERS. THESE TRADES ARE RESPONSIBLE FOR THEIR OWN PERMITS.
- VERIFY THAT FRAMING AND CONSTRUCTION DIMENSIONS ARE COORDINATED WITH SHOP DRAWINGS OF REQUIRED CASEWORK, HVAC EQUIPMENT, BATHTUBS OR OTHER FIXTURES AND EQUIPMENT PRIOR TO CONSTRUCTION, ORDERING AND INSULATION.
- CONTRACTOR SHALL CAULK, FLASH OR OTHERWISE MAKE THE BUILDING WEATHER-TIGHT. SEAL ALL GAPS BETWEEN DISSIMILAR MATERIALS.

CONTINUED

DIMENSIONS & FRAMING

- ALL DIMENSIONS ARE ACTUAL AND ARE SHOWN FROM FACE OF STUD OR FACE OF MASONRY UNLESS INDICATED OTHERWISE.
- INTERIOR PARTITIONS ARE ILLUSTRATED AS 3 1/2" WALL STUDS @ 16" O.C. UNLESS INDICATED OTHERWISE.
- EXTERIOR FRAMED PARTITIONS ARE ILLUSTRATED AS 3 1/2" WALL STUDS, 1/2" SHEATHING (4" TOTAL) UNLESS INDICATED OTHERWISE.
- WOOD ROOF TRUSSES SHALL BE DESIGNED AND MANUFACTURED BY A LOCAL TRUSS MANUFACTURER UNDER THE SUPERVISION OF AN ENGINEER REGISTERED IN THE COMMONWEALTH OF VIRGINIA. THE TRUSS MANUFACTURER SHALL SUBMIT DETAILED TRUSS SHOP DRAWINGS, SEALED BY THE SUPERVISING ENGINEER TO THE GENERAL CONTRACTOR FOR APPROVAL BEFORE BEGINNING ANY WORK.

DIMENSIONS & FRAMING

APPLICABLE CODES: VIRGINIA RESIDENTIAL CODE 2021 & INTERNATIONAL RESIDENTIAL CODE 2021
USE GROUP: SINGLE FAMIL RESIDENTIAL

- EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. FOR GRADE FLOOR WINDOWS. A MINIMUM NET CLEAR WIDTH AND HEIGHT DIMENSION OF 20" & 24" RESPECTIVELY. THE SILL HEIGHT SHALL NOT BE GREATER THAN 44" ABOVE FINISHED FLOOR.
- SMOKE DETECTORS SHALL BE INTERCONNECTED AND RECEIVE THEIR PRIMARY POWER BY PERMANENT CONNECTION TO THE DWELLING ELECTRICAL SYSTEM AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.
- EXHAUST FAN AND CONDENSATE LINES SHALL BE RUN TO AN APPROVED EXTERIOR DISCHARGE.
- BRIDGING AND BLOCKING ON ALL 8'-0" SPANS AND AT MIDPOINTS OF SPANS.
- PROVIDE GROUND TREATMENT THROUGHOUT.
- ALL EXPOSED DECK & SCREENED PORCH LUMBER TO BE COMPOSITE OR PRESSURE TREATED.

STRUCTURAL NOTES

GENERAL NOTES

THE CONDITIONS AND ASSUMPTIONS STATED IN THESE SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR FOR CONFORMANCE TO ALL CODES AND CONDITIONS. IN THE EVENT OF ANY DISCREPANCY BETWEEN THESE SPECIFICATIONS AND CODES, THE CONTRACTOR SHALL NOTIFY THE BUILDER IN WRITING OF THE DISCREPANCY AND ALTERNATE PRESCRIBED MEASURES.

LIVE LOADS, DEAD LEADS, WIND LOADS, SNOW LOADS, LATERAL LOADS, SEISMIC ZONING, AND ANY OTHER SPECIALTY LOADING WILL NEED TO BE CONFIRMED BEFORE CONSTRUCTION AND DEALT WITH ACCORDINGLY

MINIMUM LIVE LOADS (PSF)

- LIVING AREAS 40
- SLEEPING AREAS 30
- ATTICS W/ STORAGE 30
- HABITABLE ATTICS 30
- BALCONIES & DECKS 40
- GARAGES 50
- STAIRS 40

CONCRETE COMPRESSIVE STRENGTH

- BASEMENT WALLS, FOUNDATIONS (NOT EXPOSED TO WEATHER), FLOORS & INTERIOR SLABS SHALL BE 2500 PSI MINIMUM
- EXTERIOR BASEMENT/FOUNDATION WALLS (EXPOSED TO WEATHER, SUPPORTED BY EARTH) SHALL BE 3000 PSI MINIMUM
- EXTERIOR SLABS, PORCHES, PATIOS, SIDEWALKS, DRIVEWAYS, GARAGE SLABS SHALL BE 3500 PSI MINIMUM

