

INTRODUCED: January 25, 2021

AN ORDINANCE No. 2021-016

To authorize the special use of the property known as 321 West Grace Street for the purpose of a mixed-use building containing up to 16 stories and up to 177 dwelling units, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 22 2021 AT 6 P.M.

WHEREAS, the owner of the property known as 321 West Grace Street, which is situated in a B-4 Central Business District, desires to use such property for the purpose of a mixed-use building containing up to 16 stories and up to 177 dwelling units that will individually house more than three unrelated persons, which use, among other things, is not currently allowed by sections 30-440.3, concerning yards, 30-440.5, concerning floor area and usable open space, 30-440.6, concerning height, and 30-1220.33(2), concerning the definition of family, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: FEB 22 2021 REJECTED: _____ STRICKEN: _____

set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 321 West Grace Street and identified as Tax Parcel No. W000-0174/001 in the 2021 records of the City Assessor, being more particularly shown on a survey entitled “ALTA / NSPS Land Title Survey of Land Known as 321 W. Grace Street, Richmond, Virginia,” prepared by Timmons Group, and dated July 5, 2020, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a mixed-use residential and commercial building containing up to 16 stories and up to 177 dwelling units that will individually house more than three unrelated persons, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “321 West Grace St., Concept Study,” prepared by hickok-cole, and dated January 15, 2021, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a mixed-use building containing up to 16 stories and up to 177 dwelling units that will individually house more than three unrelated

persons, with amenities and commercial uses on the ground floor, substantially as shown on the Plans.

(b) No fewer than 57 off-street parking spaces, of which no more than nine may be tandem off-street parking spaces, shall be provided for the Special Use.

(c) All building materials, building colors, and site improvements shall be substantially as shown on the Plans.

(d) The height of the Special Use shall not exceed 16 floors, substantially as shown on the Plans.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(f) Up to four unrelated persons or combination of related and unrelated persons may reside within individual dwelling units.

(g) Interior doors to bedrooms within dwelling units may contain exterior locking mechanisms.

(h) Leases of occupancy shall be 30 days or greater in length and may include separate rental agreements for different occupants of the same unit.

(i) The portion of the ground floor of the building labeled “Retail/Retail Equivalent” (the “Ground Floor Retail”) on sheet A.4 of the Plans shall be used exclusively for commercial uses permitted in the B-4 Central Business District. Notwithstanding the limitations in the preceding sentence, all or a portion of the Ground Floor Retail may be used for common amenity space or other use customarily incidental to a student housing development, upon a showing by the Owner to the Zoning Administrator that, for a period of not less than 12 months from the date of issuance of the final certificate of occupancy for the Special Use, all or a portion of the Ground

Floor Retail has not been occupied by a commercial use and that all or a portion of the Ground Floor Retail has been made available for occupancy for the duration of such period at commercially reasonable rates. Satisfaction of the requirements of this subsection shall be evidenced by a certificate of zoning compliance for the Property issued by the Zoning Administrator.

(j) The eastern façade of the building, to the extent permitted by the Virginia Statewide Building Code, shall include windows substantially as shown on sheet A16 of the Plans or, in the alternative, substantially as shown on sheet A15 of the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the right-of-way, including improvements to the alley, the installation of nine new street trees, the installation of a sidewalk ramp at the corner of West Grace Street and North Monroe Street, and sidewalk repair along West Grace Street and North Monroe Street, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, (iii) transferred to the City, following the written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

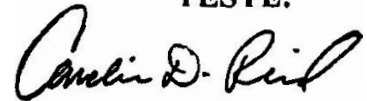
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, appearing to read "Carole D. Reed". The signature is written in a cursive style with a large initial 'C'.

City Clerk

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

Item Request File Number: PRE.2020.421

O & R Request

DATE: December 14, 2020

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request
(This is no way reflects a recommendation on behalf of the Mayor.)



THROUGH: J.E. Lincoln Saunders, Acting Chief Administrative Officer



THROUGH: Sharon L. Ebert, Chief Administrative Officer for Economic Development and Planning

FROM: Mark A. Olinger, Director, Department of Planning and Development Review



RE: To authorize the special use of the property known as 321 West Grace Street, for the purpose of a 16-story mixed-use building, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 321 West Grace Street, for the purpose of a 16-story mixed-use building, upon certain terms and conditions.

REASON: The applicant has requested a special use permit to allow a 16-story mixed-use building. The proposed uses are permitted in the B-4 Central Business Zoning District. However, as proposed, the structure does not meet setback requirements nor the inclined plane height restrictions required in the B-4 Central Business District. The building will contain a number of four bedroom apartments which may be leased to groups containing more than three-unrelated persons. A Special Use Permit is therefore required to accomplish this request.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its February 1, 2021, meeting.

BACKGROUND: The proposal is to construct a 16-story building containing 177 dwelling units, and 4,470 square feet of commercial area on the ground floor. The ground floor and first level will also contain approximately 75 parking spaces and amenities such as a bike storage room.

The subject property consists of a parcel totaling 20,748 SF (.476 acres) of land improved with unscreened parking area. The property is a part of the Monroe Ward neighborhood in the City's Downtown Planning District, and has frontage on both West Grace Street and North Monroe Street.

The City of Richmond's current Pulse Corridor Plan designates the subject property for Downtown Mixed Use (DMU). This designation states that the *central business district of the Richmond region features high-density development with office buildings, apartments, and a mix of complementary uses, including regional destinations. Higher-density pedestrian- and transit-oriented development encouraged on vacant or underutilized sites; new development should be urban in form and may be of larger scale than existing context. Active commercial ground floor uses required on street-oriented commercial frontages. Active ground floor uses and design required on priority street frontages. Driveway entrances required to be off alleys whenever possible; new driveways prohibited on street-oriented commercial and priority street frontages. Little to no setback of new development unless to create pedestrian-oriented amenities like plazas and outdoor dining. Surface parking prohibited as a principal use; when surface parking is provided as an accessory use, it should be located to the rear of buildings and screened by shade trees. Parking requirements are substantially less in these areas than other areas of the city and are largely eliminated.*

Section 30-440 of the zoning ordinance states that *the intent of the B-4 Central Business District is to define the urban center of the city of Richmond by promoting dense, transit-oriented development with greater building height than elsewhere in the region. The district regulations are intended to promote redevelopment, placemaking, and development of surface parking lots to create high-quality urban spaces. Such regulations are also intended to improve streetscape character and enhance public safety by encouraging an active pedestrian environment consistent with the mixed-use character of the district and by providing uniform setbacks, first floor commercial uses, and windows in building façades along street frontages.*

The property is located in the B-4 Central Business District as are surrounding parcels to the north, east, and west. A mix of commercial, residential, office, and institutional land uses are present in this area. To the south, across the alley on property located in the RO-3 Residential Office Zoning District, is a 14-story multi-family apartment building containing 234 dwelling units.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

REVENUE TO CITY: \$2,400 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: January 11, 2021

CITY COUNCIL PUBLIC HEARING DATE: February 8, 2021

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
February 1, 2021

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Application Form, Applicant's Report, Draft Ordinance, Plans, Survey, Map

STAFF: David Watson, Senior Planner, Land Use Administration (Room 511) 804-646-1036



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for. (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 321 W. Grace Street Date: July 17, 2020
 Tax Map #: W000-0174/001 Fee. \$2,400
 Total area of affected site in acres: 0.476 ac.

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: B-4

Existing Use: Surface parking lot

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Multifamily student residential dwelling units, as further described in the Applicant's Report

Existing Use: Surface parking lot

Is this property subject to any previous land use cases?

Yes

No

If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Applicant: Pinecrest 321 Grace Street, LLC Representative: T. Preston Lloyd, Jr.

Company: Williams Mullen

Mailing Address: 200 S. 10th Street, Suite 1600

City: Richmond State: VA Zip Code: 23219

Telephone: (804) 420-6615 Fax: ()

Email: piloyd@williamsmullen.com

Property Owner: Thalhimer Franklin, LLC

If Business Entity, name and title of authorized signer: See attached Land Use Power of Attorney

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest)

Mailing Address: 11100 West Broad Street

City: Glen Allen State: VA Zip Code: 23060

Telephone: () Fax: ()

Email: _____

Property Owner Signature: T. Preston Lloyd Jr Acting under Power of Attorney of even date herewith

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

WILLIAMS MULLEN

Direct Dial: 804.420.6615
pilloyd@williamsmullen.com

July 17, 2020

VIA E-MAIL

City of Richmond Department of Planning and Development Review
Land Use Administration Division
Attn. Matthew Ebinger, Secretary, Planning Commission

**Re. Applicant's Report | Special Use Permit Application
321 W. Grace Street (Tax Parcel W000-0174/001)**

Ladies and Gentlemen:

This firm is counsel to Pinecrest 321 Grace Street, LLC (the "Applicant"), on whose behalf we submit the enclosed the materials referenced on Exhibit A (collectively, the "Application") for authorization of the special use of certain property further described herein pursuant to Section 30-1050.1 *et seq.* of the Code of the City (the "Code"). This letter will serve as the Applicant's Report.

Subject Property

The subject property, presently owned by Thalhimer Franklin LLC, is 0.476 acres, more or less, known as 321 W. Grace Street, located at the southeast corner of W. Grace and N. Monroe Streets in Monroe Ward of the City of Richmond, Virginia, as depicted immediately below (the "Property").



Current Use & Zoning District Regulation

The Property, designated as B-4 Central Business District on the Zoning Map of the City, is currently improved as a surface parking lot. Surrounding properties are designated as B-4 and RO-3, as shown on the Zoning Map excerpted immediately below. The Property's frontage along W. Grace Street is designated on the Zoning Map of the City as "priority street frontage".



Proposed Special Use

The Applicant proposes the redevelopment of the Property as an approximately 15-story student housing project, comprised of a mix of uses including multi-family residential dwelling units, over a podium of structured parking accessible via a rear alley and with non-residential uses fronting on W. Grace that may include retail or other amenities related to the student housing. These uses are permitted as a matter of right within the B-4 district. This density and mix of uses will complement the current reinvestment occurring within Monroe Ward in the vicinity of the Property, consistent with the well-established urban character of downtown.

In connection with its special use of the Property, the Applicant requests relief from two aspects of the applicable B-4 district regulations imposed by the Code of the City (the "Code"):

- A. Relief from Front Yard Setback. The Applicant requests authorization for the development of the Property with a zero-lot line setback along W. Grace Street. Per Section 30-440.3(1)(b) of the Code, the Property may be subject to a 10-foot front yard setback due to the existence of a building located at 307 W. Grace Street that is setback greater than 10 feet. It should be noted that this provision may not apply due to the vacant, unimproved lot that is located at 309 W. Grace Street, which is immediately adjacent to the subject Property and interposed between

the building at 309 W. Grace Street. However, to the extent that 307 W. Grace Street is deemed to impose any front yard setback, the Applicant requests relief.

- B. **Relief from Rear Yard Setback.** The Applicant requests authorization for the development of the Property absent the requirement of a rear yard setback. Per Section 30-440.3(3) of the Code, the Property is subject to a 20-foot rear yard setback requirement due to the proximity of land zoned RO-3 District located immediately across the alley at the rear of the parcel.
- C. **Relief from Inclined Plane Height Restriction.** The Applicant further requests authorization for the development of the Property absent a maximum height restriction. Per Section 30-440.6 of the Code, there is no maximum height limit in the B-4 District, except for the following limitation: “no portion of a building shall penetrate an inclined plane originating at the centerline of each abutting street and extending over the lot at an inclination of one foot horizontal for each four feet vertical.”

Relief from these regulations is requested due to the location of the Property at the intersection of two downtown streets, which imposes a restriction on the developable height of a structure. This is due to the inclined plane that prevents the building from achieving a sufficient density of student residential dwelling units to render the project feasible from a cost standpoint. The requested height and massing would be consistent with adjacent uses, such as 300 W. Franklin Street located immediately to the south of and adjacent to the Property, along with nine other buildings greater than five stories in the neighborhood.¹ The requested student residential density reflects the proximity of the Monroe Park campus of Virginia Commonwealth University, several blocks to the west. Density in this location promotes walkability and bicycle usage, which adding demand for retail uses in the vicinity.

