

INTRODUCED: February 12, 2018

AN ORDINANCE No. 2018-041

To authorize the special use of the properties known as 1218, 1224, 1226, and 1228 East Brookland Park Boulevard for the purpose of permitting a multifamily dwelling containing up to 76 dwelling units, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: MAR 12 2018 AT 6 P.M.

WHEREAS, the owner of the properties known as 1218, 1224, 1226, and 1228 East Brookland Park Boulevard, which are situated in a UB Urban Business District, a UB-2 Urban Business District, and the PE-8 Meadowbridge Road and Six Points Parking Exempt Overlay District, desires to use such properties for the purpose of a multifamily dwelling with up to 76 dwelling units, which use, among other things, is not currently allowed by sections 30-433.2(8) and 30-433.11(7) of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2010), as amended, it has been made to appear that, if granted subject to the terms and conditions

AYES: 8 NOES: 1 ABSTAIN: _____

ADOPTED: MAR 12 2018 REJECTED: _____ STRICKEN: _____

set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the properties known as 1218, 1224, 1226, and 1228 East Brookland Park Boulevard and identified as Tax Parcel Nos. N000-0987/011, N000-0987/009, N000-0987/007, and N000-0987/006, respectively, in the 2018 records of the City Assessor, being more particularly shown on a survey entitled “1224 East Brookland Park Boulevard, City of Richmond, Virginia,” prepared by Rummel, Klepper & Kahl, LLP, dated July 31, 2017, and last revised December 20, 2017, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a multifamily dwelling containing up to 76 dwelling units, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “1224 East Brookland Park Boulevard, Special Use Permit Application, Re-Submission Package, City of Richmond, Virginia,” prepared by Torti Gallas and Partners, Inc., and dated January 16, 2018, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a multifamily dwelling containing up to 76 dwelling units, amenity areas, and flexible space, substantially as shown on the Plans. The areas designated on the Plans as “Community Room,” “Leasing,” “Community Oriented Flex Space,” and “Fitness” may contain alternative uses that are permitted in and governed by the zoning regulations prescribed for the district in which the Property is situated.

(b) No fewer than 19 parking spaces shall be provided for the Special Use, substantially as shown on the Plans.

(c) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(d) The height of the Special Use shall be limited to four stories, substantially as shown on the Plans.

(e) All building materials, elevations, site improvements, and landscaping shall be substantially as shown on the Plans, unless otherwise approved by the Advisory Council on Historic Preservation to the extent required by Section 106 of the National Historic Preservation Act, 54 U.S.C. § 306108, prior to the issuance of a building permit for the Property.

(f) No fewer than 20 bicycle storage spaces and no fewer than six bicycle parking spaces shall be provided, substantially as shown on the Plans.

(g) Signage on the Property shall be generally as shown on the Plans and subject to a determination by the Director of Planning and Development Review that the type, dimensions, and location of the signs are consistent with the findings made in section 1 of this ordinance.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the public right-of-way, consisting of the installation of street trees along East Brookland Park Boulevard, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following the written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby

authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) The Owner shall relocate the existing public sidewalk and construct a parking area along Newbury Avenue, substantially as shown on the Plans. The Owner must obtain such authorization for any encroachment by the parking area into the public right-of-way as section 4(d) of this ordinance may require. The Owner shall dedicate to the City the relocated public sidewalk and an easement for right-of-way purposes to provide for the public use of the relocated sidewalk. The Owner must complete all improvements and work to satisfy the requirements of this subsection in accordance with the requirements of the Director of Public Works, and such improvements and work shall be considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(g) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 consecutive calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

Item Request

File Number: PRE.2018.032

RECEIVED

FEB 07 2018

O & R REQUEST

4-7462
JAN 26 2018

OFFICE OF CITY ATTORNEY

O & R Request

Office of the
Chief Administrative Officer

DATE: January 25, 2018

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: Selena Cuffee Glenn, Chief Administrative Officer

THROUGH: Peter L. Downey, Deputy Chief Administrative Officer for Economic
Development and Planning

FROM: Mark A. Olinger, Director, Department of Planning and Development Review

RE: To authorize the special use of the properties known as 1218, 1224, 1226, and 1228 East Brookland Park Boulevard, for the purpose of a multi-family dwelling containing no more than 76 dwelling units, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the properties known as 1218, 1224, 1226, and 1228 East Brookland Park Boulevard, for the purpose of a multi-family dwelling containing no more than 76 dwelling units, upon certain terms and conditions.

REASON: The proposed development consisting of a newly constructed multi-family dwelling does not meet the requirement of the UB and UB-2 districts to restrict residential uses on the first floor of the building. A special use permit is therefore required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its March 5, 2018, meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The subject properties combined consist of a total of 34,489 SF or .79 acre parcel of land improved with two residential and one institutional buildings all of which are currently vacant and are located in the Highland Terrace neighborhood within the City's North Planning District.

The City's Master Plan recommends three of the parcels to be Single-Family Low Density (SF-LD) and one of the parcels to be Neighborhood Commercial (CM-NB). Single Family Low Density primarily consists of "...single-family detached dwellings at densities up to seven units per acre. Includes residential support uses such as schools, places of worship, neighborhood parks and recreation facilities, and limited public and semi-public uses. Typical zoning classifications that may accommodate this land use category: R-1, R-2, R-3, R-4, and R-5." (City of Richmond Master Plan, p. 133)

Neighborhood Commercial uses consist of "...office, personal service and retail uses, intended to provide the daily convenience shopping and service needs of adjacent neighborhood residents. Such uses are typically small scale and low intensity, have limited hours of operation, involve a high percentage of walk-in trade and minimal vehicular traffic, and are especially compatible with adjacent low to medium density residential uses. Typical zoning classifications that may accommodate this land use category: B-1 and UB." (Ibid, 134)

The subject properties are zoned UB-PE8 and UB2-PE8 (Urban Business Parking Exempt) District. Adjacent properties are located in the same UB and UB2 Districts to the north, east, and south. Properties to the west are zoned in the R-5 Single-Family Residential District.

Currently, nearby properties on East Brookland Park Boulevard are a combination of multifamily, two-family, and single-family dwellings, with commercial uses surrounding the six-points intersection.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$2,400

DESIRED EFFECTIVE DATE: Upon Adoption

REQUESTED INTRODUCTION DATE: February 12, 2018

CITY COUNCIL PUBLIC HEARING DATE: March 12, 2018

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission, March 5, 2018

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner
Land Use Administration (Room 511) 646-5734



SUP-021938-2017

Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Property Address: 1218, 1222, 1224, 1226 and 1228 E. Brookland Park Boulevard Date: 8/7/17
Tax Map #: See attached Fee: \$2400.00
Total area of affected site in acres: 0.79

(See page 6 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: UB-2 and UB

Existing Use: Vacant

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Multifamily
Existing Use: Vacant

Is this property subject to any previous land use cases?

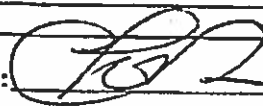
Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Jennifer D. Mullen, Esq.
Company: Roth Jackson
Mailing Address: 919 E. Main Street, Suite 2110
City: Richmond State: VA Zip Code: 23219
Telephone: (804) 9773374 Fax: ()
Email: jmullen@rothjackson.com

Property Owner: Nehemiah Ventures Llc and Community Housing Inc (1218 E. Brookland Park
If Business Entity, name and title of authorized signer: CHRISTOPHER LoPiano

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 8403 Colesville Road, Suite 1150
City: Silver Spring State: MD Zip Code: 20910
Telephone: () Fax: (202) 895-8805
Email: mengel@cpdc.org

Property Owner Signature: 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

RJ ROTH JACKSON
ROTH JACKSON GIBBONS CONDLIN, PLC

VIA EMAIL: Matthew.Ebinger@Richmondgov.com

Mr. Matthew Ebinger
City of Richmond
Department of Planning and Development Review
Land Use Administration Division, Room 511
City Hall, 900 East Broad Street
Richmond, Virginia 23219

Mark J. Kronenthal

Richmond Office
(804) 441-8603 (direct)
mkronenthal@rothjackson.com

August 28, 2017

RE: Special Use Permit: 1218, 1222, 1224, 1226 and 1228 E. Brookland Park Boulevard

Dear Matthew:

This letter shall serve as the Applicant's Report accompanying the application for the Special Use Permit (the "SUP") in order to permit multi-family dwelling use as shown on the attached plans, for the property known as 1218, 1222, 1224, 1226 and 1228 E. Brookland Park Boulevard (collectively, the "Property"). The Property is located on the north side of E. Brookland Park Boulevard and is identified as Parcel Nos. N0000987011, N0000987009, N0000987007 and N0000987006 in the City Assessor's records.

The parcels identified as 1218, 1222, 1224 and 1226 E. Brookland Park Boulevard are zoned Urban Business (UB-2) and are within the Parking Exempt Overlay District PE-8. 1228 E. Brookland Park Boulevard is zoned Urban Business (UB) and is also within in Parking Exempt Overlay District PE-8. The surround parcels are generally zoned for Urban Business and are located within the Parking Exempt Overlay District PE-8. The properties across E. Brookland Park Boulevard to the South zoned UB-2/PE-8 and are occupied as multi-family residential, which are owned and managed by an affiliate of the Applicant, and a vacant parcel. The two parcels to the West of the subject parcels are also zoned UB-2/PE-8 with one improved with a single family dwelling and the other a surface parking lot. The parcels further to the West are

RICHMOND

919 East Main Street, Suite 2110, Richmond, VA 23219
P: 804-441-8440 F: 804-441-8438

TYSONS CORNER

8200 Greensboro Drive, Suite 820, McLean, VA 22102
P: 703-485-3535 F: 703-485-3525

zoned R-5 and also improved with single family dwellings. The properties across Newbury Avenue to the north are also zoned UB-2/PE-8 and are improved and used as a religious institution and ancillary parking. The central Six Points business area to the East is zoned UB/PE-8.

All of the buildings on the Property are vacant and deteriorating. The portion of the Property known as 1218 E. Brookland Park Boulevard is an approximately 0.183 acre lot and is improved with former single-family residence together with an ancillary two car garage structure. The portion of the Property known as 1222 and 1224 E. Brookland Park Boulevard is an approximately 0.366 acre lot area and contains a vacant, boarded, former church administrative building together with a vacant former church sanctuary building, both previously used as a community center. The portion of the Property known as 1226 E. Brookland Park Boulevard is an approximately 0.183 acre lot and is improved with an asphalt paved parking area. The portion of the Property known as 1228 E. Brookland Park Boulevard is an approximately 0.059 acre lot and is improved with a former single-family residence which is boarded and vacant. The Applicant proposed to demolish the deteriorated structures and construct a 4 story, 68 unit multi-family building pursuant to the attached plans.

The proposed development is compatible with the goals for the Six Points area of a vital, walkable, pedestrian-oriented uses and the redevelopment of the Six Points commercial district. The building is designed to have active facades on both the primary entrance of E. Brookland Park Boulevard, as well as the secondary entrance off Newbury Avenue. The ground floor primary entrance is designed to appear as commercial space in the center bay of the building, with storefront windows and awnings. The residential units on the ground floor have direct access to the street and maintain the transparency along the ground floor. In addition, on-street parallel parking along E. Brookland Park Boulevard will create activity directly on the street. The off-street parking spaces are located off of the one-way Newbury Avenue, with landscaping and a courtyard to minimize the view of the parking area. The sidewalk is located behind the parking spaces to avoid pedestrian conflict; provided, the pedestrian traffic is directed to E. Brookland Park Boulevard.

A key driver of the 2015 rezoning was the deterioration and vacancy in the Six Points area, and to encourage future pedestrian-oriented mixed use development. The quality, affordable senior housing across E. Brookland Park has been a catalyst in the area, but in order for more stable businesses to locate in the central Six Points area as an amenity to the greater area, more multi-family residential density must occur in the UB-2 areas, like the Property, located between central UB Six Points and the surrounding R-5 district. In order to address this issue and accommodate the needs of the site - not directly facing the core business area but also not directly adjacent to the R-5 single family areas - the SUP would provide the residents needed to walk to the businesses called for in the 2015 rezoning in the adjacent UB area to the east. The number of dwelling units and stories proposed by the Applicant accommodates this higher density of residents contemplated in the 2015 rezoning to achieve a successful, vibrant, diverse mixed-use Six Points area. Further, the Applicant would design the ground floor of the building to desirable ceiling and window configurations so that when the primary Six Points business areas are thriving and stable, ground floor commercial use could grow into the Property located along this frontage secondary to the core Six Points area.

The following are factors indicted in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- *Be detrimental to the safety, health, morals and general welfare of the community involved.*

The proposed SUP will not impact the safety, health, morals and general welfare of the nearby neighborhoods. The proposed SUP is consistent with the recommendations of the Master Plan, as put in place by the 2015 Ordinance.

- *Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.*

The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods and is consistent with the goals of creating pedestrian, not vehicle, vitality in

the Six Points area. The previous, now-dormant neighborhood center use, would generate more vehicle traffic activity.

- *Create hazards from fire, panic or other dangers.*

The Property would be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- *Tend to overcrowding of land and cause an undue concentration of population.*

The proposed SUP will not tend to over crowd the land or create an undue concentration of land considering the City's stated goals in the 2015 Ordinance to support multi-family density in the area.

- *Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.*

The special use permit would not adversely affect the above referenced City services. To the contrary, the SUP would help insure the viability of the Six Points area.

- *Interfere with adequate light and air.*

The proposed SUP will not impact the light and air available to adjacent properties.

The SUP would enhance surrounding uses and the Six Points area. Thank you for your time and consideration of this request. Please let me know if you have any questions.

