INTRODUCED: February 12, 2018

#### AN ORDINANCE No. 2018-041

To authorize the special use of the properties known as 1218, 1224, 1226, and 1228 East Brookland Park Boulevard for the purpose of permitting a multifamily dwelling containing up to 76 dwelling units, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality by the City Attorney

PUBLIC HEARING: MAR 12 2018 AT 6 P.M.

WHEREAS, the owner of the properties known as 1218, 1224, 1226, and 1228 East Brookland Park Boulevard, which are situated in a UB Urban Business District, a UB-2 Urban Business District, and the PE-8 Meadowbridge Road and Six Points Parking Exempt Overlay District, desires to use such properties for the purpose of a multifamily dwelling with up to 76 dwelling units, which use, among other things, is not currently allowed by sections 30-433.2(8) and 30-433.11(7) of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2010), as amended, it has been made to appear that, if granted subject to the terms and conditions

AYES:	8	NOES:	1	ABSTAIN:	
_					
ADOPTED:	MAR 12 2018	REJECTED:		STRICKEN:	

set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

#### THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

#### § 2. Grant of Special Use Permit.

- (a) Subject to the terms and conditions set forth in this ordinance, the properties known as 1218, 1224, 1226, and 1228 East Brookland Park Boulevard and identified as Tax Parcel Nos. N000-0987/011, N000-0987/009, N000-0987/007, and N000-0987/006, respectively, in the 2018 records of the City Assessor, being more particularly shown on a survey entitled "1224 East Brookland Park Boulevard, City of Richmond, Virginia," prepared by Rummel, Klepper & Kahl, LLP, dated July 31, 2017, and last revised December 20, 2017, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as "the Property," is hereby permitted to be used for the purpose of a multifamily dwelling containing up to 76 dwelling units, hereinafter referred to as "the Special Use," substantially as shown on the plans entitled "1224 East Brookland Park Boulevard, Special Use Permit Application, Re-Submission Package, City of Richmond, Virginia," prepared by Torti Gallas and Partners, Inc., and dated January 16, 2018, hereinafter referred to as "the Plans," copies of which are attached to and made a part of this ordinance.
- (b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as "the Owner." The conditions contained in this ordinance shall be binding on the Owner.
- § 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

- (a) The Special Use of the Property shall be as a multifamily dwelling containing up to 76 dwelling units, amenity areas, and flexible space, substantially as shown on the Plans. The areas designated on the Plans as "Community Room," "Leasing," "Community Oriented Flex Space," and "Fitness" may contain alternative uses that are permitted in and governed by the zoning regulations prescribed for the district in which the Property is situated.
- (b) No fewer than 19 parking spaces shall be provided for the Special Use, substantially as shown on the Plans.
- (c) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.
- (d) The height of the Special Use shall be limited to four stories, substantially as shown on the Plans.
- (e) All building materials, elevations, site improvements, and landscaping shall be substantially as shown on the Plans, unless otherwise approved by the Advisory Council on Historic Preservation to the extent required by Section 106 of the National Historic Preservation Act, 54 U.S.C. § 306108, prior to the issuance of a building permit for the Property.
- (f) No fewer than 20 bicycle storage spaces and no fewer than six bicycle parking spaces shall be provided, substantially as shown on the Plans.
- (g) Signage on the Property shall be generally as shown on the Plans and subject to a determination by the Director of Planning and Development Review that the type, dimensions, and location of the signs are consistent with the findings made in section 1 of this ordinance.
- § 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

- (a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.
- (b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.
- (c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.
- (d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.
- (e) The Owner shall make improvements within the public right-of-way, consisting of the installation of street trees along East Brookland Park Boulevard, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following the written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City, is hereby

authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

- along Newbury Avenue, substantially as shown on the Plans. The Owner must obtain such authorization for any encroachment by the parking area into the public right-of-way as section 4(d) of this ordinance may require. The Owner shall dedicate to the City the relocated public sidewalk and an easement for right-of-way purposes to provide for the public use of the relocated sidewalk. The Owner must complete all improvements and work to satisfy the requirements of this subsection in accordance with the requirements of the Director of Public Works, and such improvements and work shall be considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.
- (g) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.
- § 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:
- (a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

- (b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.
- (c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.
- (d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.
- (e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.
- (f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

- § 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 consecutive calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.
  - § 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

## City of Richmond

900 East Broad Street 2nd Floor of City Hall Richmond, VA 23219 www.richmondgov.com

### **Item Request**

File Number: PRE.2018.032

FEB 07 2018

O & R REQUEST

OFFICE OF CITY ATTORNEY

O & R Request

Office of the Chief Administrative Officer

DATE:

January 25, 2018

**EDITION:1** 

TO:

The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor

(This is no way reflects a recommendation of behalf of the Mayor.)

THROUGH: Selena Cuffee Glenn, Chief Administrative Officer

THROUGH: Peter L. Downey, Deputy Chief Administrative Officer for Economic

Development and Planning

Mark A. Olinger, Director, Department of Planning and Development Review FROM:

RE: To authorize the special use of the properties known as 1218, 1224, 1226, and 1228 East

Brookland Park Boulevard, for the purpose of a multi-family dwelling containing no more

than 76 dwelling units, upon certain terms and conditions.

ORD. OR RES. No.

PURPOSE: To authorize the special use of the properties known as 1218, 1224, 1226, and 1228 East Brookland Park Boulevard, for the purpose of a multi-family dwelling containing no more than 76 dwelling units, upon certain terms and conditions.

REASON: The proposed development consisting of a newly constructed multi-family dwelling does not meet the requirement of the UB and UB-2 districts to restrict residential uses on the first floor of the building. A special use permit is therefore required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its March 5, 2018, meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

**BACKGROUND:** The subject properties combined consist of a total of 34,489 SF or .79 acre parcel of land improved with two residential and one institutional buildings all of which are currently vacant and are located in the Highland Terrace neighborhood within the City's North Planning District.

The City's Master Plan recommends three of the parcels to be Single-Family Low Density (SF-LD) and one of the parcels to be Neighborhood Commercial (CM-NB). Single Family Low Density primarily consists of "...single-family detached dwellings at densities up to seven units per acre. Includes residential support uses such as schools, places of worship, neighborhood parks and recreation facilities, and limited public and semi-public uses. Typical zoning classifications that may accommodate this land use category: R-1, R-2, R-3, R-4, and R-5." (City of Richmond Master Plan, p. 133)

Neighborhood Commercial uses consist of "...office, personal service and retail uses, intended to provide the daily convenience shopping and service needs of adjacent neighborhood residents. Such uses are typically small scale and low intensity, have limited hours of operation, involve a high percentage of walk-in trade and minimal vehicular traffic, and are especially compatible with adjacent low to medium density residential uses. Typical zoning classifications that may accommodate this land use category: B-1 and UB." (Ibid, 134)

The subject properties are zoned UB-PE8 and UB2-PE8 (Urban Business Parking Exempt) District. Adjacent properties are located in the same UB and UB2 Districts to the north, east, and south. Properties to the west are zoned in the R-5 Single-Family Residential District.

Currently, nearby properties on East Brookland Park Boulevard are a combination of multifamily, two-family, and single-family dwellings, with commercial uses surrounding the six-points intersection.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

**REVENUE TO CITY:** \$2,400

**DESIRED EFFECTIVE DATE:** Upon Adoption

**REQUESTED INTRODUCTION DATE:** February 12, 2018

CITY COUNCIL PUBLIC HEARING DATE: March 12, 2018

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

File Number: PRE.2018.032

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission, March 5, 2018

AFFECTED AGENCIES: Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner

Land Use Administration (Room 511) 646-5734

Application for SPECIAL USE PERMIT
Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
http://www.richmondoov.com/