The Applicant proposes to offset the impacts of its requested relief from the foregoing regulations by accepting conditions concerning the special use of the Property, requiring its development in general conformance with the plans and elevations enclosed with this Application.

Conformance with Master Plan

The Property is located within the portion of the City that is subject to the Downtown Plan, as adopted by City Council in October of 2008 (the “Downtown Plan”). As a component of the Richmond Master Plan, the Downtown Plan, adopted by City Council in 2001, “sets the policy direction for development in the city.”² The Downtown Plan recommends the development of the Property consistent with the General Urban Character Area. This Character Area calls for “medium-density, mixed-use development, distributed along medium-sized blocks”, typically with buildings that have “variable setbacks and landscaping, and a limited mix of commercial and civic uses”.³

The redevelopment of Monroe Ward, colloquially termed “the detached garage of downtown” by Director Mark Olinger, was further advanced by the adoption by City Council in July of 2017 of

¹ See Building Heights in Monroe Ward, Pulse Corridor Rezoning Summary, p. 8 (May 2019), available at <http://www.richmondgov.com/PlanningAndDevelopmentReview/documents/PulseCorridorPlan/MonroeWardRezoningSummary20190503.pdf>

² Downtown Plan p. 1.2.

³ Downtown Plan p. 3.23.

the Pulse Corridor Plan (the “Pulse Corridor Plan”). This small area plan for the corridor and its adjacent neighborhoods forms a component part of the City’s Master Plan. The Pulse Corridor Plan designates the Property as “Downtown Mixed-Use” on its Future Land Use Map. This category is described as follows:⁴

- Higher-density pedestrian- and transit-oriented development encouraged on vacant or underutilized sites; new development should be urban in form and may be of larger scale than existing context.
- Active commercial ground floor uses required on street-oriented commercial frontages.
- Active ground floor uses and design required on priority street frontages.
- Driveway entrances required to be off alleys whenever possible; new driveways prohibited on street-oriented commercial and priority street frontages.
- Little to no setback of new development unless to create pedestrian-oriented amenities like plazas and outdoor dining.
- Surface parking prohibited as a principal use; when surface parking is provided as an accessory use, it should be located to the rear of buildings and screened by shade trees.
- Parking requirements are substantially less in these areas than other areas of the city and are largely eliminated.

In order to encourage denser development within the pedestrian walkshed of the bus-rapid transit line, the Pulse Corridor Plan recommended a number of design principals within an overlay district to be applied within the Monroe Ward neighborhood, among others. These recommendations were ultimately codified by City Council in 2019 in the form of amendment to the City’s Code and zoning map for portions of Monroe Ward. This included the imposition of a plan of development overlay district, which imposed the following design elements from the Pulse Corridor Plan:

1. **Hold the Corner:** Buildings and spaces at intersections have active ground floors that wrap around the corner.
2. **Entrances Face the Street:** Main entrances to businesses and residences front the street, fostering pedestrian activity.
3. **Appropriate Setbacks/Stepbacks:** Commercial uses are closer to the street while residential uses are set back to foster privacy and create a semi-public space. Stepbacks at upper stories create a means to honor existing form without overwhelming it.
4. **Transparency:** Facade fenestration allows visibility to and from the street. This is especially important on the ground floor, where fenestration should occupy a higher percentage of the building face.

⁴ Pulse Corridor Plan p. XI.

5. **Facade Articulation:** Long, monolithic facades should be broken up and made more human-scale by varying the streetwall plane, height, colors and materials.
6. **Screened Parking/Services:** Attractive landscaping pushed to the sidewalk helps maintain a streetwall and mitigate the disruption caused by surface parking lots and utilitarian services.

The Applicant's proposed development of the Property is consistent with both the density outlined by the Pulse Corridor Plan, as well as the design principles reflected in the POD Overlay for Monroe Ward. The Applicant proposes a first-floor layout and non-residential uses that will engage the street frontage of W. Grace (a priority street frontage) at its corner with Monroe Street. As depicted in the architectural precedents for the proposed building on the Property, enclosed with this Application, the corresponding architectural design is intended to "hold the corner", creating architectural interest for views looking east on W. Grace Street. The Applicant further anticipates an architectural design that will incorporate visual interest in the form of façade articulation and featuring a rooftop feature, likely incorporating elements of the building's amenities located on the top floor. Parking will be accessible exclusively through the rear alley and will be screened from view of the adjacent streets. The adjacent streetscape will be improved with appropriate plantings and street trees, as shown on the enclosed conceptual site plan.

Charter Requirements

Based on the foregoing, the proposed use on the Property meets the criteria set forth in as Section 17.11(b) of the Charter of the City that the Application is not (i) detrimental to the safety, health, morals and general welfare of the community involved; (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved; (iii) create hazards from fire, panic or other dangers; (iv) tend to cause overcrowding of land and an undue concentration of population; (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or (vi) interfere with adequate light and air.

Conclusion

The proposed special use of the Property would further catalyze the significant growth and revitalization of Monroe Ward. The proposed higher density mix of student residential and non-residential uses advances the land use policy priorities of City Council evidenced in the Downtown Plan and Pulse Corridor Plan, as authorized by the Charter of the City.

City of Richmond Department of Planning and Development Review

July 17, 2020

Page 6

Thank you for your consideration of this matter. Please confirm your determination that the Application has been received and deemed complete by your office, and kindly contact us should you have any questions or require additional materials.

Very truly yours,

/s/

T. Preston Lloyd, Jr.

cc. The Hon. Kimberly Gray, Councilperson for 2nd District (via email)
Mark A. Olinger, Director, Department of Planning and Development Review (via email)
Pinecrest 321 Grace LLC (via email)

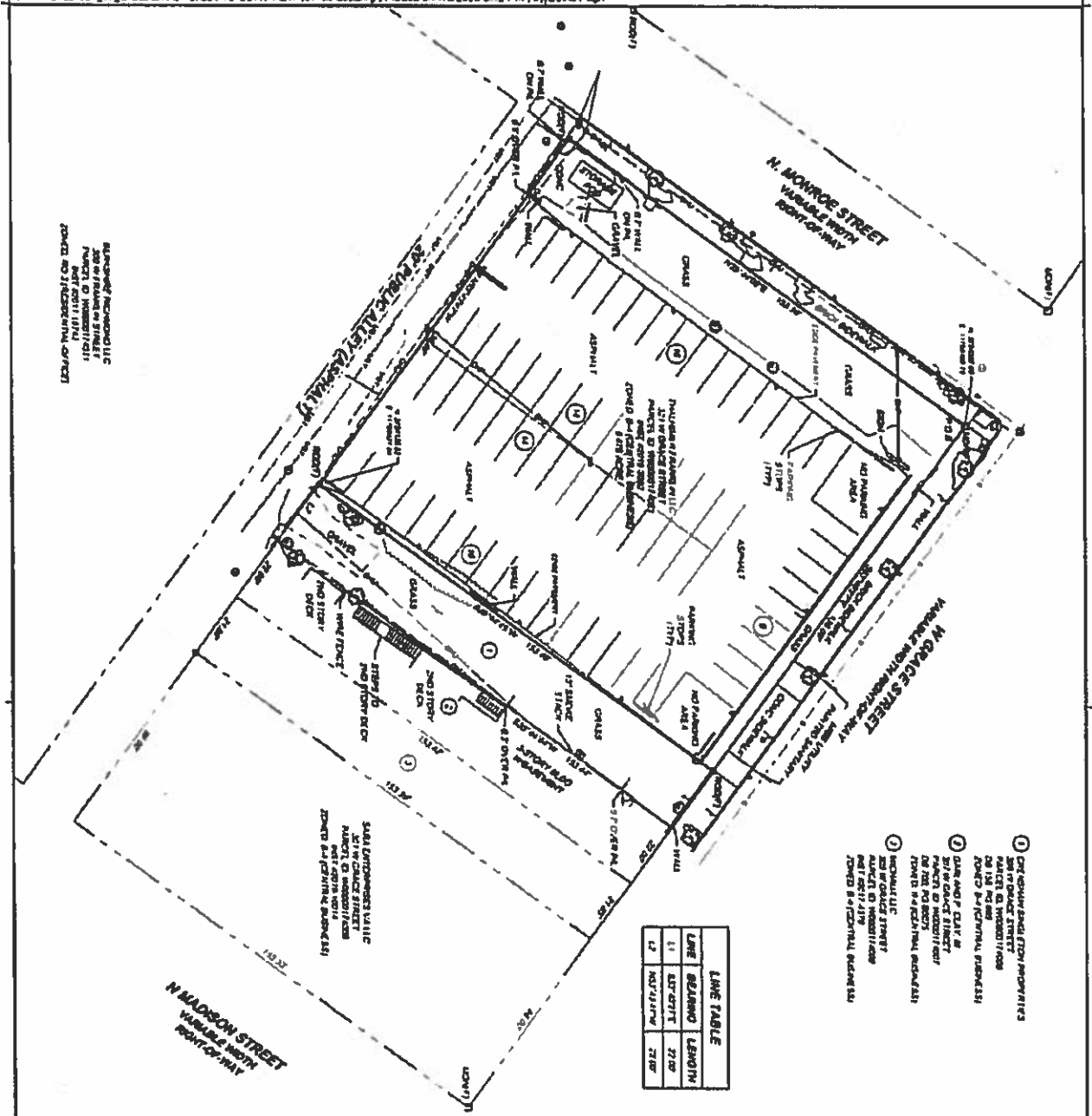
Enclosures

42987277_2

EXHIBIT A
APPLICATION MATERIALS

In connection with the proposed Special Use Permit Application for 321 W. Grace Street (Tax Parcel No. W000-0174/001), the following materials are enclosed:

1. Special Use Permit Application form;
2. Survey of present conditions, entitled "ALTA/ACSM LAND TITLE SURVEY OF LAND KNOWN AS 321 W. GRACE STREET", prepared by Timmons Group, dated July 5, 2020;
3. Land Use Special Power of Attorney from the Applicant and Owner;
4. Concept Study entitled "CONCEPT STUDY" dated July 17, 2020, pages A2 through A17, prepared by Hickok Cole, including the following:
 - a. Conceptual Site Plan & Landscape Concept, page A3
 - b. Conceptual Floor Plans and Building Cross-Section, pages A4-A8
 - c. Conceptual Massing Diagram, pages A12-A14
 - d. Illustrative Architectural Precedents, pages A15-17
5. Check made payable to City of Richmond in the amount of \$2,400.00.