Sincerely,



Mark J. Kronenthal

Owner/Developer:

**COMMUNITY PRESERVATION AND
DEVELOPMENT CORPORATION**
413 STUART CIRCLE, SUITE 323
RICHMOND, VA 23220

Architect:

TORTI GALLAS + PARTNERS

Landscape Design:

CITE DESIGN

Civil Engineering:

RUMMER, KLEPPER, & KAHL, LLP



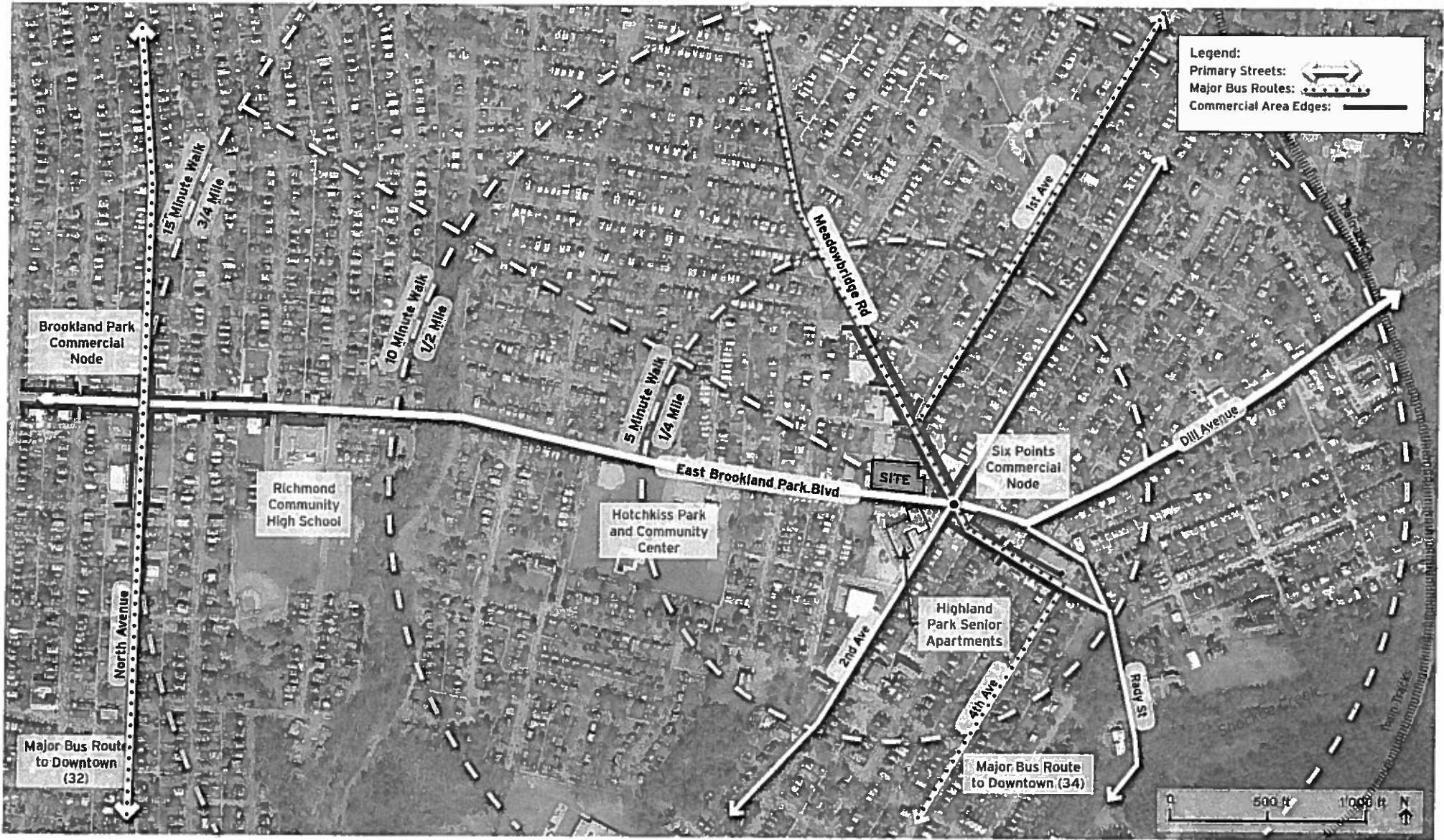
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January 16th, 2018

**1224 EAST BROOKLAND
PARK BOULEVARD
SPECIAL USE PERMIT APPLICATION
RE-SUBMISSION PACKAGE
CITY OF RICHMOND, VIRGINIA**



January 16th, 2018 ©2017 Tero Galas + Partners | 1300 Spring Street, 4th Floor | Silver Spring, Maryland 20910 | 301.588.4800

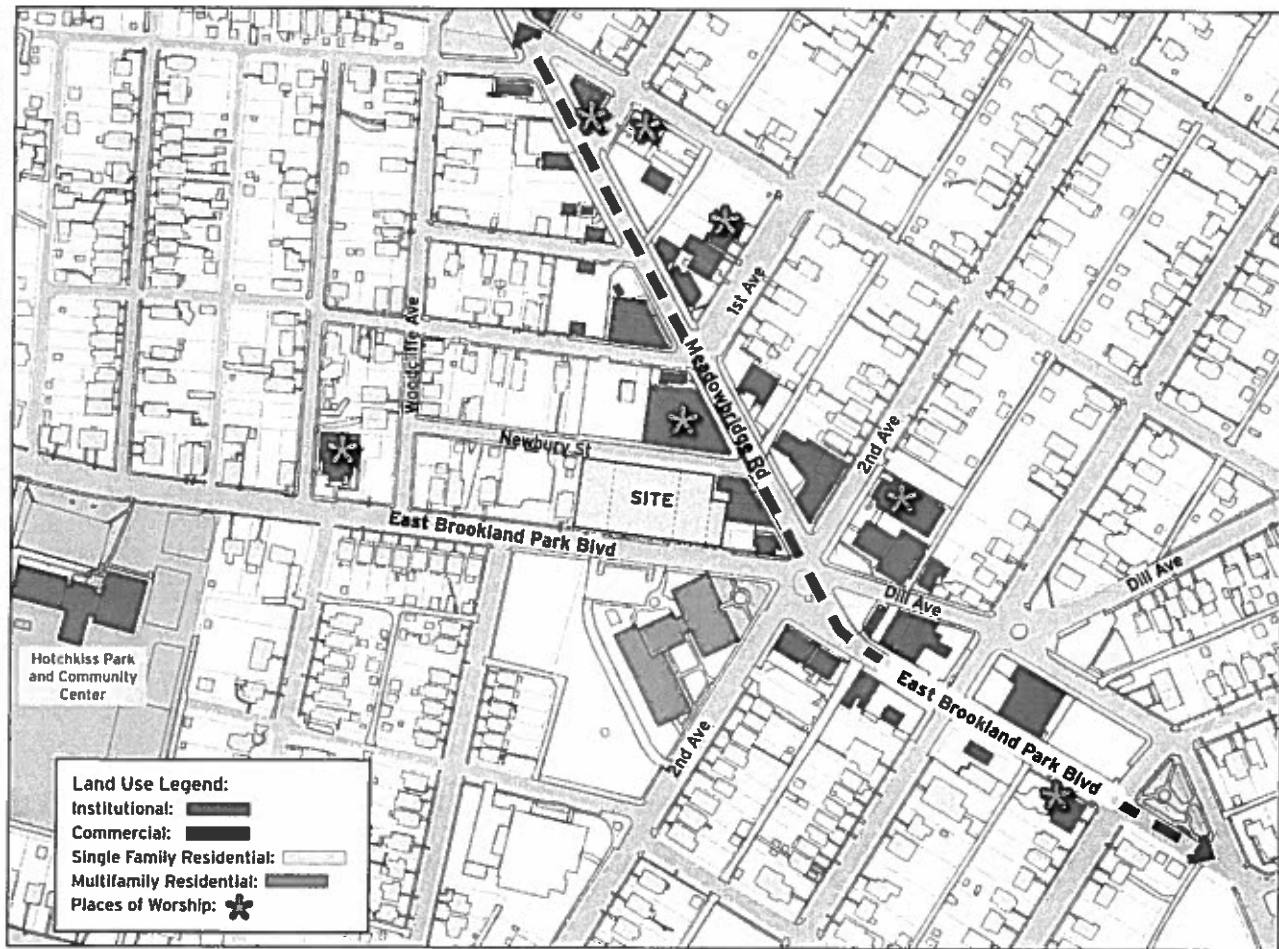


OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION
 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RK&K

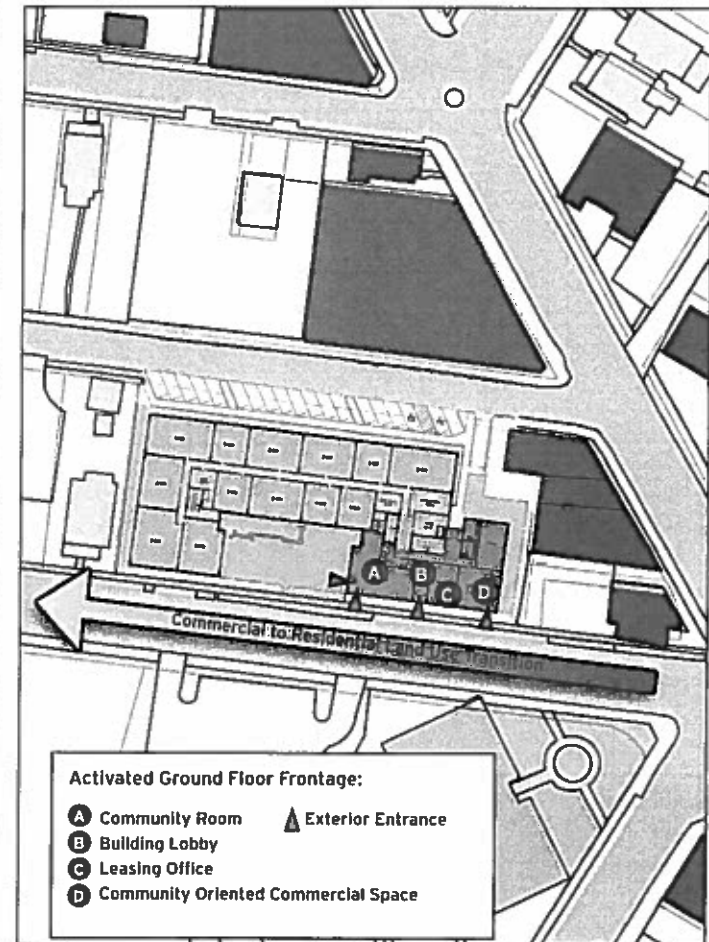
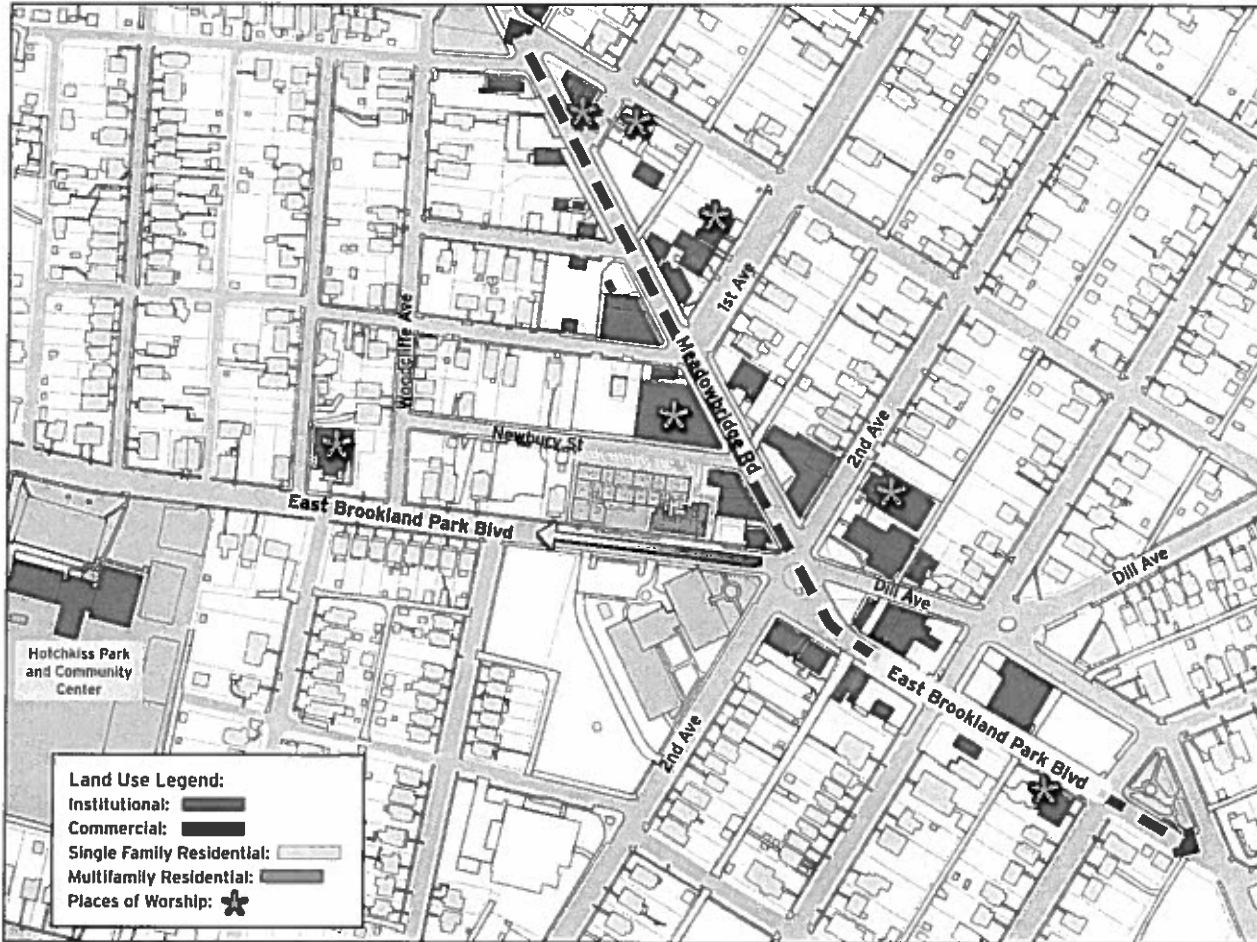
Neighborhood Analysis Diagram
 1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



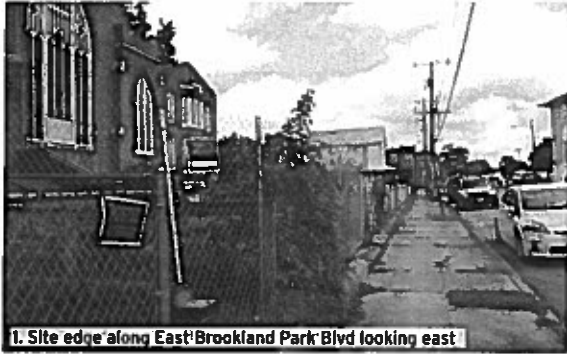
City Zoning Map with site highlighted



Land Use Analysis Diagram highlighting commercial corridor along Meadowbridge Road and southeastern portion of East Brookland Park Blvd



Proposed land use analysis diagrams showing proposed non-residential use location and the transition from the commercial corridor to residential land use.