Suf-021938-2017

http://www.richmondgov.com/

Application is hereby submitted for: (check one)  Special use permit, new  special use permit, plan amendment		
special use permit, text only amendment		
Project Name/Location Property Adress: 1218, 1222, 1224, 1226 and 1228 E. Brooklar Tax Map #; See attached Fee: \$2400.00	nd Park Bouleva	<u>rd</u> Date: <u>8/7/17</u>
Total area of affected site in acres: 0.79		
(See page 5 for fee schedule, please make check payable to the "City of	f Richmond")	<del>-</del>
Zoning Current Zoning: UB-2 and UB		
Existing Use: Vacant		
Proposed Use (Please include a detailed description of the proposed use in the required Multitamily	l applicant's repor	10
Existing Use: Vacant		
Is this property subject to any previous land use cases? Yes No If Yes, please list the Ordinance Number:		
Applicant/Contact Person: Jennifer D. Mullen, Esq. Company: Roth Jackson		
Mailing Address: 919 E. Main Street, Suite 2110		
City: Richmond	State: VA	Zip Code: 23219
Telephone: (804 ) 9773374	Fax: _(	
Email: imullen@rothiackson.com		
Property Owner: Nehemiah Ventures Llc and Communif Business Entity, name and title of authorized signee: CH	itv Housing In RTSकराम्हर	ic (1218 E. Brookland Park Lo Piano
(The person or persons executing or attesting the execution of this Applic she has or have been duly authorized and empowered to so execute or at	zation on behalf of test.)	the Company certifies that he or
Mailing Address: 8403 Colesville Road, Suite 1150		
City: Silver Spring	State: MD	Zip Code: 20910
Telephone: _()	Fax: _(202	) 895 8805
Email Mengel @ cpdc.org		
Property Owner Signature:		
The names, addresses, telephone numbers and signatures of all numbers of	the name to a second	

stures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



VIA EMAIL: Matthew.Ebinger@Richmondgov.com
Mr. Matthew Ebinger
City of Richmond
Department of Planning and Development Review
Land Use Administration Division, Room 511
City Hall, 900 East Broad Street
Richmond, Virginia 23219

Richmond Office (804) 441-8603 (direct) mkronenthal@rothjackson.com

Mark J. Kronenthal

August 28, 2017

RE: Special Use Permit: 1218, 1222, 1224, 1226 and 1228 E. Brookland Park Boulevard

Dear Matthew:

This letter shall serve as the Applicant's Report accompanying the application for the Special Use Permit (the "SUP") in order to permit multi-family dwelling use as shown on the attached plans, for the property known as 1218, 1222, 1224, 1226 and 1228 E. Brookland Park Boulevard (collectively, the "Property"). The Property is located on the north side of E. Brookland Park Boulevard and is identified as Parcel Nos. N0000987011, N0000987009, N0000987007 and N0000987006 in the City Assessor's records.

The parcels identified as 1218, 1222, 1224 and 1226 E. Brookland Park Boulevard are zoned Urban Business (UB-2) and are within the Parking Exempt Overlay District PE-8. 1228 E. Brookland Park Boulevard is zoned Urban Business (UB) and is also within in Parking Exempt Overlay District PE-8. The surround parcels are generally zoned for Urban Business and are located within the Parking Exempt Overlay District PE-8. The properties across E. Brookland Park Boulevard to the South zoned UB-2/PE-8 and are occupied as multi-family residential, which are owned and managed by an affiliate of the Applicant, and a vacant parcel. The two parcels to the West of the subject parcels are also zoned UB-2/PE-8 with one improved with a single family dwelling and the other a surface parking lot. The parcels further to the West are

#### RICHMOND

919 East Main Street, Suite 2110, Richmond, VA 23219 P: 804-441-8440 F: 804-441-8438

#### TYSONS CORNER

8200 Greensboro Drive, Suite 820, McLean, VA 22102 P: 703-485-3535 F: 703-485-3525 Mr. Matthew Ebinger August 28, 2017 Page 2

zoned R-5 and also improved with single family dwellings. The properties across Newbury Avenue to the north are also zoned UB-2/PE-8 and are improved and used as a religious institution and ancillary parking. The central Six Points business area to the East is zoned UB/PE-8.

All of the buildings on the Property are vacant and deteriorating. The portion of the Property known as 1218 E. Brookland Park Boulevard is an approximately 0.183 acre lot and is improved with former single-family residence together with an ancillary two car garage structure. The portion of the Property known as 1222 and 1224 E. Brookland Park Boulevard is an approximately 0.366 acre lot area and contains a vacant, boarded, former church administrative building together with a vacant former church sanctuary building, both previously used as a community center. The portion of the Property known as 1226 E. Brookland Park Boulevard is an approximately 0.183 acre lot and is improved with an asphalt paved parking area. The portion of the Property known as 1228 E. Brookland Park Boulevard is an approximately 0.059 acre lot and is improved with a former single-family residence which is boarded and vacant. The Applicant proposed to demolish the deteriorated structures and construct a 4 story, 68 unit multi-family building pursuant to the attached plans.

The proposed development is compatible with the goals for the Six Points area of a vital, walkable, pedestrian-oriented uses and the redevelopment of the Six Points commercial district. The building is designed to have active facades on both the primary entrance of E. Brookland Park Boulevard, as well as the secondary entrance off Newbury Avenue. The ground floor primary entrance is designed to appear as commercial space in the center bay of the building, with storefront windows and awnings. The residential units on the ground floor have direct access to the street and maintain the transparency along the ground floor. In addition, on-street parallel parking along E. Brookland Park Boulevard will create activity directly on the street. The off-street parking spaces are located off of the one-way Newbury Avenue, with landscaping and a courtyard to minimize the view of the parking area. The sidewalk is located behind the parking spaces to avoid pedestrian conflict; provided, the pedestrian traffic is directed to E. Brookland Park Boulevard.

A key driver of the 2015 rezoning was the deterioration and vacancy in the Six Points area, and to encourage future pedestrian-oriented mixed use development. The quality, affordable senior housing across E. Brookland Park has been a catalyst in the area, but in order for more stable businesses to locate in the central Six Points area as an amenity to the greater area, more multi-family residential density must occur in the UB-2 areas, like the Property, located between central UB Six Points and the surrounding R-5 district. In order to address this issue and accommodate the needs of the site – not directly facing the core business area but also not directly adjacent to the R-5 single family areas – the SUP would provide the residents needed to walk to the businesses called for in the 2015 rezoning in the adjacent UB area to the east. The number of dwelling units and stories proposed by the Applicant accommodates this higher density of residents contemplated in the 2015 rezoning to achieve a successful, vibrant, diverse mixed-use Six Points area. Further, the Applicant would design the ground floor of the building to desirable ceiling and window configurations so that when the primary Six Points business areas are thriving and stable, ground floor commercial use could grow into the Property located along this frontage secondary to the core Six Points area.

The following are factors indicted in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

• Be detrimental to the safety, health, morals and general welfare of the community involved.

The proposed SUP will not impact the safety, health, morals and general welfare of the nearby neighborhoods. The proposed SUP is consistent with the recommendations of the Master Plan, as put in place by the 2015 Ordinance.

• Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.

The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods and is consistent with the goals of creating pedestrian, not vehicle, vitality in

Mr. Matthew Ebinger August 28, 2017 Page 4

the Six Points area. The previous, now-dormant neighborhood center use, would generate more vehicle traffic activity.

Create hazards from fire, panic or other dangers.

The Property would be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

Tend to overcrowding of land and cause an undue concentration of population.

The proposed SUP will not tend to over crowd the land or create an undue concentration of land considering the City's stated goals in the 2015 Ordinance to support multi-family density in the area.

 Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.

The special use permit would not adversely affect the above referenced City services. To the contrary, the SUP would help insure the viability of the Six Points area.

Interfere with adequate light and air.

The proposed SUP will not impact the light and air available to adjacent properties.

The SUP would enhance surrounding uses and the Six Points area. Thank you for your time and consideration of this request. Please let me know if you have any questions.

Sincerely,

Mark J Kronenthal

#### Owner/Developer:

COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION

413 STUART CIRCLE, SUITE 323 RICHMOND, VA 23220

Architect:

**TORTI GALLAS + PARTNERS** 

Landscape Design:

Civil Engineering:

RUMMER, KLEPPER, & KAHL, LLP



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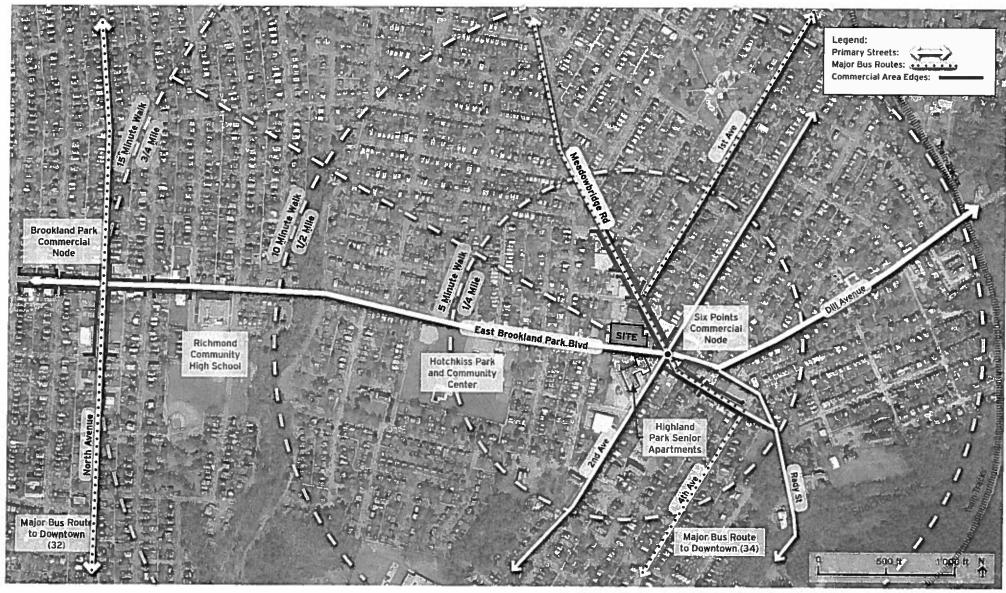