LEGEND: THIS SURVEY IS FOR THE PURPOSES OF THE TITLE SURVEY ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE SURVEYOR'S OFFICE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE SURVEYOR'S OFFICE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

- 1. CONCRETE AND STONE PAVING
- 2. ASPHALT DRIVE
- 3. ASPHALT DRIVE
- 4. ASPHALT DRIVE
- 5. ASPHALT DRIVE
- 6. ASPHALT DRIVE
- 7. ASPHALT DRIVE

ALTA/NSPS
LAND TITLE SURVEY
OF LAND KNOWN AS
321 W. GRACE STREET



- LEGEND**
- 1. Existing Structure
 - 2. Gas Line
 - 3. Sewer Line
 - 4. Water Line
 - 5. Fire Line
 - 6. Electric Line
 - 7. Telephone Line
 - 8. Cable TV Line
 - 9. Storm Sewer
 - 10. Alley
 - 11. Easement
 - 12. Easement
 - 13. Easement
 - 14. Easement
 - 15. Easement
 - 16. Easement
 - 17. Easement
 - 18. Easement
 - 19. Easement
 - 20. Easement

TIMMONS GROUP

Site Development | Geospatial | Infrastructure | Technology

321 WEST GRACE ST.



CONCEPT STUDY

01/15/2021



context



N



PROPERTY LINE

321 WEST GRACE ST.

RICHMOND, VA

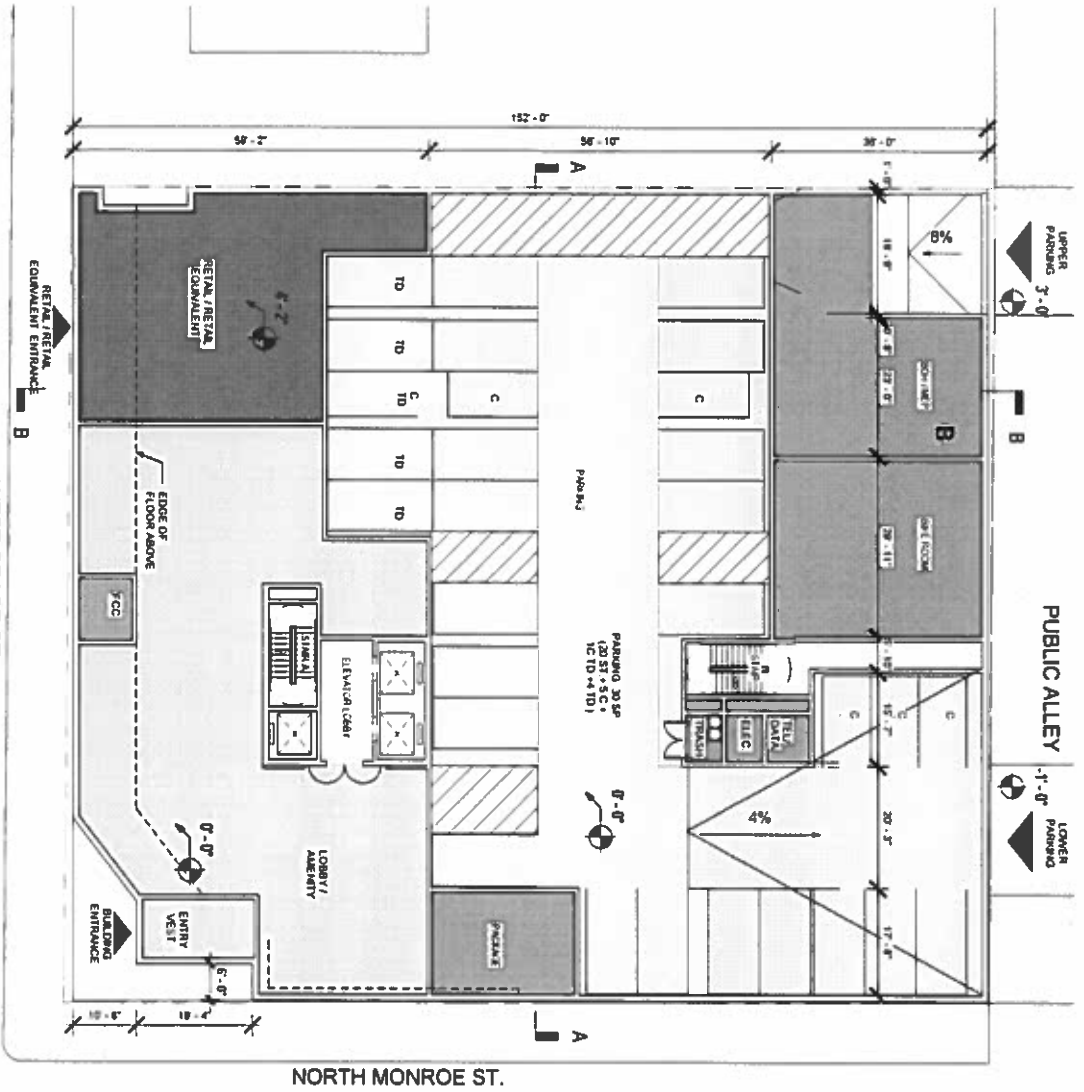
CONCEPT STUDY

A2

01/15/2021



floor plan - GROUND LEVEL



- BOH / MEP
- BUILDING SUPPORT
- CIRCULATION
- LOBBY / AMENITY
- PARKING
- RETAIL / RETAIL EQUIVALENT

PROPERTY LINE
 N
 SCALE 1" = 20'-0"

NOTE: unit layouts and program demising walls are to be considered indicative

321 WEST GRACE ST.
 RICHMOND, VA

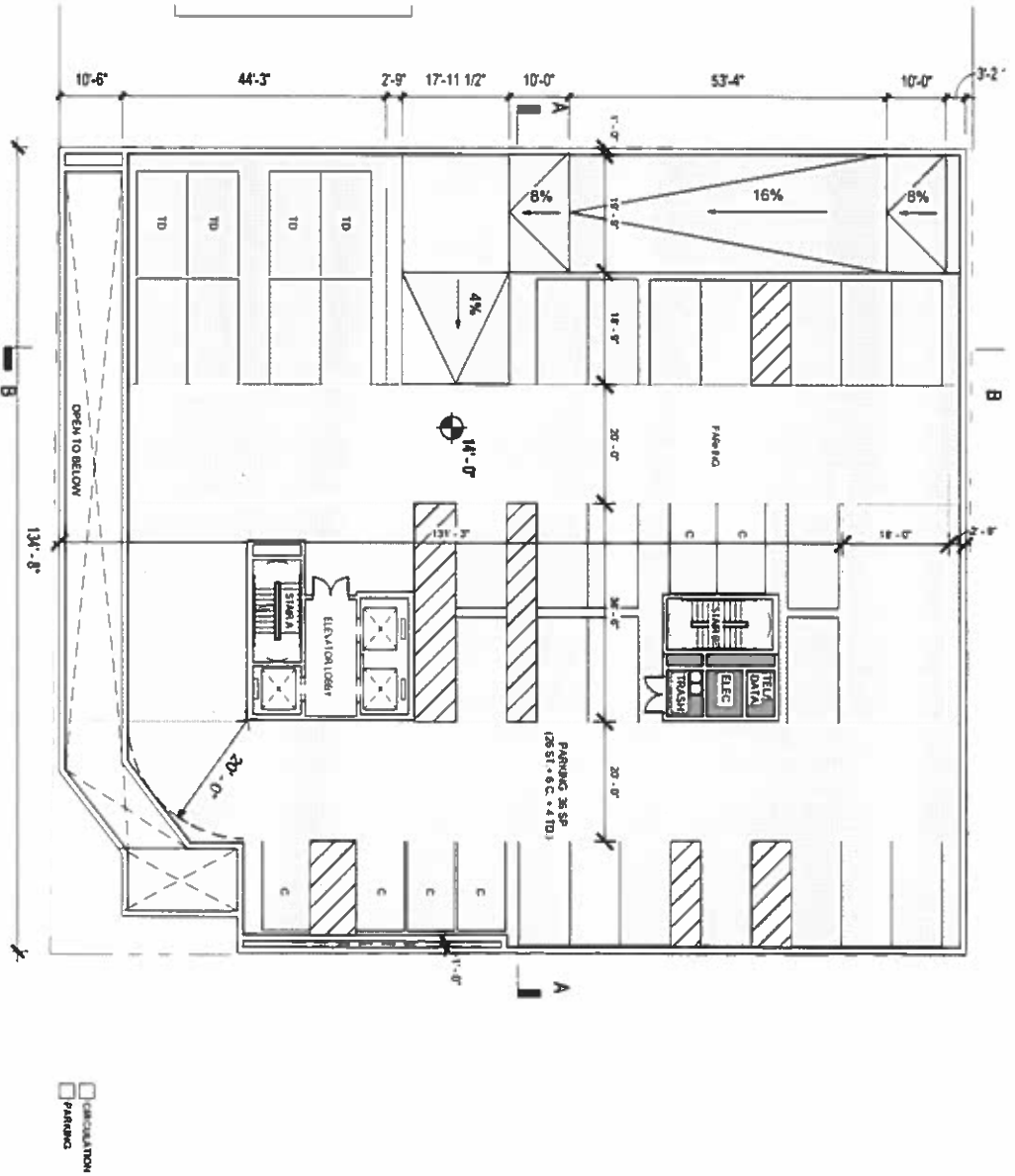
CONCEPT STUDY

A4

01/15/2021



floor plan - LEVEL 02



321 WEST GRACE ST.

CONCEPT STUDY

RICHMOND, VA

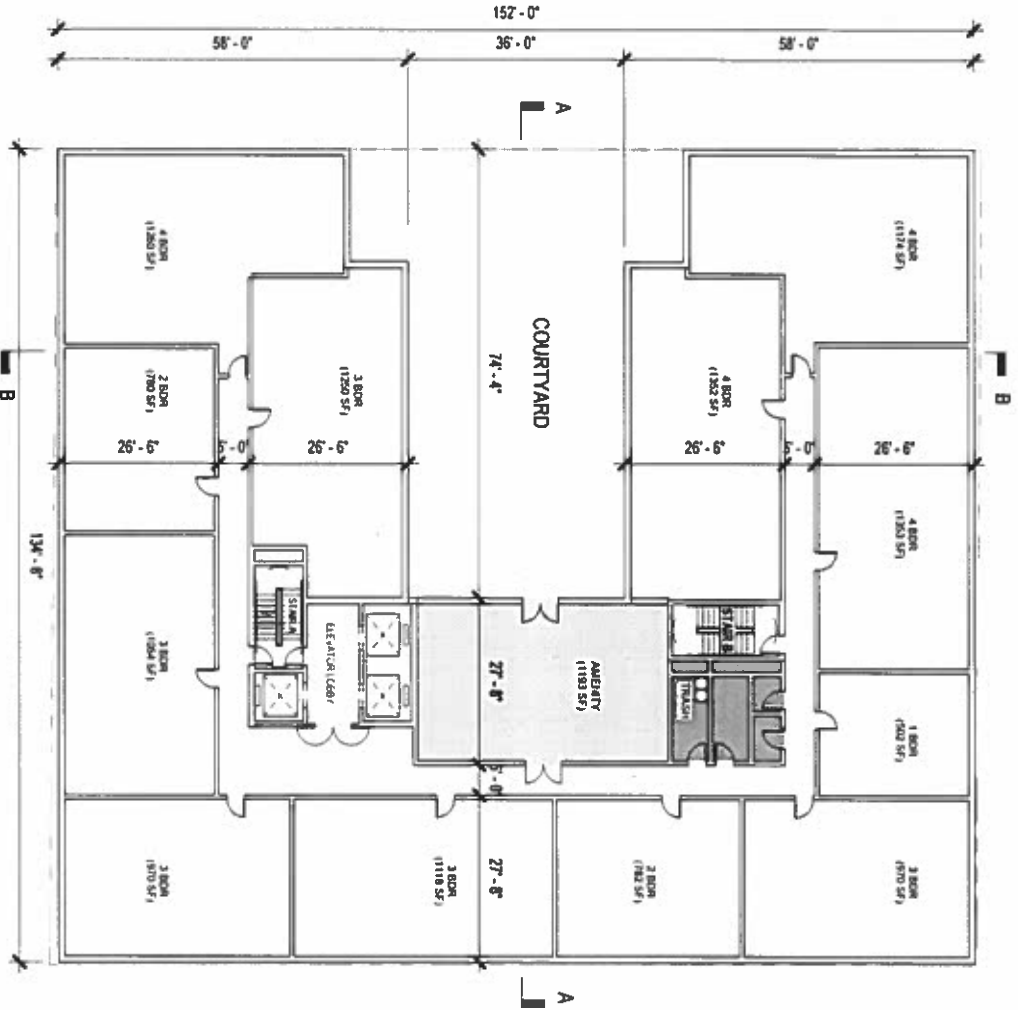
A5

01/15/2021



PROPERTY LINE
 N
 SCALE 1" = 20'-0"
 NOTE: unit layouts and program demising walls are to be considered indicative