1. Site edge along East Brookland Park Blvd looking east



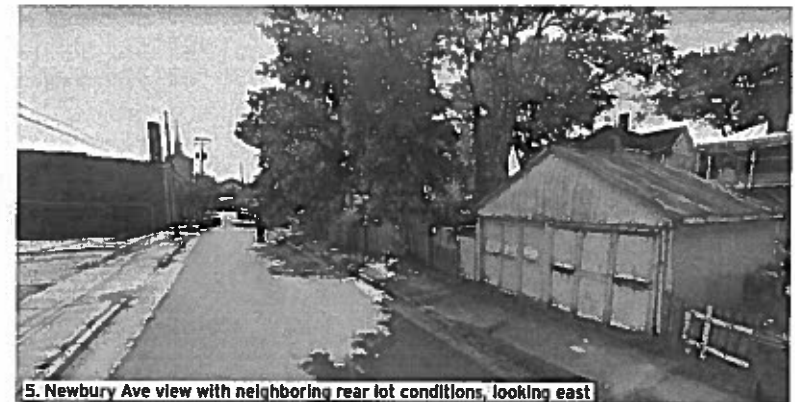
2. Site edge along East Brookland Park Blvd looking west



3. Site edge and street conditions along Newbury Ave, looking southwest



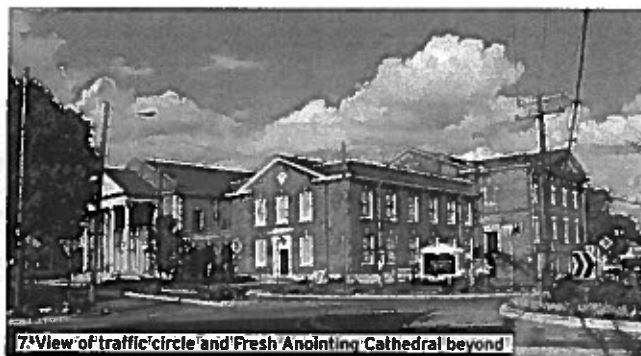
4. View of site fronting East Brookland Park Blvd, looking northwest



5. Newbury Ave view with neighboring rear lot conditions, looking east



6. Highland Park Senior Apartments



7. View of traffic circle and Fresh Anointing Cathedral beyond



8. View of nearby Richmond Community High School, along East Brookland Park Blvd

January 16th, 2018 | © 2017 Torti Gallas + Partners | 1500 Spring Street, 4th Floor | Silver Spring, Maryland 20910 | 301.588.1800



OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION
LANDSCAPE DESIGN: CITE DESIGN
CIVIL ENGINEERING: RK&K



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OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION
 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RK&K

Site Analysis
 1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



Parking	
Off Street	19
On Street (Parallel)	12
Total	31
Ratio to Total Units	0.41

Ground Floor Non-Residential Area (GSF)	4,400
Total Ground Floor Area (GSF)	20,270
Non-Residential % of Ground Floor	22%
Total Gross Floor Area (GSF)	81,043

Floors	1 Bedroom	2 Bedroom	3 Bedroom	Totals
1st Fl (Ground Level)	5	5	3	13
2nd Floor	12	6	3	21
3rd Floor	12	6	3	21
4th Floor	12	6	3	21
Totals	41	23	12	76
Unit Percentages	53.9%	30.3%	15.8%	100.0%

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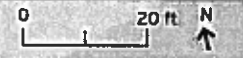
OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION
 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RM&K

Illustrative Site Plan
 1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



Floors	1 Bedroom	2 Bedroom	3 Bedroom	Totals
1st Fl (Ground Level)	5	5	3	13
2nd Floor	12	6	3	21
3rd Floor	12	6	3	21
4th Floor	12	6	3	21
Totals	41	23	12	76
Unit Percentages	53.9%	30.3%	15.8%	100.0%

Ground Floor Non-Residential Area (GSF)	4,400
Total Ground Floor Area (GSF)	20,270
Non-Residential % of Ground Floor	22%
Total Gross Floor Area (GSF)	81,043

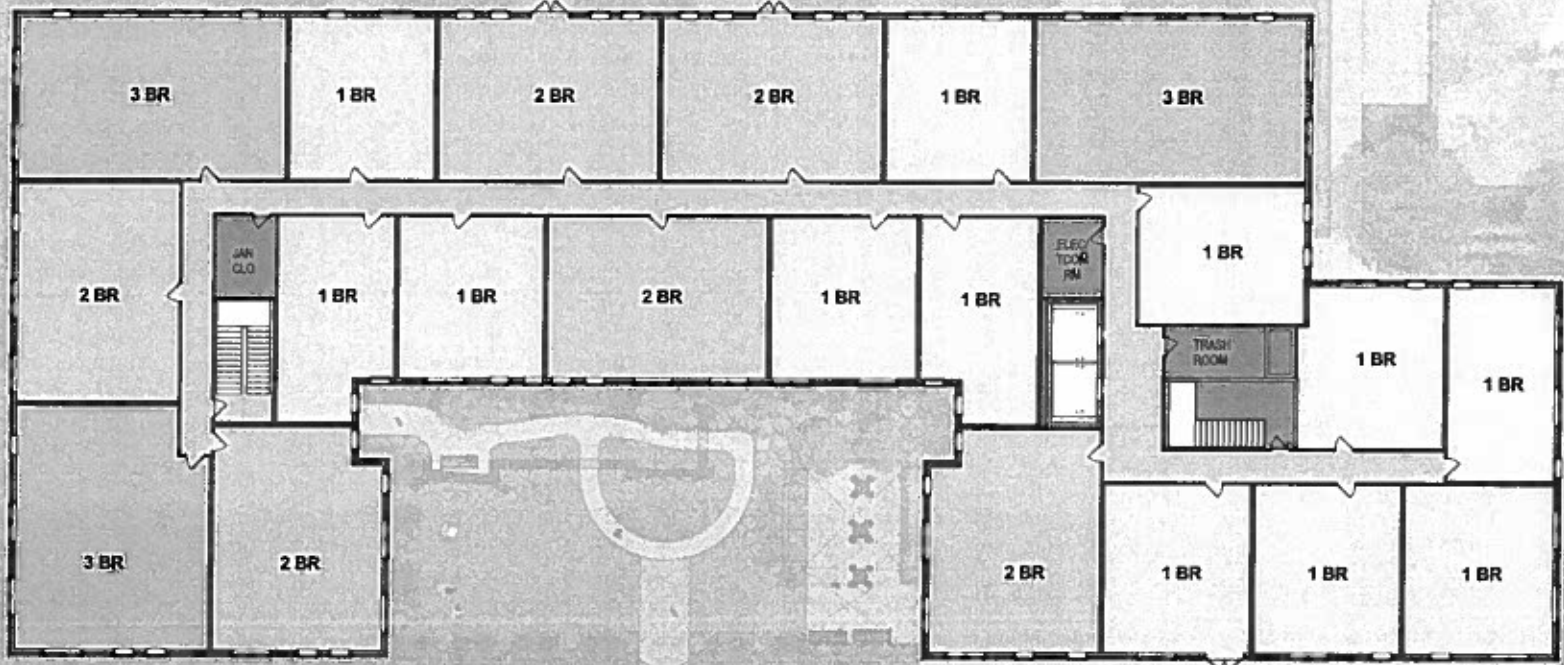


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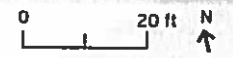
OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION
 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RK&K

Ground Floor Plan
 1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



Floors	1 Bedroom	2 Bedroom	3 Bedroom	Totals
1st Fl (Ground Level)	5	5	3	13
2nd Floor	12	6	3	21
3rd Floor	12	6	3	21
4th Floor	12	6	3	21
Totals	41	23	12	76
Unit Percentages	53.9%	30.3%	15.8%	100.0%

Height	1st
14'	2nd
10.75'	3rd
10.75'	4th



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 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RK&K

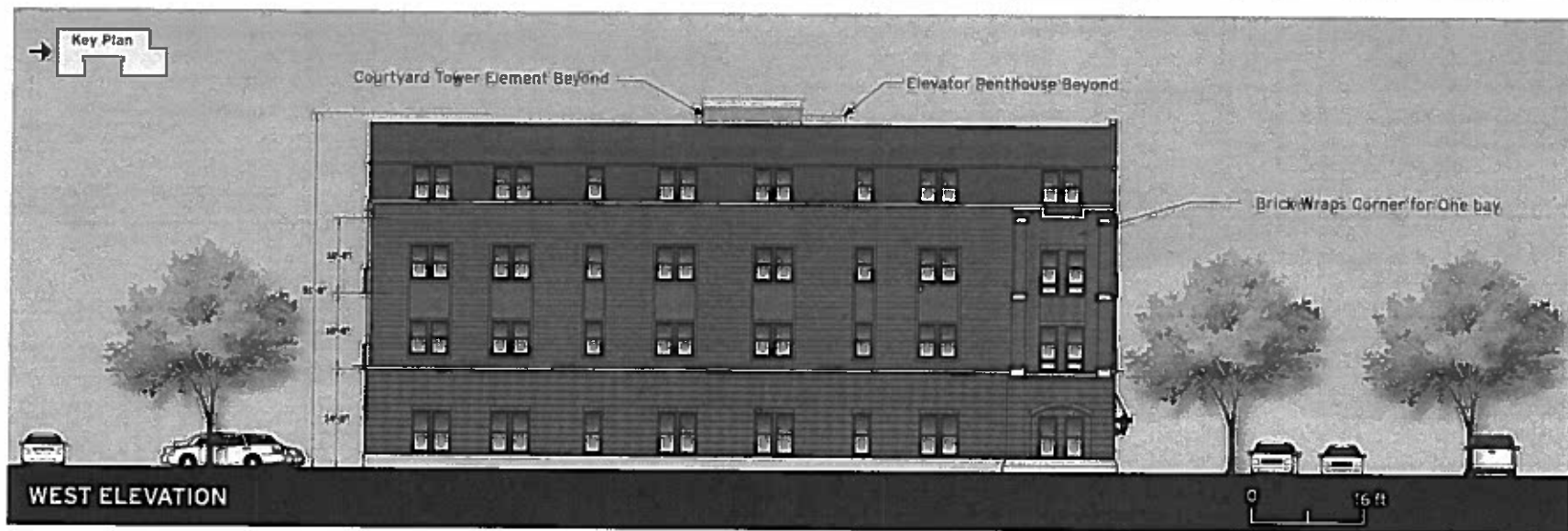
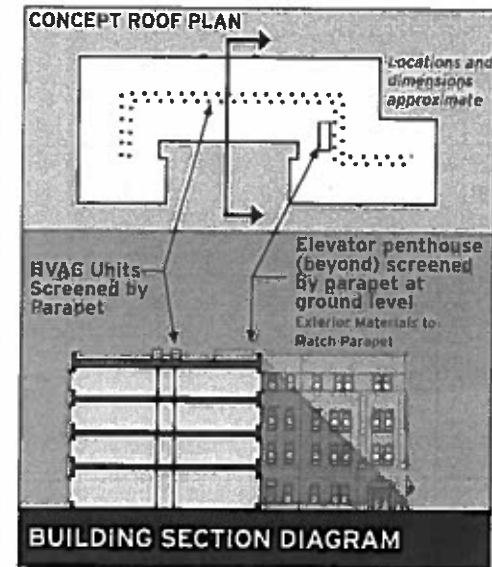
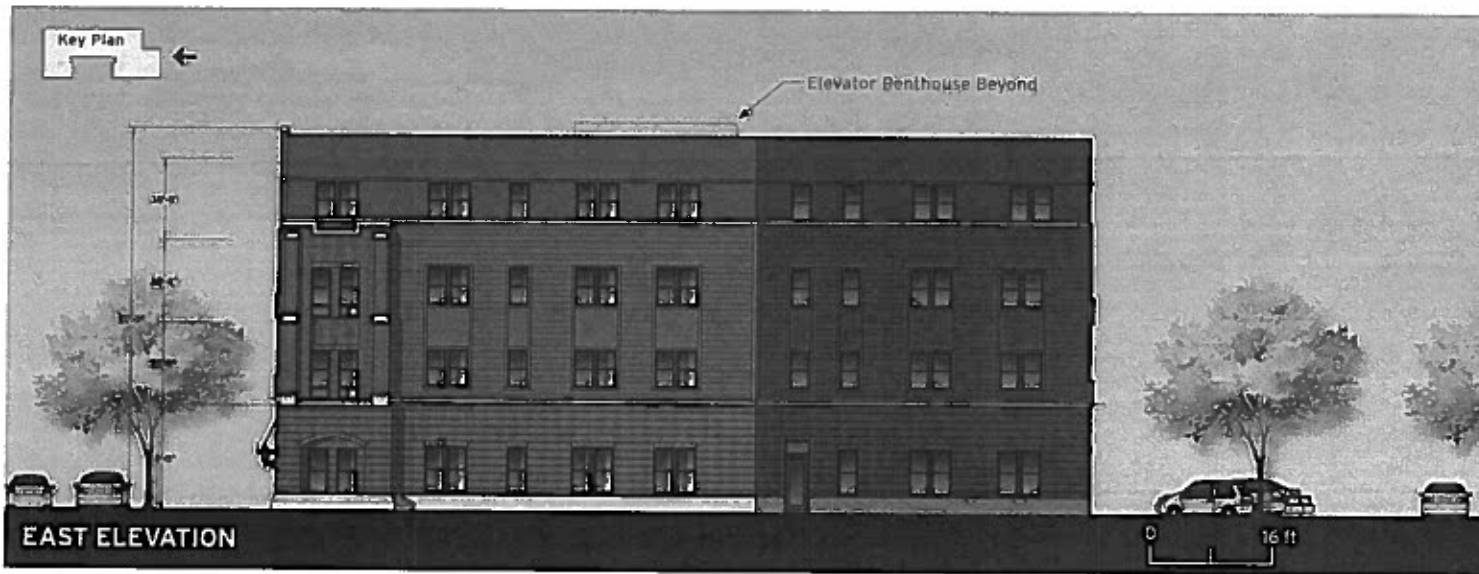
2nd, 3rd, and 4th Floor Plan
 1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



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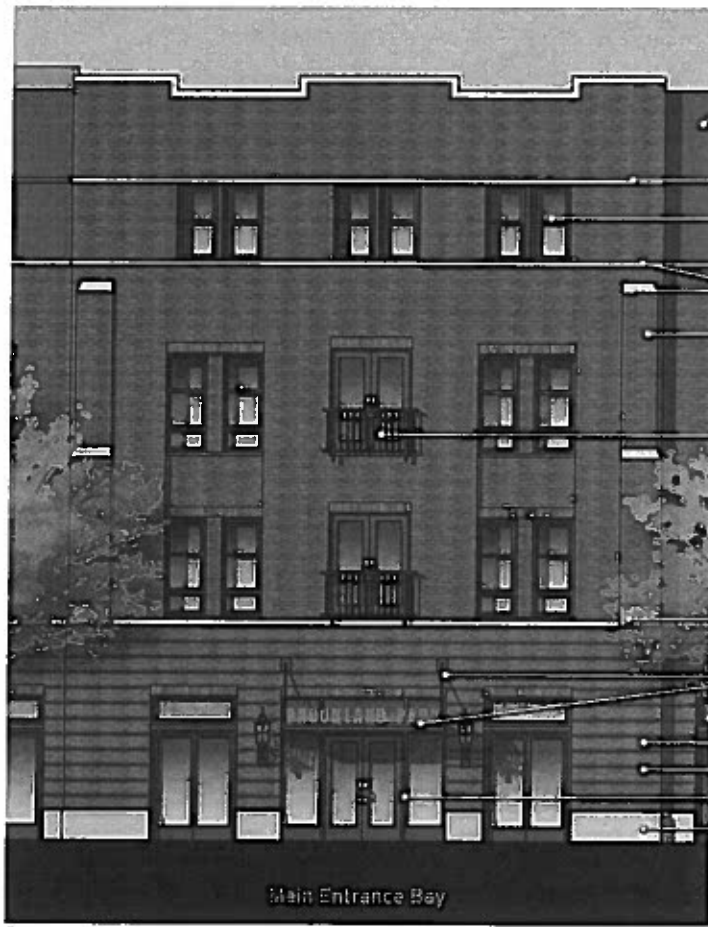
OWNER/DEVELOPER: **COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION**
 LANDSCAPE DESIGN: **CITE DESIGN**
 CIVIL ENGINEERING: **RK&K**



