

1213 & 1215 N 32nd STREET PROJECT

RICHMOND, VA 23223



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PLAN REVISION-0	LOT	DATE	APPROV.
7	PLAN REVISIONS	8-10-19	
6	PLAT REVISIONS	6-13-19	
5	SIDE WDW'S OMITTED	6-8-19	
4	FINAL PERMIT PLANS	6-1-19	
3	CLIENT REVIEW	5-27-19	
2	CLIENT REVIEW	5-26-19	
1	CLIENT REVIEW	5-19-19	

SYMBOL LEGEND	
- COLUMN TAG	- DETAIL LETTER POINT OF VIEW SHEET NUMBER
- BEAM TAG	- SECTION CUT PLANE SECTION NUMBER POINT OF VIEW SHEET NUMBER
- FOOTING TAG	- STAIR TAG DN/UP #R
- POINT LOAD	- SECTION TAG



PENN & CO.

P.O. BOX 4481
FAIRFAX, VA 22038

Phone: (703) 675-4592

SQUARE FOOTAGE CALCULATIONS			
ELEVATION:	TRADITIONAL	AREA	UNFINISHED
AREA	FINISHED	FRONT PORCH	16 SF EACH UNIT
FIRST FLOOR	882 SF EACH UNIT	REAR PORCH	16 SF EACH UNIT
SECOND FLOOR	882 SF EACH UNIT	TOTAL	64 SF
TOTAL	3,528 SF		

BUILDING CODE:
PROJECT SHALL CONFORM TO THE 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE

CITY OF RICHMOND APPLICABLE DOCUMENTS/PERMITS :
COMMISSION OF ARCHITECTURAL REVIEW PROJECT NUMBER: NONE

RICHMOND CITY ORDINANCE:
ZONED R-6
SETBACKS:
ALLOWED FRONT YARD: 15'-0" MINIMUM
ALLOWED SIDE YARD: 3'-0"
ALLOWED REAR YARD: 5'-0"
ALLOWED HEIGHT: 35'-0"
DESIGNED FRONT YARD: 15'-0" MINIMUM
DESIGNED SIDE YARDS: 1'-6"
DESIGNED REAR YARD: 43'-0"
DESIGNED HEIGHT: 2 STORIES, 26'-6"±

LOT SIZE & COVERAGE:
ALLOWED MINIMUM LOT AREAS: 2,200 S.F.
ALLOWED LOT COVERAGE: 55%
DESIGNED AREA: 1,860 S.F. EACH
DESIGNED COVERAGE: 85%

SHEET INDEX	
PAGE NUMBER	DESCRIPTION
C-001	COVERSHEET
C-101	SURVEY AND CONSTRUCTION PLAT
A-100	FOUNDATION AND FIRST FLOOR PLAN
A-101	SECOND AND ROOF PLAN
A-102	BUILDING SECTION
A-103	SCHEDULES AND FIRE WALL INFORMATION
A-201	FRONT AND RIGHT ELEVATIONS
A-202	REAR AND LEFT ELEVATION
S-001	GENERAL NOTES
S-101	FOUNDATION AND FIRST FLOOR FRAMING PLAN
S-102	SECOND FLOOR AND ROOF FRAMING PLAN
S-103	FIRST AND SECOND FLOOR BRACED WALL PLAN
S-104	TYPICAL SECTIONS & BRACED WALL CALCULATIONS
S-105	TYPICAL DETAILS



VICINITY MAP



42296 BENFOLD SQUARE
ASHBURN VA 20148
(703) 675-4592 PHONE

DESIGN CONSULTANT



3803 NOBLE AVENUE
RICHMOND, VA 23222
(804) 486-0386 PHONE

GENERAL CONTRACTOR

ACTIVITY

SATISFACTORY TO DATE

DES: [initials] | DRW: JRP3 | CHK: JRP3

1213 & 1215 N 32nd STREET

RICHMOND, VIRGINIA 23223

COVERSHEET

SCALE: 1/4"=1'-0"

PROJECT NO.: 2019-01

CONSTR. CONTR. NO.

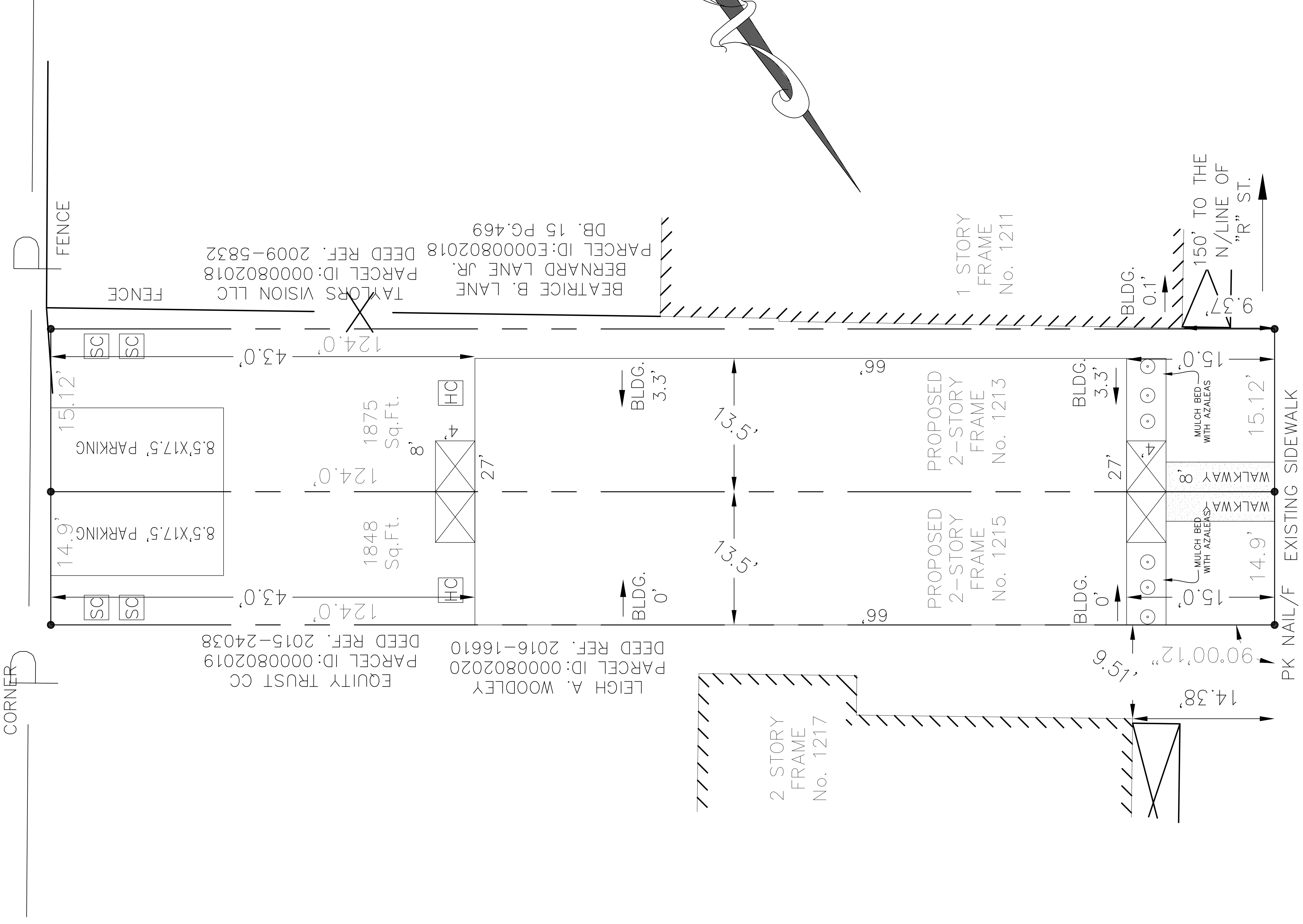
DRAWING NO.

