



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

### PROPERTY (location of work)

Address 305 W Broad Street, Richmond, VA 23220

Historic district Broad Street

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

### APPLICANT INFORMATION

Name Alex Davis

Phone 804-308-8007

Company ARCHITECTUREFIRM

Email adavis@architecturefirm.co

Mailing Address 309 N Adams St, Richmond, VA 23220

Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
 Other (please specify):

### OWNER INFORMATION (if different from above)

Name Ted Ukrop

Company 305 Broad, LLC

Mailing Address 10120 W Broad St, Ste. J

Phone 804-262-1585

Glen Allen, VA 23050

Email ted.ukrop@gmail.com

### PROJECT INFORMATION

Review Type:  Conceptual Review  Final Review

Project Type:  Alteration  Demolition  New Construction  
(Conceptual Review Required)

#### Project Description: (attach additional sheets if needed)

The work in this application covers new construction work in the existing courtyard behind 305 W Broad Street, including: 1) installation of a new, painted wood trash enclosure and privacy wall along the Madison Street property line, 2) new metal gate and 3) new metal pergola. The application also covers a new fabric awning in the historic location above the Broad Street storefront.

### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date 8-28-18

29 August 2018  
CAR Application

# Common House Richmond (CHR)

305 West Broad Street  
Richmond, Virginia



ARCHITECTURE FIRM

Existing Conditions



Broad Street View



Broad Street Entry



Madison Street View



Previous Courtyard Privacy Wall - Now Demolished

# Historic Photos



Historic Photo, circa 1925



Historic Photo, circa 1940

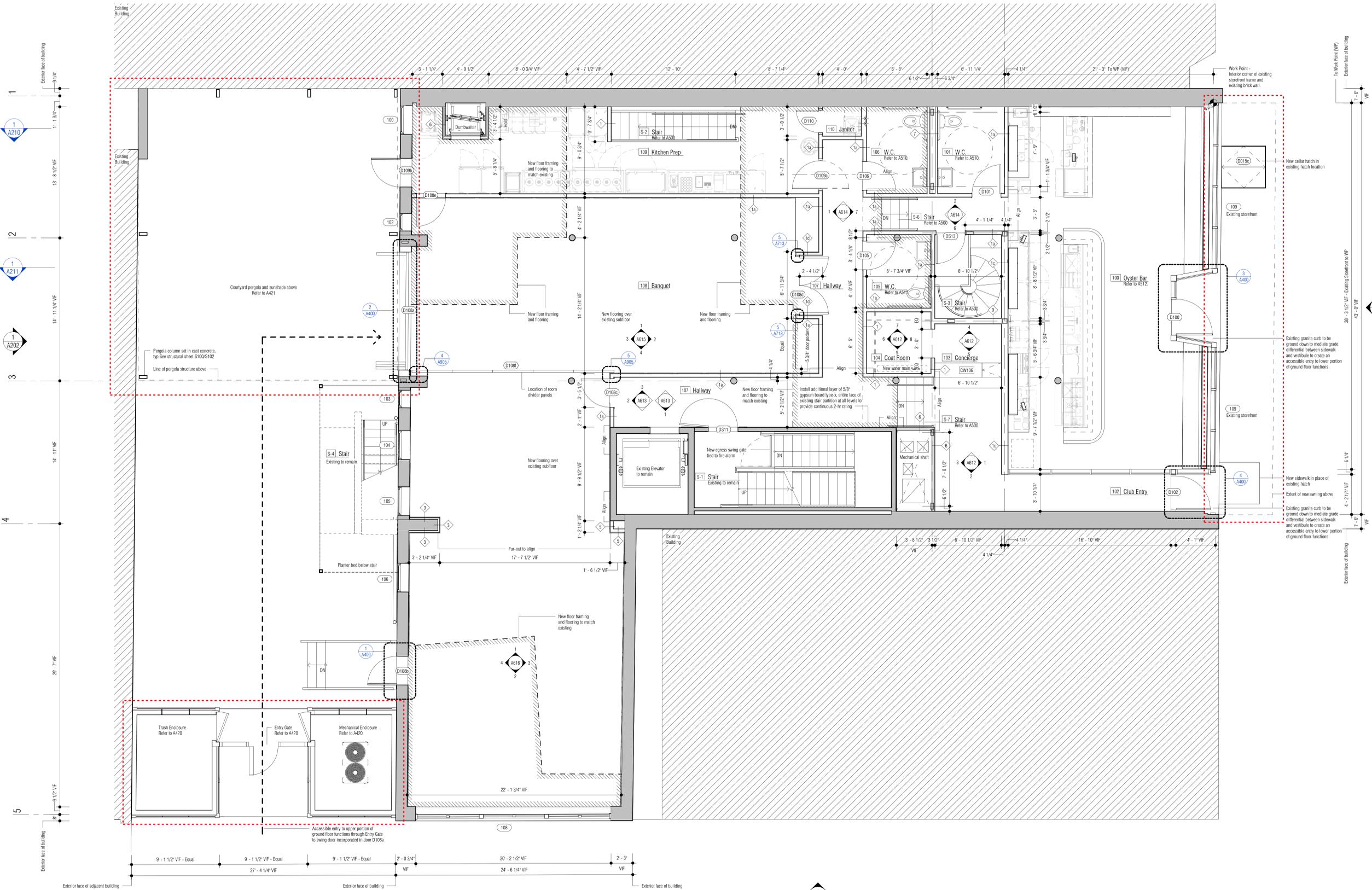
# Plans and Elevations

**Notes**

1. General notes, abbreviations, and symbols: Refer to A001
2. Enlarged 1/2" Plans: Refer to A400 and A500 series, containing wall type information and dimensions.
3. Reflected Ceiling Plans: Refer to A110 Series
4. Finish Legend and Schedule: Refer to A900 through A920
5. Millwork and Interior Details: Refer to A1700 Series
6. Interior Wall Partitions: Refer to A910
7. Door Schedule and Types: Refer to A903
8. Window Schedule and Types: Refer to A906
9. Refer to FS (Food Service Drawings) for Bars and Kitchens.
10. Elevator Renovation: Refer to A700
11. All existing exterior wall thickness V.F. All exterior walls exposed to the interior to receive new gypsum plaster skim coat over existing repaired plaster surface.
12. All dimensions are measure to face of finished wall or finished opening U.O.N.
13. All perimeter foundation walls to receive new waterproofing, etc.
14. Locate hing side of all doors 4" from F.O. neighboring wall, U.O.N.

**Legend**

- Existing walls to Remain
- Area of new floor framing



Revision 01  
Date TBD

Previous Issues	
Description	Date
Permit Set	11 March 2019
100% Construction Documents	5 April 2019

Plan - Ground Level

1/4" = 1'-0"