January 16th, 2018

# 1224 EAST BROOKLAND PARK BOULEVARD SPECIAL USE PERMIT APPLICATION

**RE-SUBMISSION PACKAGE** 

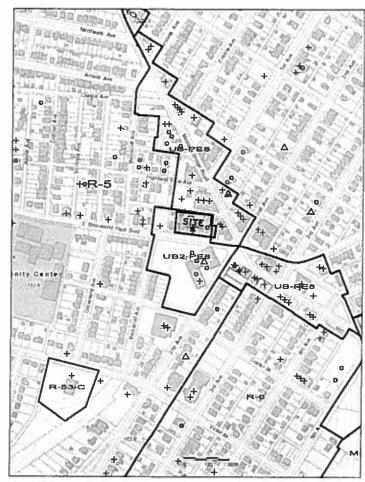
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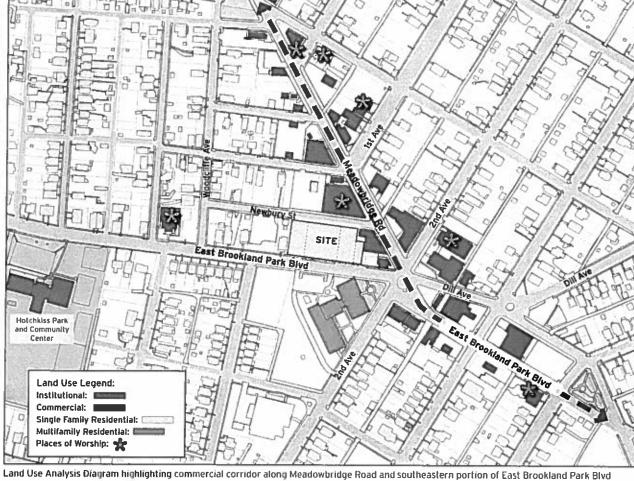


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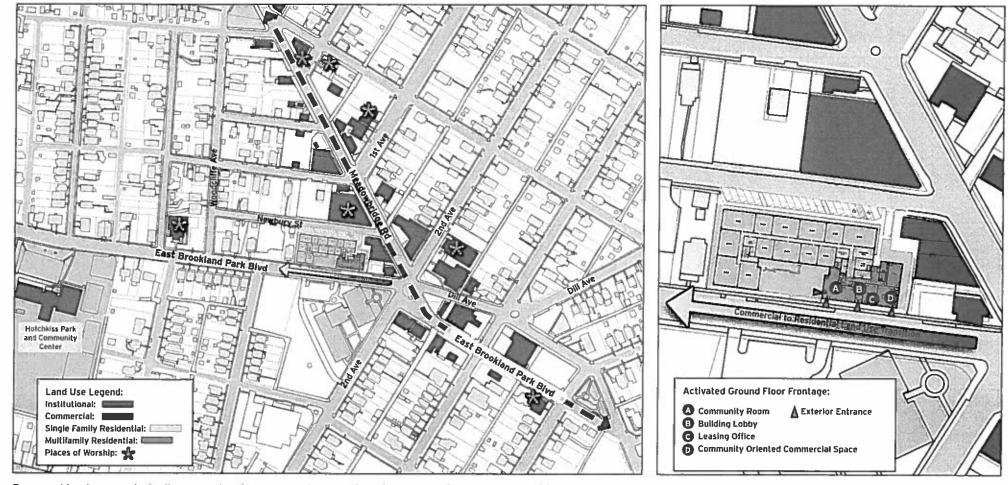


City Zoning Map with site highlighted









Proposed land use analysis diagrams showing proposed non-residential use location and the transition from the commercial corridor to residential land use.



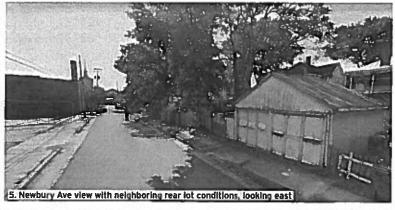


















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4.2017 Thru Golles + Partners | 1300 Spring Street, 4th Flour | Silver Spring, Maryland 20910 | 301 588,1600





OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION LANDSCAPE DESIGN: CITE DESIGN CIVIL ENGINEERING: RK&K

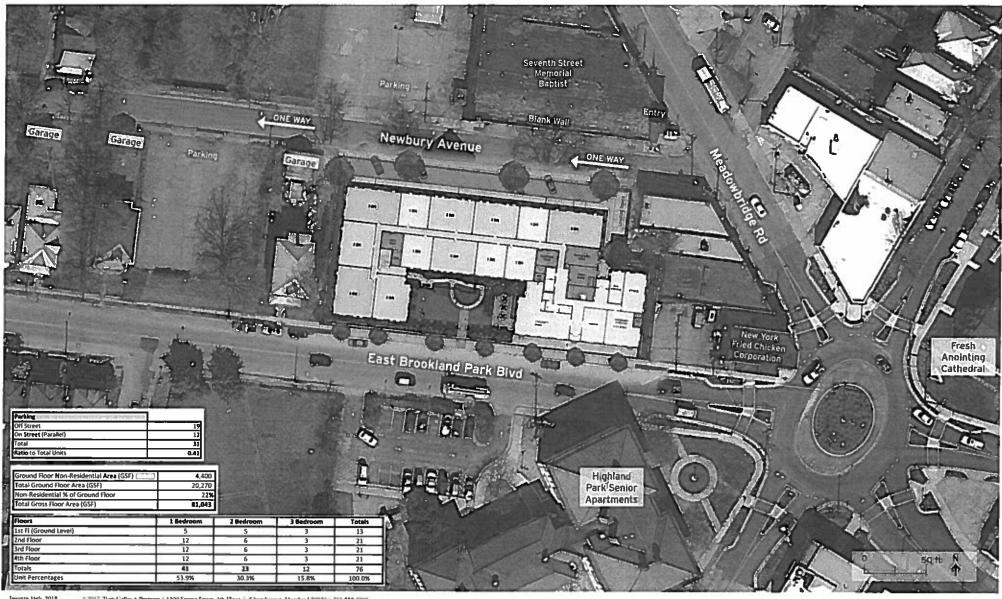
Site and Context Photography
1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



January 16th, 2018 C2017 Thru Galles + Partners | 1300 Spring Street, 4th Floor | Silver Spring, Maryland 20110 | 303,588 4000