WOOD

- ALL SOLID SAWN HEADERS, BEAMS, AND GIRDERS SHALL BE MINIMUM SPF #2.
- PROVIDE CONTINUOUS DOUBLE TOP PLATES ACROSS ALL BEARING STUD WALLS.
- MINIMUM COLUMN SUPPORT UNDER ANY BEAM OR HEADER SHALL BE A SINGLE 2x4 STUD (OR MORE IF REQUIRED).
- ALL POSTS SHALL EXTEND TO FOOTING OR BE TRANSFERRED TO A BEAM BELOW.
- FOUNDATION ANCHORAGE PER IRC R403.1.6.
- ALL STRUCTURAL COMPOSITE LUMBER SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
- JOISTS AND RAFTERS LIMITS SHALL BE PER IRC SPAN TABLES.

MASONRY

- MORTAR SHALL BE TYPE M OR S.
- BRICK VENEER SHALL BE ATTACHED TO FRAMING WITH MINIMUM 22 GAUGE GALVANIZED CORRUGATED STEEL TIES AT 24" VERTICALLY AND 32" O.C. HORIZONTALLY.
- LINTEL SPAN LIMITS: 8" BEARING AT EACH END, MAX 12'-0" OPENING FOR 2-2x12 LINTEL.



KEEL CUSTOM HOMES
2120 STAPLES MILL RD, STE 200
RICHMOND, VA 23230
804.206.9280

COPYRIGHT NOTICE:

THE DESIGN, INFORMATION, PLANS, AND SPECIFICATIONS APPEARING IN THESE DRAWINGS ARE THE PROPERTY OF KEEL HOMES. DUPLICATION IS PROHIBITED.