SHEET OF

C-001

R/F 0.67'
NORTH OF
CORNER

16' ALLEY



N 32nd STREET
66' R/W



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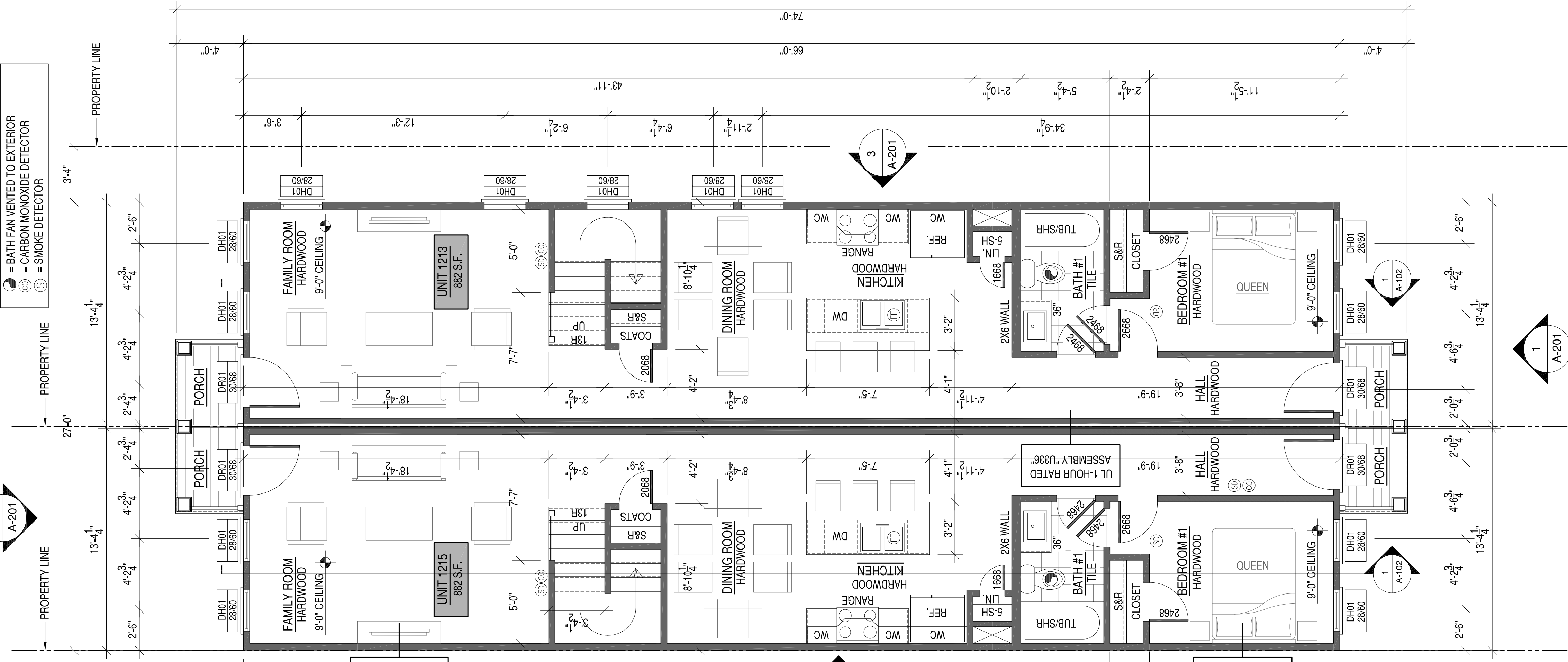
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homes & construction
3803 NOBLE AVENUE
RICHMOND, VA 23222
(804) 486-0386 PHONE
GENERAL CONTRACTOR

APPROVED
ACTIVITY
SATISFACTORY TO DATE
DES: JRP3 | DRW: JRP3 | CHK: JRP3

1213 & 1215 N 32nd STREET
RICHMOND, VIRGINIA 23223
SURVEY AND CONSTRUCTION PLAT

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
C-101

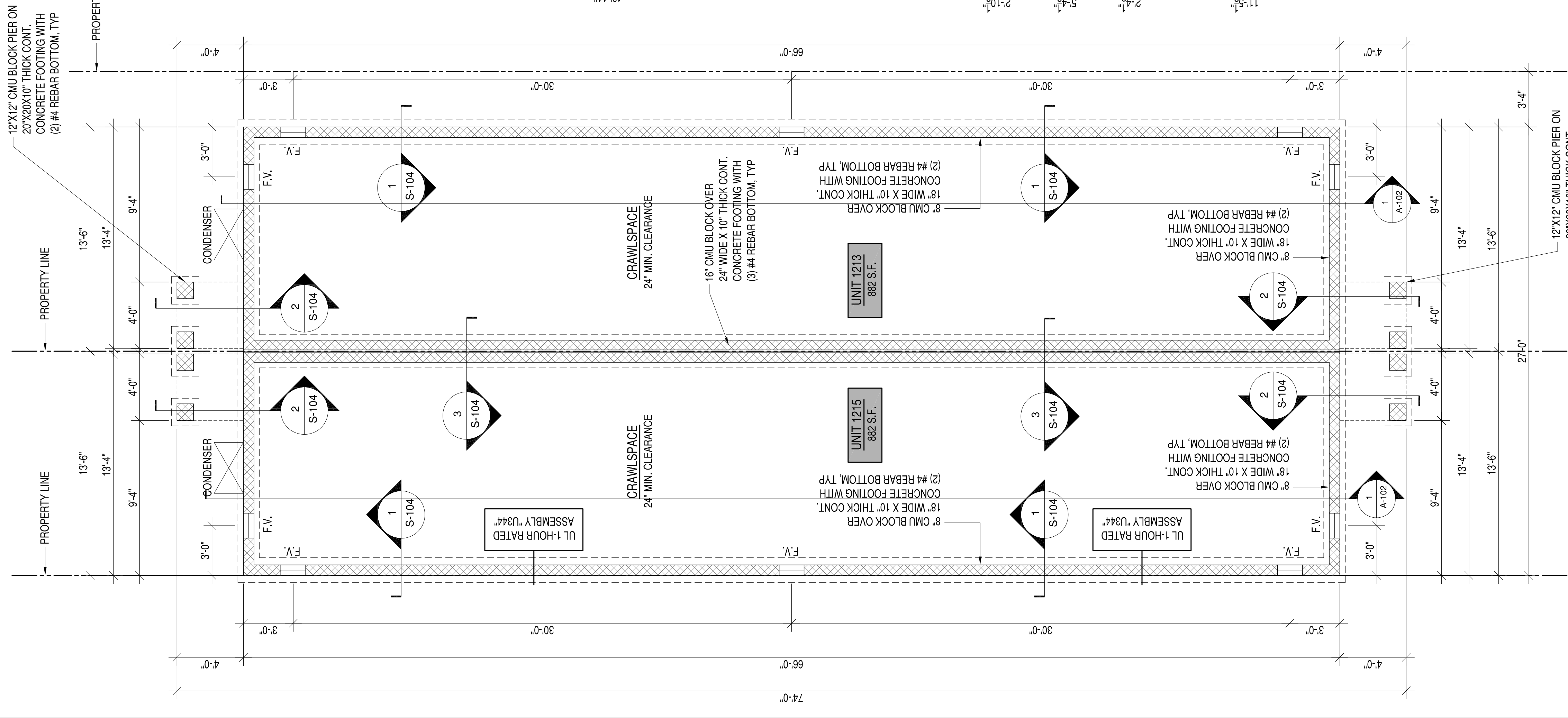
- STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.
- HANDRAILS & PICKETS: 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
- LABEL DRYER VENT LENGTH ON DUCT ALL DRYWALL TO BE 1/2"
- FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
- BATH FAN VENTED TO EXTERIOR
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR



FIRST FLOOR PLAN

PLAN AND FRAMING NOTES

- ALL WALL FRAMING TO BE 2X4S AT 16" OC UNLESS OTHERWISE NOTED.
- ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4"12" THICK (FINISHED) UNLESS OTHERWISE NOTED.
- ALL WINDOW AND DOOR HEADERS TO BE (2) 2X6S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
- INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
- CLOSED DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
- DOOR SIZES PROVIDED AND WINDOW DIMENSIONS ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER/INSTALLERS REQUIREMENTS AND CLEARANCES.
- PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINETS LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSET SHELVING, AND WALL MOUNTED TV LOCATIONS.
- CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE HAVE FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.



CRAWLSPACE FOUNDATION PLAN

FOUNDATION NOTES:

- SEE SOIL REPORT FOR FOOTING SIZE AND REINFORCEMENT.
- CRAWLSPACE ACCESS DOOR TO BE FIELD LOCATED. HEADER FOR CRAWL DOOR TO BE (2) LVL FLUSH IN FLOOR SYSTEM WITH TOP MOUNT JOIST HANGERS
- CRAWLSPACE INTERIOR GROUND SURFACE TO BE COVERED WITH 6 mil POLY VAPOR BARRIER.
- F.V. INDICATES 6"X16" FOUNDATION VENTS, TYP.

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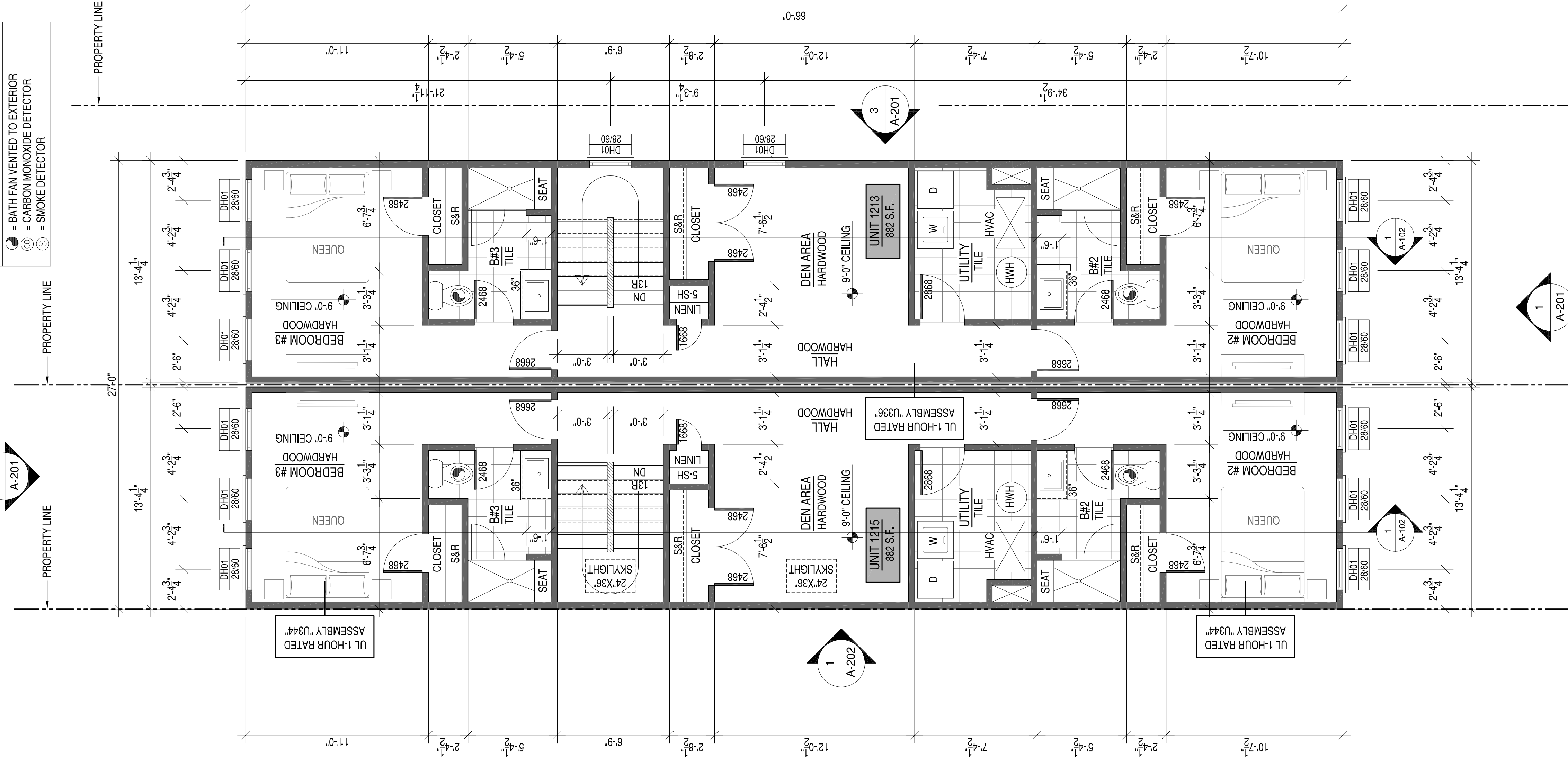
WATCHTOWER
 Homes & Construction
 3803 NOBLE AVENUE
 RICHMOND, VA 23222
 (804) 486-0386 PHONE
 GENERAL CONTRACTOR

APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW_JRP3
CHK	JRP3

1213 & 1215 N 32nd STREET
 RICHMOND, VIRGINIA 23223
 BASEMENT AND FIRST FLOOR PLANS

SCALE: 1/4"=1'-0"
 PROJECT NO.: 2019-01
 CONSTR. CONTR. NO.
 DRAWING NO.
 SHEET OF
A-100

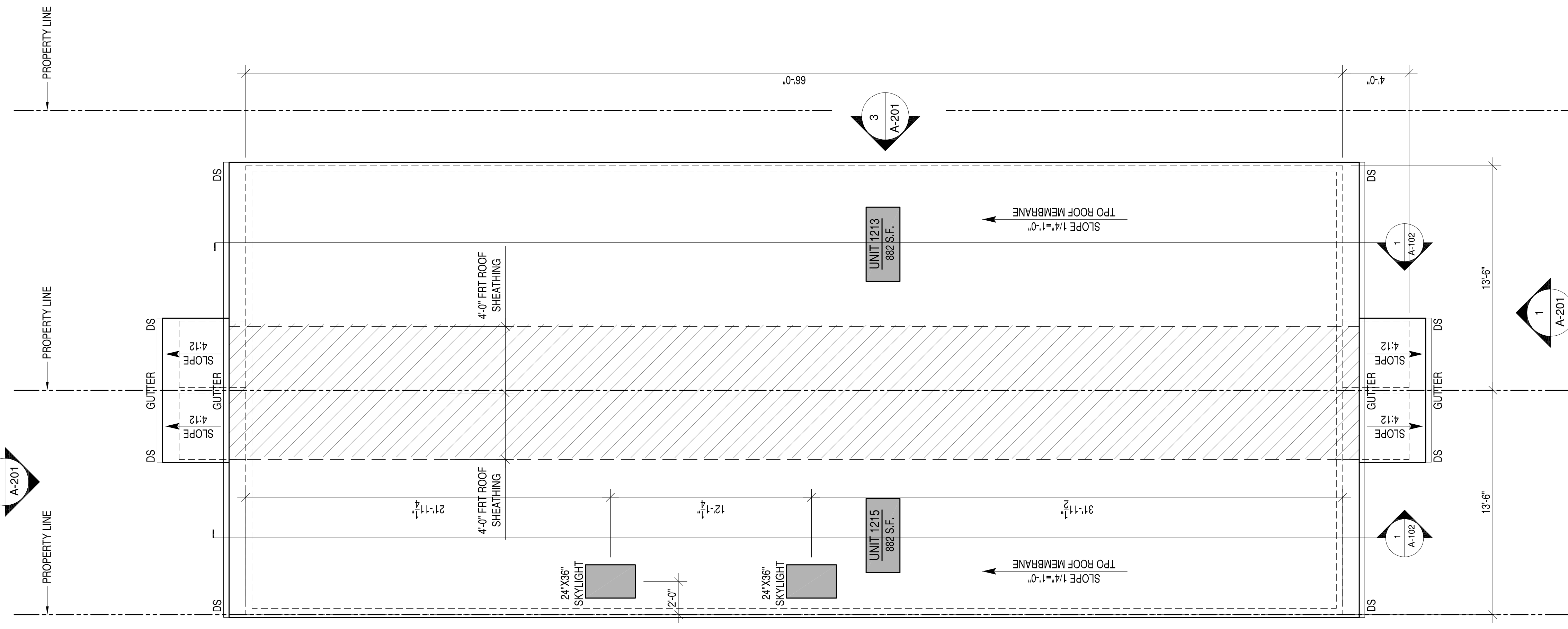
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HANDRAILS & PICKETS: 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
LABEL DRYER VENT LENGTH ON DUCT
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SECOND FLOOR PLAN

PLAN AND FRAMING NOTES

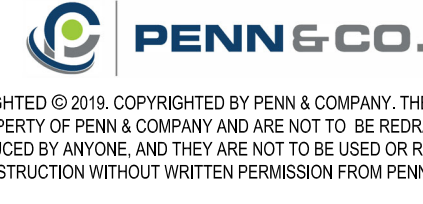
- ALL WALL FRAMING TO BE 2X4S AT 16" OC UNLESS OTHERWISE NOTED.
- ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2" THICK (FINISHED) UNLESS OTHERWISE NOTED.
- ALL WINDOW AND DOOR HEADERS TO BE (2) 2X6S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
- INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
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ROOF PLAN

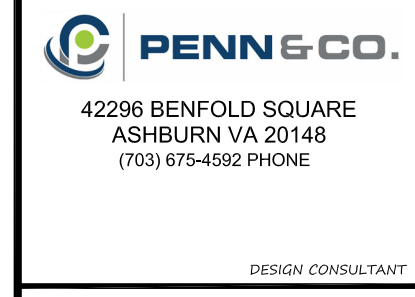
PLAN NOTES

- 12" OVERHANGS AND NO GABLE END EXTENSIONS. TYP.
- ALL ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC UNLESS OTHERWISE NOTED.
- ALL ROOFING TO BE TPO ROOFING MEMBRANE. TYP.



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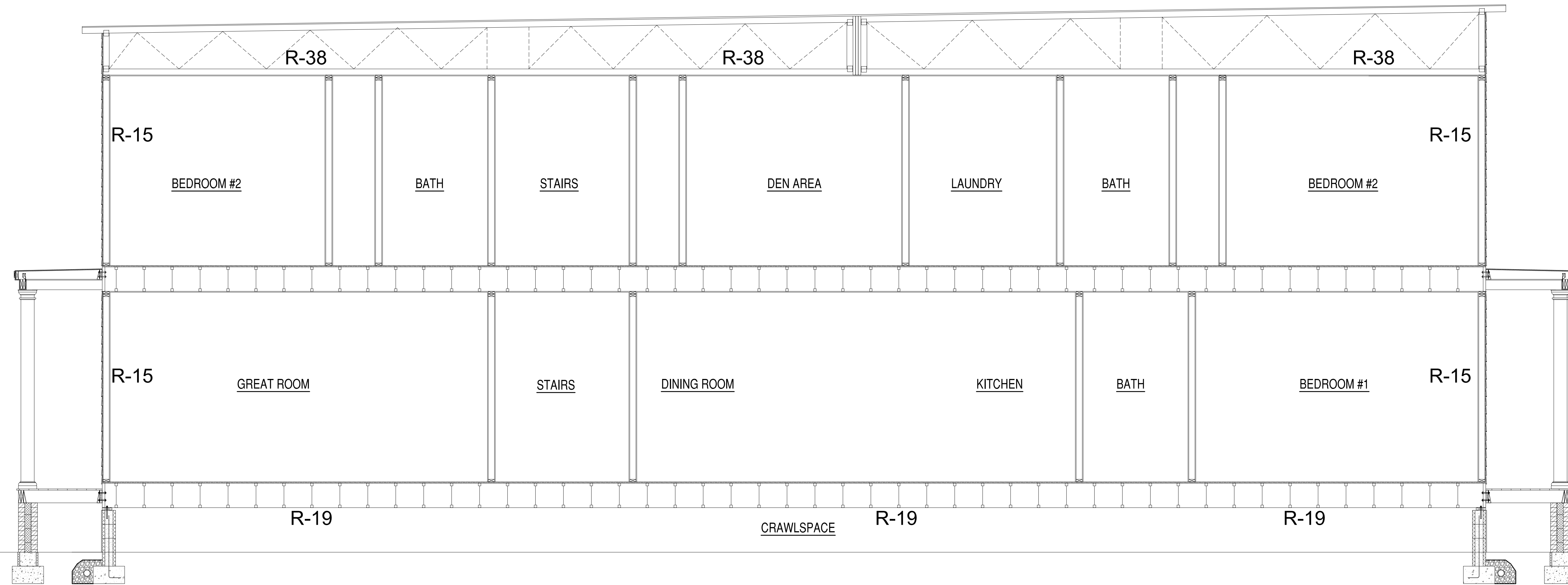


APPROVED	GENERAL CONTRACTOR
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW_JRP3
CHK	JRP3

1213 & 1215 N 32nd STREET
 RICHMOND, VIRGINIA 23223
 SECOND FLOOR AND ROOF PLANS

SCALE: 1/4"=1'-0"
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CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-101