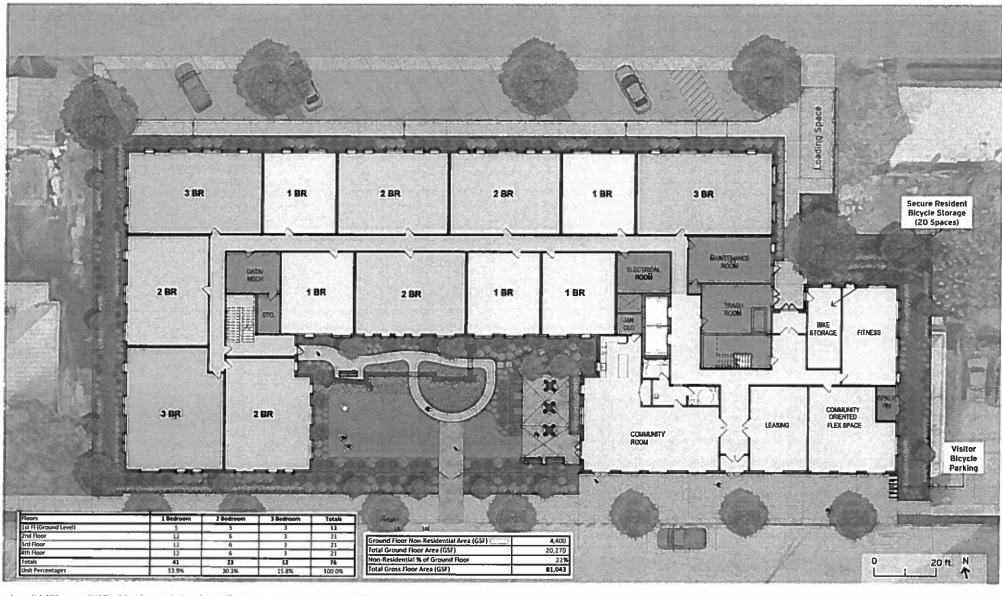




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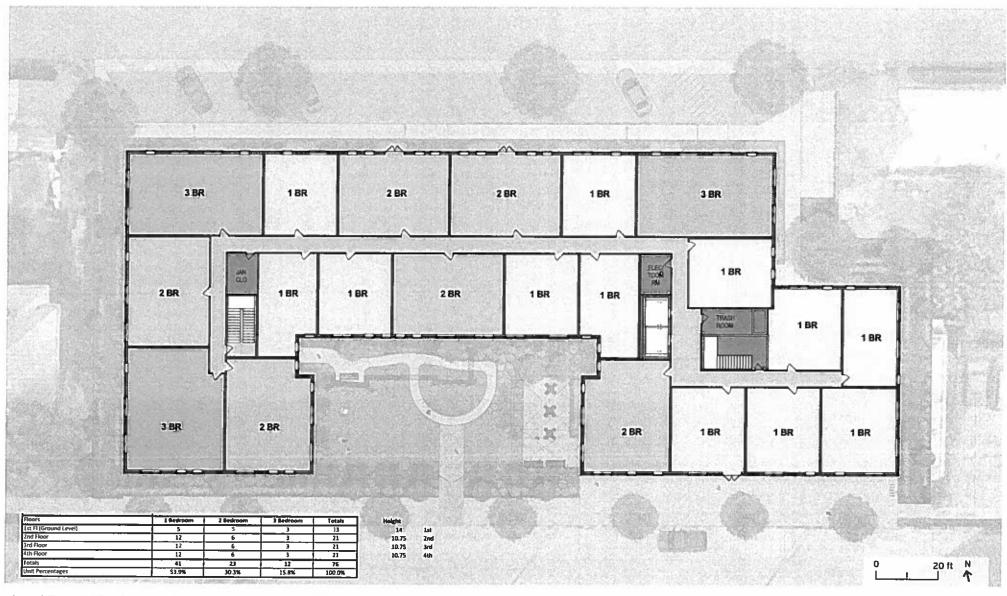
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OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION LANDSCAPE DESIGN: CITE DESIGN CIVIL ENGINEERING: RK&K

Ground Floor Plan
1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



January 16th, 2018

4.2017 Toru Gallas + Partners | 1800 Spring Street, 4th Plote | Salver Spring, Maryland 20910 | 304,588 4800





OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION LANDSCAPE DESIGN: CITE DESIGN
CIVIL ENGINEERING: RKEK

2nd, 3rd, and 4th Floor Plan
1224 EAST BROOKLAND PARK BLVD: SUP APPLICATION



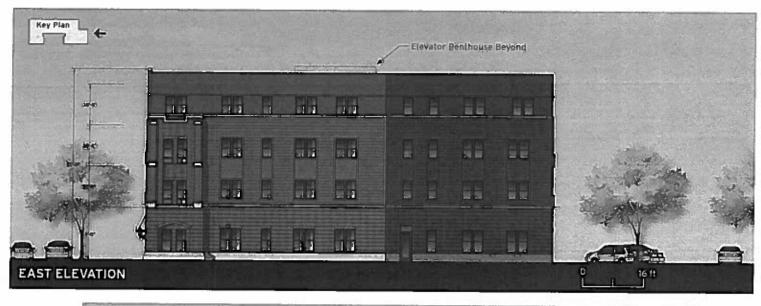


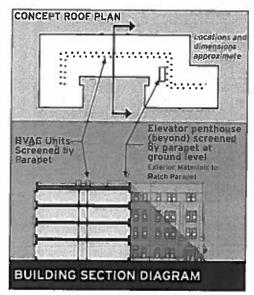
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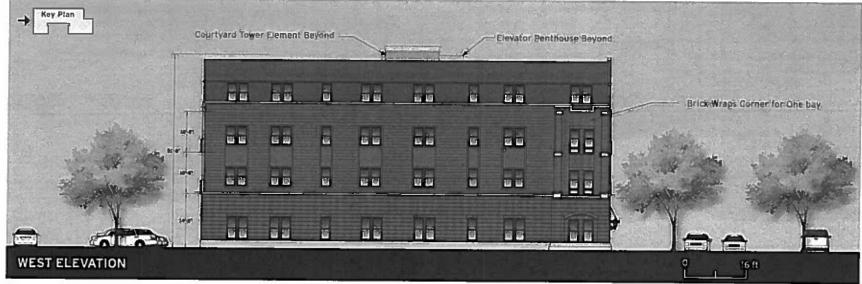
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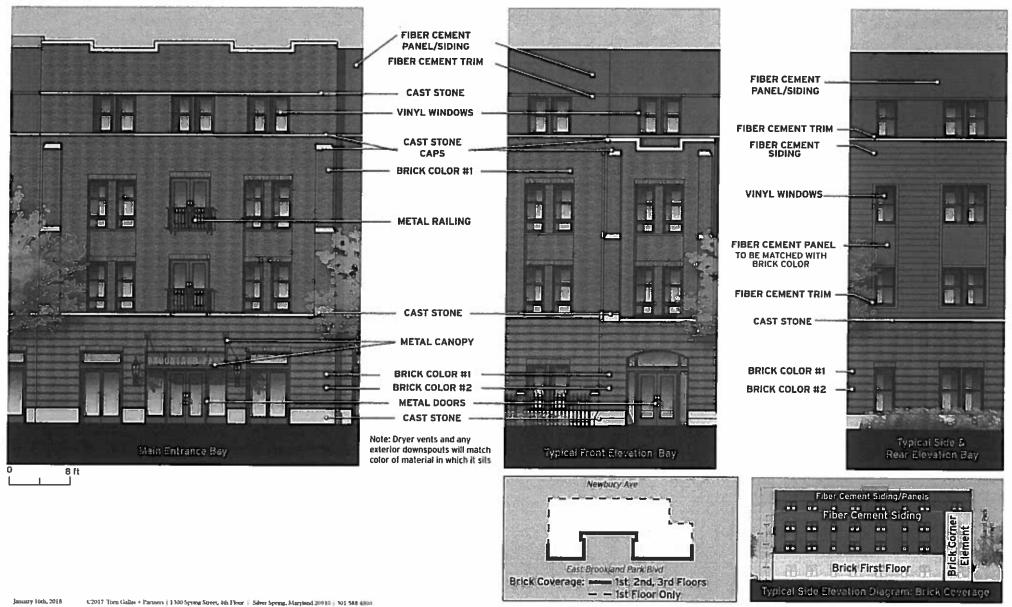


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C2017 Toru Gallas + Parmers | 1300 Spring Street, 4th Floor | Silver Spring, Marriand 20910 | 301,585,4800



















Superse High, 201

4.2017 Tints Gilles + Partners | 1300 Spring Street, 4th Ploor | Salver Spring, Maryland 20010 | 301,508 (201)





OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION LANDSCAPE DESIGN: CITE DESIGN CIVIL ENGINEERING: RKEK



Jacoury 16th, 2018

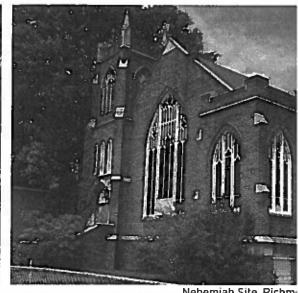
U2017 Toru Galles + Partners | 1300 Spring Street, 4th Floor | Silver Spring, Maryland 20910 | 301,588 4800