REVISIONS

THE MIMOSA

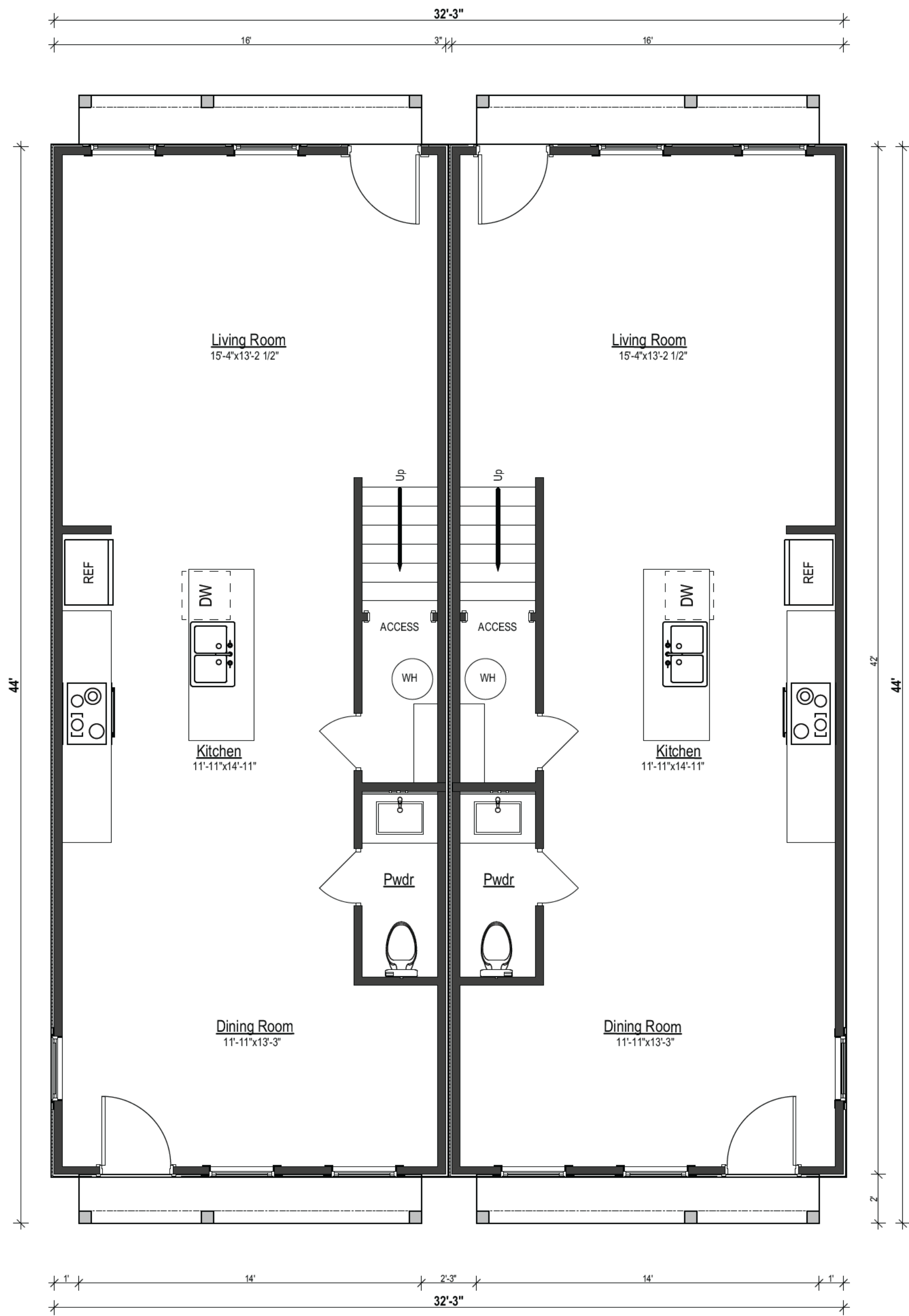
MIMOSA RESIDENCE

2310 MIMOSA STREET,
RICHMOND, VIRGINIA

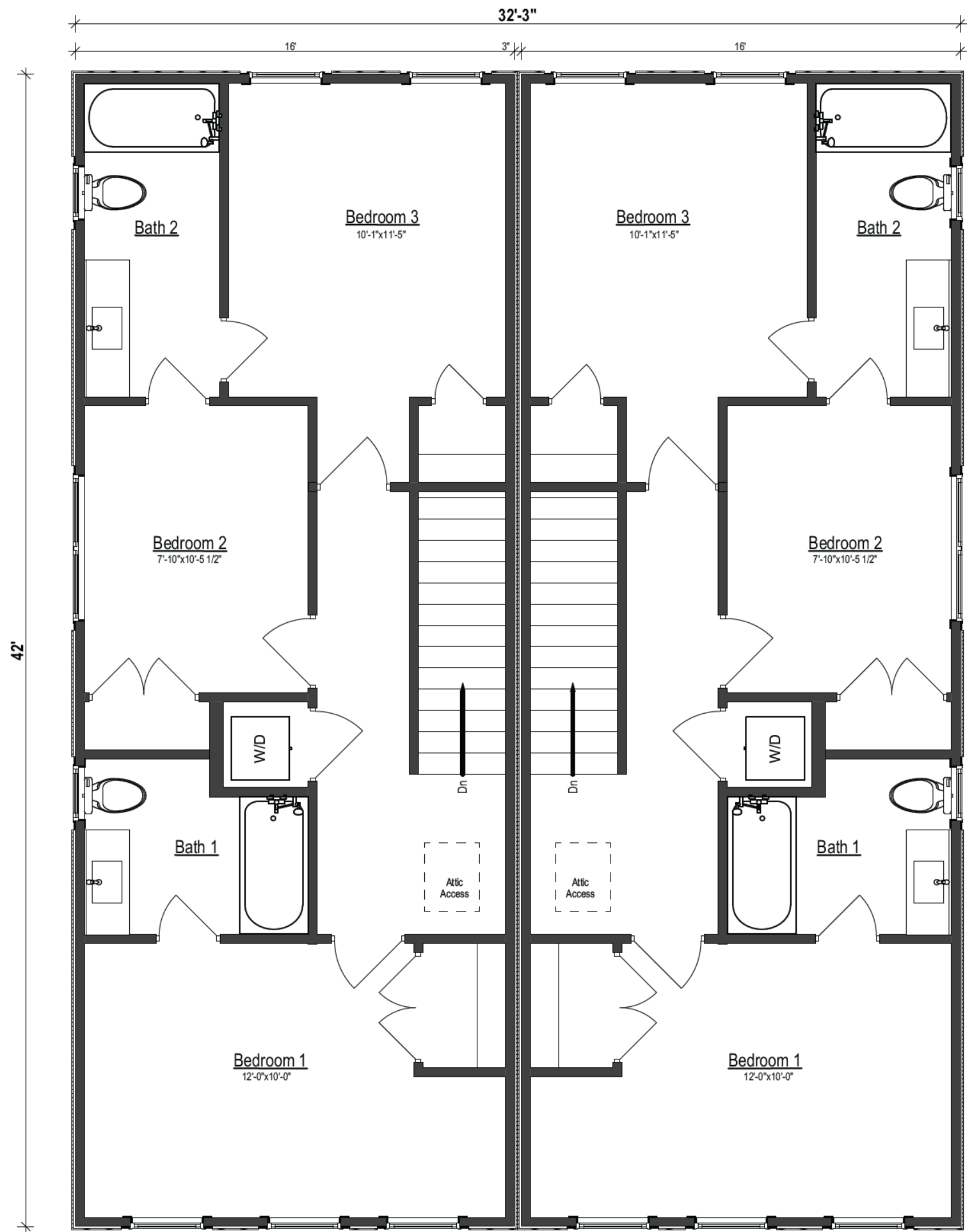
16 OCT 2025

COVER PAGE

CS



1 FIRST FLOOR PLAN
SCALE: 1/4" : 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" : 1'-0"



KEEL CUSTOM HOMES
2120 STAPLES MILL RD, STE 200
RICHMOND, VA 23230
804.206.9280

COPYRIGHT NOTICE:
THE DESIGN, INFORMATION, PLANS, AND
SPECIFICATIONS APPEARING IN THESE
DRAWINGS ARE THE PROPERTY OF KEEL
HOMES. DUPLICATION IS PROHIBITED.