R VALUE	INSULATION LOCATION
R-15	EXTERIOR WALLS
R-19	FLOORS
R-30	CANTILEVERS & OVERHANGS
R-19	FLOOR ABOVE GARAGE
R-38	ALL CEILINGS



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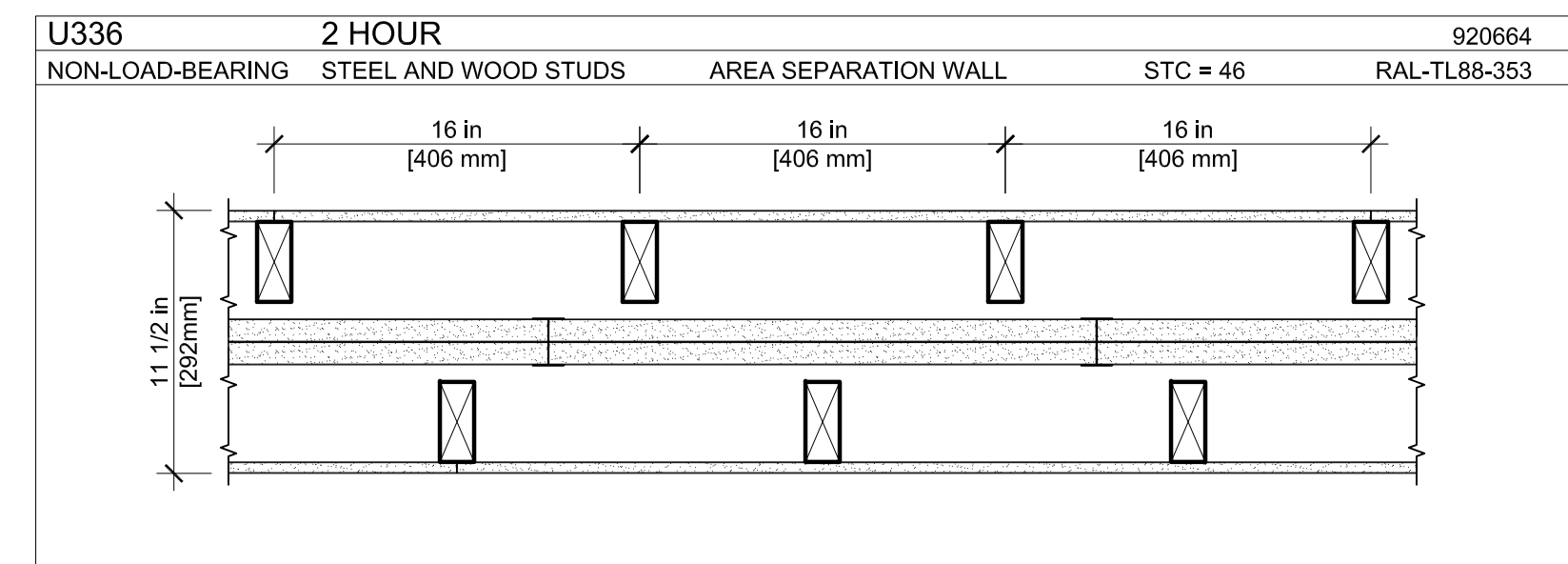
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1213 & 1215 N 32nd STREET
 RICHMOND, VIRGINIA 23223
 SCHEDULES AND FIRE WALL INFORMATION

SCALE: 1/4"=1'-0"
 PROJECT NO.: 2019-01
 CONSTR. CONTR. NO.:
 DRAWING NO.:
 SHEET OF
A-102

UL U336



AREA SEPARATION WALL: STEEL AND WOOD STUDS (NON-LOAD-BEARING)

FIRE RATING: 2 HOUR
 STC: 46
 SOUND TEST: RAL-TL88-353
 SYSTEM THICKNESS: 11-1/2"

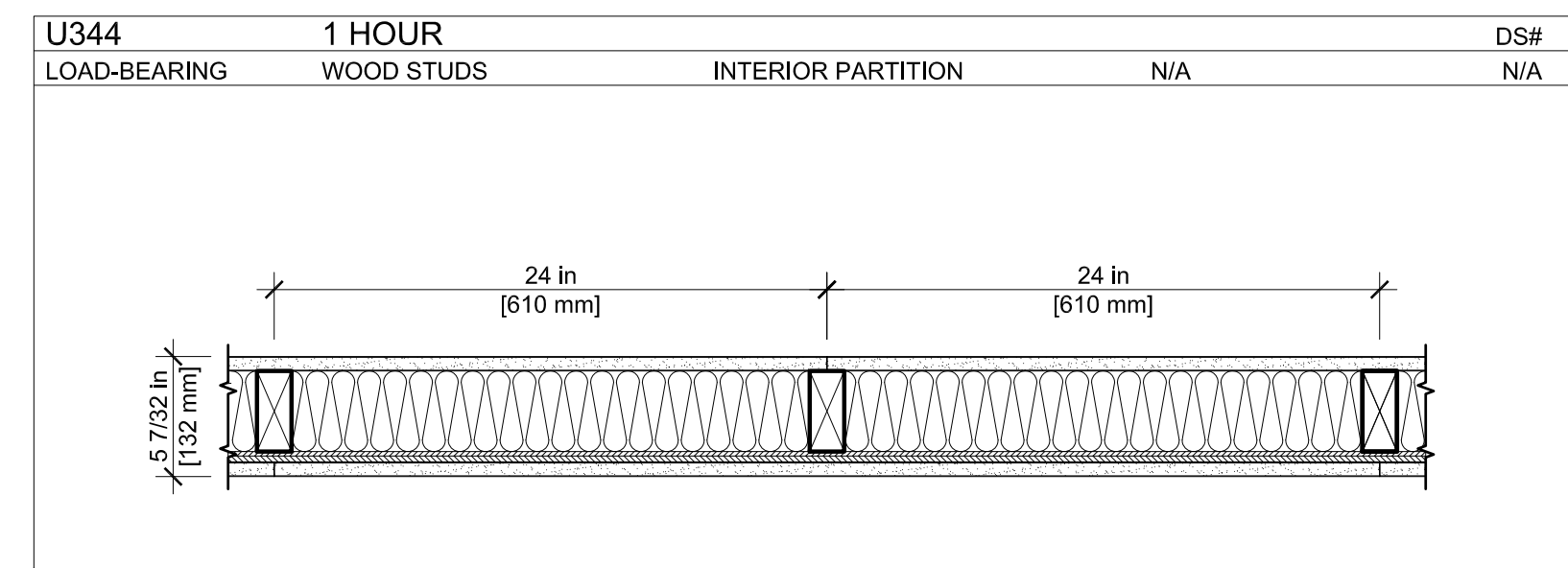
ASSEMBLY

GYPSUM BOARD:
 WOOD STUDS:
 AIR CAVITY:
 STEEL STUDS:
 GYPSUM BOARD:
 AIR CAVITY:
 WOOD STUDS:
 GYPSUM BOARD:

OPTIONS:

MIN. 1/2 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.
 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 16 IN. O.C.
 MIN. 3/4 IN. THICK AIR SPACE
 H-STUD 25 GA., 2 IN. DEEP BY 1-3/8 IN. WIDE, SPACED MAX. 24 IN. O.C.
 TWO LAYERS OF 1 IN. THICK BY NOM. 2 FT. WIDE GYPSUM LINER PANELS FRICTION FIT.
 MIN. 3/4 IN. THICK AIR SPACE
 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 16 IN. O.C.
 MIN. 1/2 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.