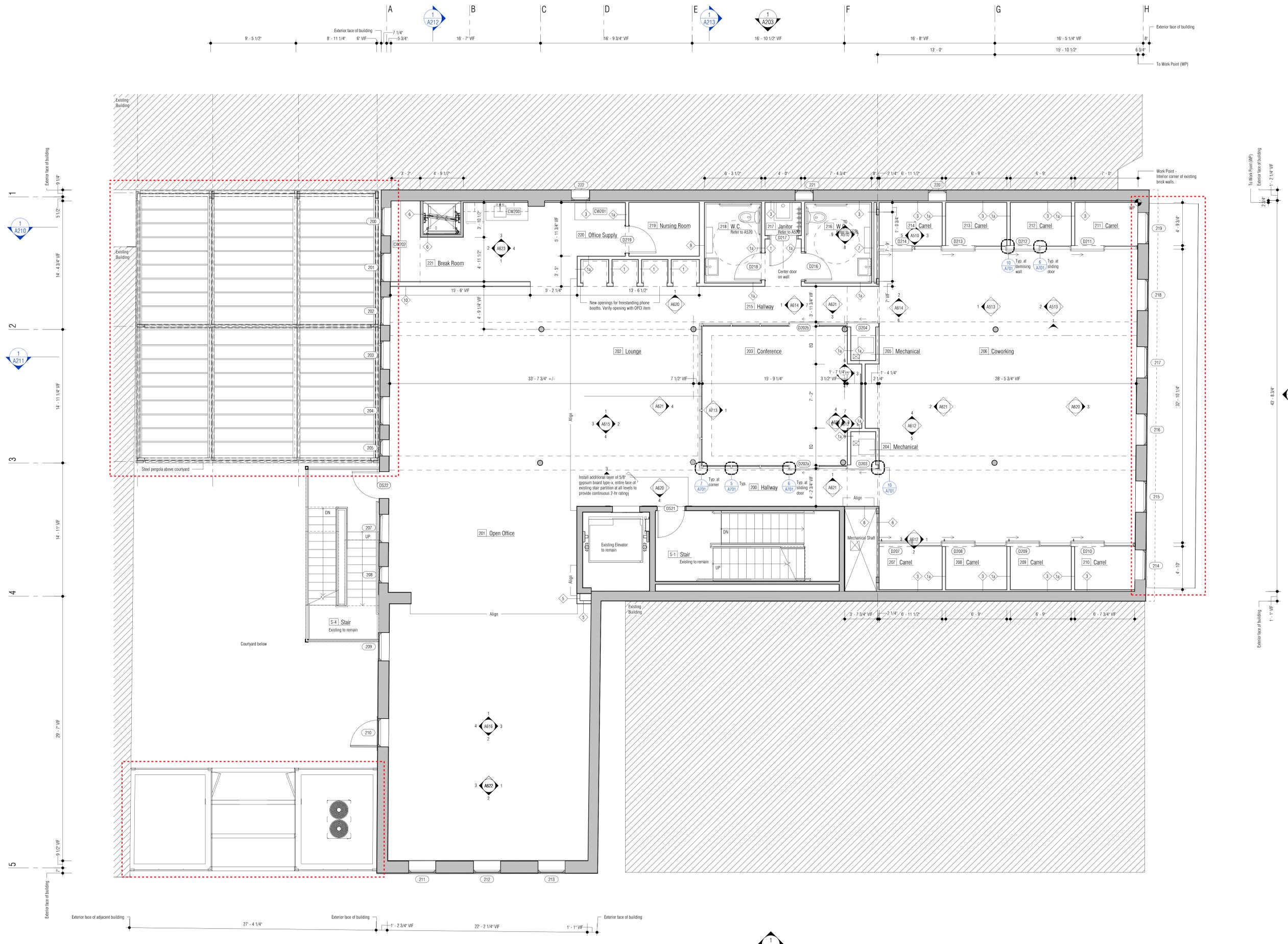
**A101**

**Notes**

1. General notes, abbreviations, and symbols: Refer to A001
2. Enlarged 1/2" Plans: Refer to A400 and A500 series, containing wall type information and dimensions.
3. Reflected Ceiling Plans: Refer to A110 Series
4. Finish Legend and Schedule: Refer to A900 through A920
5. Millwork and Interior Details: Refer to A700 Series
6. Interior Wall Partitions: Refer to A910
7. Door Schedule and Types: Refer to A903
8. Window Schedule and Types: Refer to A906
9. Refer to FS (Food Service Drawings) for Bars and Kitchens.
10. Elevator Renovation: Refer to A700
11. All existing exterior wall thickness V.F. All exterior walls exposed to the interior to receive new gypsum plaster skim coat over existing repaired plaster surface.
12. All dimensions are measure to face of finished wall or finished opening U.O.N.
13. All perimeter foundation walls to receive new waterproofing, etc.
14. Locate hing side of all doors 4" from F.O. neighboring wall, U.O.N.

**Legend**

Existing walls to Remain



Revision 01  
Date TBD

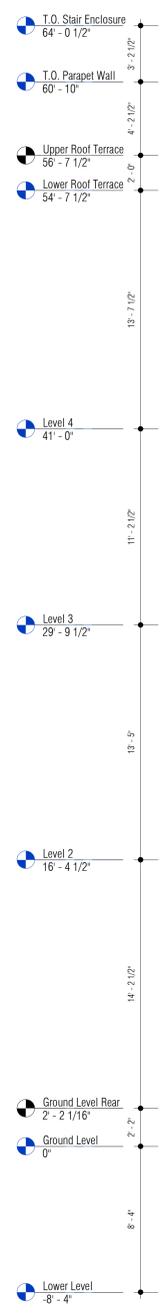
Previous Issues	
Description	Date
Permit Set	11 March 2019
100% Construction Documents	5 April 2019

Plan - Level 2

1/4" = 1'-0"

**A102**

Notes



Revision 01  
Date TBD

Previous Issues  
Description: Permit Set  
Date: 11 March 2019

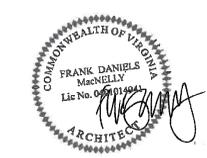
Exterior Elevation - North

1/4" = 1'-0"

**A200**

Common House Richmond  
305 W. Broad St.,  
Richmond, Virginia

Notes



Revision 01  
Date TBD

Previous Issues	
Description	Date
Permit Set	11 March 2019
100% Construction Documents	5 April 2019

Exterior Elevation - East

1/4" = 1'-0"

**A201**

Notes



Revision 01  
Date TBD

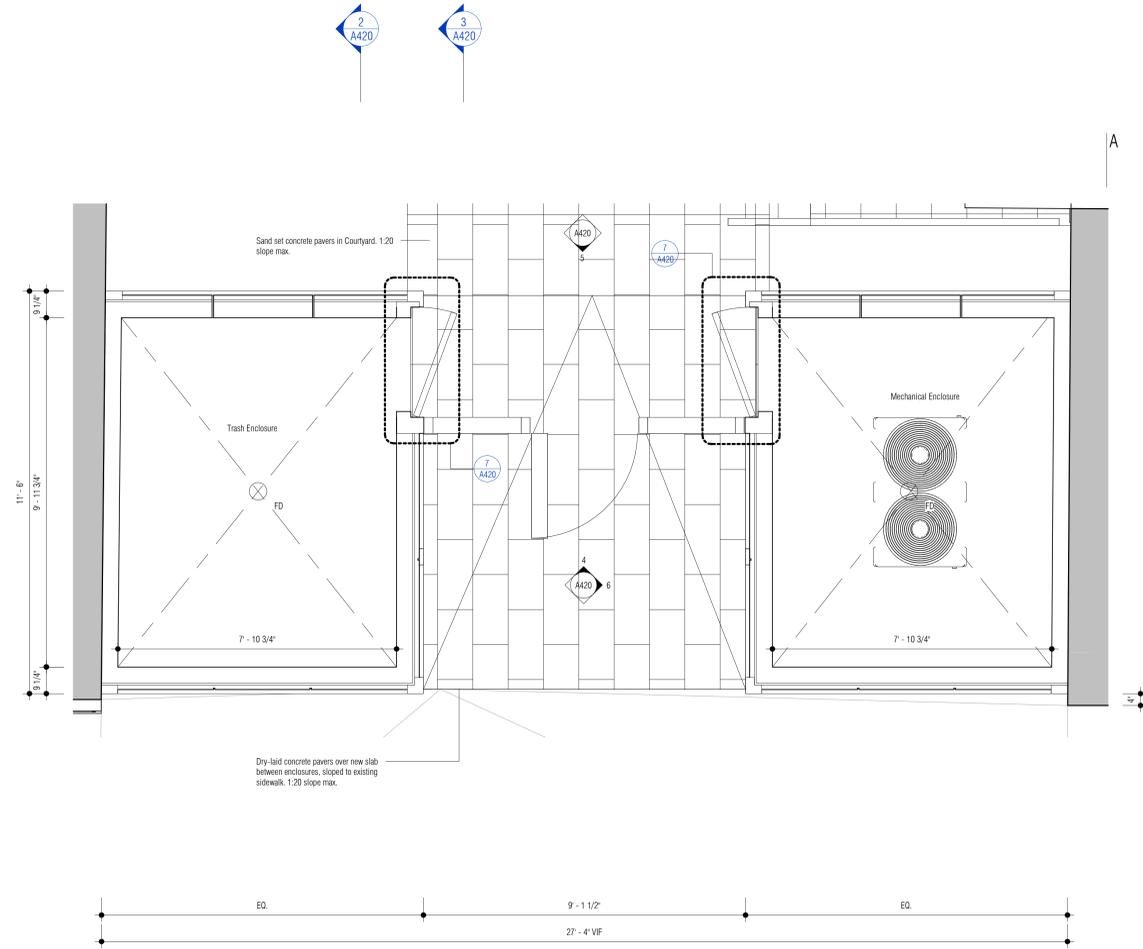
Previous Issues	
Description	Date
Permit Set	11 March 2019
100% Construction Documents	5 April 2019