REVISIONS

THE MIMOSA

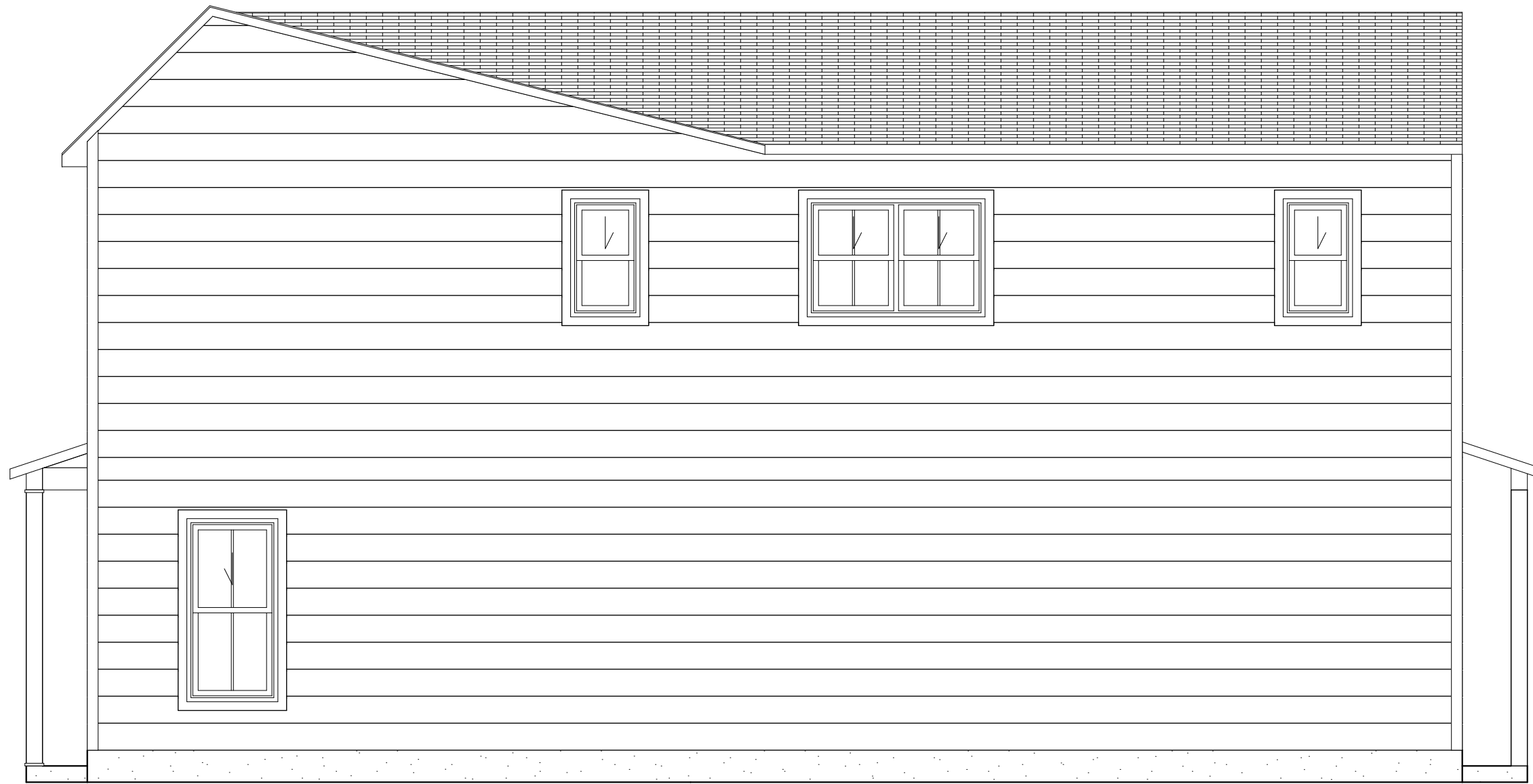
MIMOSA RESIDENCE

2310 MIMOSA STREET,
RICHMOND, VIRGINIA

16 OCT 2025

FLOOR PLANS

A1.2



2 RIGHT ELEVATION
SCALE: 1/4" : 1'-0"



4 FRONT ELEVATION
SCALE: 1/4" : 1'-0"



1 LEFT ELEVATION
SCALE: 1/4" : 1'-0"



3 ALTERNATIVE FRONT ELEVATION
SCALE: 1/4" : 1'-0"



KEEL CUSTOM HOMES
2120 STAPLES MILL RD, STE 200
RICHMOND, VA 23230
804.206.9280

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THE DESIGN, INFORMATION, PLANS, AND
SPECIFICATIONS APPEARING IN THESE
DRAWINGS ARE THE PROPERTY OF KEEL
HOMES. DUPLICATION IS PROHIBITED.