floor plan - LEVEL 03



- AMENITY
- BOR / MEP
- CIRCULATION
- RESIDENTIAL

321 WEST GRACE ST.

CONCEPT STUDY

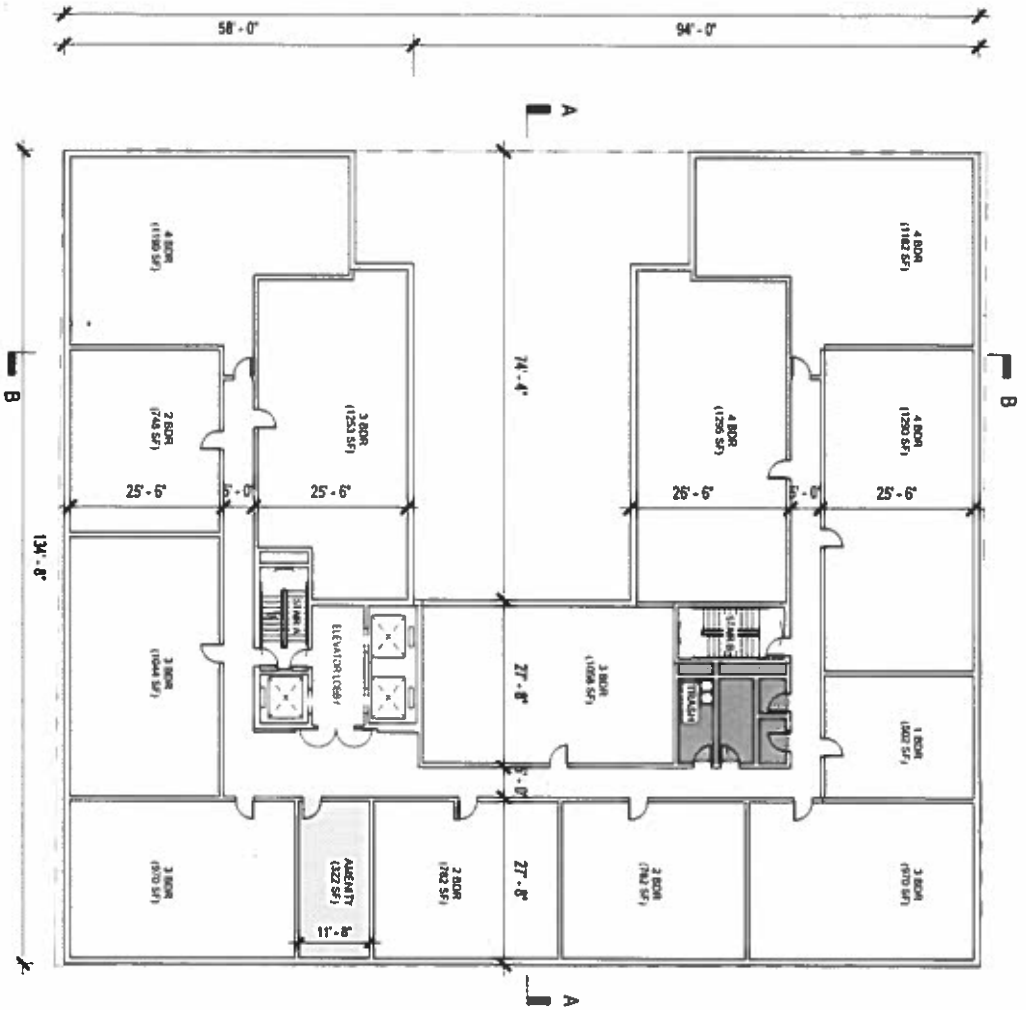
RICHMOND, VA

A6

01/15/2021



floor plan - LEVEL 04 TO 15 (TYPICAL)



- SUITE
- BOH / MEP
- CIRCULATION
- RESIDENTIAL

321 WEST GRACE ST.

CONCEPT STUDY

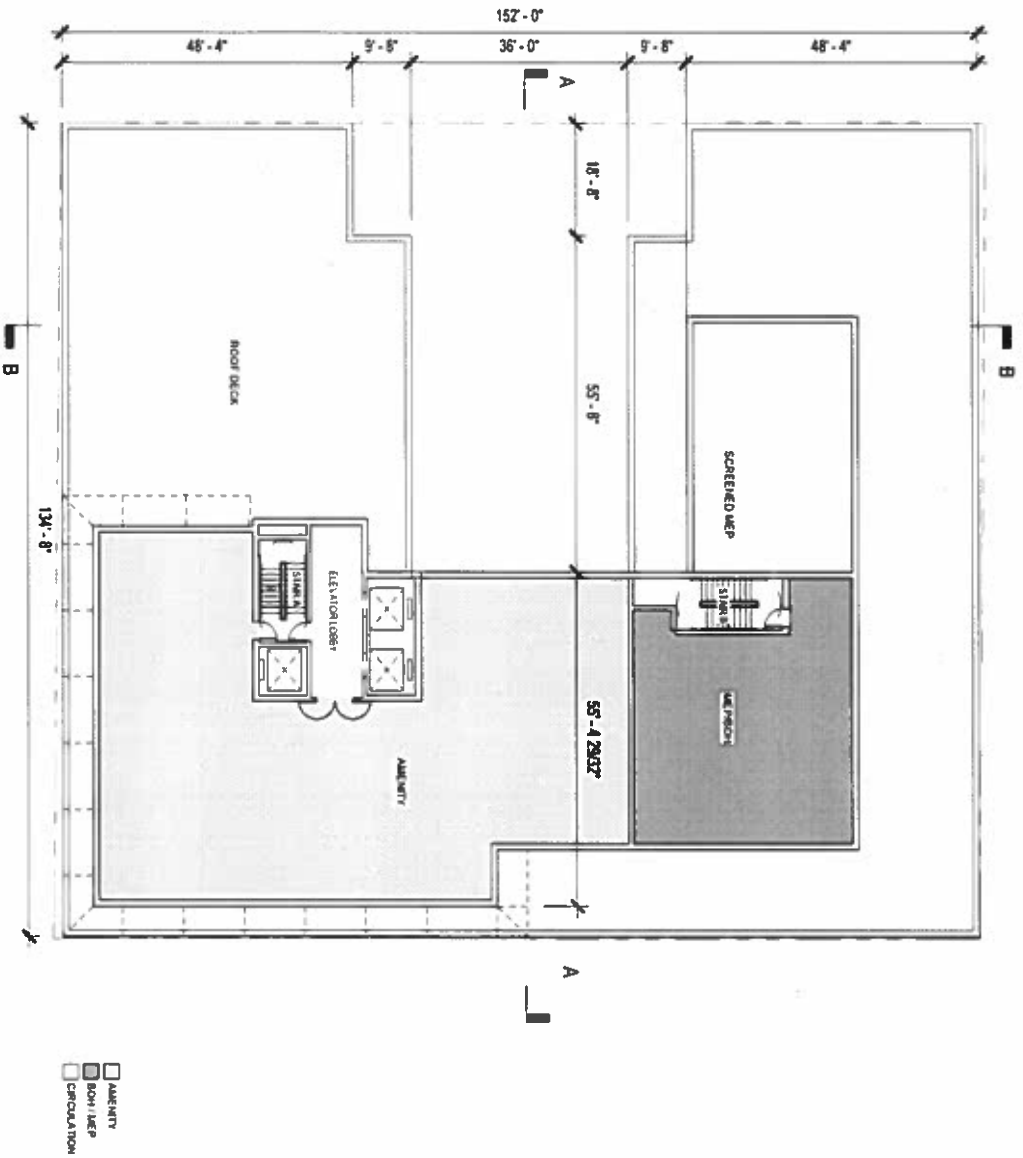
RICHMOND, VA

A7

01/15/2021



floor plan - LEVEL 16



321 WEST GRACE ST.

RICHMOND, VA

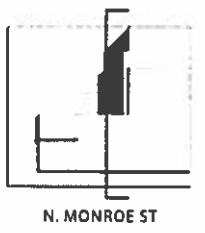
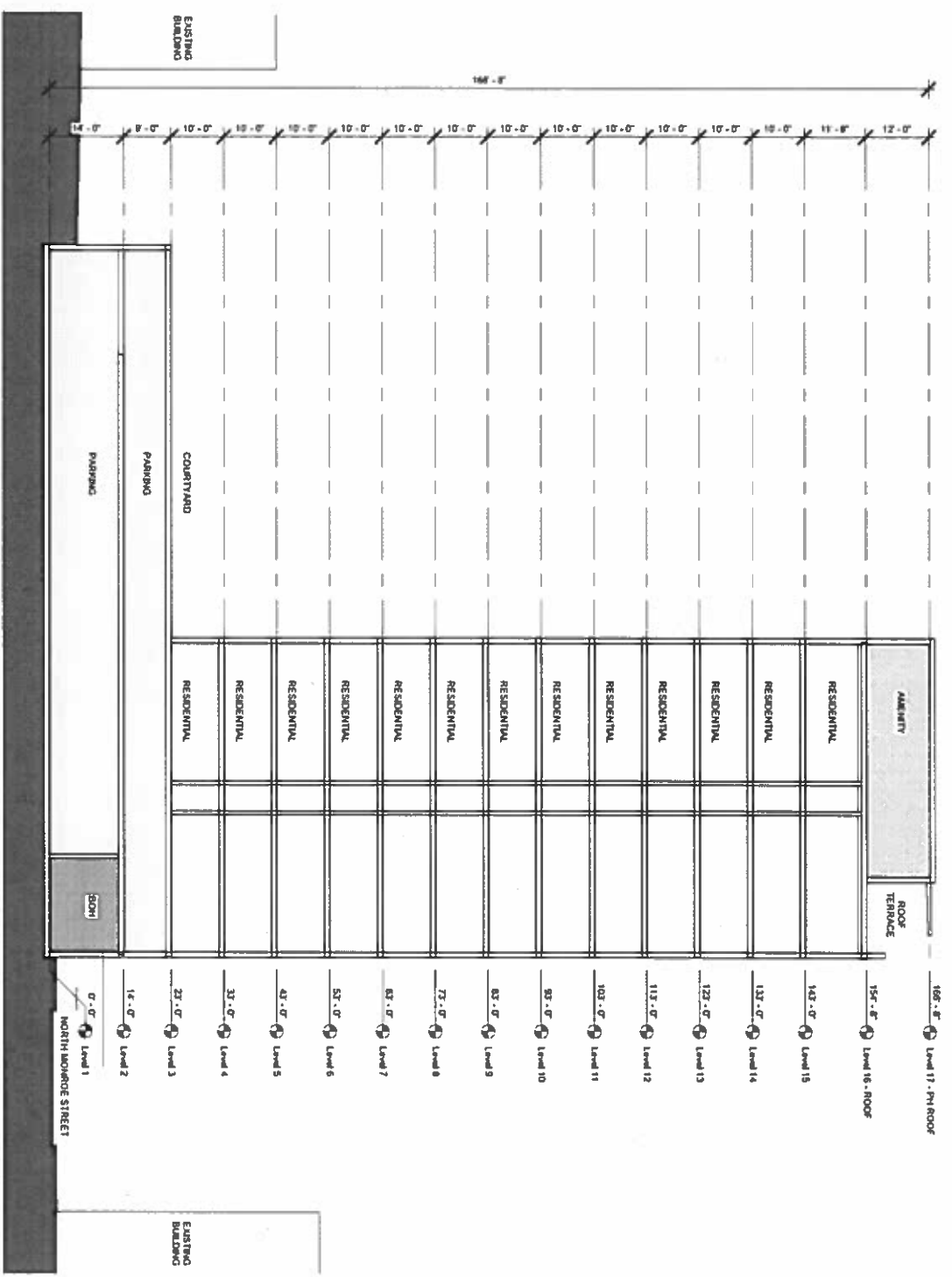
CONCEPT STUDY