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OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION
 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RK&K



- FIBER CEMENT PANEL/SIDING
- FIBER CEMENT TRIM
- CAST STONE
- VINYL WINDOWS
- CAST STONE CAPS
- BRICK COLOR #1
- METAL RAILING
- CAST STONE
- METAL CANOPY
- BRICK COLOR #1
- BRICK COLOR #2
- METAL DOORS
- CAST STONE

Note: Dryer vents and any exterior downspouts will match color of material in which it sits

0 8 ft

Main Entrance Bay

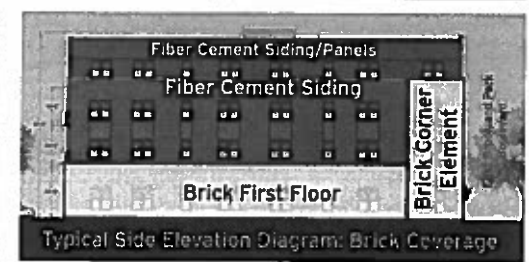
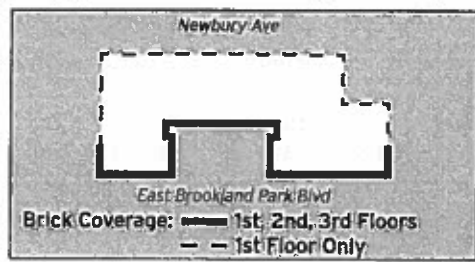


- FIBER CEMENT PANEL/SIDING
- FIBER CEMENT TRIM
- FIBER CEMENT SIDING
- VINYL WINDOWS
- FIBER CEMENT PANEL TO BE MATCHED WITH BRICK COLOR
- FIBER CEMENT TRIM
- CAST STONE
- BRICK COLOR #1
- BRICK COLOR #2

Typical Front Elevation Bay



Typical Side & Rear Elevation Bay



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OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION
 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RK&K

1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



January 16th, 2018

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OWNER/DEVELOPER: **COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION**
LANDSCAPE DESIGN: **CITE DESIGN**
CIVIL ENGINEERING: **RK&K**

View Down East Brookland Park Blvd
1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



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OWNER/DEVELOPER: **COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION**
LANDSCAPE DESIGN: **CITE DESIGN**
CIVIL ENGINEERING: **RK&K**

View From Highland Park School
1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



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OWNER/DEVELOPER: **COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION**
LANDSCAPE DESIGN: **CITE DESIGN**
CIVIL ENGINEERING: **RK&K**

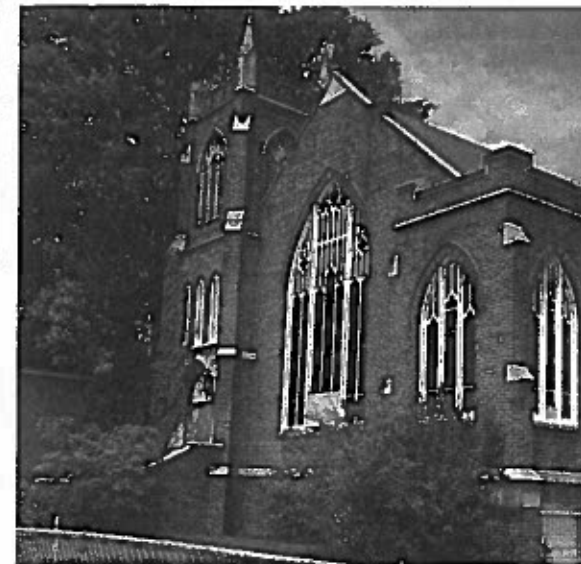
View of Courtyard Showing Preservation of Church Structure
1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



Shockoe Bottom, Richmond



Lanier Heights, Washington DC



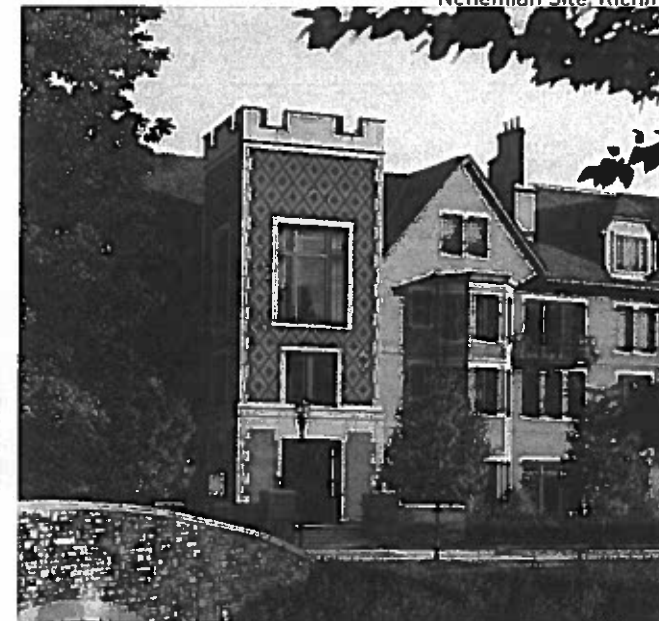
Nehemiah Site, Richmond



Richmond Springfield School



Arthur Capper Senior Housing



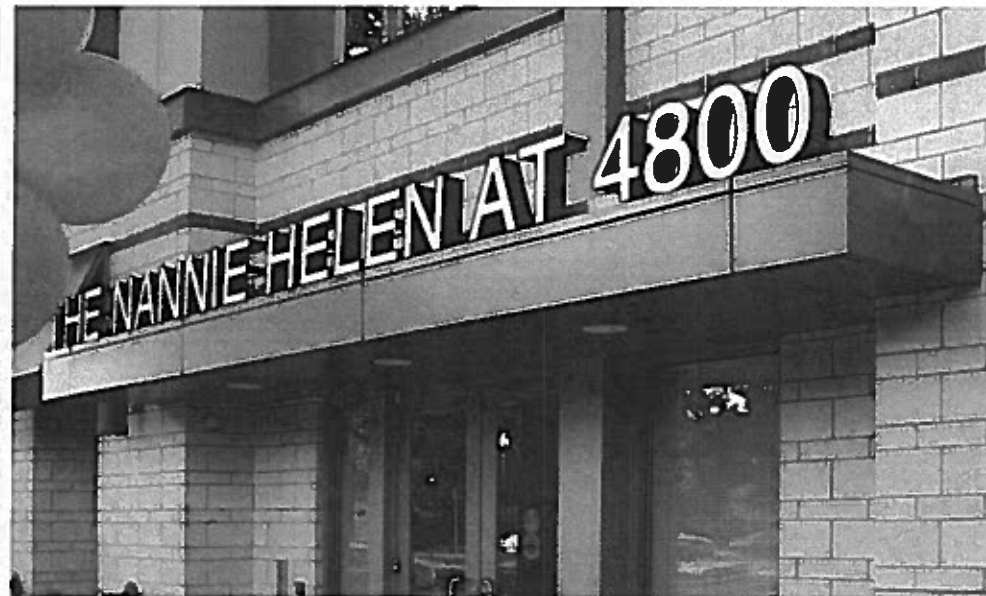
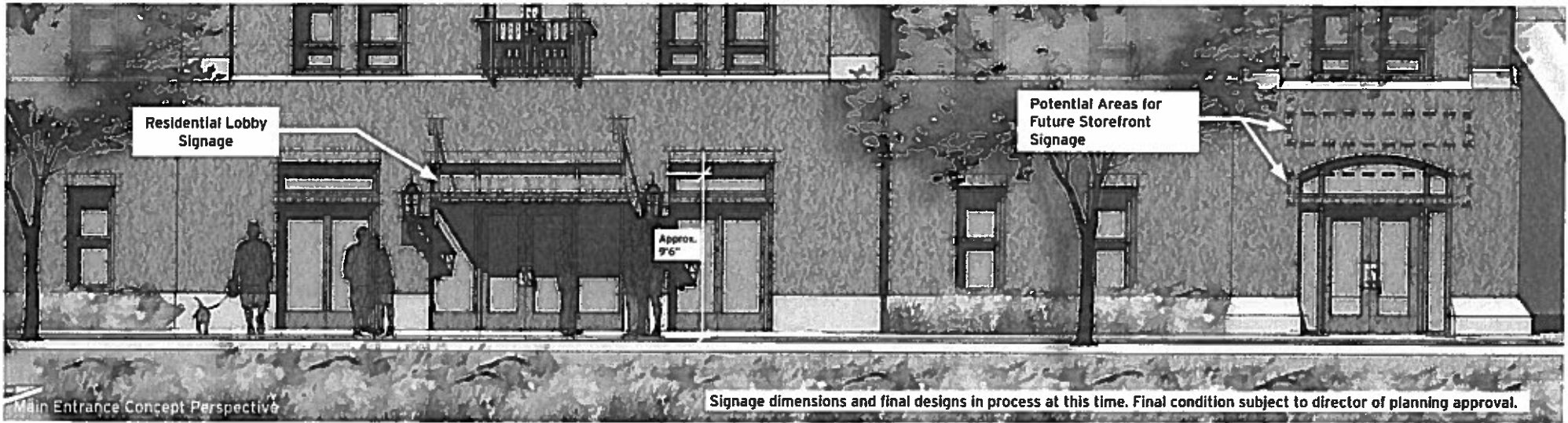
Barrington

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OWNER/DEVELOPER: **COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION**
 LANDSCAPE DESIGN: **CITE DESIGN**
 CIVIL ENGINEERING: **RK&K**

Architectural Precedents/Inspiration
 1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



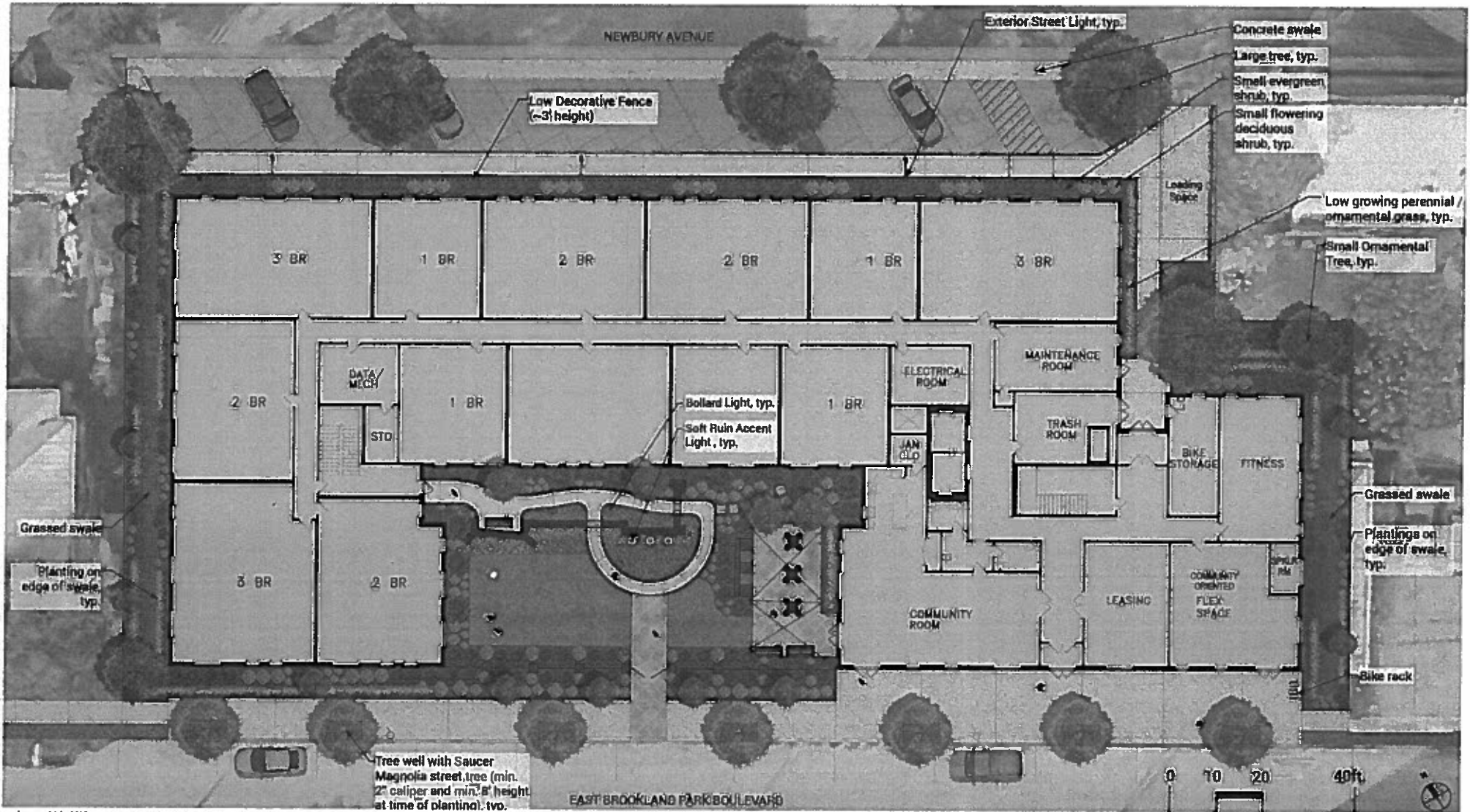
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OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION
 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RME&K

Signage and Awning Concept Details
 1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION

OVERALL LANDSCAPE CONCEPT



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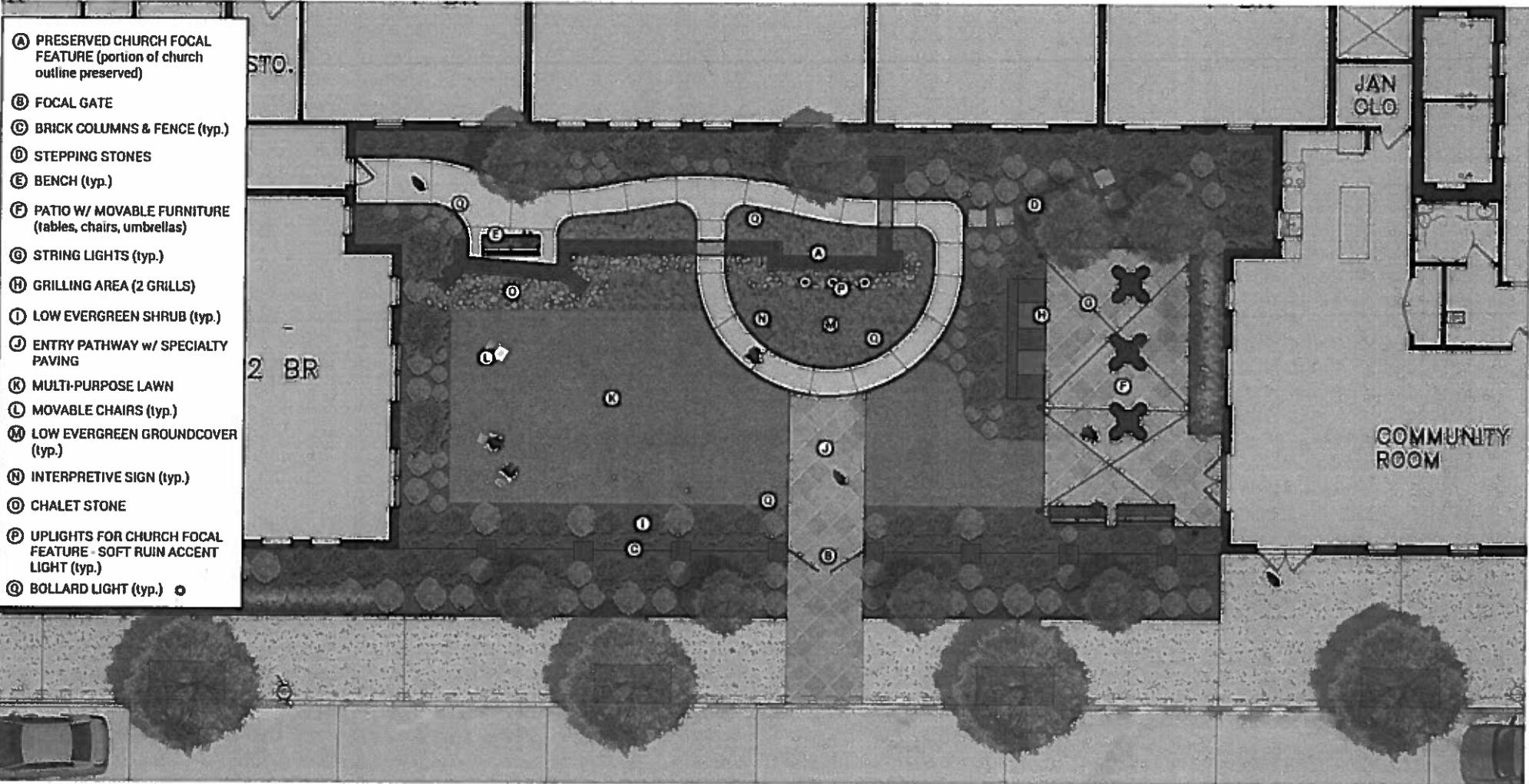


OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION
 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RK&K

Overall Landscape Concept

1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION

COURTYARD CONCEPT



- Ⓐ PRESERVED CHURCH FOCAL FEATURE (portion of church outline preserved)
- Ⓑ FOCAL GATE
- Ⓒ BRICK COLUMNS & FENCE (typ.)
- Ⓓ STEPPING STONES
- Ⓔ BENCH (typ.)
- Ⓕ PATIO W/ MOVABLE FURNITURE (tables, chairs, umbrellas)
- Ⓖ STRING LIGHTS (typ.)
- Ⓗ GRILLING AREA (2 GRILLS)
- Ⓙ LOW EVERGREEN SHRUB (typ.)
- Ⓝ ENTRY PATHWAY w/ SPECIALTY PAVING
- Ⓚ MULTI-PURPOSE LAWN
- Ⓛ MOVABLE CHAIRS (typ.)
- Ⓜ LOW EVERGREEN GROUNDCOVER (typ.)
- Ⓝ INTERPRETIVE SIGN (typ.)
- Ⓞ CHALET STONE
- Ⓟ UPLIGHTS FOR CHURCH FOCAL FEATURE - SOFT RUIN ACCENT LIGHT (typ.)
- Ⓠ BOLLARD LIGHT (typ.)



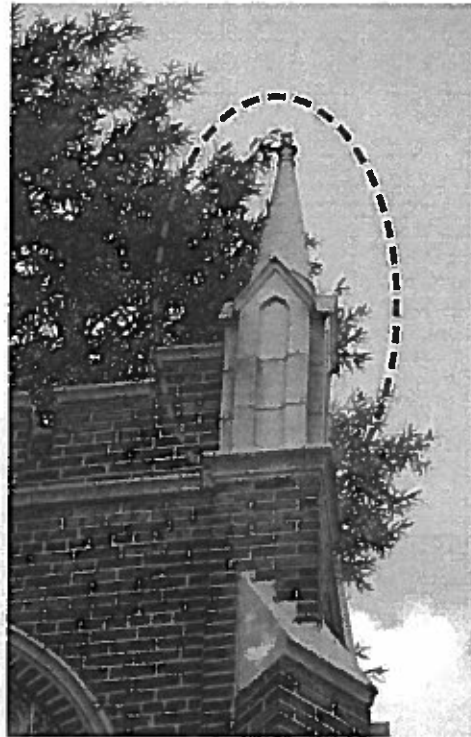
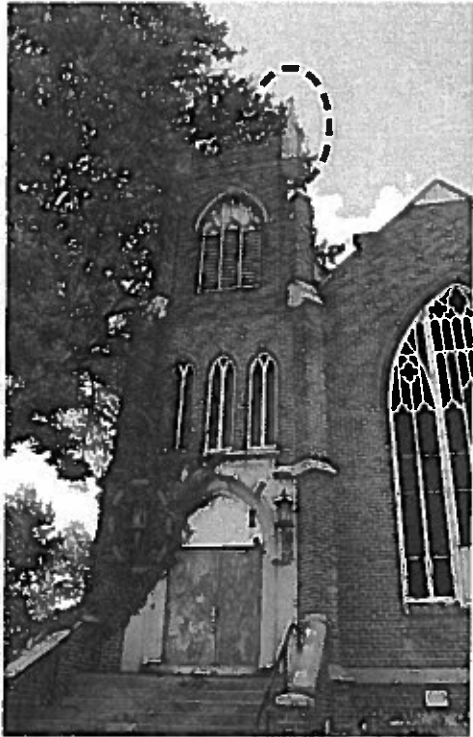
**TORTI
GALLAS +
PARTNERS**

**CCP
DCP**

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 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RK&K

Courtyard Landscape Concept
 1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION

1224 EAST BROOKLAND PARK BLVD
COURTYARD INSPIRATION IMAGES



Ⓐ RECLAIMED ARCHITECTURAL ELEMENTS SAVED FROM THE CHURCH



Ⓑ MULTI-PURPOSE LAWN w/ MOVABLE CHAIRS

1224 EAST BROOKLAND PARK BLVD
COURTYARD INSPIRATION IMAGES



© H PATIO W/ MOVABLE FURNITURE, STRING LIGHTS, & GRILLS

1224 EAST BROOKLAND PARK BLVD
COURTYARD INSPIRATION IMAGES



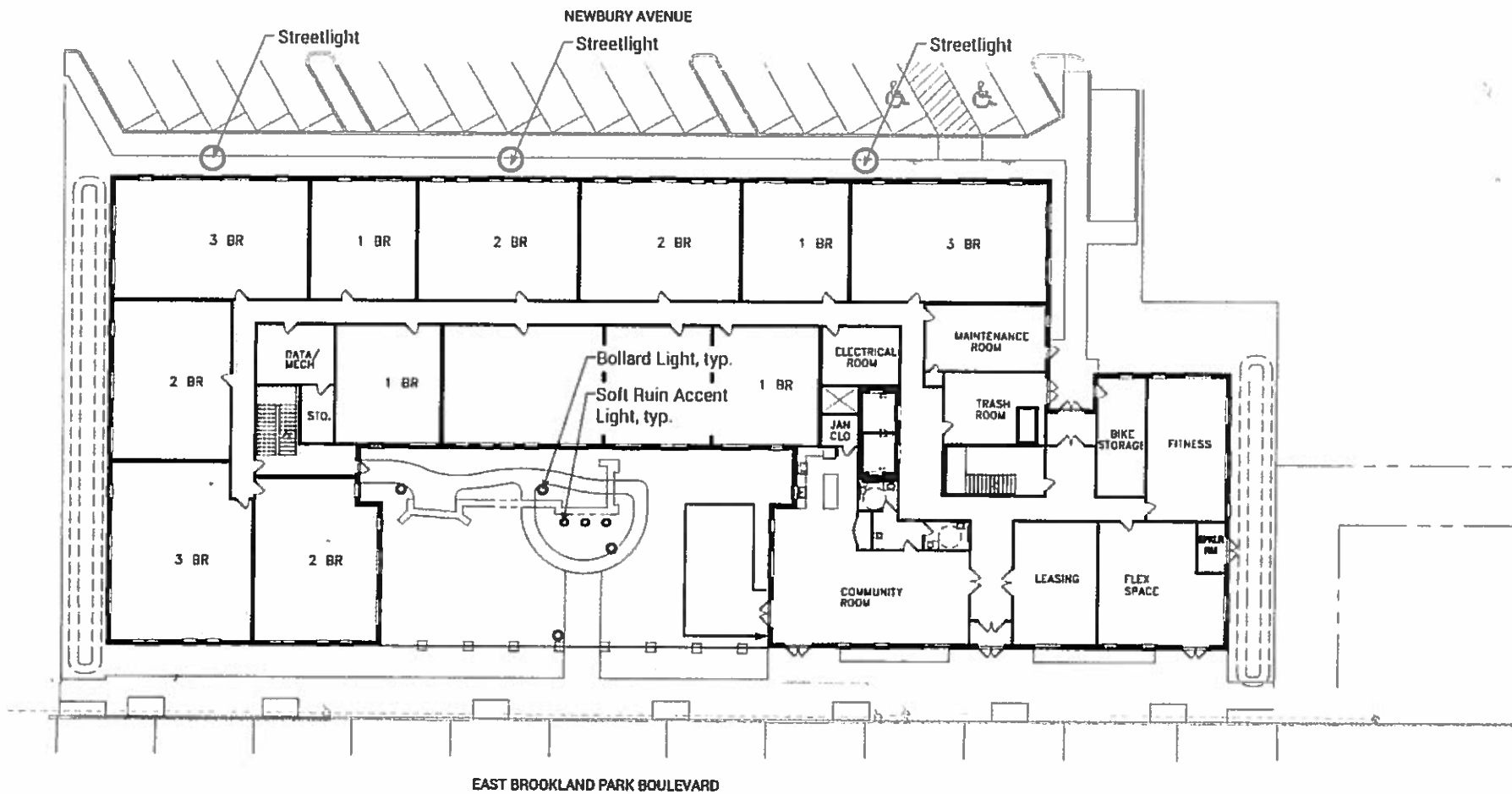
© BRICK COLUMNS & FENCE (typ.)



© FOCAL GATE

1224 EAST BROOKLAND PARK BLVD

OVERALL LIGHTING PLAN



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OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION
 LANDSCAPE DESIGN: CITE DESIGN
 CIVIL ENGINEERING: RNE&K

1224 EAST BROOKLAND PARK BLVD

LIGHTING DETAILS

Charleston (1237) Specification Sheet

Ordering Guide
 Example: 1237 400 A D H M B B

Code	Description
1237	Charleston (1237) Specification Sheet
400	400mm height
A	Aluminum
D	Decorative
H	High Pressure Sodium
M	Medium
B	Black
B	Black

PHILIPS

City of Richmond standard street light - Option 1

Maximum height: 21' for Maximum clearance project area: 1.50 m A.

Ordering Guide
 Example: 1237 400 A D H M B B

Code	Description
1237	Charleston (1237) Specification Sheet
400	400mm height
A	Aluminum
D	Decorative
H	High Pressure Sodium
M	Medium
B	Black
B	Black

PHILIPS

City of Richmond standard street light - Option 2

KHA SLIM 36"

KHA SLIM 36" LED

Only and top manufactured in 302 156 stainless steel for marine applications or stainless aluminum bonded polyester powder coated base grey or finished black. Includes reflective optical system for directional light distribution. Both horizontal and vertical light patterns. High efficiency, maintenance-free glow tube light is powered through indirect light distribution and the upper lensed reflector. The high performance reflector system is designed to provide an ultra-wide light distribution based on height and pole to be illuminated. 3000 K or 5000 K.

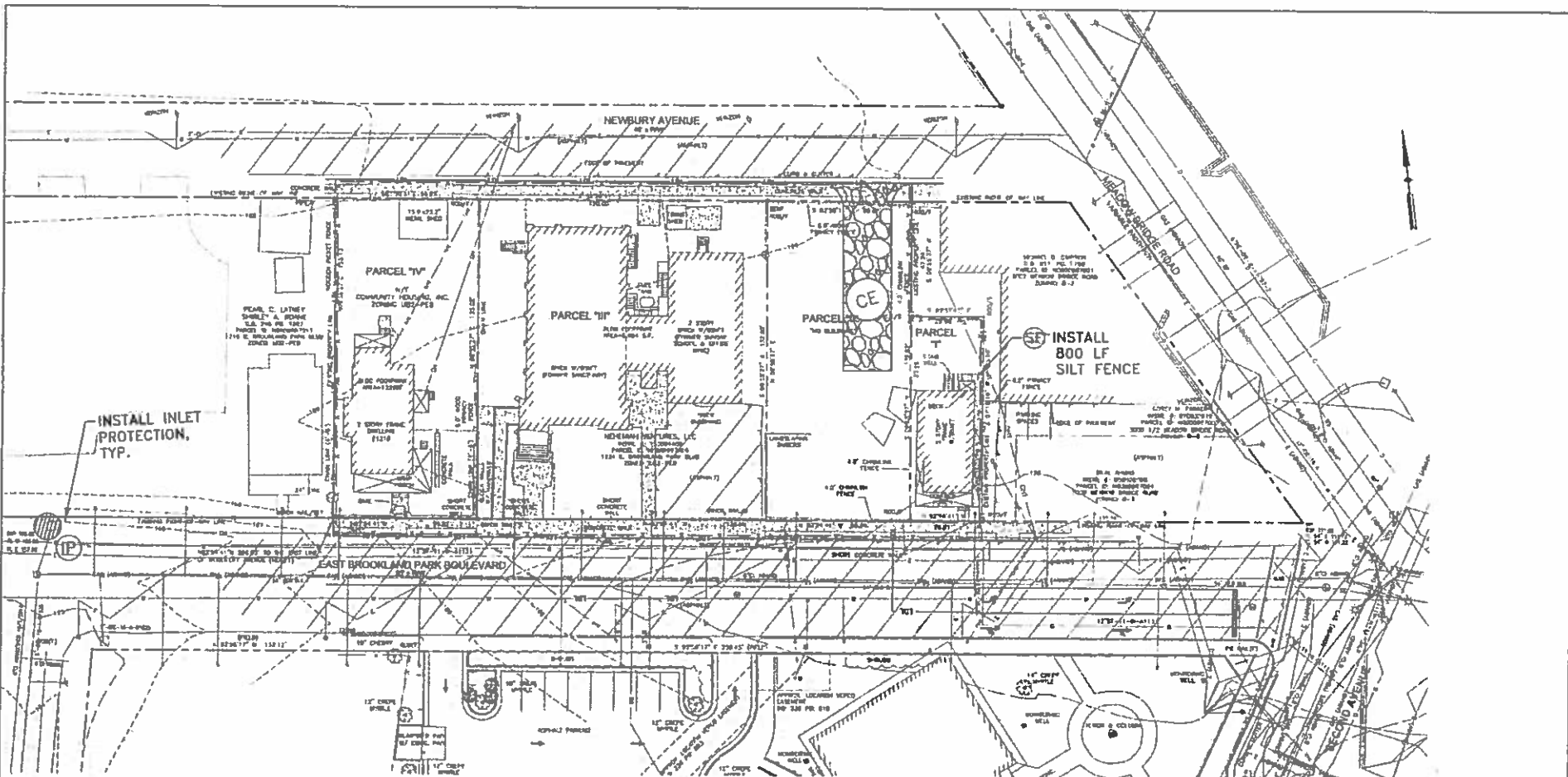
Weight: 10 lbs and available in 3000, 4000 or 5000 degrees Kelvin. UV stabilized high level performance impact resistant lamp cover (IP: IK1) features a high purity aluminum powder-coated base. Light control and provides best reflective lamp for improved longevity. In-plant powder coated glass lensing.