REVISIONS

THE MIMOSA

MIMOSA RESIDENCE

2310 MIMOSA STREET,
RICHMOND, VIRGINIA

16 OCT 2025

ELEVATIONS

A1.3

**SPECIAL LIMITED POWER OF ATTORNEY
LAND USE APPLICATIONS**

KNOW ALL MEN BY THESE PRESENTS, that the undersigned Bernard H. Massenburg has made, constituted and appointed, and by these presents does hereby make, constitute and appoint **JENNIFER D. MULLEN** or **KIMBERLY M. LACY**, either of whom may act, our true and lawful attorney-in-fact ("Attorney"), to act as our true and lawful attorney-in-fact in our name, place and stead with such full power and authority we would have, if acting personally, to file all such applications required by the City of Richmond, Virginia (the "City"), with respect to that certain real property currently under contract the undersigned, such real estate being located in the City of Richmond, commonly known as situated at 2310 Mimosa Street (the "Property"), including, but not limited to, an application for a special use permit for Property. Our said Attorney is also authorized and directed to sign, seal, acknowledge and deliver all such documentation and consents as required, and to do, execute and perform all and every other act or acts, thing or things in law needful and necessary to be done as required for the rezoning and conditional use permit applications and related to the Property, as fully as we might or could do if acting personally.

The undersigned hereby confirm all lawful acts done by our Attorney pursuant to this Special Limited Power of Attorney. We further declare that as against ourselves or persons claiming under us, everything which our Attorney shall do pursuant to this Special Limited Power of Attorney shall be valid and binding in favor of any person or entity claiming the benefit hereof who has not received actual written notice that this Special Limited Power of Attorney has been revoked.

This Special Limited Power of Attorney has been executed pursuant to due authorization as of the date first above written.

By: Bernard H. Masseburg
Bernard H. Masseburg

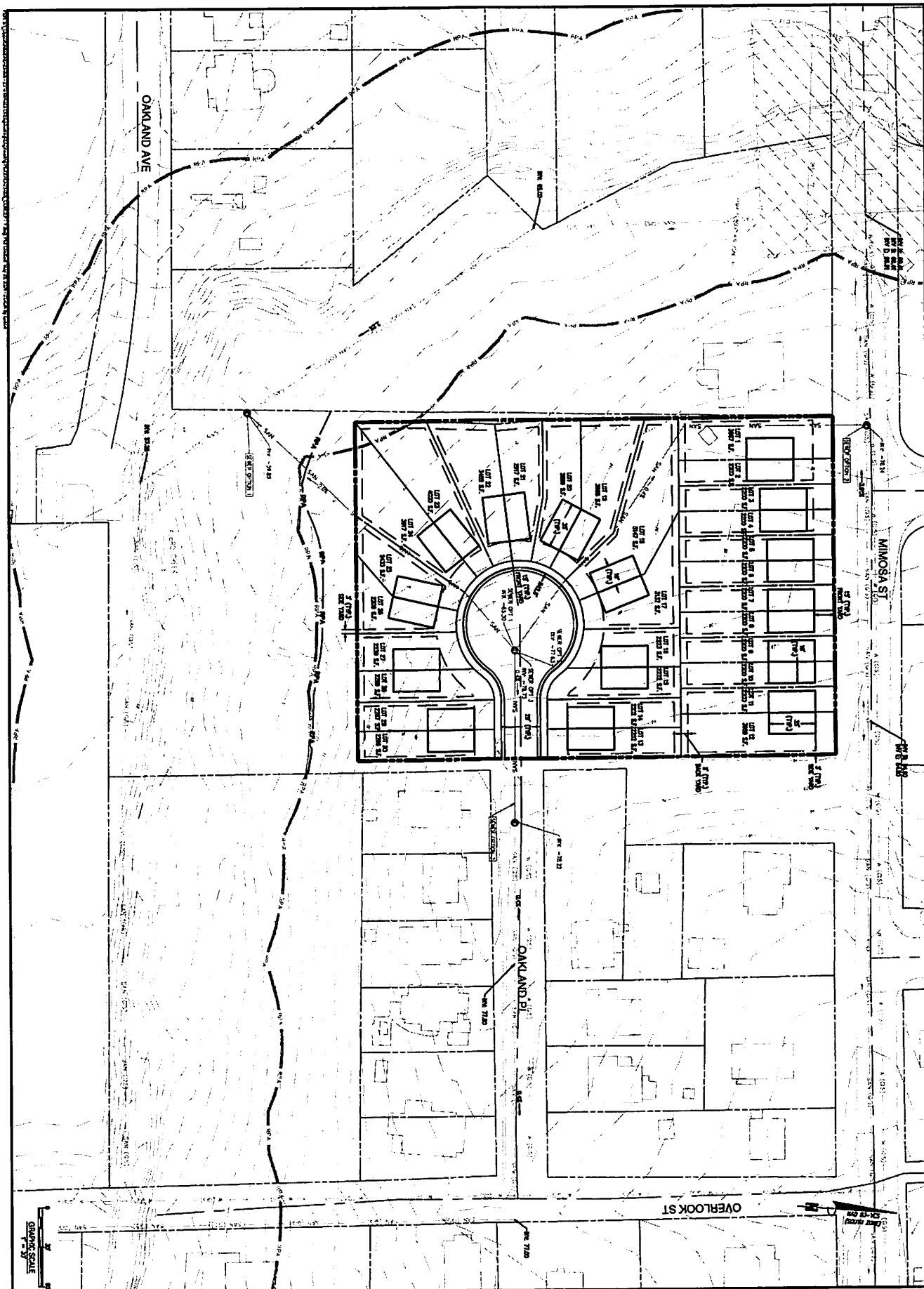
STATE OF VIRGINIA,
CITY/COUNTY OF RICHMOND, To-wit:

This instrument was acknowledged before me in the above-stated jurisdiction this 30TH
day of MAY, 2024 by Bernard H. Massenburg.

[Signature]
Notary Public

My commission expires: 7/31/24
Notary registration no.: _____





GRAPHIC SCALE
1" = 30'

CONSTRUCTION REVISION SUMMARY

NO.	DATE	DESCRIPTION
1	05/20/2024	ISSUED FOR PERMIT
2	05/20/2024	ISSUED FOR PERMIT
3	05/20/2024	ISSUED FOR PERMIT
4	05/20/2024	ISSUED FOR PERMIT
5	05/20/2024	ISSUED FOR PERMIT
6	05/20/2024	ISSUED FOR PERMIT
7	05/20/2024	ISSUED FOR PERMIT
8	05/20/2024	ISSUED FOR PERMIT
9	05/20/2024	ISSUED FOR PERMIT
10	05/20/2024	ISSUED FOR PERMIT

CONCEPT F
2310 MIMOSA STREET

OLD SOUTH DISTRICT

CITY OF RICHMOND, VIRGINIA

DRAFT

Bowman

947 Myers St | Ste B
Richmond, VA 23220

Phone (804) 646-0146
Fax (804) 276-0209

www.bowman.com
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**City of Richmond
Department of Planning
& Development Review**