A8

0 1/15/2021



SECTION AA



SCALE 1" = 20'-0"

NOTE: overall height to be adjusted for ground floor retail/retail equivalent height optimization

NOTE: unit layouts and program demising walls are to be considered indicative

321 WEST GRACE ST.

RICHMOND, VA

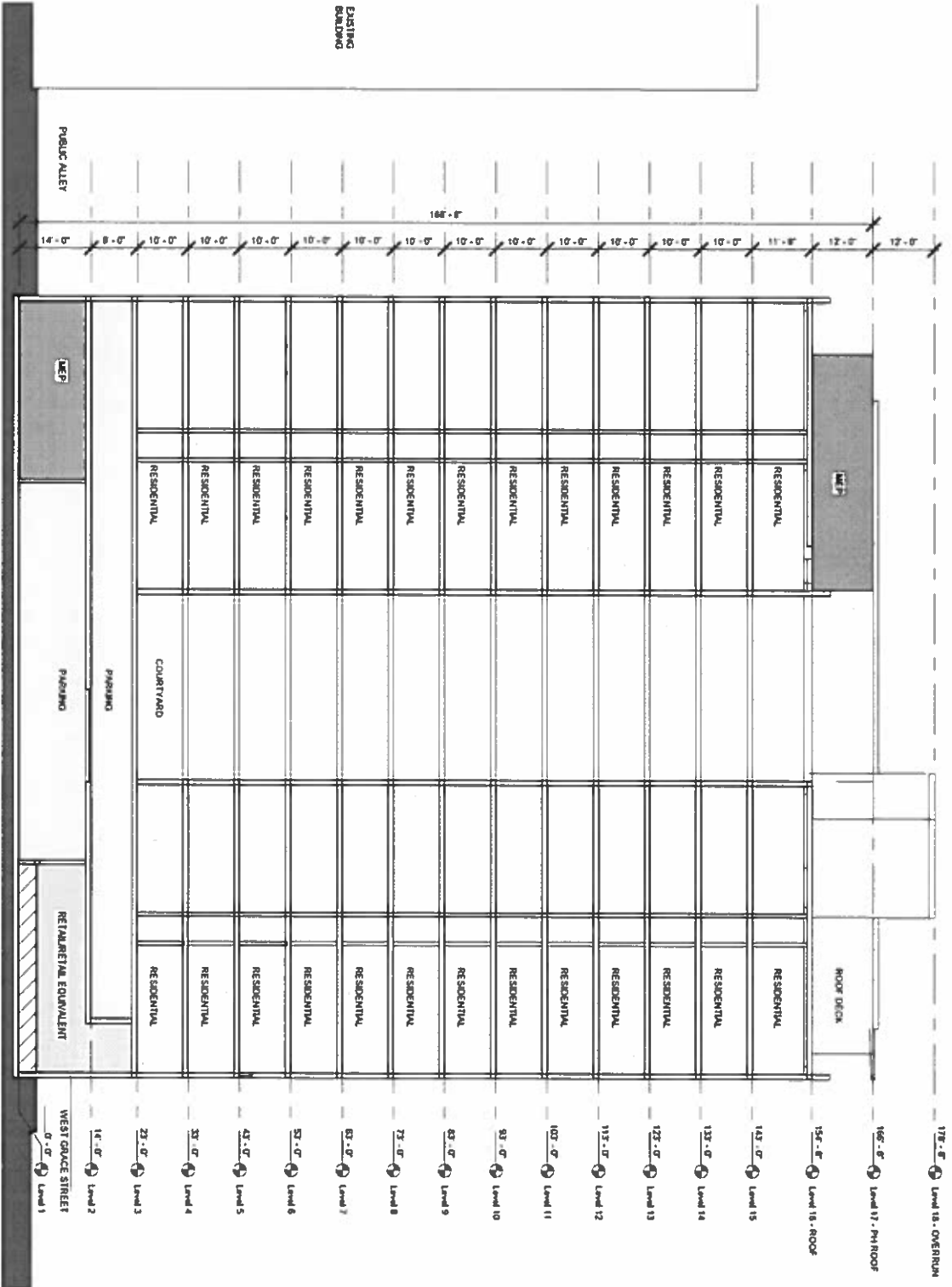
CONCEPT STUDY

A9

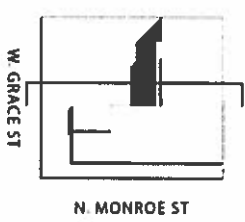
01/15/2021



SECTION BB



SCALE: 1" = 20'-0"



NOTE: overall height to be adjusted for ground floor retail/retail equivalent height optimization

NOTE: unit layouts and program demising walls are to be considered indicative

321 WEST GRACE ST.

RICHMOND, VA

CONCEPT STUDY

A10

01/15/2021



metrics summary

ZONING ANALYSIS

ZONING	B4		
PROPERTY AREA	20,748.47 SF		
FAR	6		
BY RIGHT GFA	124,490.82 SF		
PROPOSED GFA (parking, amenity and boh/mep not included)	223,366.00 SF		

PARKING REQUIREMENT	1 for every 4 units in excess of 16		
UNITS	177		
SPACES REQUIRED	41		
SPACES PROVIDED	57 (plus 9 tandem)		

BIKE PARKING REQUIREMENT	1 space for every 4 dwellings or major fraction thereof		
UNITS	177		
REQUIRED PROVIDED	45		
SHORT TERM REQUIREMENT	2 spaces for 50 dwelling units, 2 additional spaces for every 50 dwellings units or major fraction thereof		
UNITS	177		
REQUIRED PROVIDED	7		
UNITS PROVIDED	7		

AREA CALCULATIONS (PER PROGRAM)

Program	Level	Area	Program	Level	Area	Program	Level	Area
AMENITY	Level 3	1193 SF	CIRCULATION	Level 1	355 SF	LOBBY / AMENITY	Level 1	4178 SF
AMENITY	Level 5	322 SF	CIRCULATION	Level 1	653 SF	LOBBY / AMENITY		4178 SF
AMENITY	Level 7	322 SF	CIRCULATION	Level 2	185 SF			
AMENITY	Level 9	322 SF	CIRCULATION	Level 2	621 SF	PARKING	Level 1	9587 SF
AMENITY	Level 11	322 SF	CIRCULATION	Level 3	168 SF	PARKING	Level 2	17534 SF
AMENITY	Level 13	322 SF	CIRCULATION	Level 3	1960 SF			
AMENITY	Level 15	322 SF	CIRCULATION	Level 4	187 SF			
AMENITY	Level 16 - ROOF	4386 SF	CIRCULATION	Level 4	1966 SF			
AMENITY		7510 SF	CIRCULATION	Level 5	168 SF	RESIDENTIAL	Level 3	13612 SF
BOH / MEP	Level 1	112 SF	CIRCULATION	Level 5	1960 SF	RESIDENTIAL	Level 4	14735 SF
BOH / MEP	Level 1	445 SF	CIRCULATION	Level 6	187 SF	RESIDENTIAL	Level 5	14484 SF
BOH / MEP	Level 1	2290 SF	CIRCULATION	Level 6	1966 SF	RESIDENTIAL	Level 6	14735 SF
BOH / MEP	Level 3	324 SF	CIRCULATION	Level 7	168 SF	RESIDENTIAL	Level 7	14414 SF
BOH / MEP	Level 4	337 SF	CIRCULATION	Level 7	1997 SF	RESIDENTIAL	Level 8	14735 SF
BOH / MEP	Level 5	324 SF	CIRCULATION	Level 8	187 SF	RESIDENTIAL	Level 9	14414 SF
BOH / MEP	Level 6	324 SF	CIRCULATION	Level 8	1966 SF	RESIDENTIAL	Level 10	14735 SF
BOH / MEP	Level 7	324 SF	CIRCULATION	Level 9	168 SF	RESIDENTIAL	Level 11	14414 SF
BOH / MEP	Level 8	337 SF	CIRCULATION	Level 9	1997 SF	RESIDENTIAL	Level 12	14735 SF
BOH / MEP	Level 9	324 SF	CIRCULATION	Level 10	187 SF	RESIDENTIAL	Level 13	14414 SF
BOH / MEP	Level 10	337 SF	CIRCULATION	Level 10	1966 SF	RESIDENTIAL	Level 14	14735 SF
BOH / MEP	Level 11	324 SF	CIRCULATION	Level 11	168 SF	RESIDENTIAL	Level 15	14414 SF
BOH / MEP	Level 12	324 SF	CIRCULATION	Level 11	1997 SF	RESIDENTIAL		188578 SF
BOH / MEP	Level 13	324 SF	CIRCULATION	Level 12	187 SF	RETAIL / RETAIL EQUIVALENT	Level 1	1805 SF
BOH / MEP	Level 14	337 SF	CIRCULATION	Level 12	1966 SF	RETAIL / RETAIL EQUIVALENT		268730 SF
BOH / MEP	Level 15	324 SF	CIRCULATION	Level 13	168 SF			
BOH / MEP	Level 16 - ROOF	1474 SF	CIRCULATION	Level 13	1997 SF			
BOH / MEP		8607 SF	CIRCULATION	Level 14	187 SF			
BUILDING SUPPORT	Level 1	236 SF	CIRCULATION	Level 14	1966 SF			
BUILDING SUPPORT		236 SF	CIRCULATION	Level 15	168 SF			
			CIRCULATION	Level 16 - ROOF	1997 SF			
			CIRCULATION	Level 16 - ROOF	206 SF			
			CIRCULATION		681 SF			
			CIRCULATION		30694 SF			

321 WEST GRACE ST.

CONCEPT STUDY

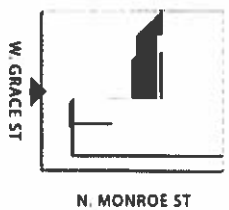
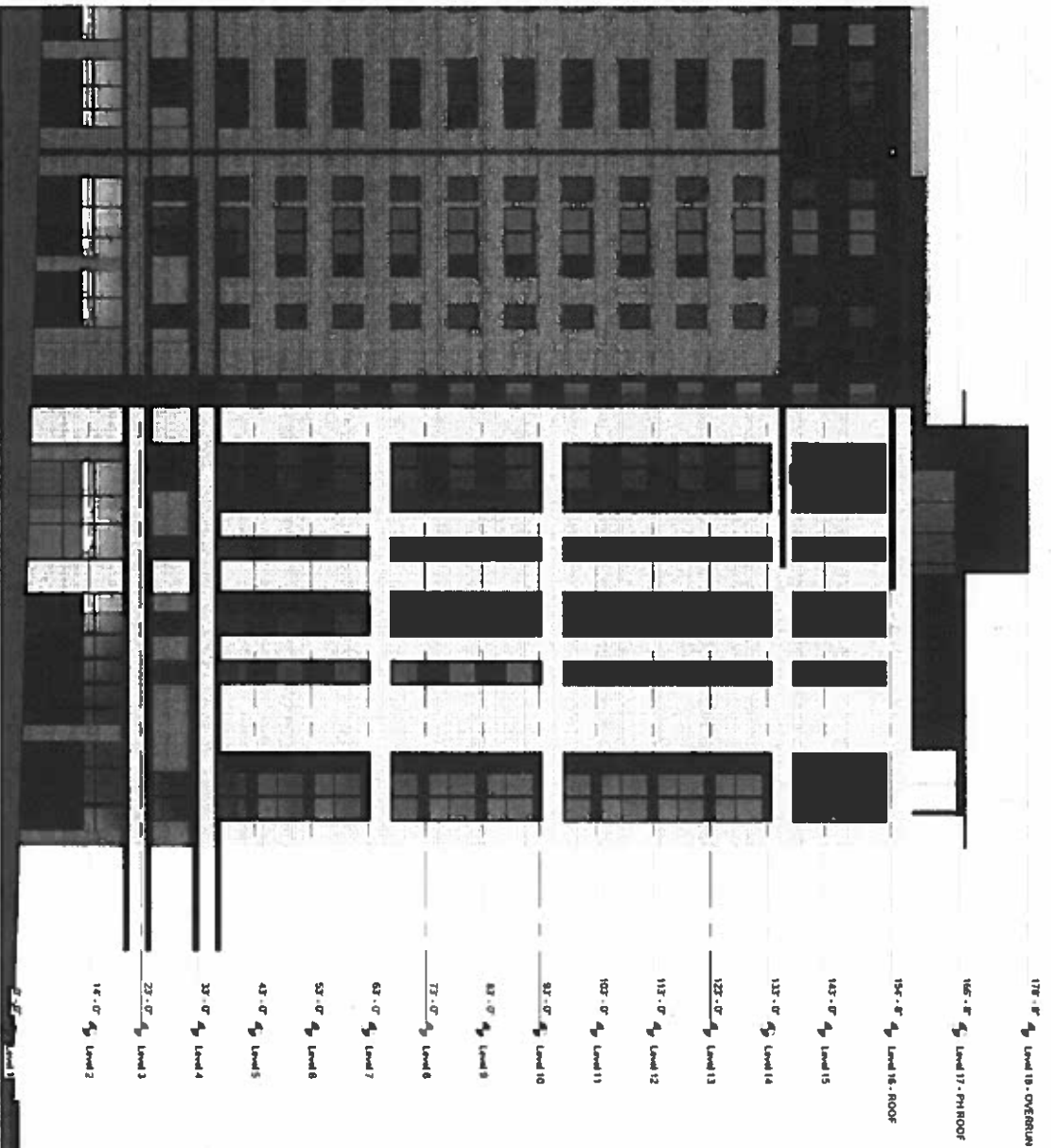
RICHMOND, VA