Compatible with programmable systems for use with 0-10V dimming. 0-10V dimming available for a 10' pole height.

4 foot long standard pole for 120-277V, 50/60 Hz supply. Also offering 6 foot options. Maximum wind resistant frame.

Code	Height	Material	Color	Light Type	Power	Finish	Part No.
360	36"	304	Black	LED	15W	Standard	000416
360	36"	304	Black	LED	15W	Standard	000417
360	36"	304	Black	LED	15W	Standard	000418
360	36"	304	Black	LED	15W	Standard	000419
360	36"	304	Black	LED	15W	Standard	000420
360	36"	304	Black	LED	15W	Standard	000421

Illuminated bollard



SURVEY CONTROL SOURCE:
 SURVEY COMPILED FROM RICHMOND GIS AND
 BY FIELD WORK BY ALISON W. HANSON, H&B
 SURVEYING AND MAPPING, LLC DATED JUNE 25,
 2015.

LEGEND

- LIMITS OF OBSTRUCTION
- ⊗ SILT FENCE (STD. & SPEC. 3.89)
- ⊗ REINFORCED SILT FENCE (STD. & SPEC. 3.89)
- ⊗ CONSTRUCTION ENTRANCE (STD. & SPEC. 3.82)
- ⊗ TOP SOIL (STD. & SPEC. 3.89)
- ⊗ MWRAP (STD. & SPEC. 3.19)
- ⊗ PERMANENT BEEDING (STD. & SPEC. 3.52)
- ⊗ TEMPORARY BEEDING (STD. & SPEC. 3.31)
- ⊗ SEDIMENT TRAP (STD. & SPEC. 3.12)
- ⊗ INLET PROTECTION (STD. & SPEC. 3.87)
- ⊗ TEMPORARY DIVERSION CURB (STD. & SPEC. 3.88)
- ⊗ TREE PROTECTION
- ⊗ TEMPORARY RIGHT-OF-WAY DIVERSION (STD. & SPEC. 3.11)
- ⊗ CHECK DAM (STD. & SPEC. 3.38)
- ⊗ OUTLET PROTECTION (STD. & SPEC. 3.32)
- DRAINAGE DIVIDE

FOR CONSTRUCTION DETAILS AND SPECIFICATIONS REFER TO THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK" THIRD EDITION, 1992.

TYPICAL TREE SAVE LIMITS DETAILS

WETLAND LIMITS
 TREE PROTECTION
 SILT FENCING
 LAND DISTURBANCE LIMIT
 TREE SAVE LIMITS
 WETLAND PROTECTION CONTAINERS BLACK & YELLOW CONSTRUCTION TAPE

1/4", 1/2", AND 3/4" RUN CONCURRENT ALONG THE TREE SAVE / CLEARING LIMITS.
 LINEWORK SHOWN SEPARATELY ON PLAN VIEW FOR GRAPHICAL CLARITY AND REPRESENTATION.

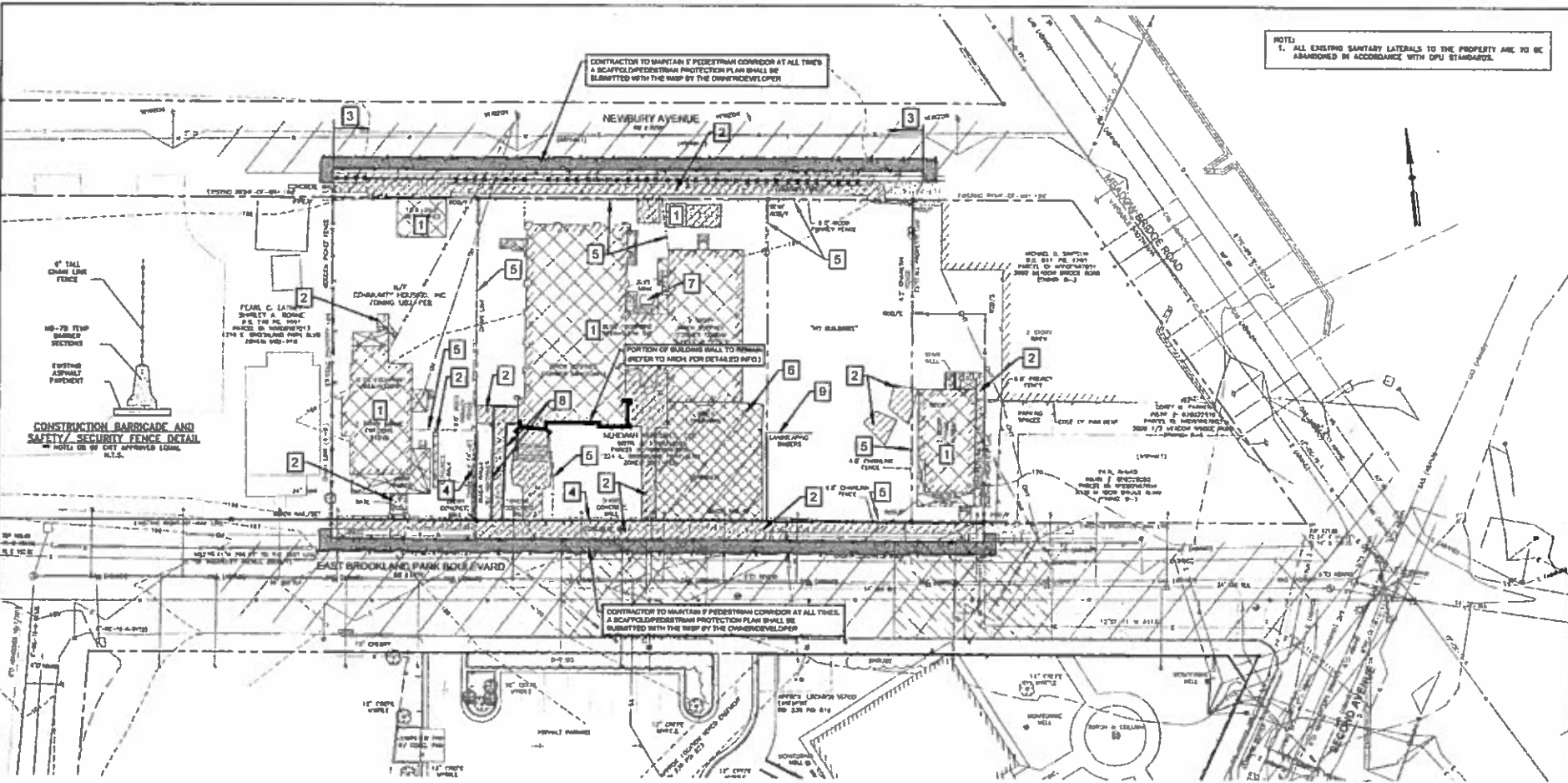
0 10 20 30 40 50
 SCALE 1"=20'

DATE: 07/13/2017	DATE: 11/27/2017	DATE: 10/24/2017
ENGINEER: MMM	SHEET: C-04	SCALE: 1"=20'
CHECKED: SNR	1224 EAST BROOKLAND PARK BOULEVARD	
CAD: TJR	CITY OF RICHMOND, VIRGINIA	
JOB#: 17162	EXISTING CONDITIONS & EROSION & SEDIMENT CONTROL PLAN	

2100 EAST CARY STREET, SUITE 309
 RICHMOND, VIRGINIA 23223
 (P) 804 782-1903 (F) 804 782-2142

RK&K

RUMMEL, KLEPPER & KAHL, LLP



NOTE:
1. ALL EXISTING SANITARY LATERALS TO THE PROPERTY ARE TO BE ABANDONED IN ACCORDANCE WITH OPI STANDARDS.

CONTRACTOR TO MAINTAIN 5' PEDESTRIAN CORRIDOR AT ALL TIMES. A SCAFFOLD/PEDESTRIAN PROTECTION PLAN SHALL BE SUBMITTED WITH THE SHOP BY THE OWNER/DEVELOPER.

CONTRACTOR TO MAINTAIN 5' PEDESTRIAN CORRIDOR AT ALL TIMES. A SCAFFOLD/PEDESTRIAN PROTECTION PLAN SHALL BE SUBMITTED WITH THE SHOP BY THE OWNER/DEVELOPER.

DEMOLITION NOTES:

1. ALL EXISTING UTILITIES (I.E. WATER SEWER SERVICES, METERS, POWER POLES, STORM SEWER LINES & DRAINS, TELEPHONE, GAS, ETC.) NOT USED FOR SERVICE SHALL BE ABANDONED AT THE MAN. ALL COSTS ASSOCIATED WITH THE ALTERATION OF THE UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR IS TO REVIEW LAYOUT AND BRASSING PLANS FOR MORE SPECIFIC INSTRUCTIONS REGARDING DEMOLITION OF THE SITE.
3. THE CONTRACTOR SHALL NOT LEAVE ANY OPEN HOLES OR TRENCHES OPEN/UNTIL WITHIN 1' OF THE EDGE OF THE EXISTING PAVEMENT.
4. ABSOLUTE PEDESTRIAN PROTECTION SHALL BE PROVIDED.
5. ENTRANCES SHALL BE BLOCKED TO TRAFFIC USING STANDARD VIRGINIA WORK AREA PROTECTION DEVICES, SIGNS AND METHODS.
6. RELOCATION OF EXISTING ELECTRIC/TELEPHONE SHALL BE STRICTLY COORDINATED WITH DOMINION POWER AND VERICON OR SPECIFIC PROVIDER A MINIMUM 30 DAYS PRIOR TO ANY CONSTRUCTION/DEMOLITION ACTIVITIES THAT COULD DISTURB ANY POWER/COMMUNICATION TRANSMISSION.
7. CONTRACTOR SHALL OBTAIN ALL REQUIRED DEMOLITION PERMITS AND/OR EROSION CONTROL PERMITS AND PROVIDE ANY "METHODS AND MEASURES" REPORTS AND/OR "PAVEMENT" REMOVAL TEST/REPORTS PRIOR TO BEGINNING OF WORK.
8. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICAL. CONTRACTOR SHALL COORDINATE THE ABANDONMENT/RELOCATION OF ANY UTILITY WITH THE APPROPRIATE UTILITY COMPANY. EXTREME CAUTION WILL BE TAKEN NEAR ANY "LIVE" UTILITY ESPECIALLY GAS AND ELECTRIC UTILITIES.
9. ALL EXISTING UTILITIES TO BE ABANDONED OR REMOVED SHOULD BE ABANDONED IN ACCORDANCE WITH OPI SPECIFICATIONS. ALL UNBURNED UTILITY LATERALS AND SERVICES ARE TO BE ABANDONED. CONTRACTOR TO COORDINATE ABANDONMENT WITH OPI. EXISTING MANHOLE AND UTILITY STRUCTURES (TOPS/LIDS) SHALL BE RASPED TO FINISHED GRADE AS NECESSARY. IT IS NOT THE INTENT OF THIS PLAN INNUMERATE EVERY UTILITY ADJUSTMENT REQUIRED.
10. CONTRACTOR MUST OBTAIN A "BARRICADE" AND "WORK IN STREETS" PERMIT FROM THE CITY OF RICHMOND PRIOR TO PLACEMENT OF ANY ELEMENTS OF CONSTRUCTION WITHIN CITY RIGHT-OF-WAY.
11. ALL BRICKS/CLAY, THAT IS BEING REMOVED IS TO BE RETURNED TO THE CITY OF RICHMOND OPI IN A MANNER SPECIFIED BY THEM. CONTRACTOR SHALL COORDINATE WITH OPI.
12. ALL EXISTING SIGNS THAT ARE BEING REMOVED ARE TO BE RETURNED TO THE CITY OF RICHMOND OPI. CONTRACTOR SHALL COORDINATE WITH CITY OPI.