Exterior Elevation - South

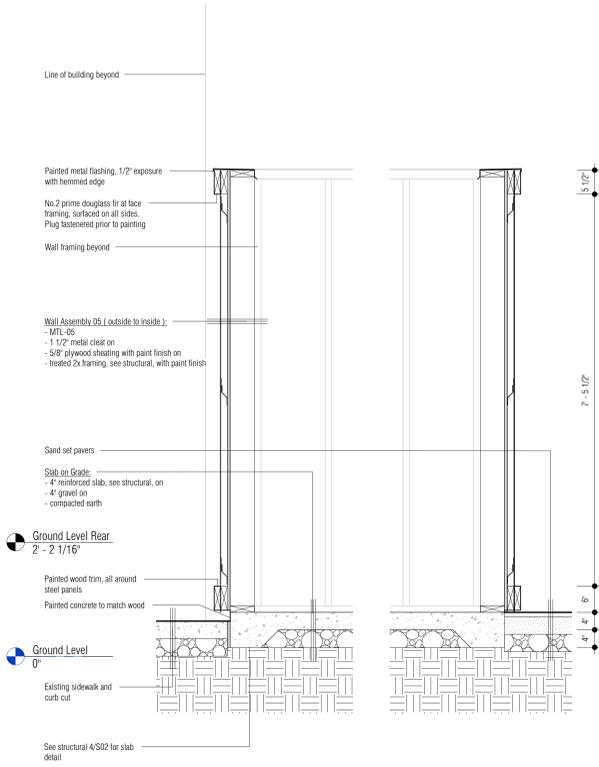
1/4" = 1'-0"

**A202**

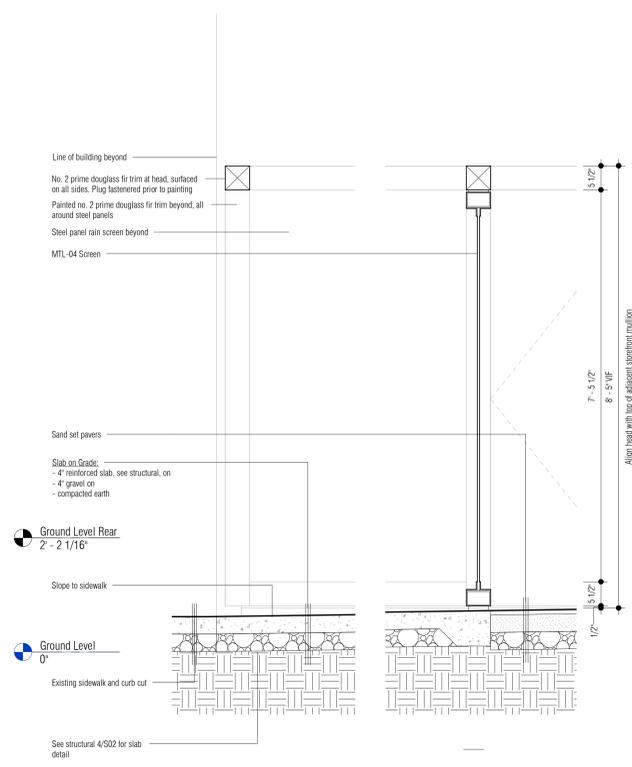
1 Enlarged Plan - Ground Level - Madison St. Courtyard Entry  
1/2" = 1'-0"



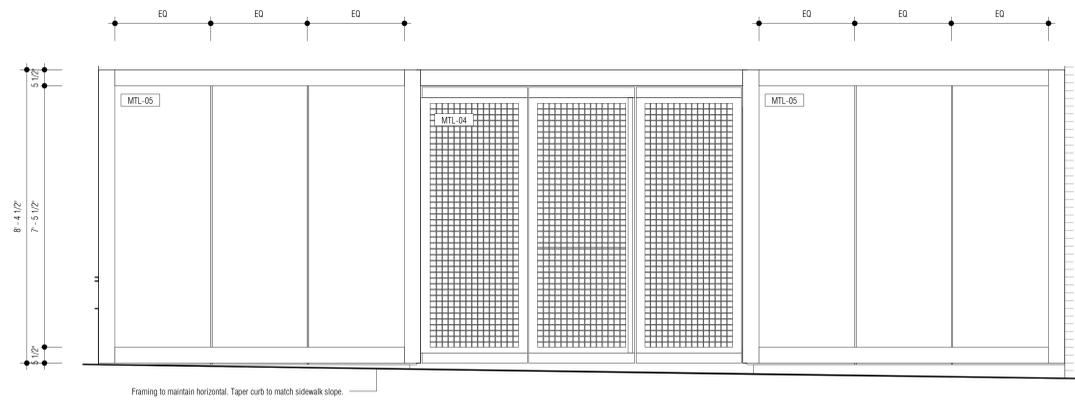
2 Wall Section - Courtyard Entry Enclosure  
3/4" = 1'-0"



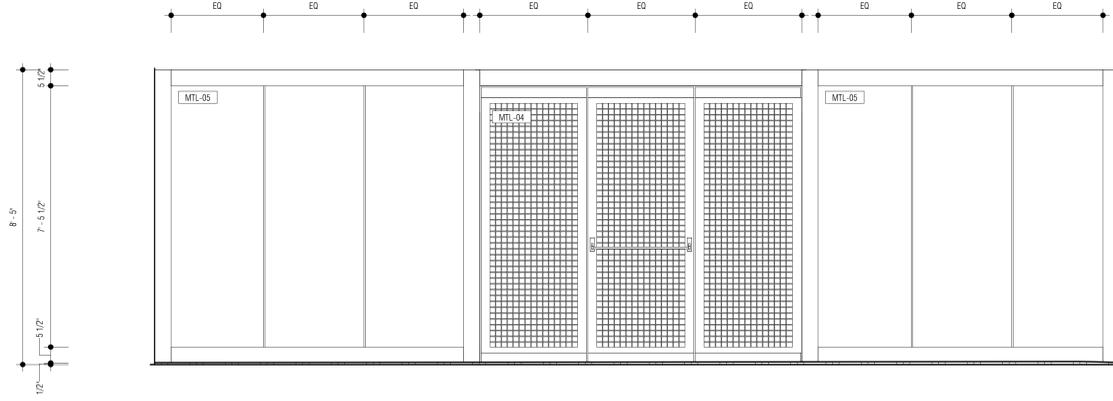
3 Wall Section - Courtyard Entry Gates  
3/4" = 1'-0"



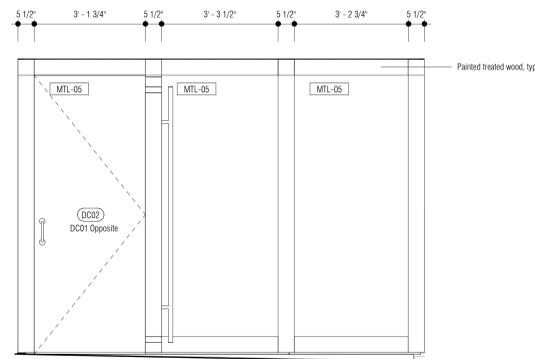
4 Exterior Elevation - Madison St. Courtyard Entrance - West  
1/2" = 1'-0"