A11

01/15/2021



elevation - NORTH



SCALE: 1" = 20'-0"

321 WEST GRACE ST.

RICHMOND, VA

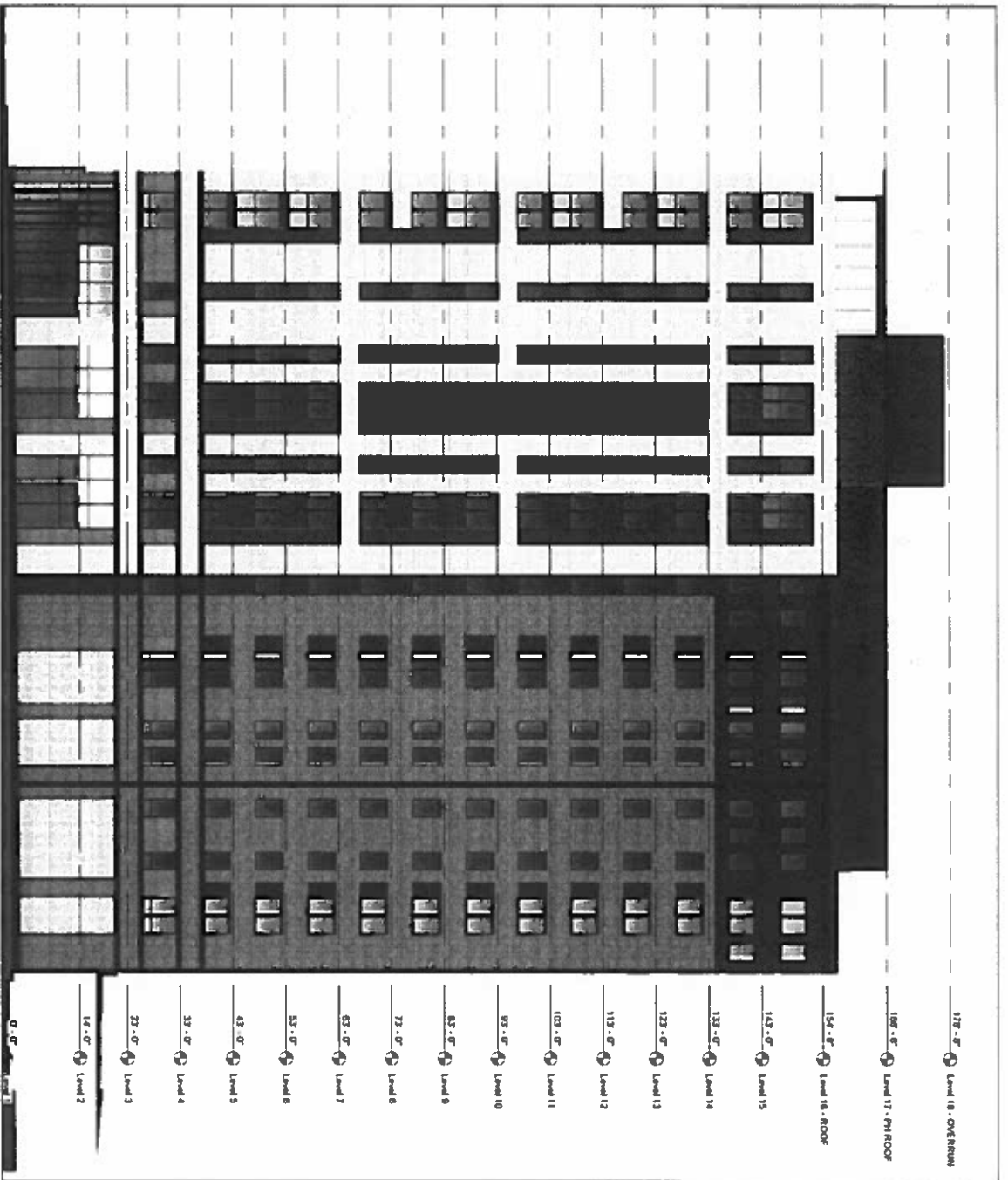
CONCEPT STUDY

A12

01/15/2021



elevation - WEST



SCALE: 1" = 20'-0"

321 WEST GRACE ST.

RICHMOND, VA

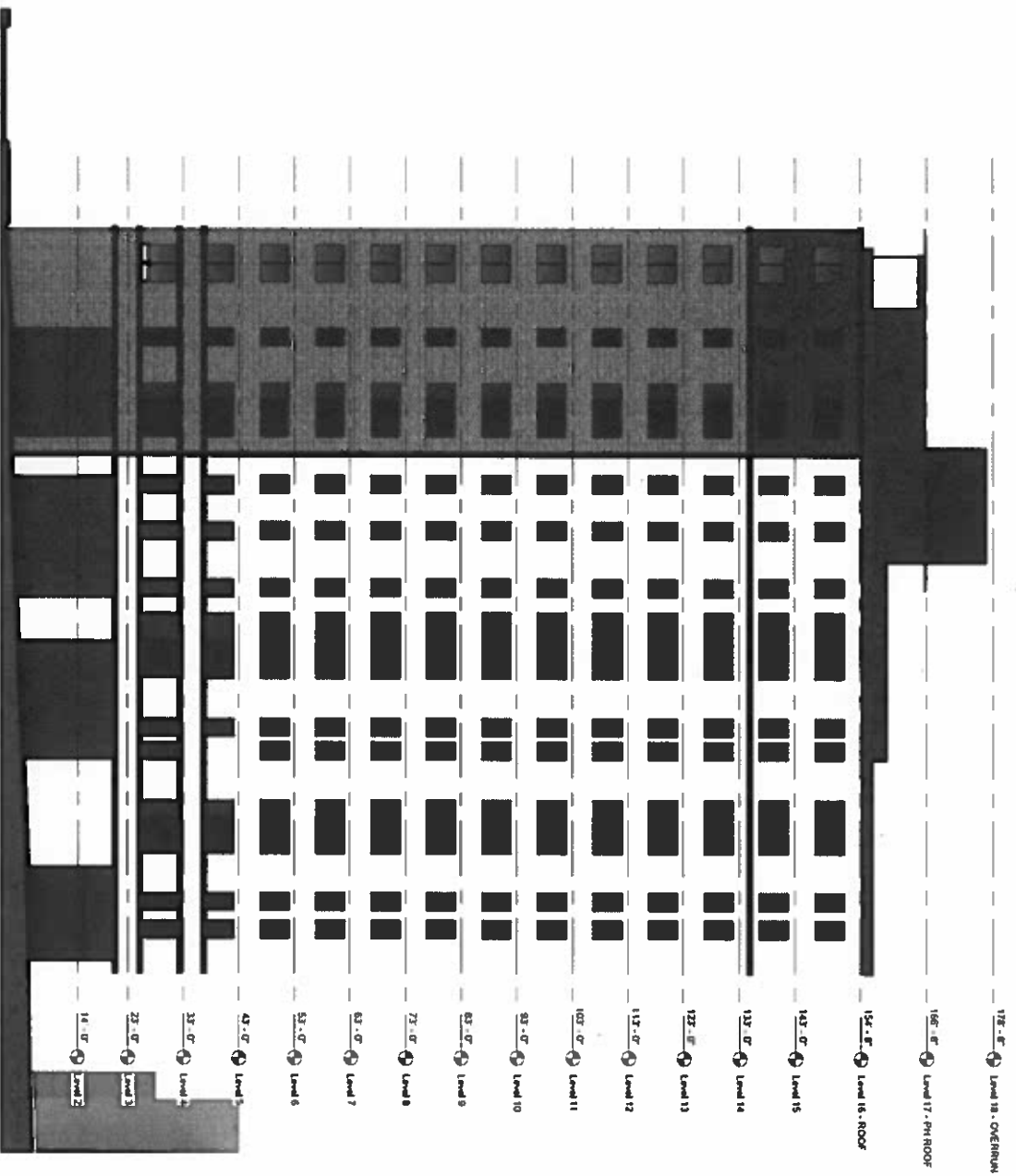
CONCEPT STUDY

A13

01/15/2021



elevation - SOUTH



SCALE: 1" = 20'-0"