DEMOLITION LEGEND

- | | | | |
|---|--|--|------------------------|
| 1 | BUILDING ALONG WITH ALL ADJOINING DECK, PATIO, STOOP AND STAIR STRUCTURES SHALL BE REMOVED | | MILL & OVERLAY |
| 2 | REMOVE CONCRETE SIDEWALK/SLAB | | DEMO ASPHALT |
| 3 | REMOVE CONCRETE CURB/SEWER | | DEMO CONC. |
| 4 | REMOVE CONCRETE WALL | | DEMO BUILDING |
| 5 | REMOVE FENCE | | DEMO ITEM |
| 6 | REMOVE ASPHALTS | | CONSTRUCTION BARRICADE |
| 7 | REMOVE FUEL TANK | | |
| 8 | REMOVE HANDRAIL/GATE | | |
| 9 | REMOVE LANDSCAPE TRIMMERS & GRAVEL | | |

UTILITY INFORMATION

GAS:
CITY OF RICHMOND
DEPARTMENT OF PUBLIC UTILITIES
ENERGY SERVICES DIVISION
600 JEFFERSON PARK HIGHWAY
RICHMOND, VA 23221
PHONE: (804) 644-8544
FAX: (804) 644-9121

WATER/SEWER/STORM:
CITY OF RICHMOND
DEPARTMENT OF PUBLIC UTILITIES
700 E. BRAD STREET, RM 110
RICHMOND, VA 23219
PHONE: (804) 644-7000

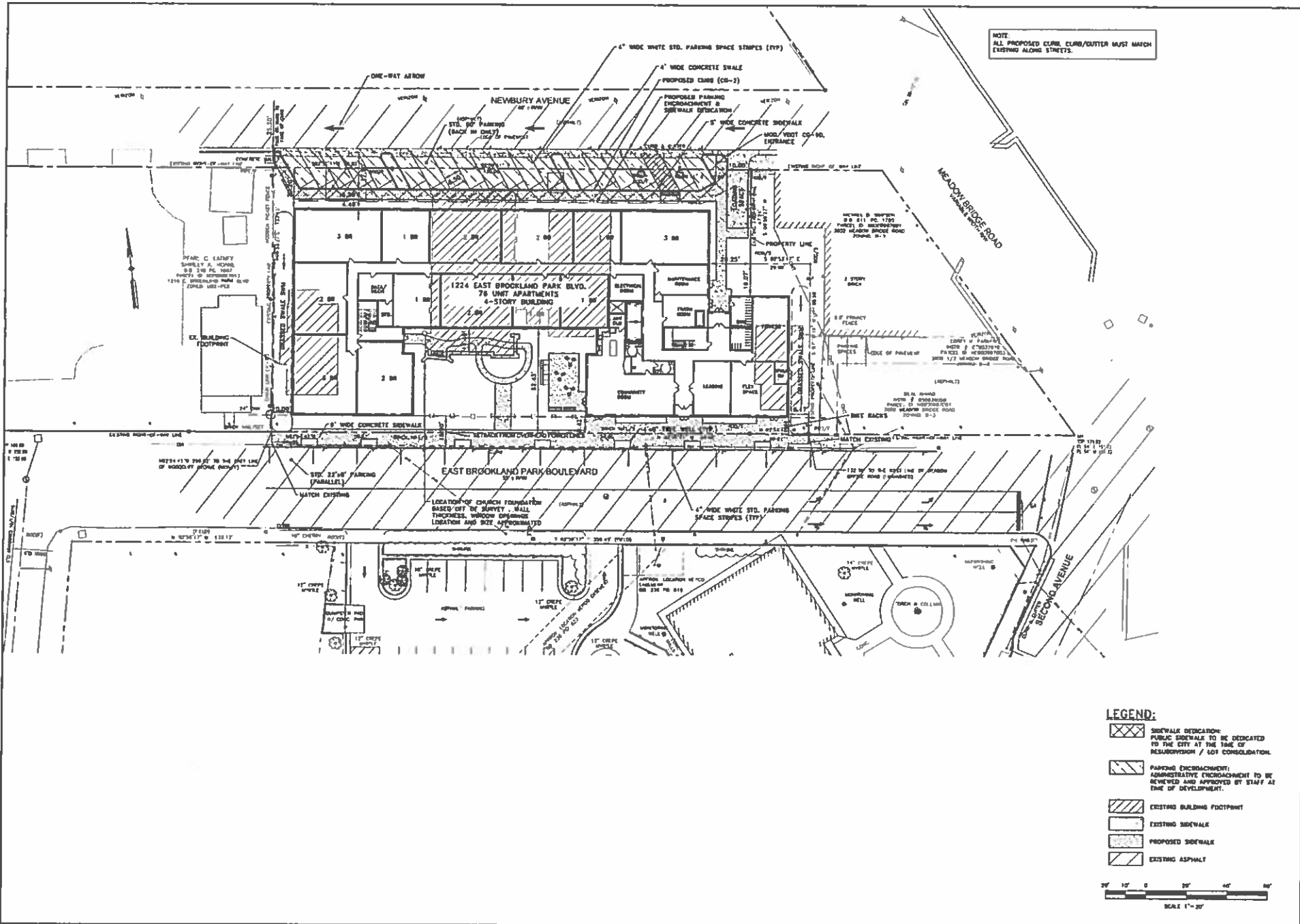
POWER:
DOMINION ENERGY
1400 WASHINGTON TURNPIKE
ARLINGTON, VA 22215
PHONE: (804) 374-8873



BEFORE YOU DIG CALL
"811"
PROTECT YOURSELF, GIVE US
YOUR DATE NOTICE



DATE: 07/01/2017	ENGINEER: MAM	CHECKED: SHR	CAD: TJR	JOB#: 17102
1224 EAST BROOKLAND PARK BOULEVARD CITY OF RICHMOND, VIRGINIA DEMOLITION PLAN				
SHEET: C-05	SCALE: 1"=20'			
RUMMEL, KLEPPER & KAHL, LLP 2100 EAST CARY STREET, SUITE 309 RICHMOND, VIRGINIA 23223 (P) 804 782-1903 (F) 804 782-2142				



DATE: 07/31/2017	ENGINEER: MMH	CHECKED: SHR	CAD: TJR
2100 EAST CARY STREET, SUITE 309 RICHMOND, VIRGINIA 23223 (P) 804 782-1903 (F) 804 782-2142			
RUMMEL, KLEPPER & KAHL, LLP			
1224 EAST BROOKLAND PARK BOULEVARD CITY OF RICHMOND, VIRGINIA		LAYOUT PLAN	
SHEET C-06	SCALE 1" = 20'		
PLAN REVISIONS - REFERRED PER CITY COMMENTS DATE: 10/27/2017			

PHASE 1 MOT

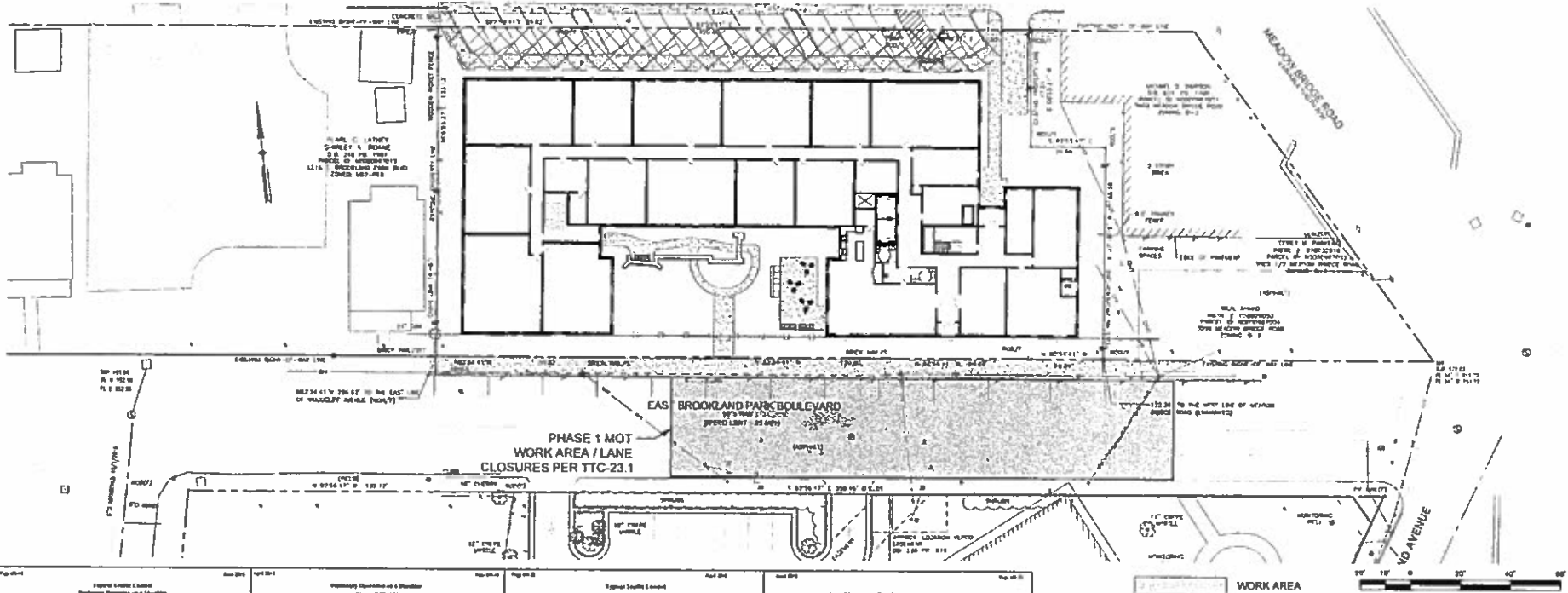
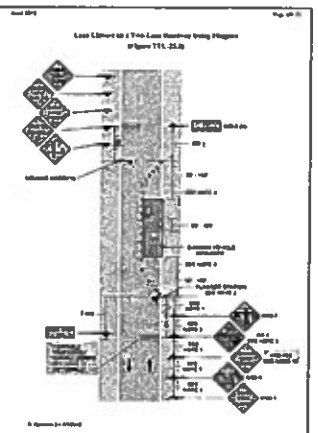
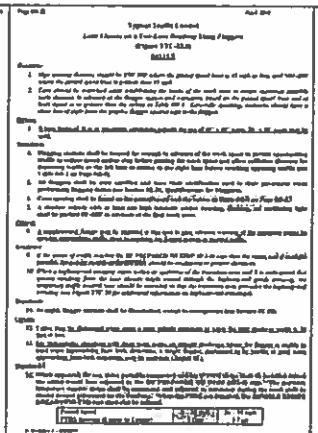
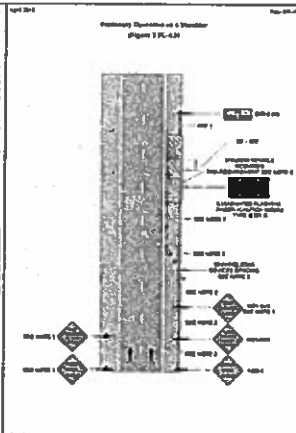


Table 00-1: Length of the Compartmental Traffic Signal

Proposed Signal Length (feet)	Minimum Phase
20	140 - 120
25	160 - 140
30	180 - 160
35	200 - 180
40	220 - 200
45	240 - 220
50	260 - 240
55	280 - 260
60	300 - 280
65	320 - 300
70	340 - 320
75	360 - 340
80	380 - 360
85	400 - 380
90	420 - 400
95	440 - 420
100	460 - 440



- ### WORK AREA PROTECTION MARRIAGE
- ALL CONSTRUCTION ACTIVITIES WITHIN VDOT RIGHT OF WAY SHALL BE IN ACCORDANCE WITH REVISION 1 OF THE 2011 YEARBOOK.
 - THE FOLLOWING TIES APPLY TO THIS PROJECT:
 - TTC 2.1 STATIONARY OPERATION ON A SHOULDER
 - TTC 2.1.1 LANE CLOSURE ON A TWO-LANE ROADWAY USING FLANGERS
 - THE WORK AREA SHALL BE CLOSED PER VDOT SPECIFICATIONS. ALL WORK TO TAKE PLACE BETWEEN THE HOURS OF 6:00 AM AND 3:00 PM WITH THE EXCEPTION OF INSTALLING PAVEMENT MARKINGS WHICH CAN OCCUR AT NIGHT.
 - INSTALL ALL ADVANCE WARNING SIGNS ON RIGHT AND LEFT SIDES WHEN SPACE PERMITS (MINIMUM IS GREATER THAN 8' ON ENHANCED HIGHWAYS). SIGN SPACING SHALL BE PER REVISION 1 OF THE 2011 YEARBOOK.
 - PLACE A FLASHING ARROW BOARD AT OR AS CLOSE AS POSSIBLE TO THE BEGINNING OF THE TAPER WHEN REQUIRED.
 - WHEN REQUIRED, A TRUCK WITH AT LEAST ONE ROTATING AMBER LIGHT, HIGH INTENSITY AMBER FLASHING LIGHT, OR OSCILLATING LIGHT SHALL BE PARKED 100' TO 150' IN ADVANCE OF THE FIRST WORK CREW.
 - ONLY GROUP 1 (3x3' CONES) OR GROUP 2 (3x3' BEHNS) CHANNELIZING DEVICES SHALL BE USED. SPACING SHALL BE CONSISTENT WITH THE REQUIREMENTS LISTED IN THE APPROPRIATE TTC.
 - FOR REMOVAL OF LANE CLOSURE, BEGIN BY REMOVING CHANNELIZING DEVICES FROM END OF CLOSURE BACK TO THE WEST PART OF THE MERGING TAPER. REMOVE DEVICES FROM THE TAPER BY HAND INTO BACKING VEHICLES ON THE SHOULDER. REMOVE ARROW BOARD ONLY AFTER (ENHANCED ROADWAY) IS CLEAR. FINALLY, MOVING WITH THE FLOW OF TRAFFIC, REMOVE ADVANCE WARNING SIGNS BEGINNING WITH "ROAD WORK AHEAD" SIGN AND CONING WITH "END ROAD WORK" SIGN.

- ### SEQUENCE OF CONSTRUCTION
- PHASE 1: COMPLETE ROAD UTILITY WORK**
- CLOSE ONE TRAVEL LANE ALONG EAST BROOKLAND PARK BOULEVARD PER TTC 2.1.1.
 - COMPLETE ROAD UTILITY WORK AND PAVEMENT REPAIRS (SAUCUT, HILL AND OVERLAY) WITHIN THE CLOSED PORTION OF ROADWAY.
 - ONCE COMPLETED, REMOVE LANE CLOSURE AND REOPEN TRAVEL LANE.
 - CLOSE OPPOSITE TRAVEL LANE ALONG EAST BROOKLAND PARK BOULEVARD PER TTC-2.1.1.
 - COMPLETE IN ROAD UTILITY WORK AND PAVEMENT REPAIRS (SAUCUT, HILL AND OVERLAY) WITHIN THE CLOSED PORTION OF ROADWAY.
 - ONCE COMPLETED, REMOVE LANE CLOSURE AND REOPEN TRAVEL LANE.
- PHASE 2: COMPLETE SITE WORK ADJACENT TO EAST BROOKLAND PARK BOULEVARD**
- CLOSE SHOULDER / ON-STREET PARKING AREA ALONG EAST BROOKLAND PARK BOULEVARD PER TTC-4.1.
 - COMPLETE SITE WORK ADJACENT TO EAST BROOKLAND PARK BOULEVARD. SEE SHEET C-08 FOR LAYOUT PLAN.
 - REMOVE SHOULDER CLOSURE AND REOPEN ON-STREET PARKING AREA.
- PHASE 3: COMPLETE SITE WORK ADJACENT TO NEWBURY AVENUE**
- CLOSE SHOULDER / PORTION OF NEWBURY AVENUE PER TTC-4.1. SEE SHEET C-10 FOR TEMPORARY WORKING OF THE WORK AREA AND NEWBURY AVENUE.
 - COMPLETE SITE WORK ADJACENT TO NEWBURY AVENUE. SEE SHEET C-08 FOR LAYOUT PLAN.
 - REMOVE SHOULDER CLOSURE, RESTORING NEWBURY AVENUE TO ITS FULL WIDTH.