UL U344



EXTERIOR PARTITIONS: WOOD STUD (LOAD-BEARING)

FIRE RATING: 1 HOUR
 STC: N/A
 SOUND TEST: N/A
 SYSTEM THICKNESS: 5-7/32"

ASSEMBLY

GYPSUM BOARD:
 WOOD STUDS:
 INSULATION:
 PLYWOOD SHEATHING:

OPTIONS:

5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.
 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 24 IN. O.C.
 MIN. 3-1/2 IN. THICK FIBERGLASS FRICTION FIT.
 MIN. 15/32 IN. THICK PLYWOOD APPLIED VERTICALLY, WITH VERTICAL JOINTS CENTERED ON STUDS. SHEATHING ATTACHED TO STUDS WITH 6D CEMENT COATED STEEL BOX NAILS SPACED 12 IN. O.C. ALONG INTERIOR STUDS AND 6 IN. O.C. AT PERIMETER.
 5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.

DOOR SCHEDULE

MARK	DESCRIPTION	WIDTH	HEIGHT	OPERATION	HARDWARE	NOTES
DR01	FRONT & REAR ENTRY	3'-0"	6'-8"	SEE PLAN	01	STEEL, TEMPERED WITH 14" TRANSOM

DOOR NOTES:

- GENERAL CONTRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO ORDERING DOORS AND FRAMES.
- ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD.
- ALL SWING DOORS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS.
- ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

DOOR HARDWARE SETS:

- (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

WINDOW SCHEDULE

MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES
DH01	DOUBLE HUNG	2'-8"	6'-0"	SEE PLAN	VINYL 2 OVER 2

WINDOW NOTES:

- GENERAL CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS AND FRAMES.
- ALL WINDOWS NOMINAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
- SECOND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, AND 5.7 SQUARE FEET NET CLEAR OPENING.
- NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
- SAFETY GLAZING SHALL BE TEMPERED.

PLAN REVISION-0 LOT	DATE	APPROVED
8-10-19		
6-13-19		
6-8-19		
6-1-19		
5-27-19		
5-26-19		
5-19-19		

DESIGN CONSULTANT

GENERAL CONTRACTOR

APPROVED

ACTIVITY

SATISFACTORY TO DATE

DES: *** | DRW: JRP3 | CHK: JRP3

1213 & 1215 N 32nd STREET

RICHMOND, VIRGINIA 23223

SCHEDULES AND FIRE WALL INFORMATION

SCALE: 1/4"=1'-0"