Special Use Permit

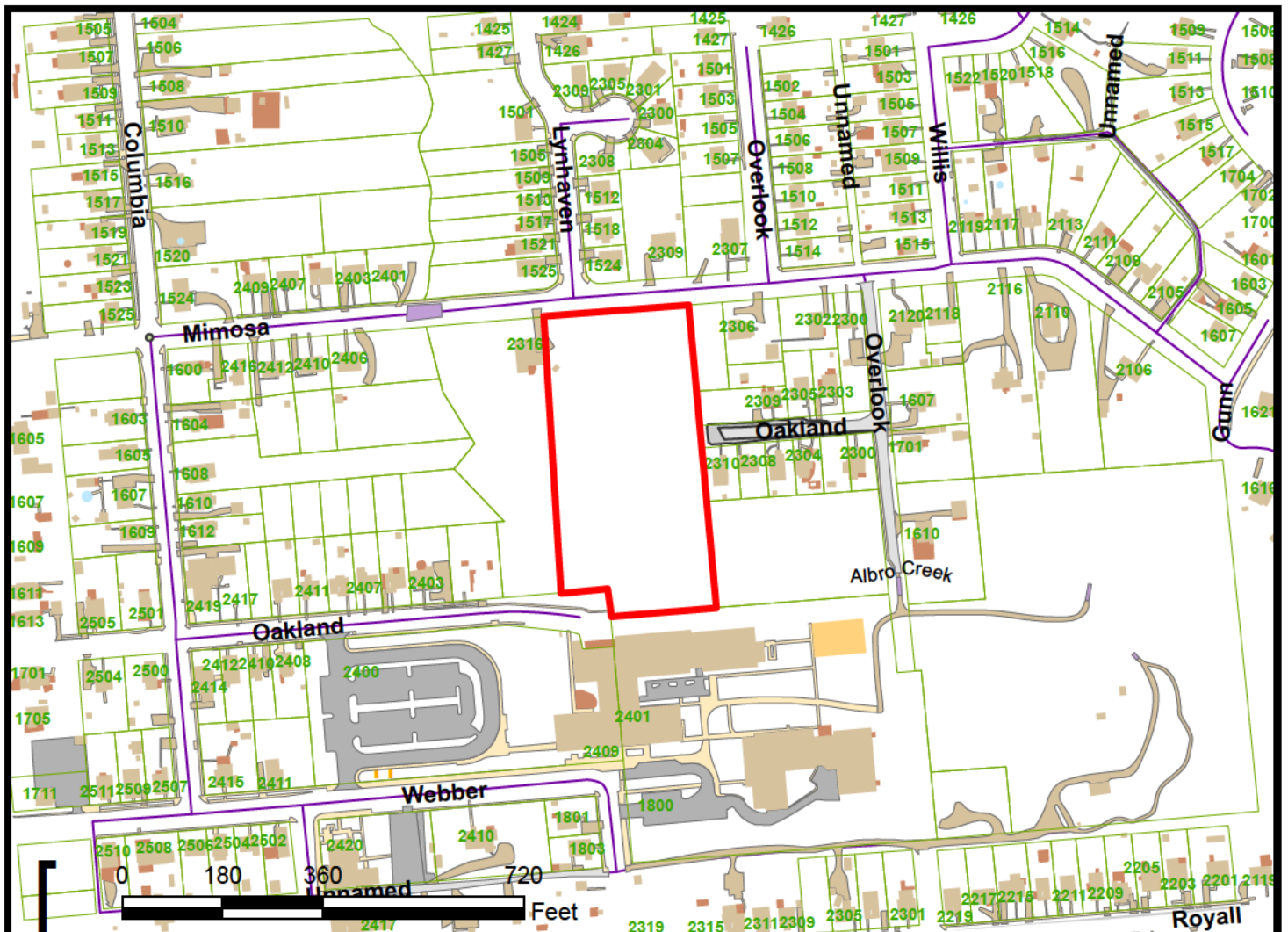
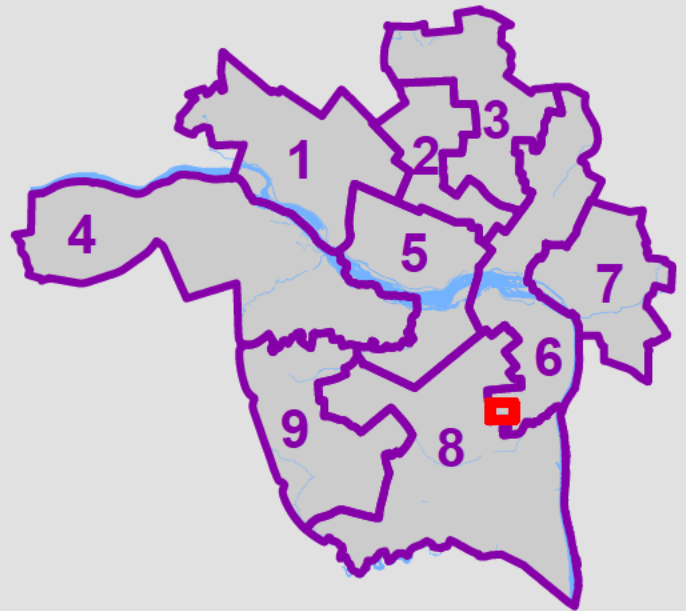
LOCATION: 2310 Mimosa Street