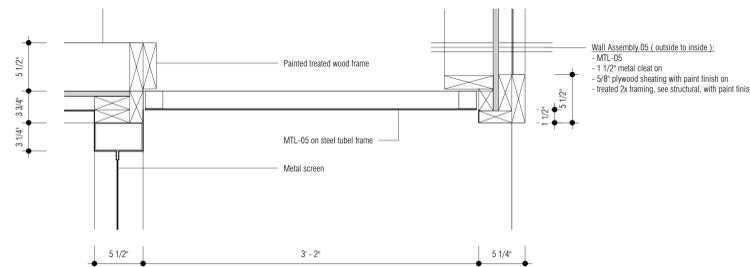
5 Exterior Elevation - Madison St. Courtyard Entrance - East  
1/2" = 1'-0"



6 Exterior Elevation - Madison St. Courtyard Entrance - North (South Mirrored)  
1/2" = 1'-0"



7 Plant Detail - Ground Level - Trash Enclosure Door DC01/02  
1 1/2" = 1'-0"



Notes

Align base with top of adjacent stairwell structure.



Revision 01  
Date TBD

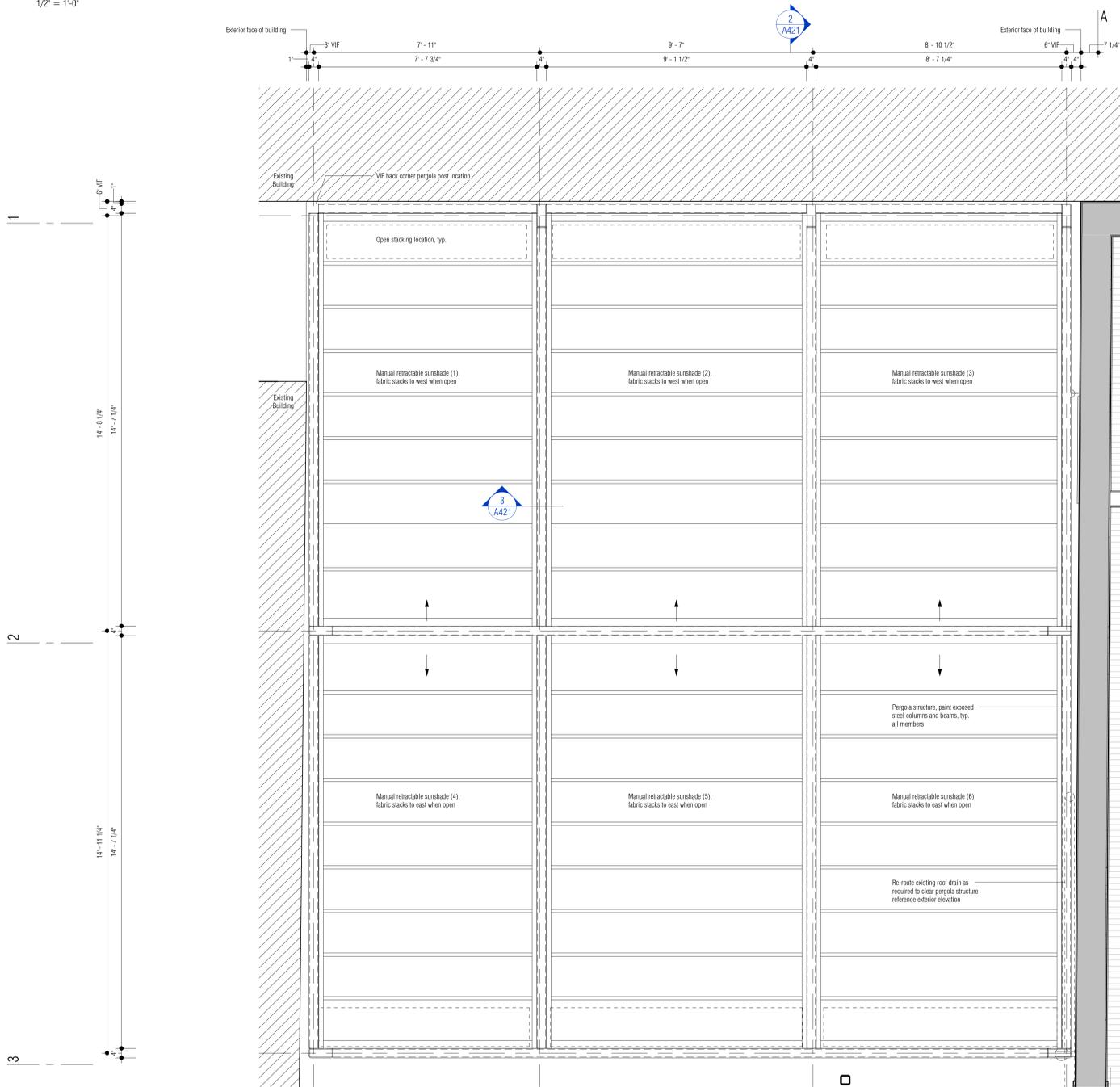
Previous Issues	Description	Date
Permit Set	100% Construction Documents	11 March 2019 5 April 2019

Exterior Plan and Section  
Details - Courtyard Entry  
and Trash Enclosure

As indicated

A420

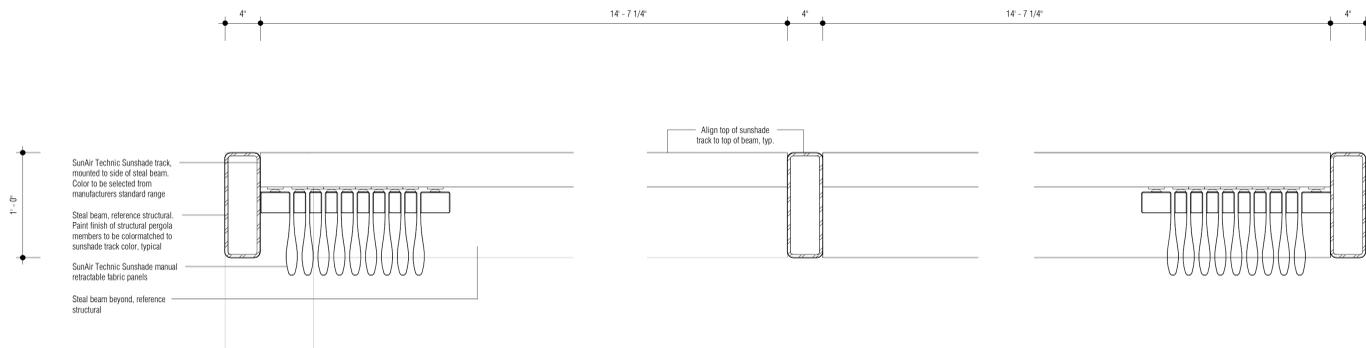
1 Enlarged Plan - Courtyard Pergola  
1/2" = 1'-0"



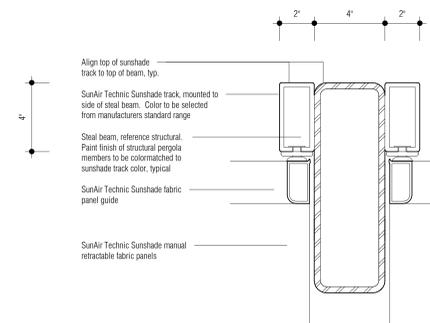
Common House Richmond  
305 W. Broad St.,  
Richmond, Virginia