Table 00-2: Length of the Compartmental Traffic Signal

Proposed Signal Length (feet)	Minimum Phase
20	140 - 120
25	160 - 140
30	180 - 160
35	200 - 180
40	220 - 200
45	240 - 220
50	260 - 240
55	280 - 260
60	300 - 280
65	320 - 300
70	340 - 320
75	360 - 340
80	380 - 360
85	400 - 380
90	420 - 400
95	440 - 420
100	460 - 440

Table 00-3: Length of the Compartmental Traffic Signal

Proposed Signal Length (feet)	Minimum Phase
20	140 - 120
25	160 - 140
30	180 - 160
35	200 - 180
40	220 - 200
45	240 - 220
50	260 - 240
55	280 - 260
60	300 - 280
65	320 - 300
70	340 - 320
75	360 - 340
80	380 - 360
85	400 - 380
90	420 - 400
95	440 - 420
100	460 - 440

DATE: 07/12/2017
 ENGINEER: JAMA
 CHECKED: SNR
 CAD: TJR
 JOB#: 17-02

1224 EAST BROOKLAND PARK BOULEVARD
 CITY OF RICHMOND, VIRGINIA

MAINTENANCE OF TRAFFIC PLAN

SCALE: 1"=20'

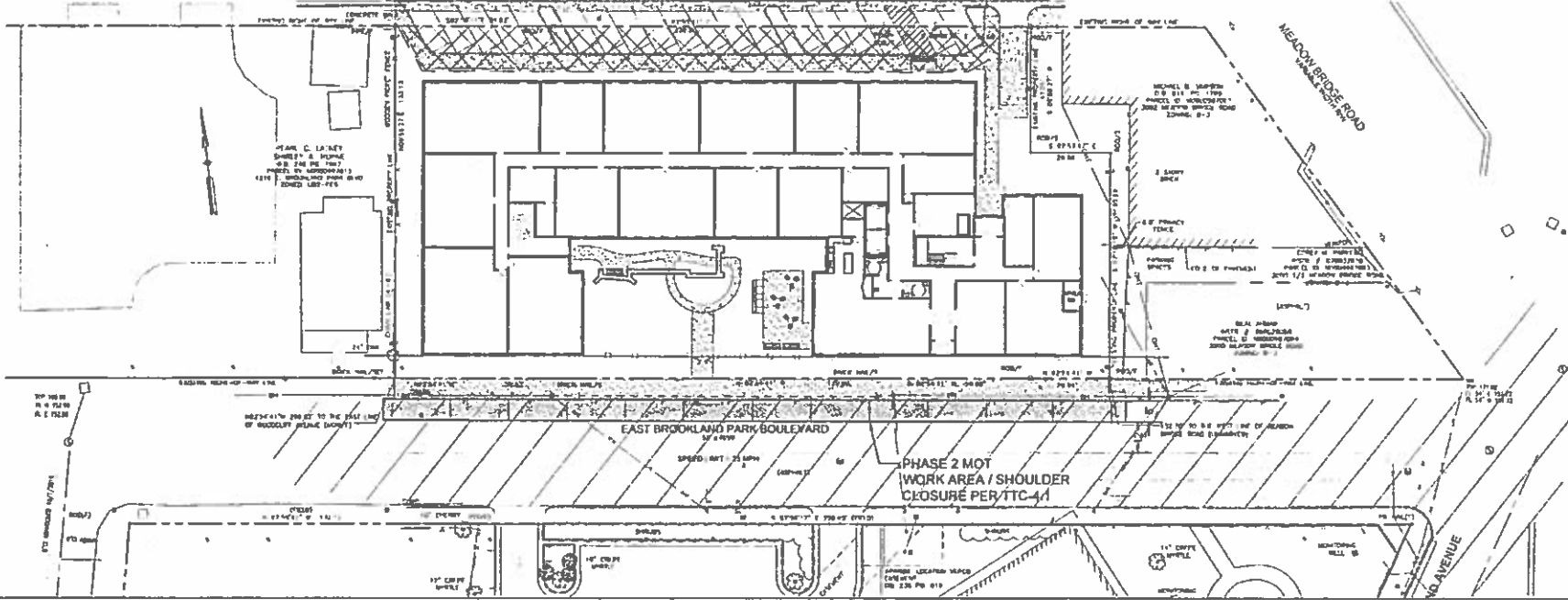
SHEET: C-08

DATE: 07/12/2017
 ENGINEER: JAMA
 CHECKED: SNR
 CAD: TJR
 JOB#: 17-02

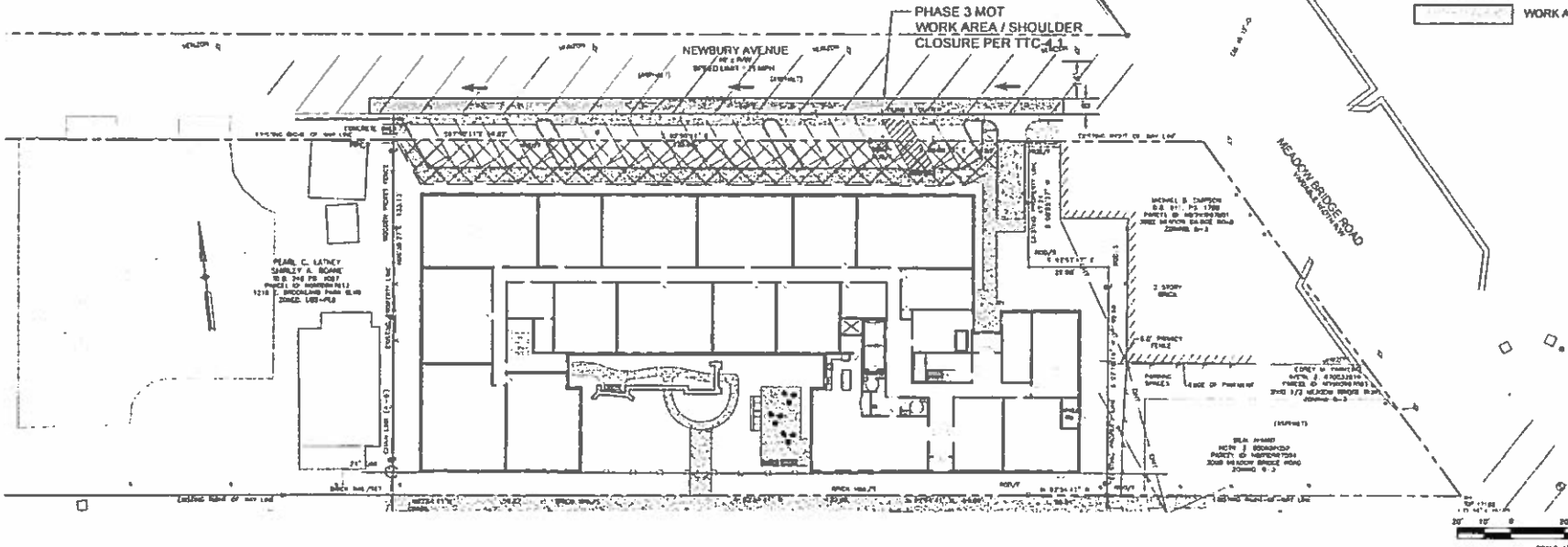
2100 EAST CARY STREET, SUITE 309
 RICHMOND, VIRGINIA 23223
 (P) 804 782-1903 (F) 804 782-2142

RUMMEL, KLEPPER & KAHL, LLP

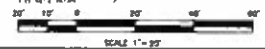
PHASE 2 MOT



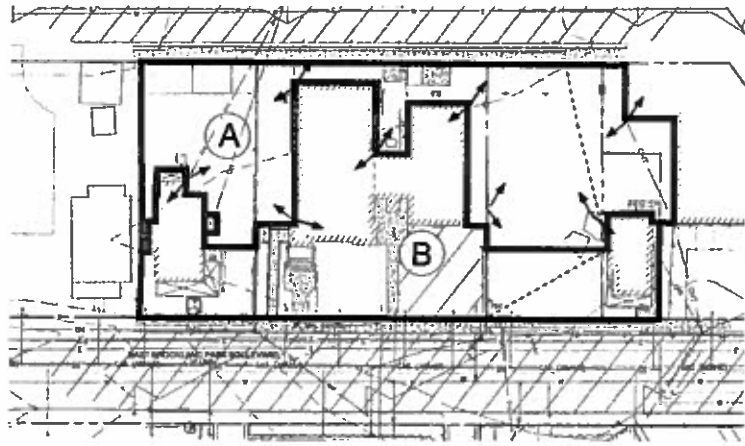
PHASE 3 MOT



SEE SHEET C-09 FOR SEQUENCE OF CONSTRUCTION AND WORK AREA PROTECTION NARRATIVE.

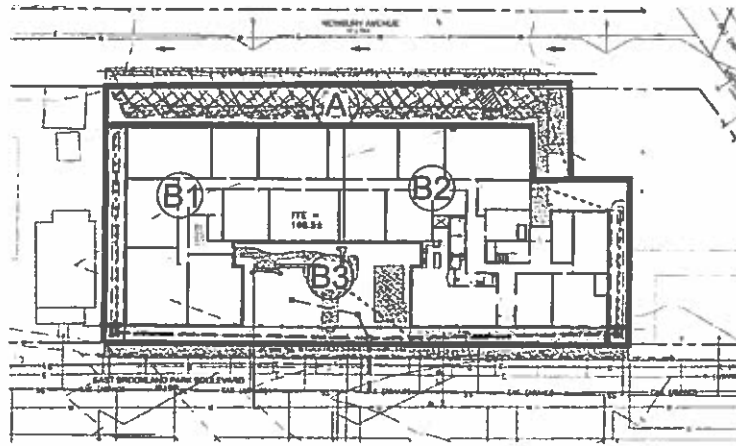


PLAN NUMBER: DATE: 07/17/2017 DRAWN BY: J.T.R.		SHEET C-10	SCALE 1"=20'
1224 EAST BROOKLAND PARK BOULEVARD CITY OF RICHMOND, VIRGINIA			
DATE: 07/17/2017 ENGINEER: MMH		CHECKED: SNR CAD: TJR JOB#: 17112	
MAINTENANCE OF TRAFFIC PLAN			
2100 EAST CARY STREET, SUITE 309 RICHMOND, VIRGINIA 23223 (P) 804 782-1800 (F) 804 782-2142			
RUMMEL, KLEPPER & KAHL, LLP			



EXISTING DRAINAGE AREA MAP

- Ⓐ DA=0.39 AC.
C = 0.41
tc=13 min.
- Ⓑ DA=0.42 AC.
C = 0.74
tc= 5 min.



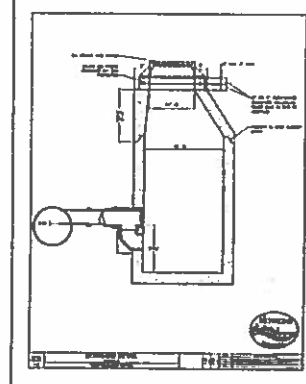
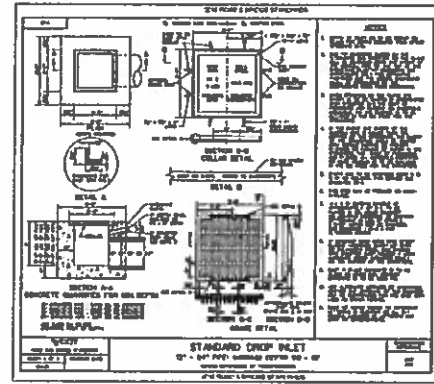
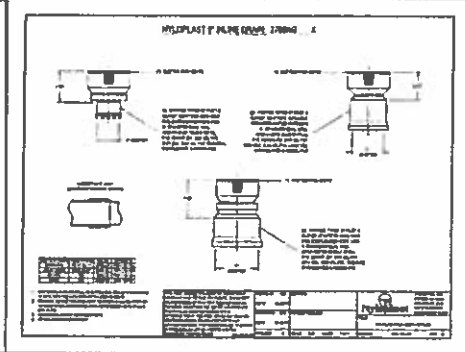
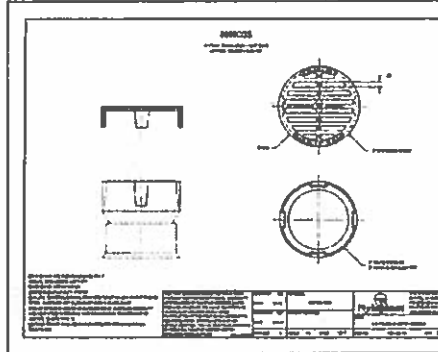
PROPOSED DRAINAGE AREA MAP

- Ⓐ DA=0.14 AC.
C = 0.77
tc=5 min.
- Ⓑ DA=0.25AC.
C = 0.85
tc=6 min.
- Ⓒ DA=0.28AC.
C = 0.86
tc=6 min.
- Ⓓ DA=0.14AC.
C = 0.39
tc=5 min.
- Ⓔ DA=0.67 AC.
C = 0.75
tc= 6 min.



Project: BROOKLAND PARK														
Location: CITY OF RICHMOND														
Type of Construction: Commercial														
Date: 07/12/2017														
Scale: 1"=30'														
Drainage Area	Length of Run	Slope			Flow	Sizing				Sizing				Notes
		ft	in	%		ft	in	ft	in	ft	in			
1	10	0.01	0.01	0.01	1.0	12	12	12	12	12	12	12	12	
2	10	0.01	0.01	0.01	1.0	12	12	12	12	12	12	12	12	

10-in Storm Drain Computations														
Rummel, Klepper & Kahl, LLP														
City of Richmond														
Project: BROOKLAND PARK														
Date: 07/12/2017														
Scale: 1"=30'														
Pipe No.	Length	Slope	Flow	Velocity	Depth	Full Depth	Full Velocity	Full Flow	Full Velocity	Full Flow	Full Velocity	Full Flow	Full Velocity	Full Flow
1	10	0.01	1.0	1.49	1.0	1.0	1.49	1.0	1.49	1.0	1.49	1.0	1.49	1.0
2	10	0.01	1.0	1.49	1.0	1.0	1.49	1.0	1.49	1.0	1.49	1.0	1.49	1.0



PLAN REVIEWED: []
 DATE: 10/13/2017
 SHEET: C-11
 SCALE: 1"=20'
 1224 EAST BROOKLAND PARK BOULEVARD
 CITY OF RICHMOND, VIRGINIA
 DRAINAGE AND PRE-POST AREA PLAN
 DATE: 07/12/2017
 ENGINEER: MMH
 CHECKED: SNR
 CAD: TJR
 JOB#: 17162
 2100 EAST CARY STREET, SUITE 309
 RICHMOND, VIRGINIA 23223
 (P) 804 782-1903 (F) 804 782-2142
RK&K
 RUMMEL, KLEPPER & KAHL, LLP