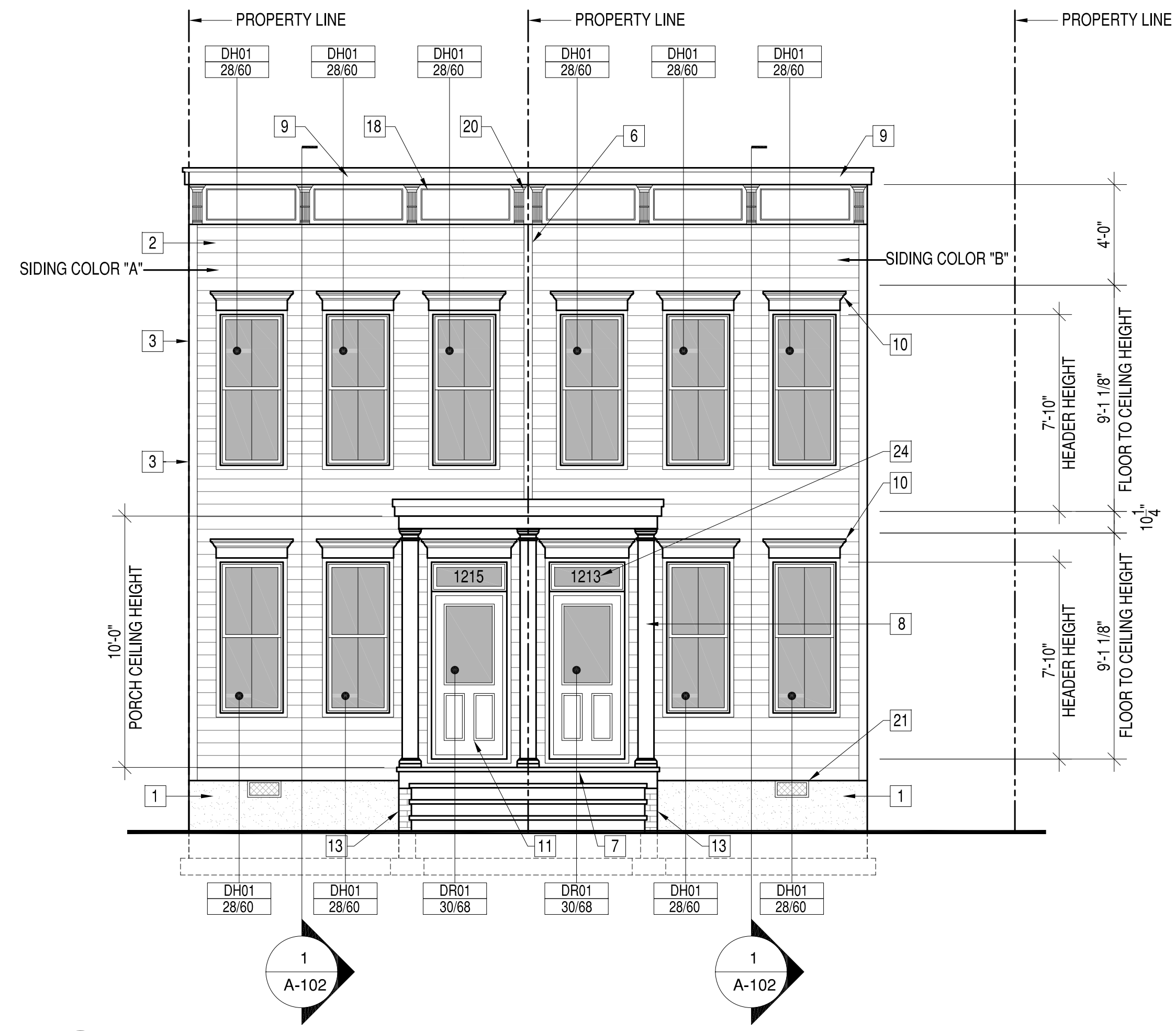
PROJECT NO.: 2019-01

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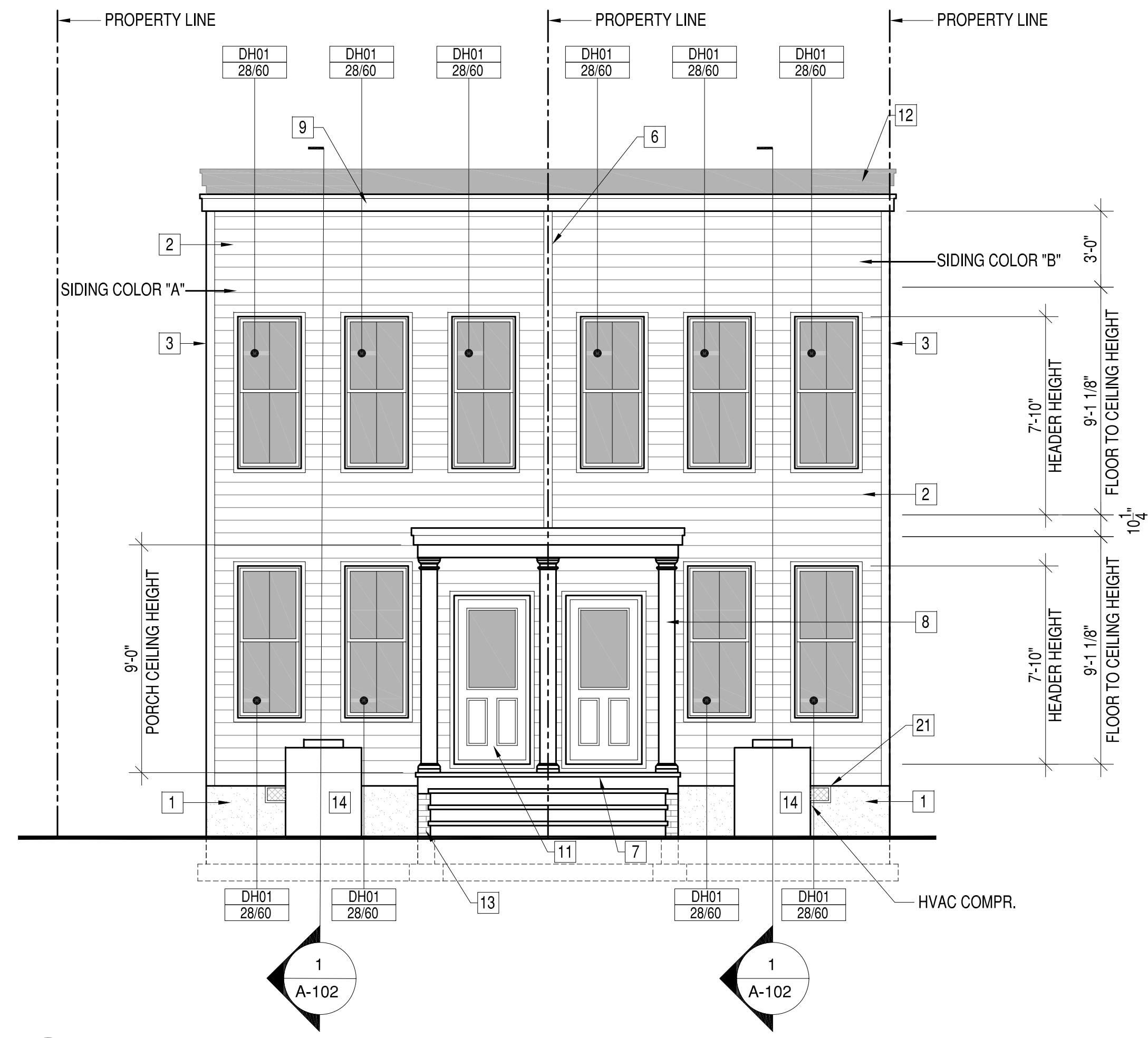
DRAWING NO.