Notes

2 Detail Section - Pergola and Sunshade Parking  
1 1/2" = 1'-0"



3 Detail Section - Pergola and Sunshade Track  
3" = 1'-0"



Revision 01  
Date TBD

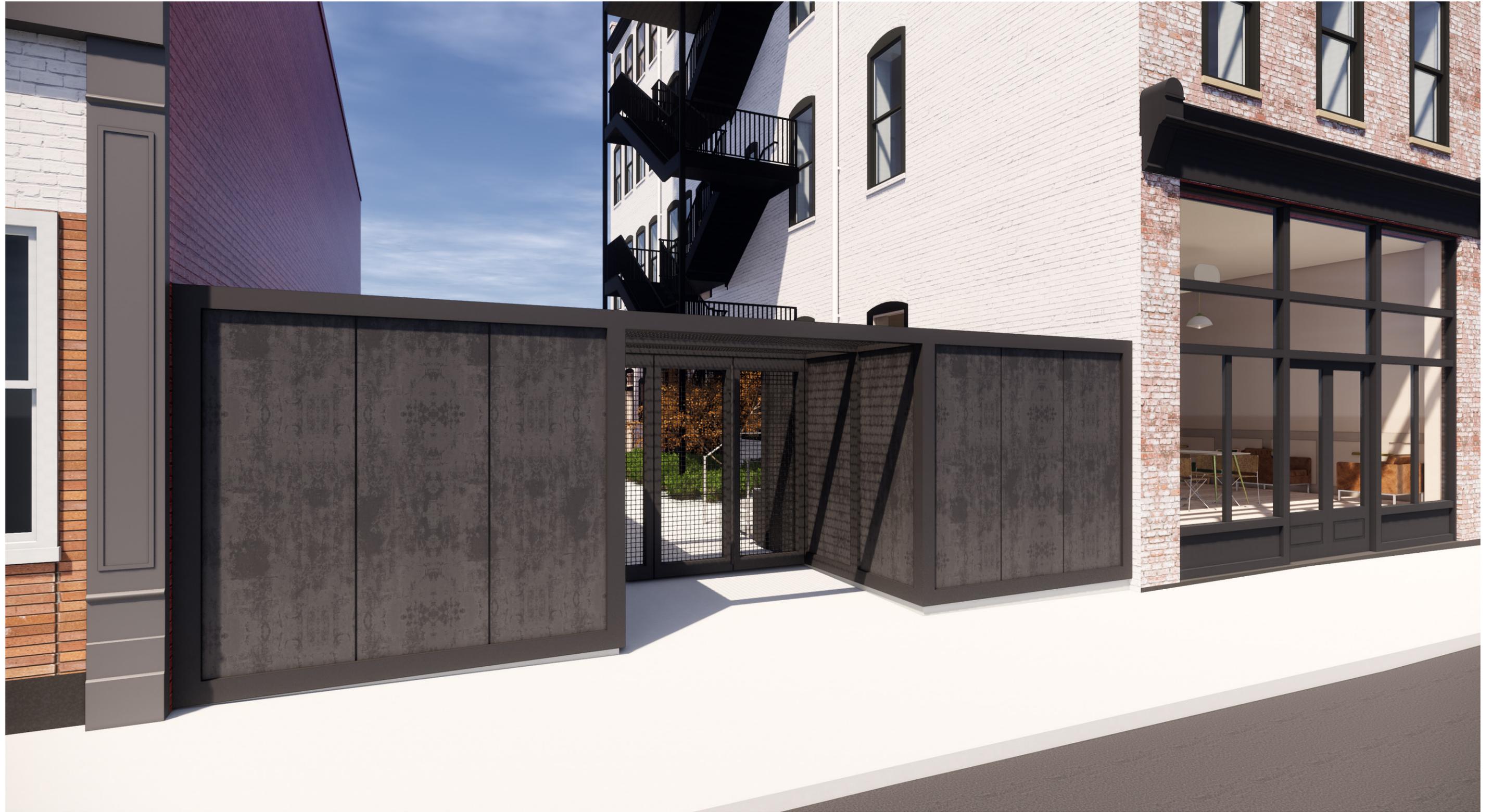
Previous Issues  
Description Date

Exterior Plan and Section  
Details - Courtyard Pergola  
and Sunshade

As indicated