321 WEST GRACE ST.

RICHMOND, VA

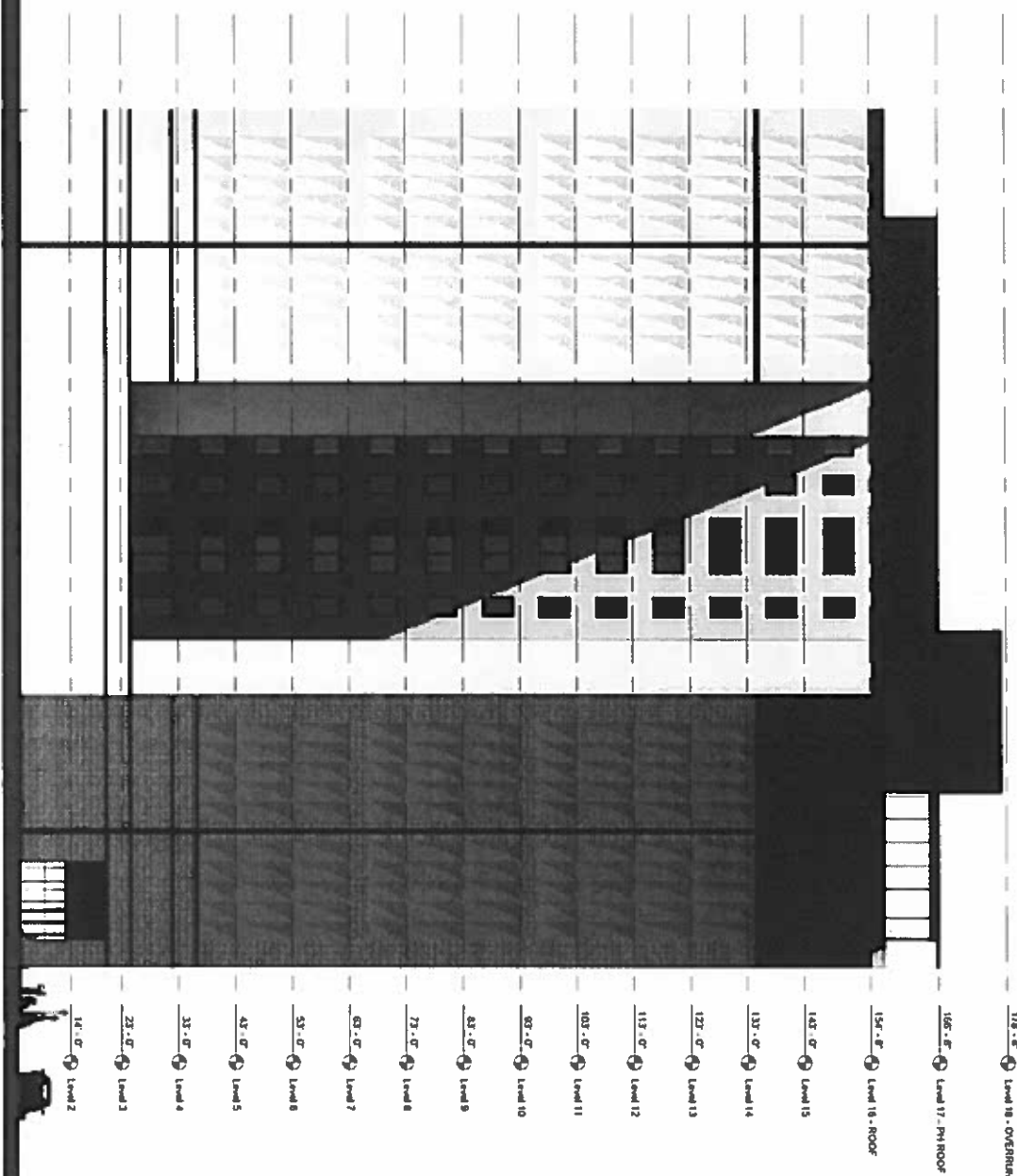
CONCEPT STUDY

A14

0 1/15/2021



elevation - EAST



178'-0" Level 18 - OVERSILL

165'-0" Level 17 - PVI ROOF

154'-0" Level 16 - ROOF

143'-0" Level 15

133'-0" Level 14

123'-0" Level 13

113'-0" Level 12

103'-0" Level 11

93'-0" Level 10

83'-0" Level 9

73'-0" Level 8

63'-0" Level 7

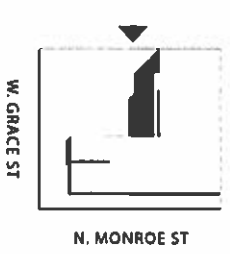
53'-0" Level 6

43'-0" Level 5

33'-0" Level 4

23'-0" Level 3

14'-0" Level 2



SCALE: 1" = 20'-0"

321 WEST GRACE ST.

RICHMOND, VA

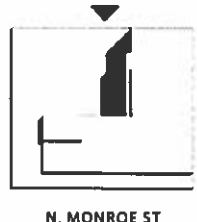
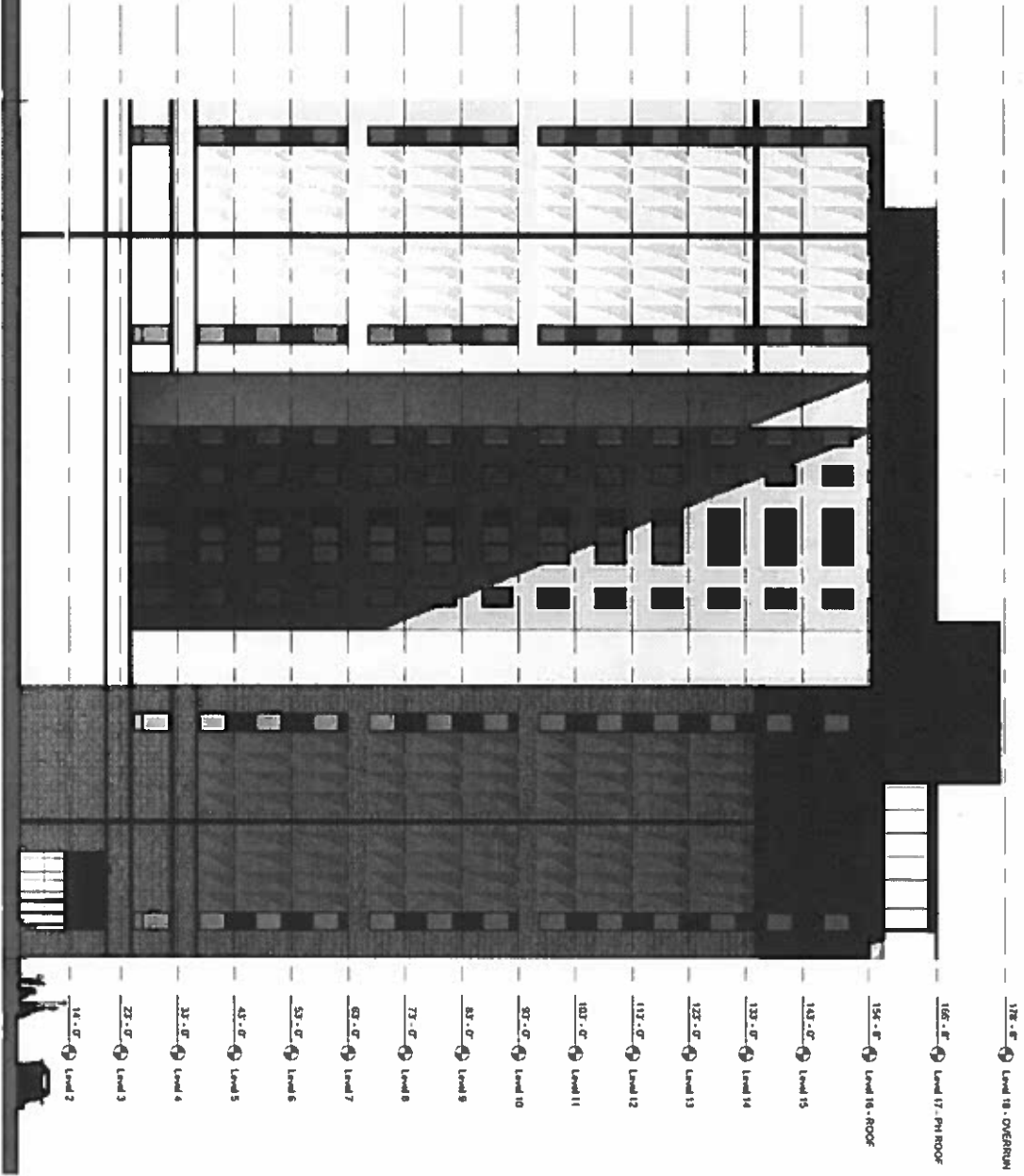
CONCEPT STUDY

A15

01/15/2021



elevation - EAST
(ALTERNATE)



SCALE: 1" = 20'-0"

321 WEST GRACE ST.

RICHMOND, VA

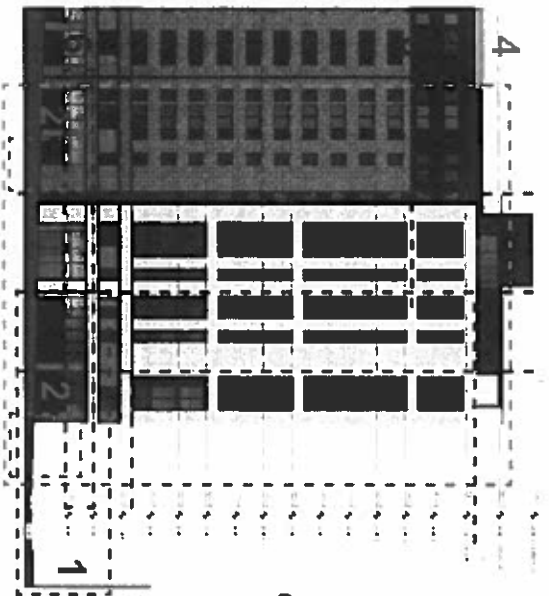
CONCEPT STUDY

A16

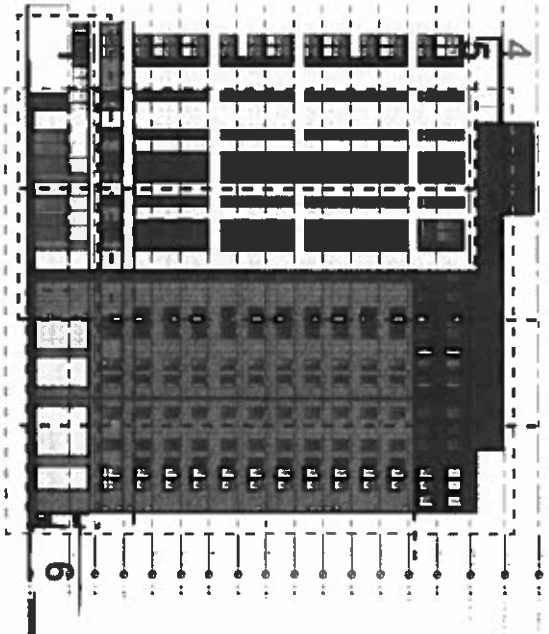
01/15/2021



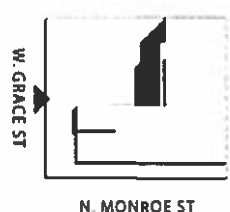
6 FORM ELEMENTS



MAIN ELEVATIONS
(WEST GRACE ST. AND
NORTH MONROE ST.)



SECONDARY ELEVATIONS
(PUBLIC ALLEY AND
ADJACENT PROPERTY)



SCALE: 1" = 20'-0"

- 1) HOLD THE CORNER
- 2) ENTRANCES FACE STREETS
- 3) TRANSPARENCY
- 4) FACADE ARTICULATION
- 5) SCREENED PARKING / SERVICES
- 6) RELIEF REQUESTED FOR FORM ELEMENT #3 "APPROPRIATE SETBACKS AND SETBACKS"

NOTE: RELIEF REQUESTED FOR FORM ELEMENT #3 "APPROPRIATE SETBACKS AND SETBACKS"