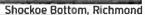




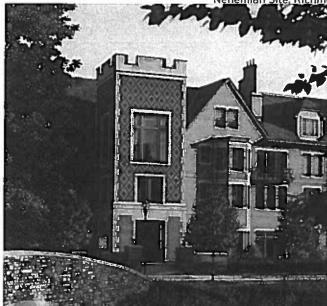












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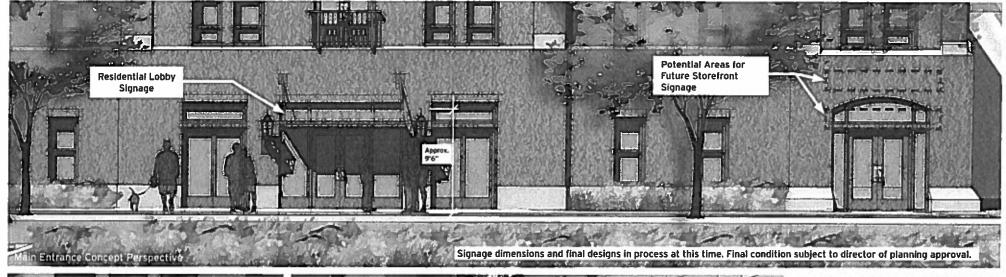
Richmond Springfield School U2017 Turu Gallas + Partners (1300 Spring Street, 4th Floor | Silver Spring, Maryland 20910 | 301, 388 4800

Arthur Capper Senior Housing





OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION LANDSCAPE DESIGN: CITÉ DESIGN CIVIL ENGINEERING: RAGEK









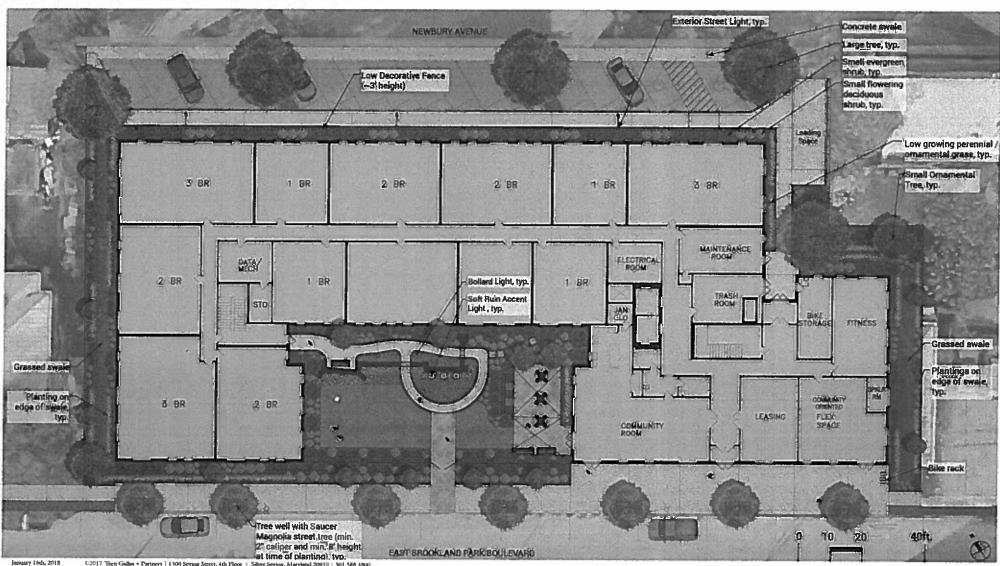
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## OVERALL LANDSCAPE CONCEPT



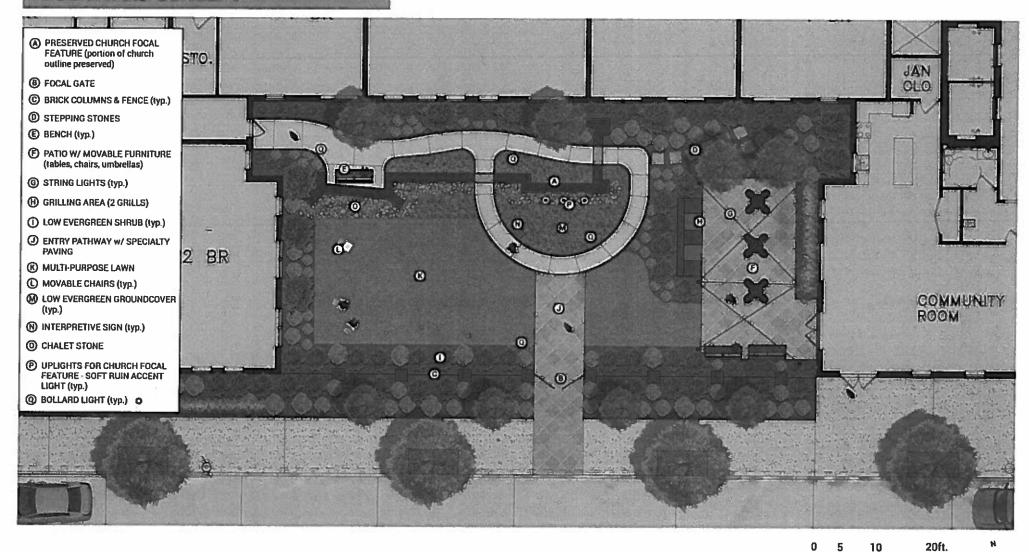




OWNER/DEVELOPER: COMMUNITY PRESERVATION AND DEVELOPMENT CORPORATION LANDSCAPE DESIGN: CITE DESIGN CIVIL ENGINEERING: RK&K

**Overall Landscape Concept** 

## COURTYARD CONCEPT

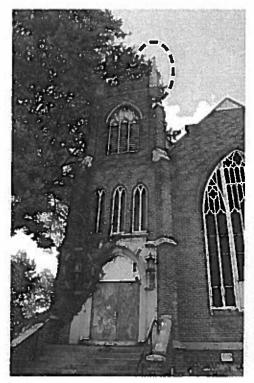


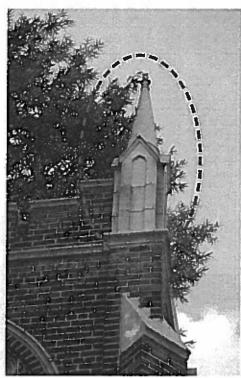




## 1224 EAST BROOKLAND PARK BLVD

## COURTYARD INSPIRATION IMAGES





**(A)** RECLAIMED ARCHITECTURAL ELEMENTS SAVED FROM THE CHURCH



**® © MULTI-PURPOSE LAWN w/ MOVABLE CHAIRS** 







# 1224 EAST BROOKLAND PARK BLVD COURTYARD INSPIRATION IMAGES



(F) (G) (H) PATIO W/ MOVABLE FURNITURE, STRING LIGHTS, & GRILLS





# 1224 EAST BROOKLAND PARK BLVD

# COURTYARD INSPIRATION IMAGES



@ BRICK COLUMNS & FENCE (typ.)



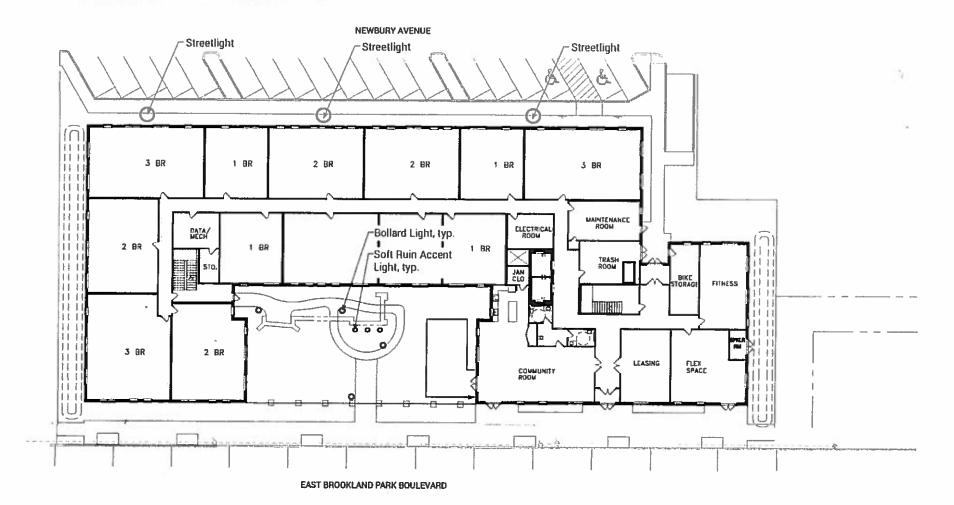
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# 1224 EAST BROOKLAND PARK BLVD

# OVERALL LIGHTING PLAN



Immury 16th, 2018

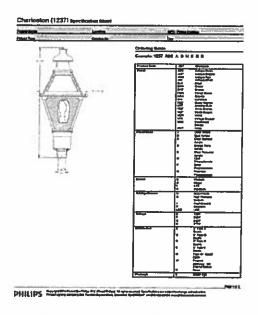
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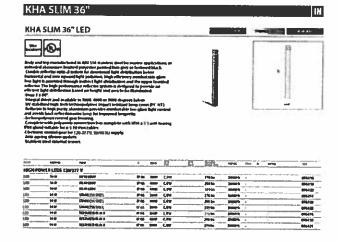