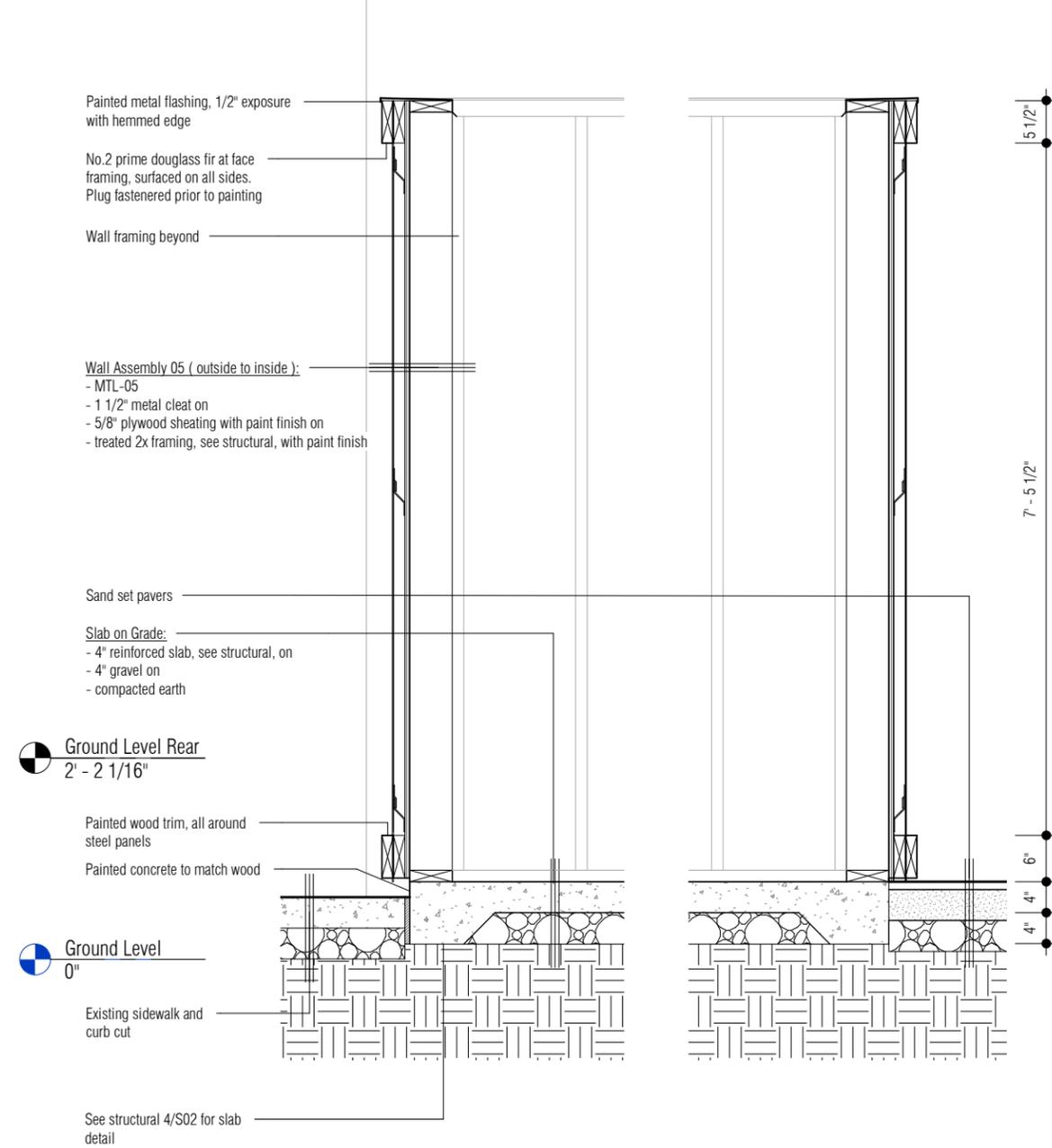
A421

Trash Enclosure & Courtyard Wall

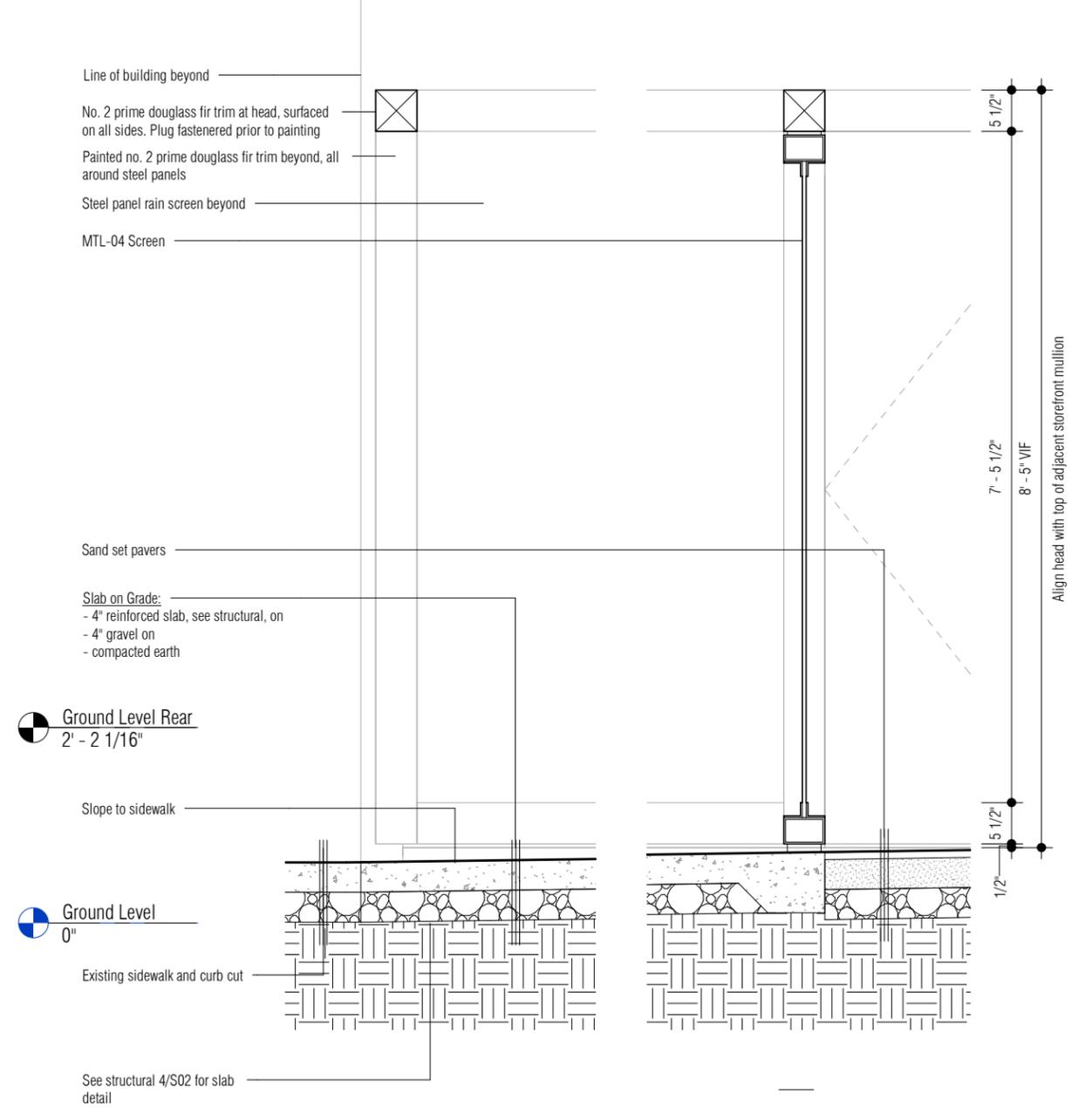


Madison Street Perspective

## 2 Wall Section - Courtyard Entry Enclosure



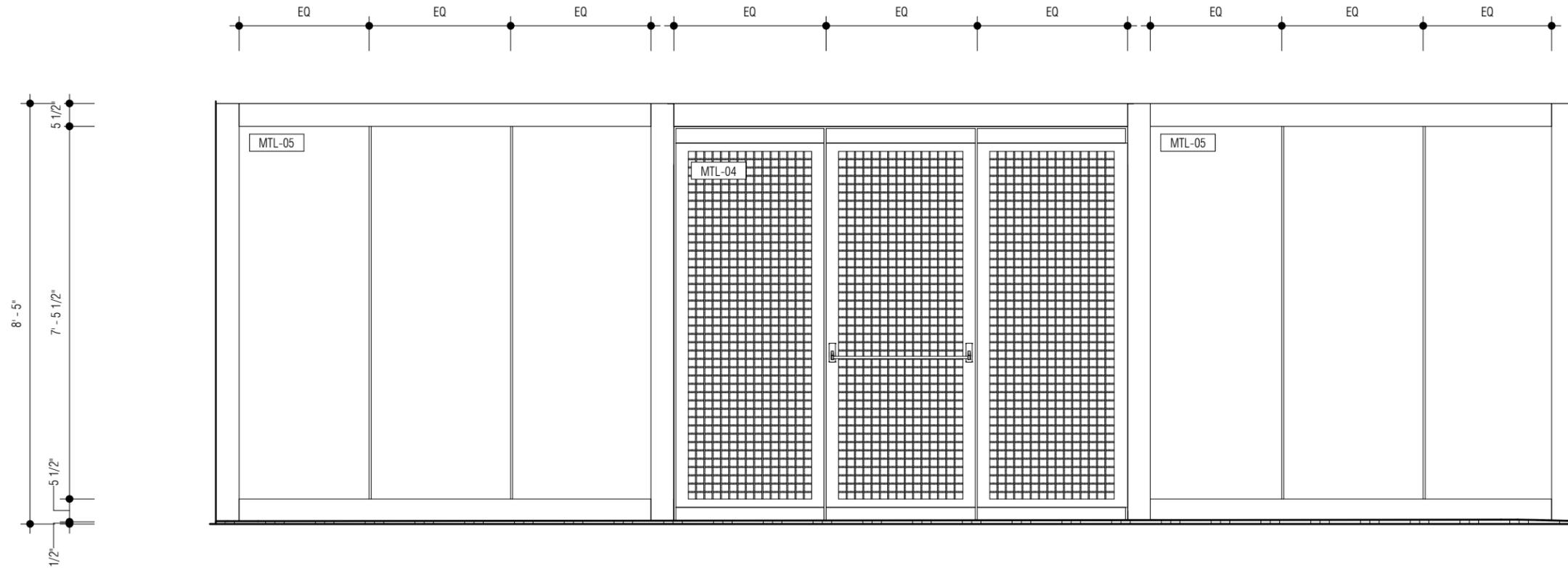
## 3 Wall Section - Courtyard Entry Gates



Wall Section - Enlarged From A420

Scale: 1/2" = 1'-0"