321 WEST GRACE ST.

RICHMOND, VA

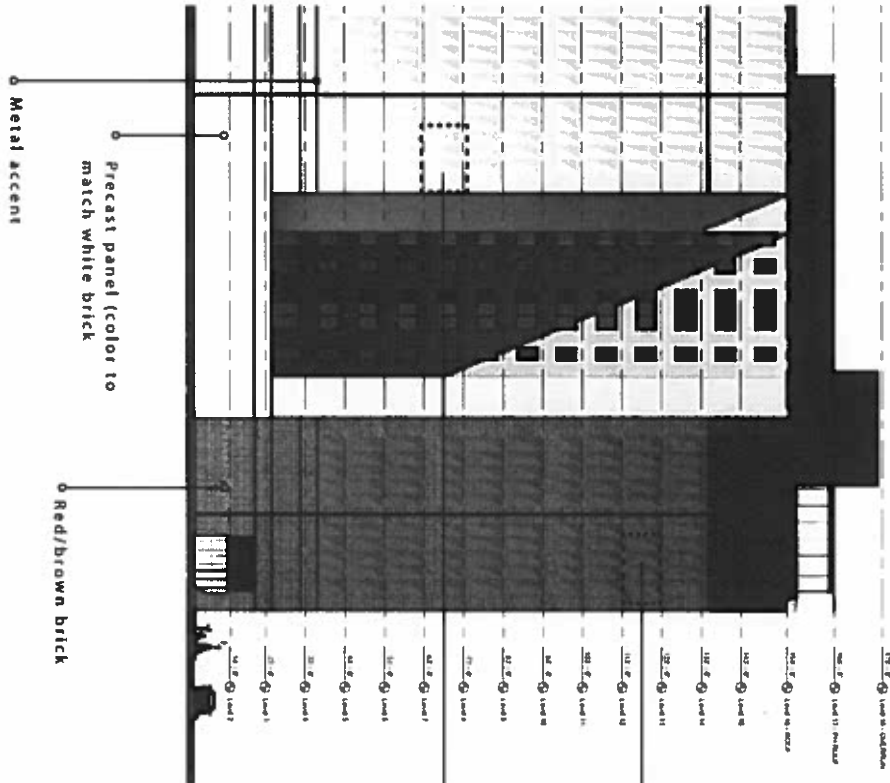
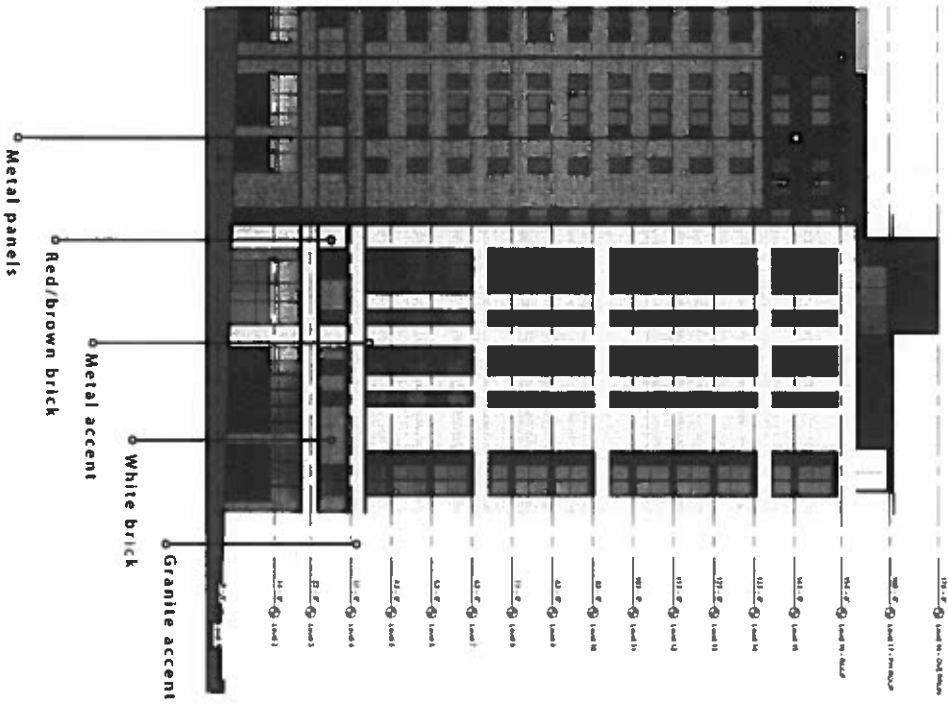
CONCEPT STUDY

A17

01/15/2021



EXTERIOR MATERIALS



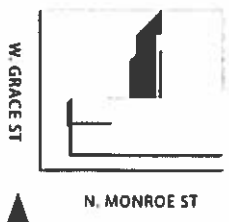
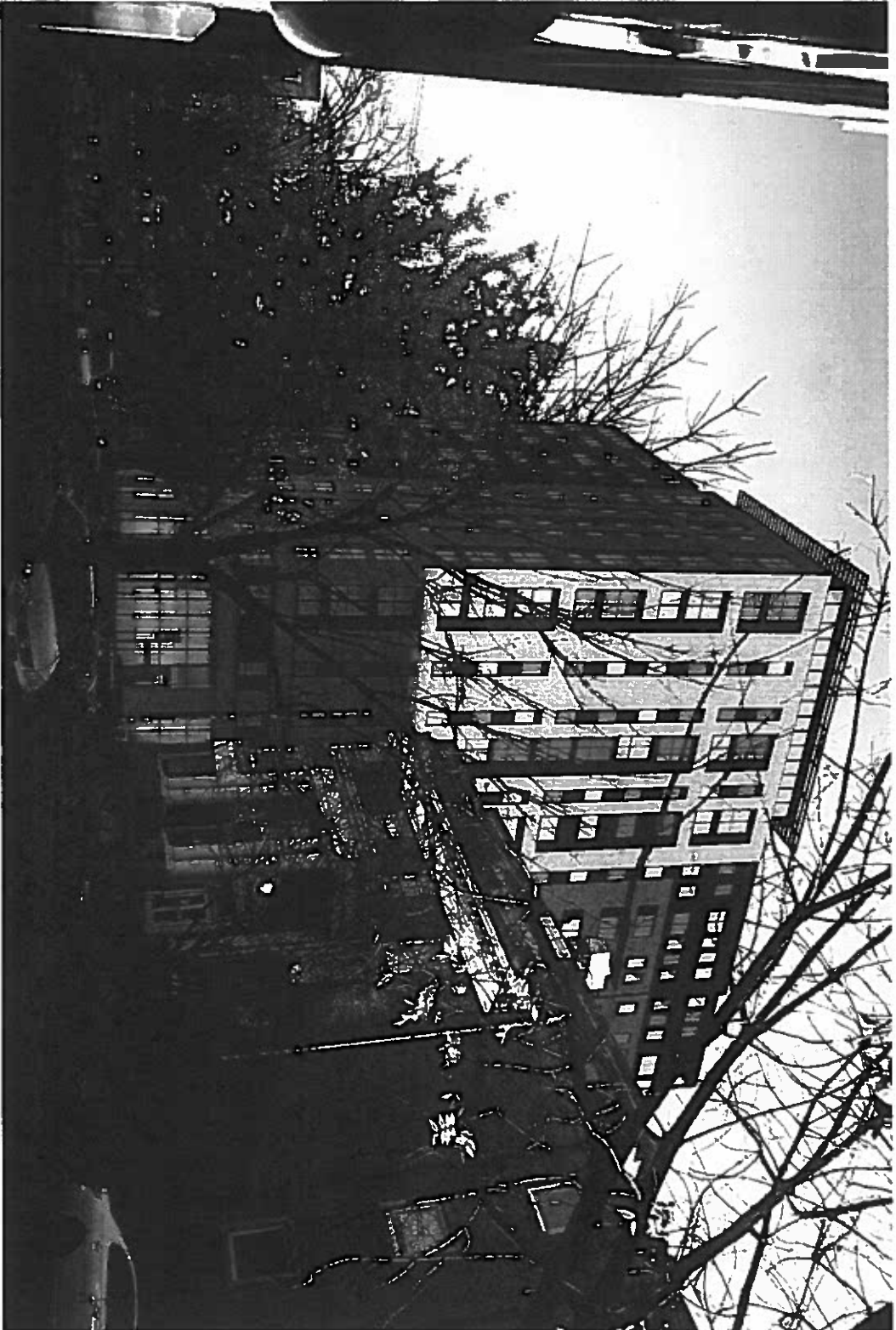
321 WEST GRACE ST.
RICHMOND, VA

CONCEPT STUDY

A18
01/15/2021



view1 - NORTHWEST ON W. GRACE ST



321 WEST GRACE ST.

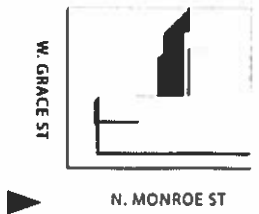
RICHMOND, VA

CONCEPT STUDY

A19
01/15/2021



view3 - NORTH ON N. MONROE ST



321 WEST GRACE ST.

RICHMOND, VA

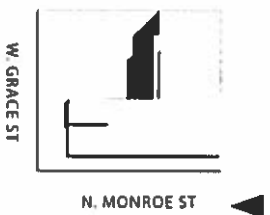
CONCEPT STUDY

A20

01/15/2021



view 4 - SOUTHWEST ON N. MONROE ST



321 WEST GRACE ST.

RICHMOND, VA

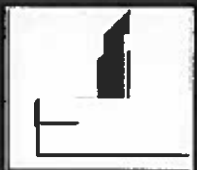
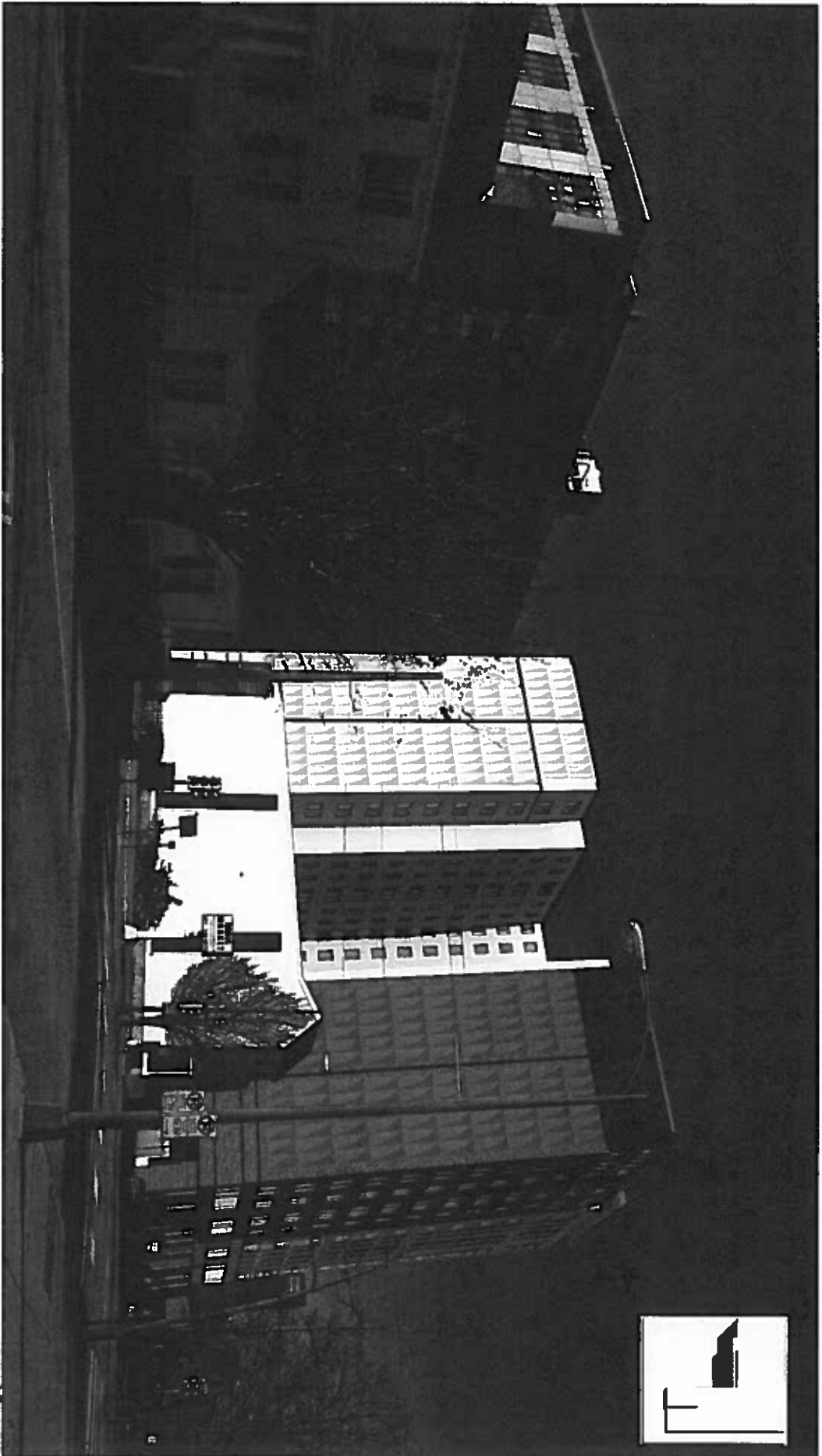
CONCEPT STUDY

A21

9/17/2021



view 5 - SOUTHEAST ON W. GRACE ST



N. MONROE ST

321 WEST GRACE ST.

RICHMOND, VA

CONCEPT STUDY

A22

01/15/2021