# 1224 EAST BROOKLAND PARK BLVD

## LIGHTING DETAILS





City of Richmond standard street light - Option 1

City of Richmond standard street light - Option 2

Illuminated bollard







CIVIL ENGINEERING: RKEK

#### SITE\_STATISTICS:

EX. ZONING: UB2-PEB (ORD, 2015-202-197)

S.U.P:

TAX MAP #: N0000987006, 007, 009, 011

ADDRESS: 1228, 1226, 1224, 1218 EAST BROOKLAND PARK BOULEVARD

TOTAL LAND AREA: 0.79 ACRES (34,412 SF)

MEAN SITE ELEVATION: 168.0 FEET

PROPOSED USE:

RESIDENTIAL: 76 UNITS SQUARE FOOTAGE: B1,043 SF

HEIGHT: 51 FEET

PARKING PROVIDED: 31 SPACES (INCL. 2 HC)

1 LOADING SPACE

SANITARY SEWER: CITY OF RICHMOND

(COMBINED SEWER/STORM (CSS) ALONG E. BROOKLAND PARK BLVD)

WATER SOURCE:

CITY OF RICHMOND (10" ALONG EAST BROOKLAND PARK BLVD)

STORM WATER/BMP:

CHES. BAY AREA: ENHANCED LANDSCAPE WITH GRASSED SWALES, SITE IS LESS THAN 1% OF CONTRIBUTING DRAINAGE AREA AT CONNECTION TO EXISTING 54" COMBINED SEWER/STORM CONVEYANCE.

CITY WATERSHED: SHOCKOE CREEK

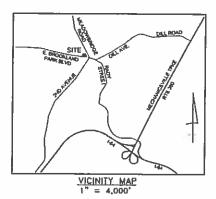
F.J.R.M. FLOOD AREA: ZONE X ("MINIMAL FLOODING RISK") (PER FIRM 51012900330 (APRIL 2, 2009))



## **1224 EAST BROOKLAND PARK BOULEVARD**

CITY OF RICHMOND, VIRGINIA

## SPECIAL USF PERMIT



OWNER DEVELOPER: COMMUNITY PRESENVATION AND DEVELOPMENT CHAP: 413 STUART CHICLE, SUITE 323 RICHMOND, VA 23220

SURVEYOR: H & B 612 HURL STREET, SURTE 1019 RICHHOND, VA 23224 ATTH: US. ALISON HANSON, CLS 2617 PHONE #: (804) 330-3781 ARCHITECT; TOWN CALLAS + PARTNERS ATM: MR. BRAM TOMAND, ACP 1300 SPWNG SIREET, 41M 6LDOM SEVER SPRING, MD 20010 PHONE #: (301) 588-4800 EMAL: BTOMANOBTORTIGALIAS.COM

ENGINEER: RUMMEL KLEPPEN & KAHL, LLP 2100 EAST CARY STREET, SUITE 309 PROHADNO, VA 23223 ATTN: NATHAN RASHICK, P.E. PHONE #: (804) 782-1903 EMAIL: NRASHICK-BRKK, COM

## UTILITY INFORMATION

CTY OF RESIDENCE STEERED DETRITORY STAVELS STAVED STAVES STAVED SAVES SECONDAY MEMORIAL THEORY, NA 25224 PROME; [004] 846-8244 FAR: (804) 046-6131

WATER/SEWER/STORM: CITY OF RESIDENCE DEPARTMENT OF PRINCE STUDIES NAME E. GROUND STREET, DOG 312 RECOMMONE, VA 21219 PROPRIE (884) 846-72000

POWER: POWERS VEGINA POWER 14300 MELITIMAN TREMPER MELITIMAN, VL 28115 PROME (MA) 379-4075

COORDINATION NOTE: CONTACT: DOUG MAWBY, RIGHT OF WAY MANAGEMENT, DPW (FOR COORDINATION OF ANY WORK OCCURRING WITHIN THE

PHONE #: (804) 846-0110 EMAIL: DOUG.MAWBY@RICHMONDGOV.COM

### SHEET INDEX

## CIVILA SITE.

CIAIT/2	lki
SHEET N	O. TITLE
C-01	COVER SHEET
C-02	STANDARD HOTES & DETAILS
C-03	EROSION & SEDMENT NOTES & DETAILS
C-04	EXISTING CONDITIONS & EROSIGN & SEDIMENT CONTROL PLAN
C-05	DEMOLITION PLAN
C-06	LAYOUT PLAN
C-D7	PAJP YELITU
C-08	DRAMAGE PLAN
C-09	MAINTENANCE OF TRAFFIC
C-10	NAINTENANCE OF TRAFFIC
C-11	PRE/POST DRAINAGE AREA MAPS, CALCULATIONS, & DETAILS
C-12	DRAMAGE ANALYSIS

### LEGEND PROPOSED

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2100 EAST CARY STREET, S RICHMOND, VIRGINIA 2 (P) 804 782-1903 (F) 804 7 øβ KLEPPER RUMMEL,

SCALE N.T.S.

PARK

EAST BROOKLAND F BOULEVARD CTT OF RICHLOND, VRIGINIA

1224

CONSTRUCTION MOTES: ATTEMPORE Utility "Work in the Streets" purmits FROM Description of Public Works—Uniform of Right of Way Management — Other of the Parents Deplaces

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DPU\_VELITY\_NOTES:

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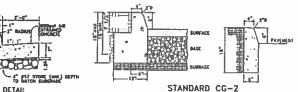
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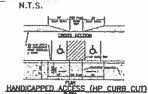
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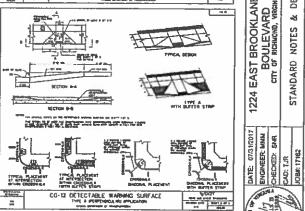
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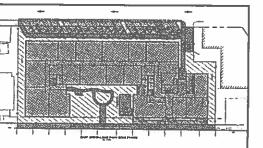
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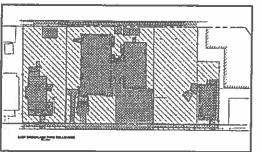


PROPOSED SURFACE AREAS



PROJECT AREA . 38,700 SF

PROPOSED PERVIOUS AREA = \$.027 SF REPERVIOUS AREA > 29.811 SF PERCENTAGE OF REPERVIOUS AREA = 78%



**EXISTING SURFACE AREAS** N.T.S



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SEEDING NOTES

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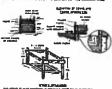
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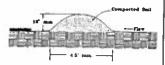