5 Exterior Elevation - Madison St. Courtyard Entrance - East

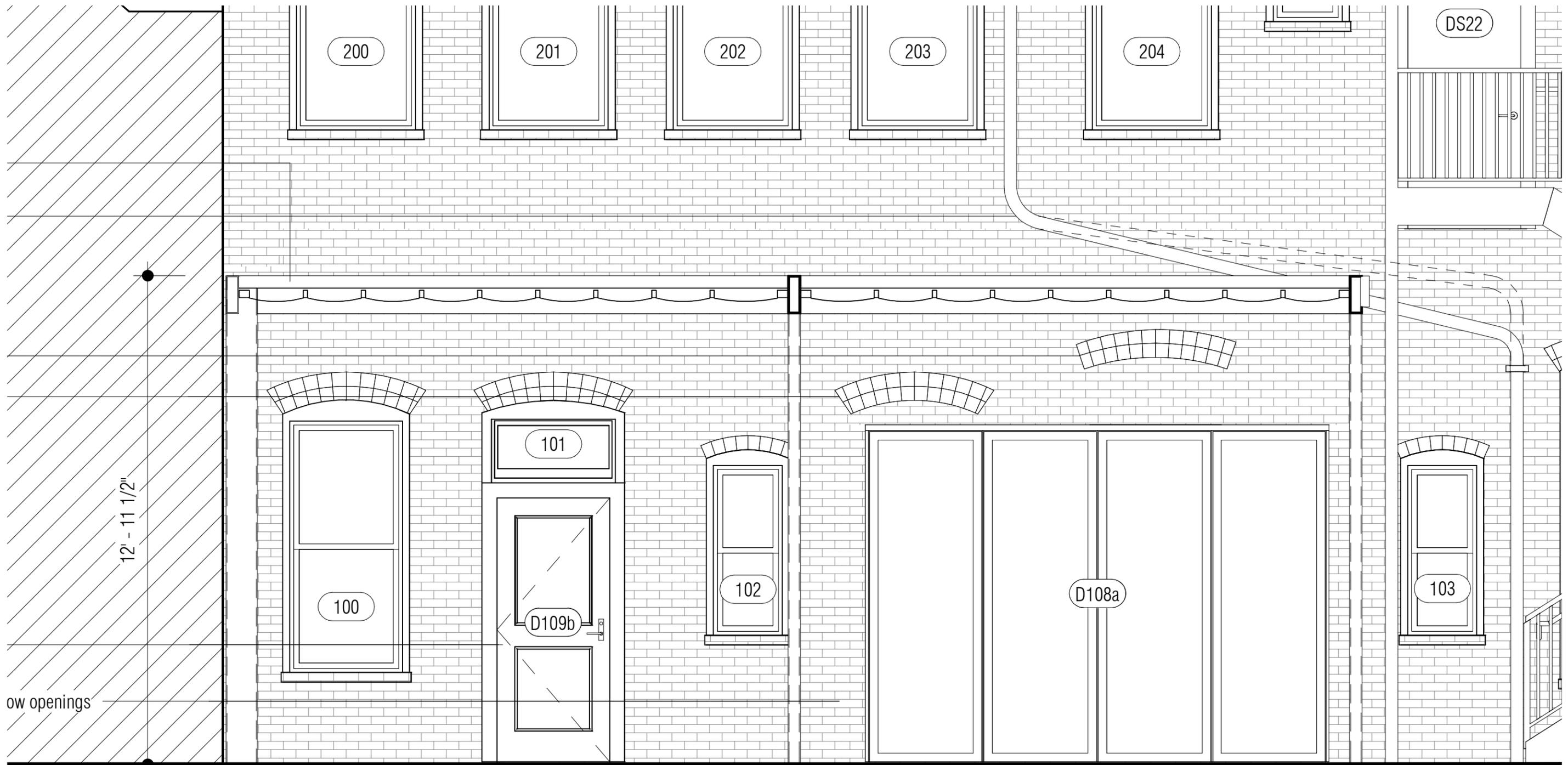


Finish Legend		
Code	Description	
MTL-04	Product Manf. Color/Tint: Product No.	2" woven wire screen - Painted to match -
MTL-05	Product Manf. Color/Tint: Product No.	11 GA A36 Steel plate - Chemical oxide blackening -

Madison Street Elevation - Enlarged From A420

Scale: 3/8" = 1'-0"

Courtyard Pergola



Building South Elevation - Enlarged From A202

Scale: 3/8" = 1'-0"

# Model: TECNIC ONE Pergola®

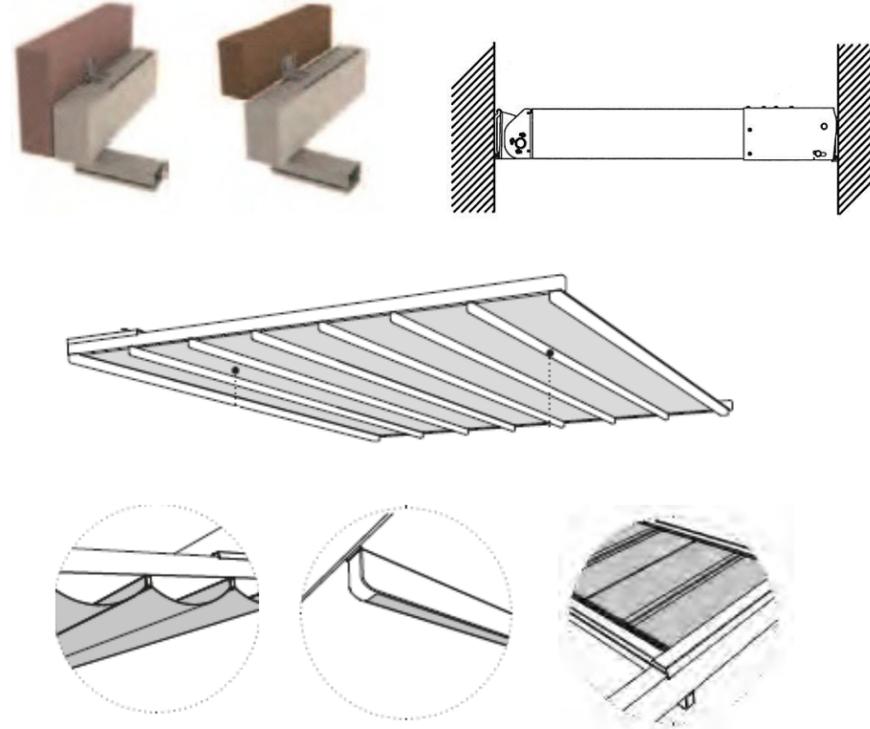
Revised 01/29/2019



Standard Frame Colors	Maximum Width	Maximum Projection	Options
9 standard Sunair colors plus Corten & Iron Grey	5m / 16' 5" Type 1 9m / 29' 6" Type 2 13m/42' 7" Type 3	9.0 meters / 29' 6" proj.	Undercover, LEDS, Heaters, Hood,

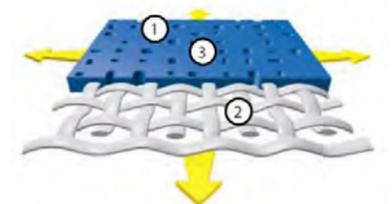
### PRODUCT FEATURES:

- Retractable fabric roof pergola.
- Standard Pergola system mounted to existing structure or between walls.
- Suitable for larger sized structures or areas.
- Ideal for flat installation with water drainage to sides.
- Multiple units can be mounted side by side to create larger width.
- All aluminum frame powder coated.
- Manually operated smaller sizes.
- Motorized all sizes and required on larger sizes.
- Optional hood system available.



## PERGOLA STANDARD FABRIC COLORS

### 602 FLEX LIGHT CLASSIC / OPAQUE COLOR



The Preconstraint 602 fabric from Ferrari offers excellent dimensional stability and exceptional dirt resistance thanks to a PVDF topcoat on both sides. The fabric is 22.4 oz/yard.