APPLICANT: Jennifer Mullen

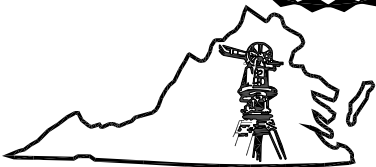
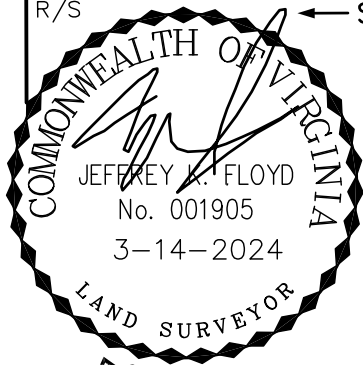
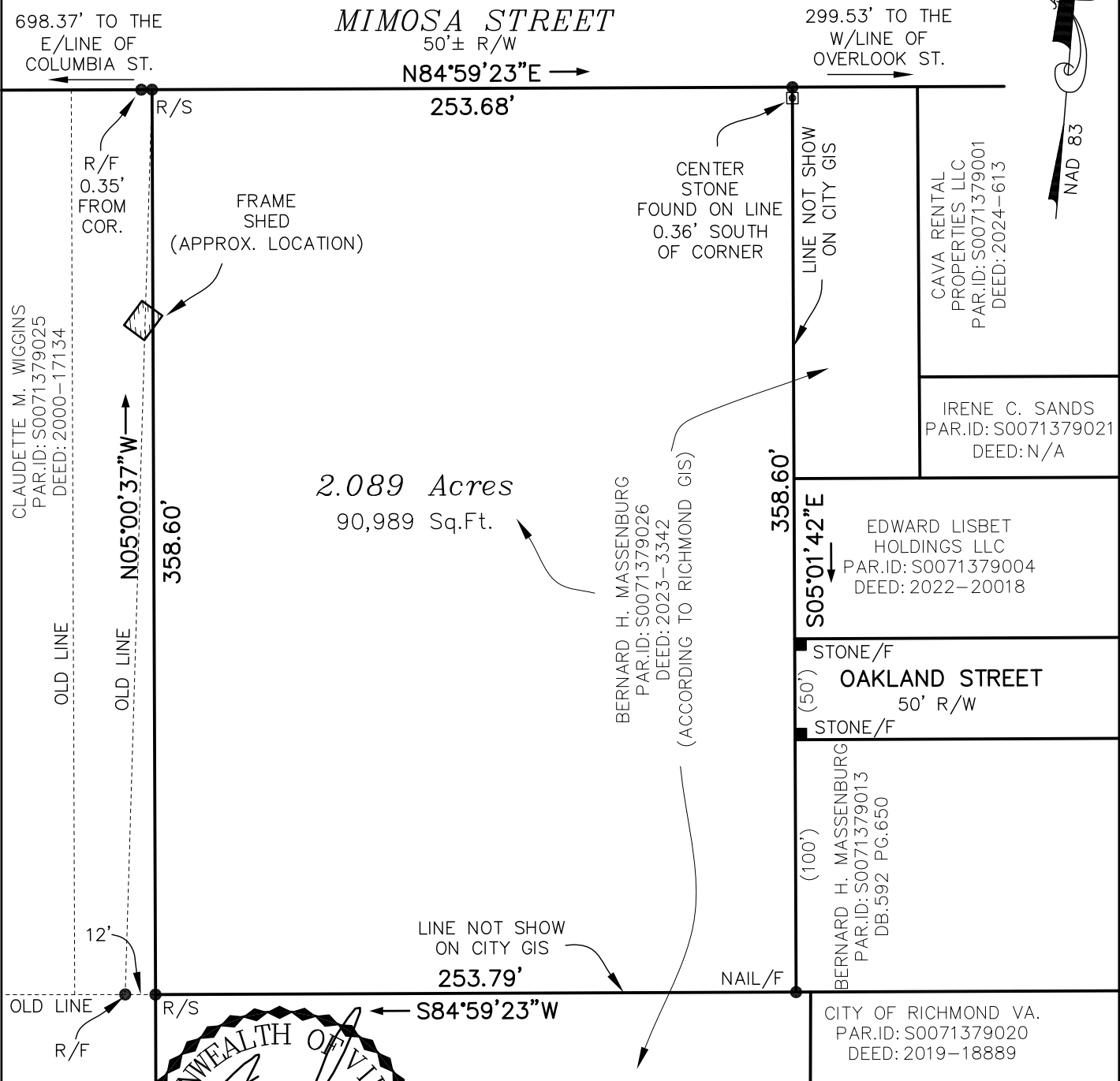
COUNCIL DISTRICT: 6

PROPOSAL: To authorize the special use of the property known as 2310 Mimosa Street for the purpose of up to 23 single-family attached dwellings, upon certain terms and conditions.

*For questions, please contact Alyson Oliver
at 804-646-5789 or alyson.oliver@rva.gov*



This is to certify to the PURCHASER/OWNER shown hereon, and his TITLE INSURER and Lender, that on 3-14-2024 I made an Accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than those shown hereon. This survey has been made without the benefit of a title search and is subject to any uses recorded and unrecorded and other pertinent facts in which a title search may disclose. Copies of this plat without the certifying surveyor's seal with an original signature are INVALID.



Virginia Surveys

P.O. BOX 118
CHESTERFIELD, VA 23832

(804) 748-9481
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MAP SHOWING THE IMPROVEMENTS
ON 2.089 Acres OF LAND SITUATED
ON THE SOUTH SIDE OF MIMOSA STREET
IN THE CITY OF RICHMOND, VA.

DATE: 3-15-2024

CERTIFIED BY JEFFREY K. FLOYD

VIRGINIA CERTIFICATE NO. 001905

SCALE: 1"=60'

JOB NO. 240216145