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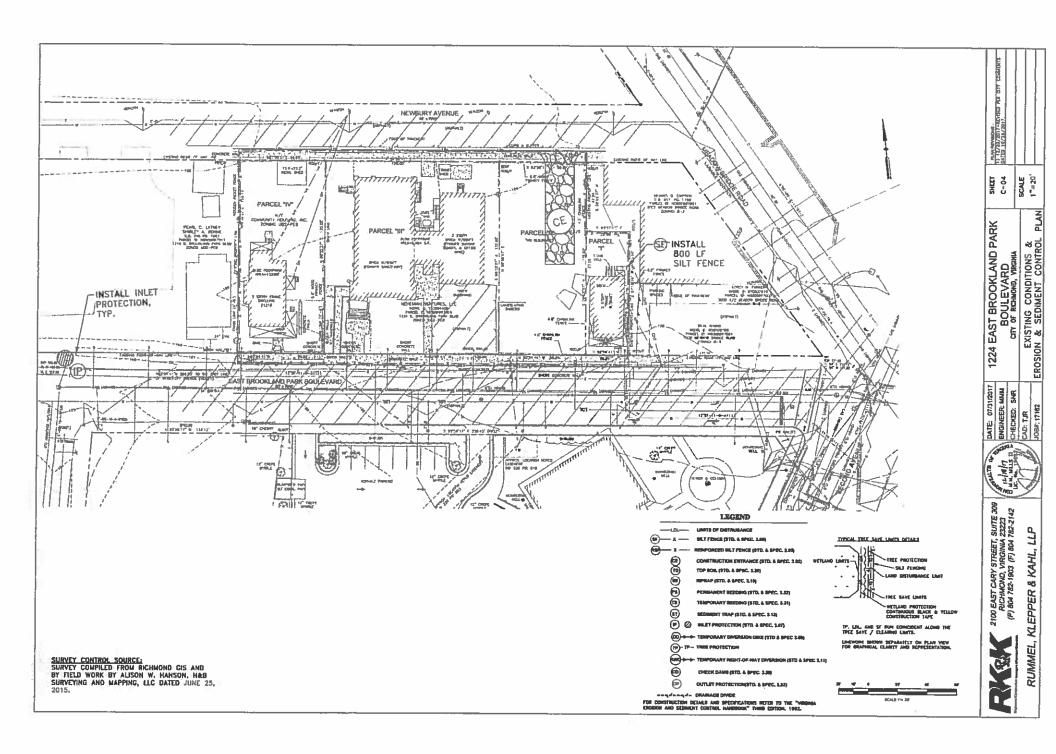
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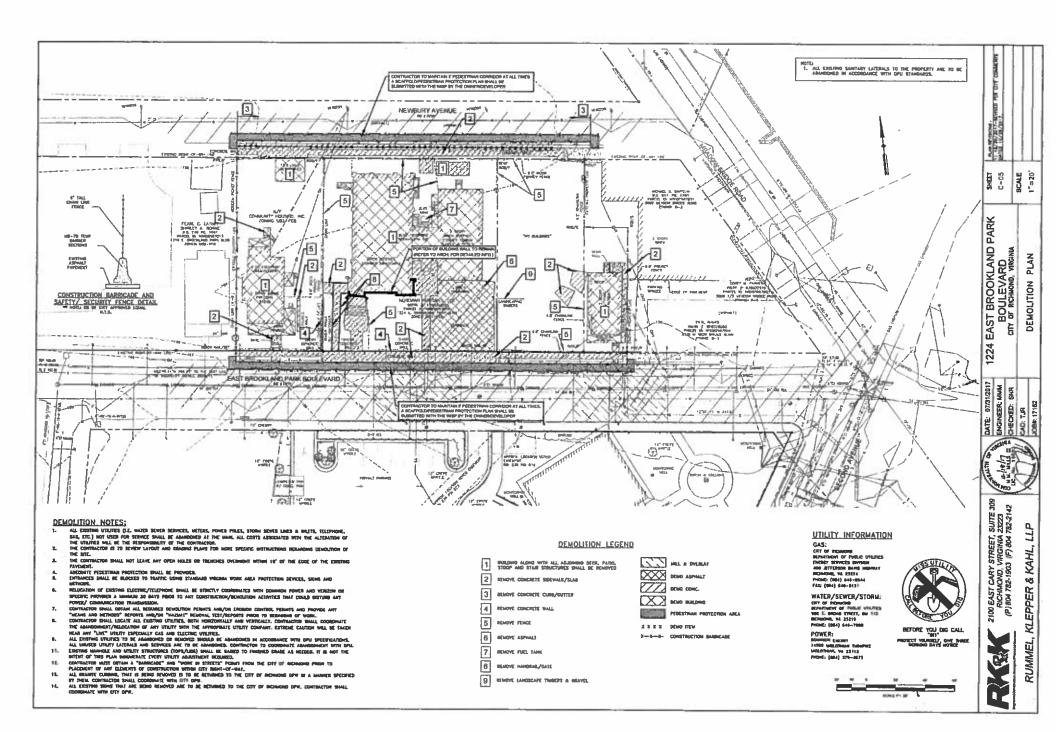
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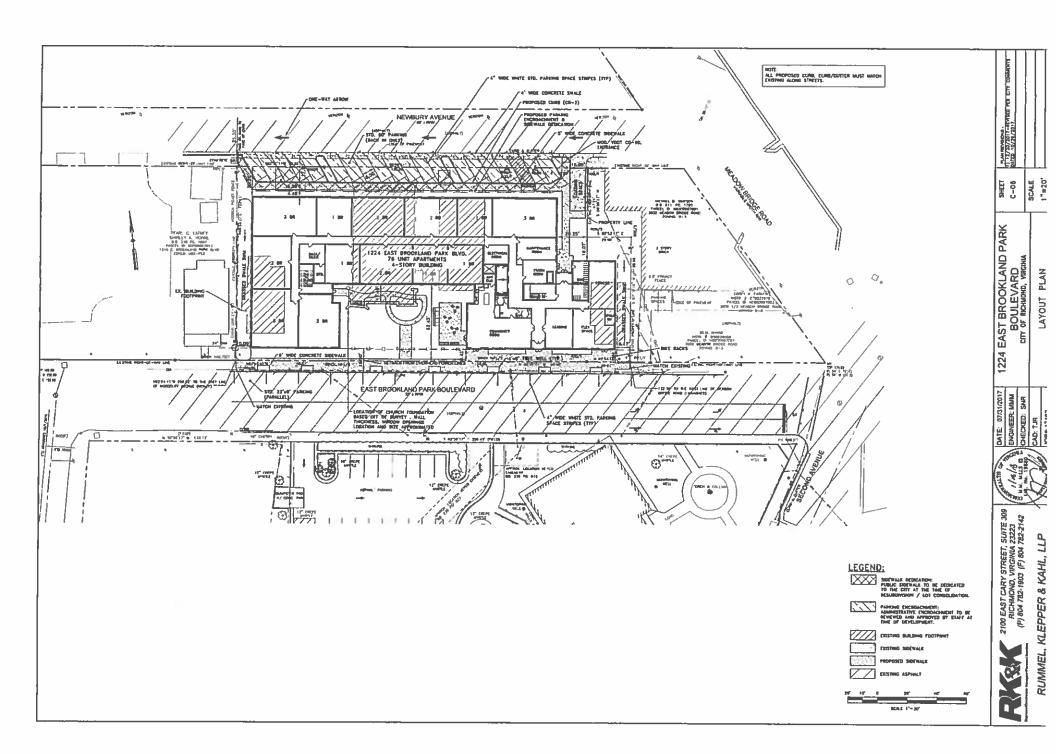
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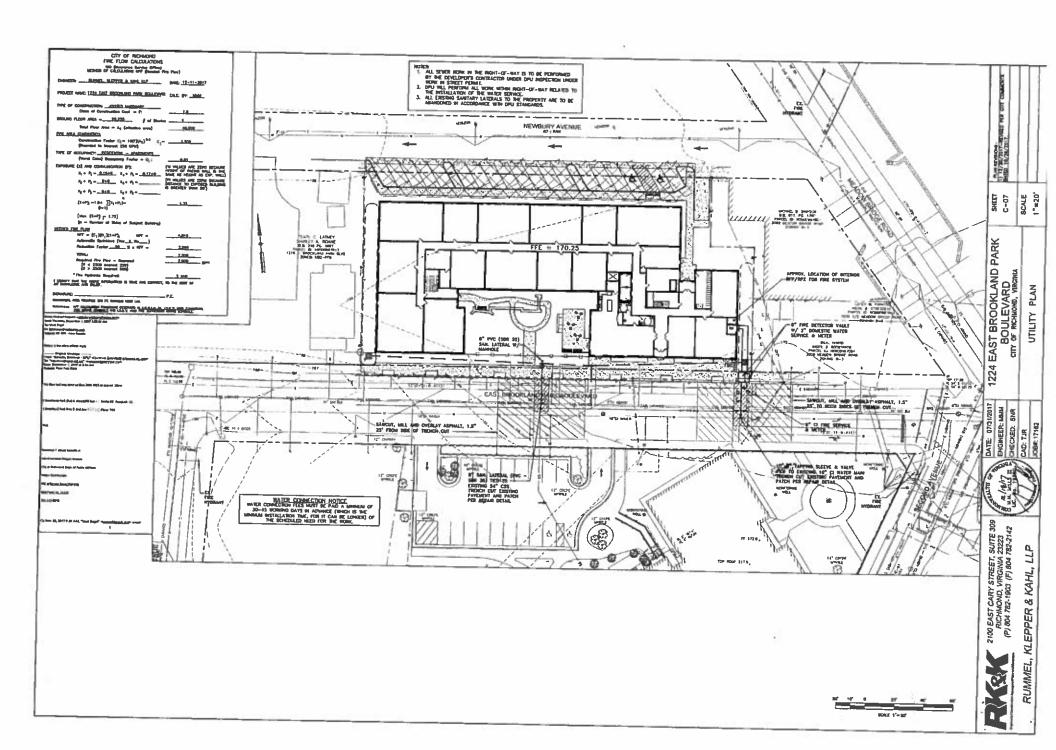
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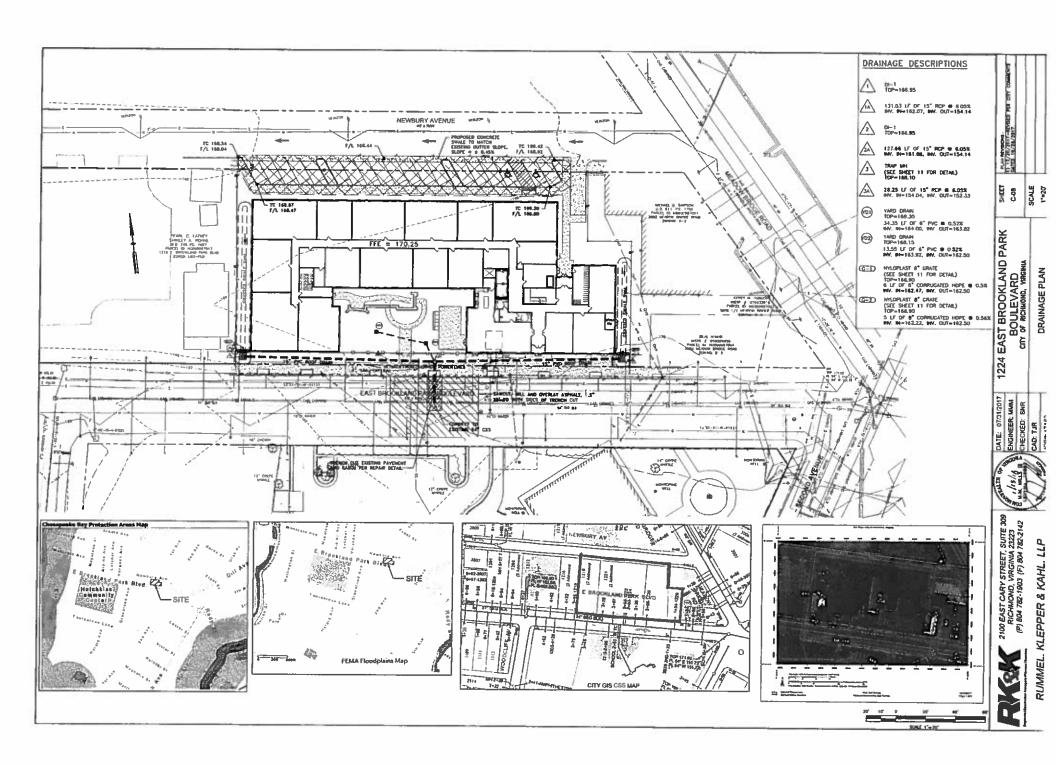
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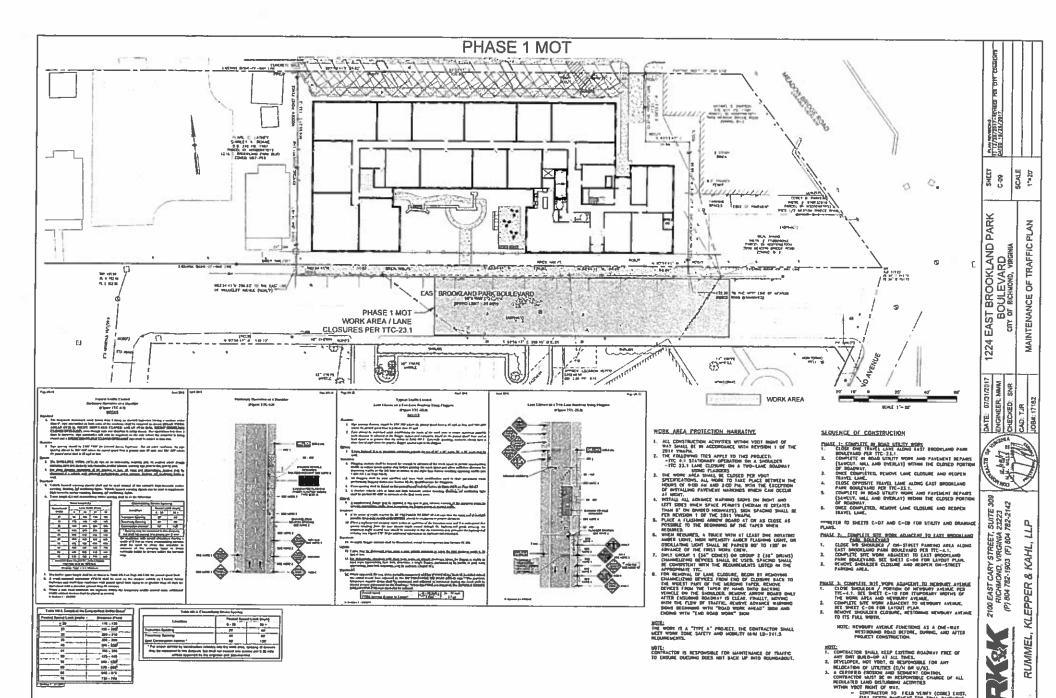