### Pergola Product and Fabric Selection

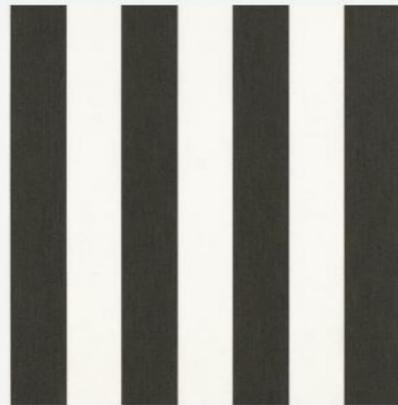
Storefront Awning



Broad Street Perspective



← back



4982-0000

7.47" | 18.97 cm repeat  
100% Sunbrella Acrylic  
46" / 117 cm width  
Selvedge is Left / Right

**COLLECTIONS**

2017-2018 Mayfield Collection

BEAUFORT CLASSIC

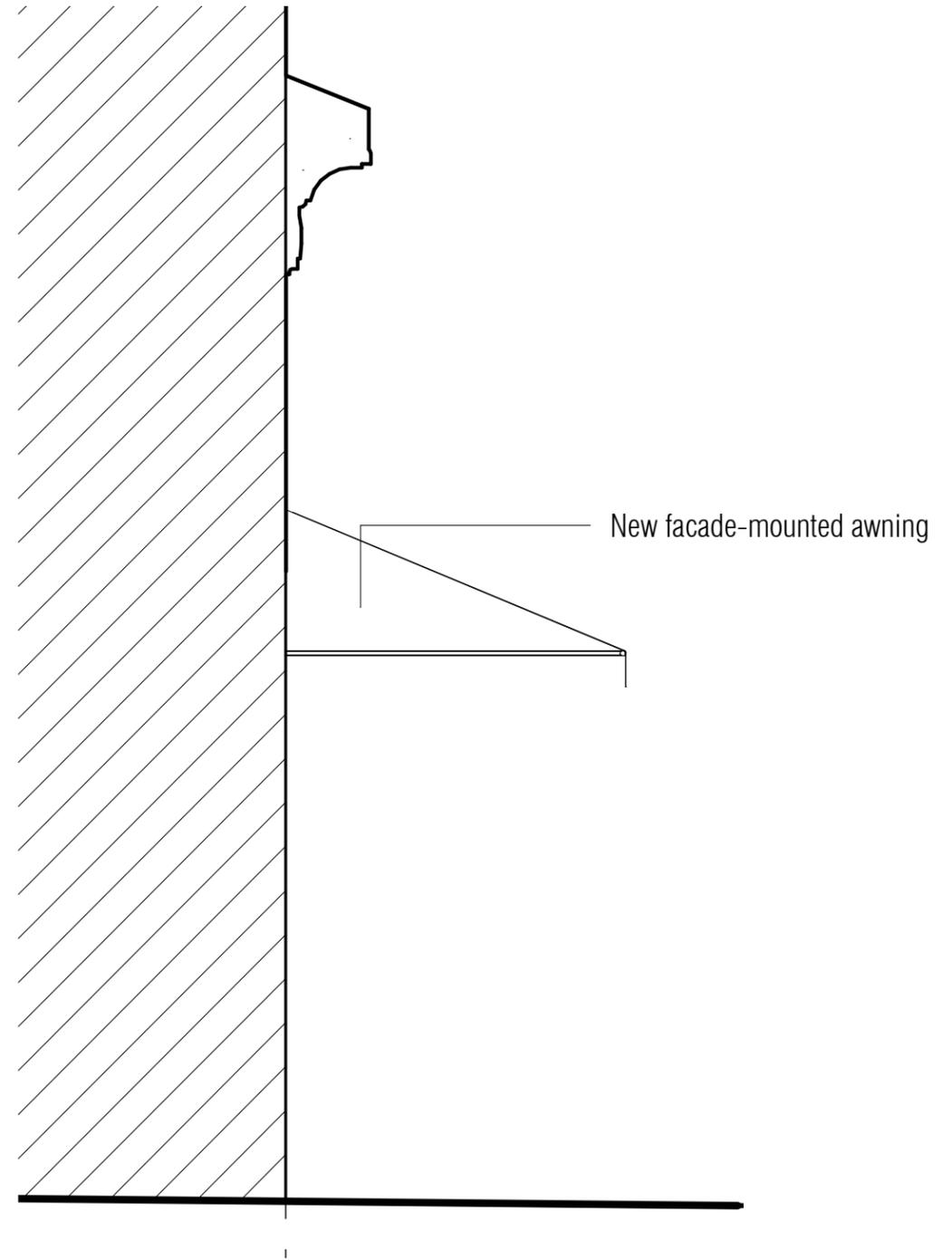
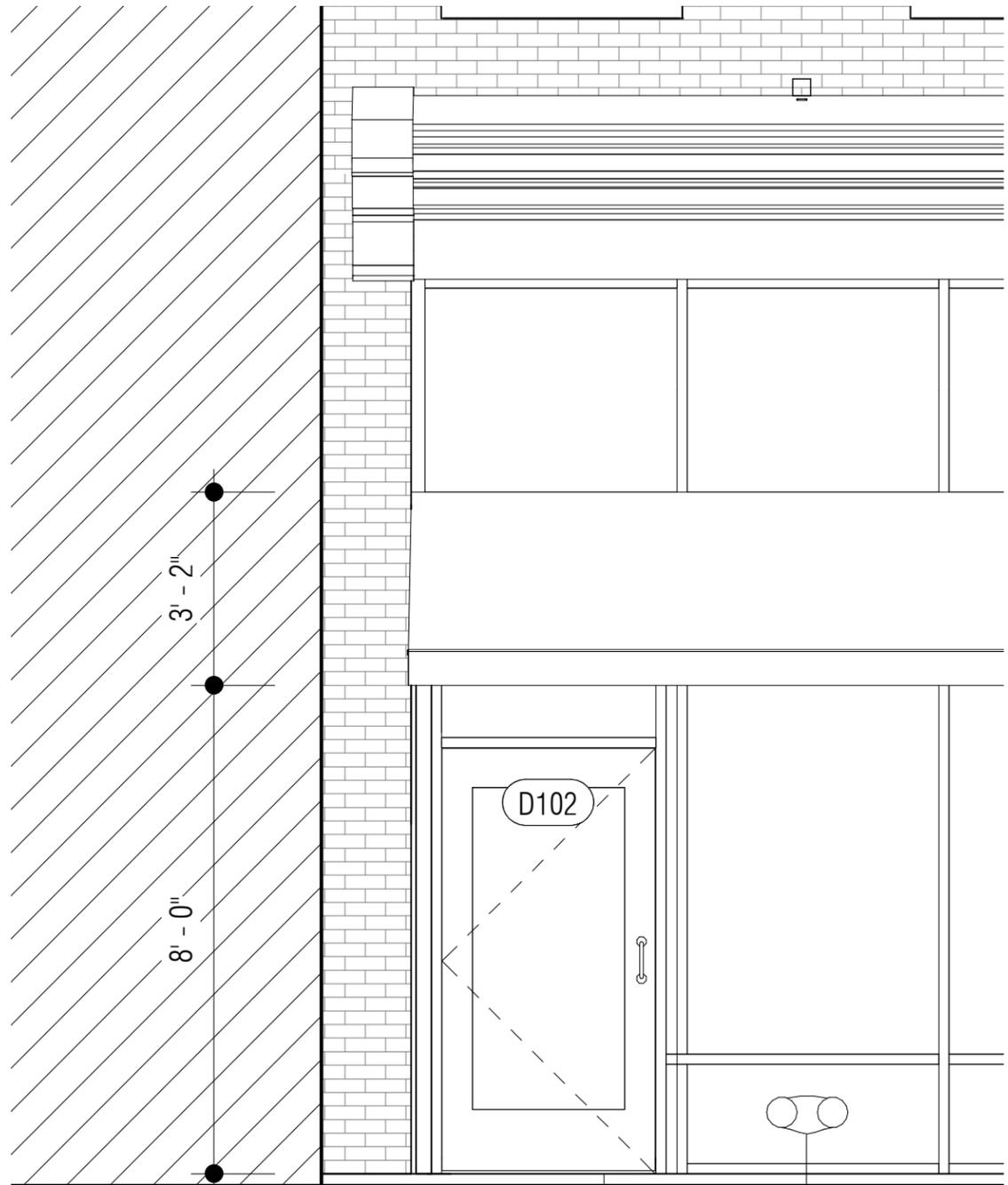


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**CERTIFICATIONS**



Fabric Selection



Building South Elevation - Enlarged From A200 & A201

Scale: 3/8" = 1'-0"