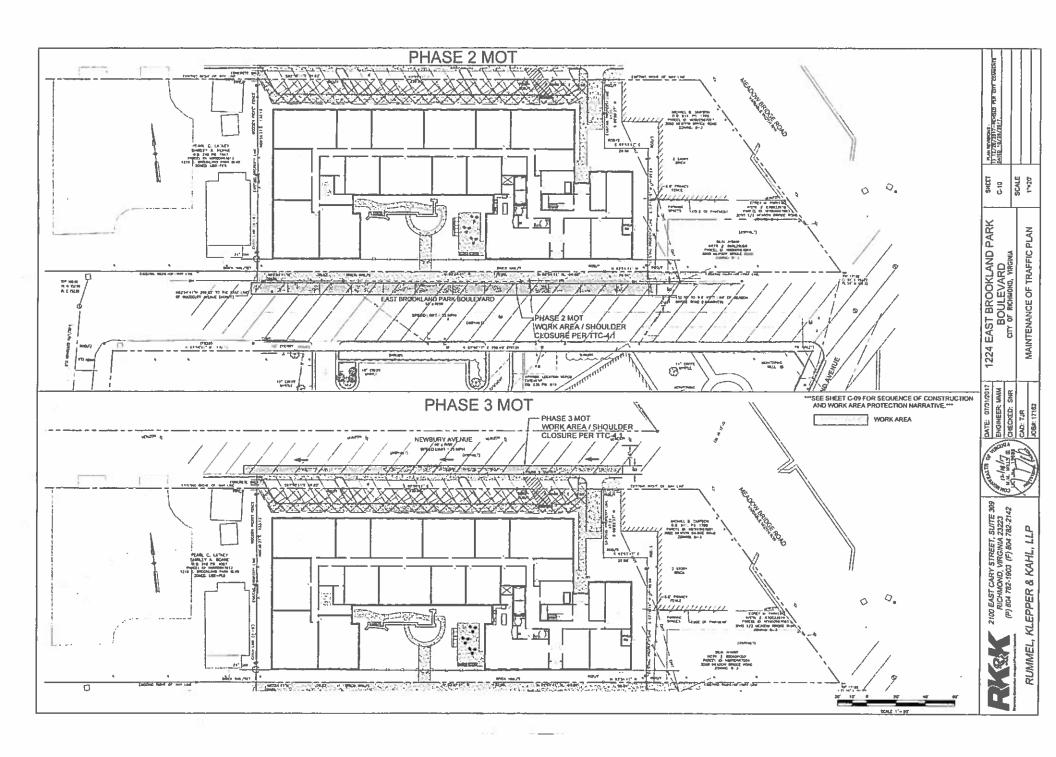


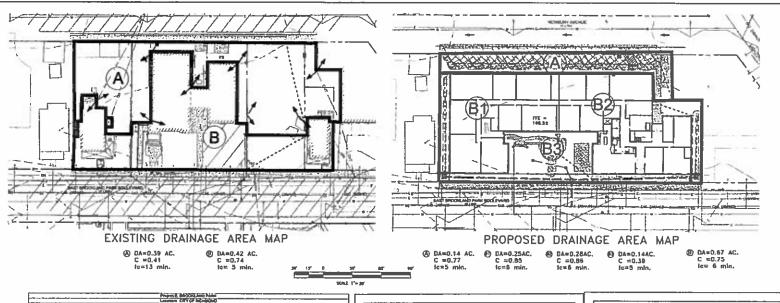






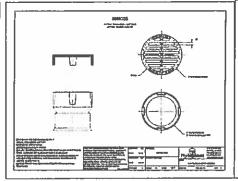
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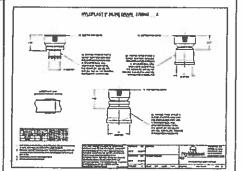


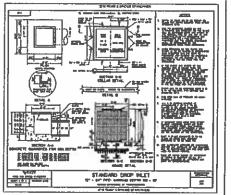


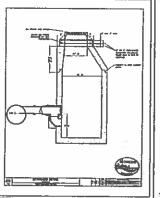
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