SHEET OF

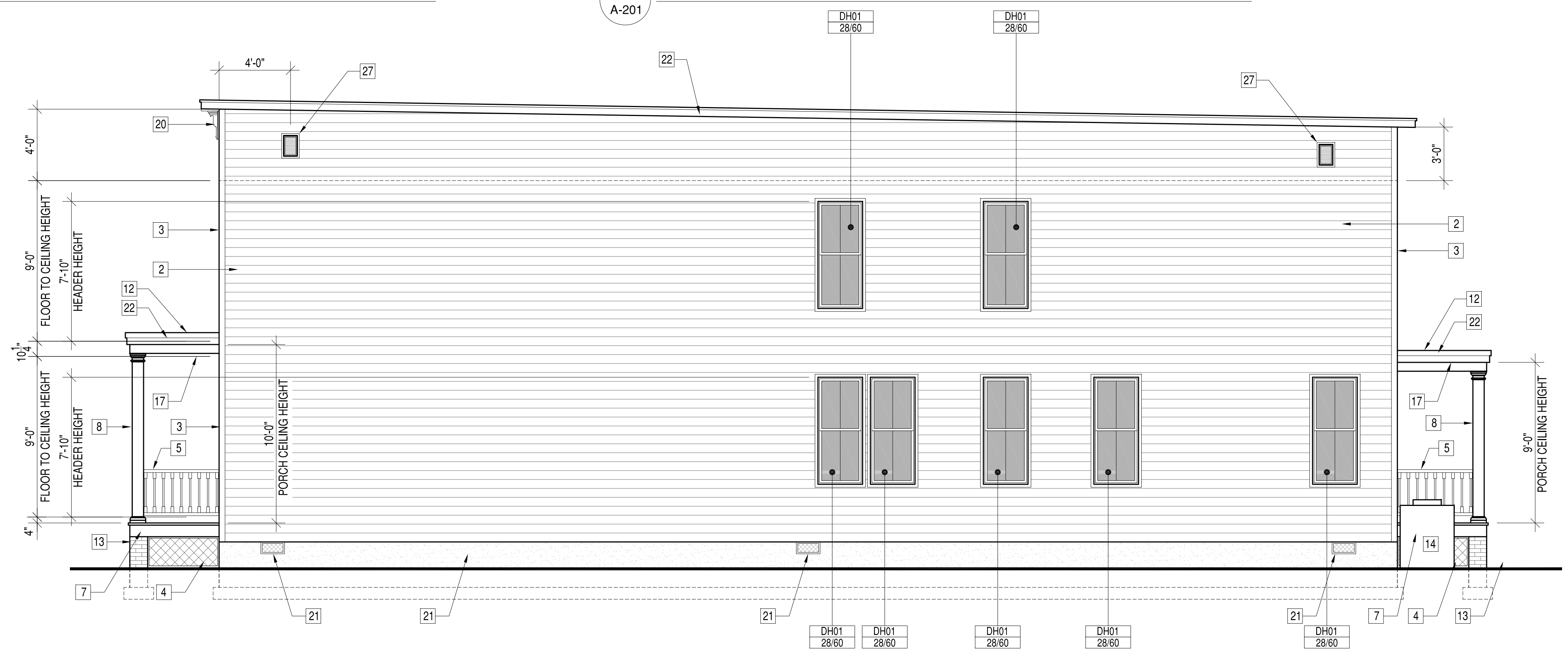
A-103



1 FRONT ELEVATION
A-201



2 REAR ELEVATION
A-201



3 RIGHT ELEVATION
A-201

SYN	DESCRIPTION	DATE	APPRO
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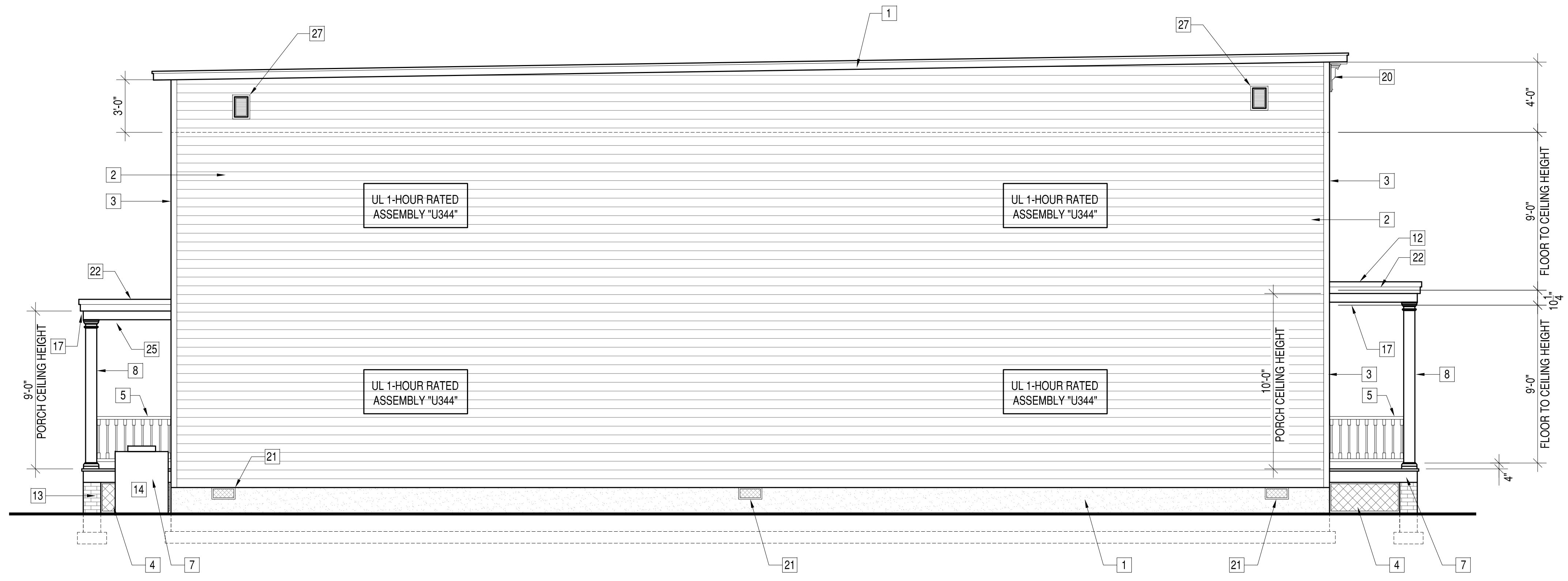
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DES *** DRW_JRP3 CHK_JRP3

1213 & 1215 N 32nd STREET
RICHMOND, VIRGINIA 23223
FRONT, REAR AND RIGHT ELEVATIONS

SCALE: 1/4"=1'-0"
PROJECT NO: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET 1 OF 1
A-201

1 A-202



1 LEFT ELEVATION

A-202

BLDG ELEVATION
MATERIAL KEYNOTES

- | | | | | |
|--|--|--|--|---------------------------------|
| 1 2 LAYER PARGED FOUNDATION WALLS, TYP. | 6 4" SIDING DIVERTER STRIP, TYP. | 11 STEEL OR FIBERGLASS DOOR W/TRANSOM AND BRICK MOULD SURROUND | 16 EPMD ROOFING AT PORCH ROOF | 22 1X6 PAINTED RAKE BOARD |
| 2 6" EXPOSURE FIBER CEMENT HORIZONTAL LAP SIDING, PAINT FINISH | 7 1X6 WOOD DECKING W/ PAINTED BUILT-UP TRIM AT PORCH BAND BOARD. | 12 60 MIL TPO ROOFING | 17 VINYL BEADBOARD PANELING AT PORCH CEILING | 23 VINYL VENTED SOFFIT PANELING |
| 3 FIBER CEMENT SIDING TRIM AT CORNERS | 8 10" SQUARE COLUMNS, TYP | 13 BRICK PIERS, TYP | 18 PVC PICTURE FRAME MOULDING, TYP | 24 GLASS GILDED HOUSE NUMBERS |
| 4 WHITE PORCH LATTICE | 9 1X6 PAINTED WOOD TRIM FASCIA | 14 HVAC COMPRESSOR UNIT, TYP | 19 PVC DENTIL MOULDING FYPON MLD354-12 | 25 ARCHITECTURAL SHINGELS |
| 5 WOOD "RICHMOND RAIL" RAILING, PAINT FINISH | 10 PVC FYPON WINDOW HEADERS | 15 4" WINDOW TRIM, TYP | 20 PVC BRACKET FYPON BKT7X18 | 26 12"X32" FOUNDATION VENT |
| | | | 21 VENTS, SEE FOUNDATION PLAN | 27 18"X24" GABLE VENT, TYP |

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1213 & 1215 N 32nd STREET
RICHMOND, VIRGINIA 23223
LEFT ELEVATION & BUILDING MATERIAL LIST

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-201

GENERAL NOTES

- 1. DESIGN BUILD CODE: 2015 VIRGINIA RESIDENTIAL BUILDING CODE
2. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH ARCHITECTURAL AND OTHER TRADES DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING. AS REQUIRED TO INSURE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR PORTION THEREOF DURING CONSTRUCTION.
4. DESIGN LOADS: LIVE LOADS, DEAD LOADS, WIND

SITE WORK

- 1. SUBGRADE DESIGN VALUES: THE FOLLOWING SUBSURFACE INFORMATION IS ASSUMED FOR DESIGN PURPOSES. THE CONTRACTOR SHALL ENGAGE A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THE ADEQUACY OF THE SUBGRADE ASSUMPTIONS FOR THE PROPOSED CONSTRUCTION.
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 1'-6" BELOW GRADE.
3. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL.

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302, EDITIONS REFERENCED BY BUILDING CODE.
2. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
3. REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.
4. CONCRETE COMPRESSIVE STRENGTHS AT 28 DAY CURE = 3000 PSI.
5. CAST-IN-PLACE CONCRETE SHALL BE READY-MIX PER ASTM C94, THE MIX SHALL BE PROPORTIONED WITH:
A. PORTLAND CEMENT, ASTM C150
B. AGGREGATES, ASTM C33 WITH .75 INCH MAXIMUM DIAMETER
C. NO CALCIUM CHLORIDE SHALL BE PERMITTED
D. AIR ENTRAINMENT, ASTM C260
E. WATER REDUCING ADMIXTURE, ASTM C494
F. FLYASH, ASTM C618-78 CLASS F, 15% MAXIMUM BY WEIGHT
G. WATER, CLEAN AND POTABLE

WOOD

- 1. ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS (EDITION REFERENCED BY BUILDING CODE.)
2. ALL HEADERS AND BEAMS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
3. EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
4. WALL TOP PLATES AT BEARING LOCATIONS, TO BE SYP #2 MIN OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES (UNO)
5. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE AND EXPOSED TO WEATHER (FOR BALCONY DECK BOARDS, LEDGER, JOISTS, BEAMS, AND SILL PLATES) SHALL BE SOUTHERN PINE PRESSURE TREATED TO .40 LB RETENTION, PER AWWA STANDARDS, HAVING THE FOLLOWING MINIMUM PROPERTIES:

- 6. LVL (LAMINATED VENEER LUMBER) SHALL BE 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNO. THE FOLLOWING MINIMUM PROPERTIES SHALL APPLY.
7. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
8. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS. MEMBERS ARE NOT TO BE DRILLED IN EXCESS OF NDS OR LOCAL CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
9. STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN VERTICAL SPACING BETWEEN FLOORS (AND ROOF) LEVELS.
10. MINIMUM GRADES, FOR DIMENSIONED LUMBER, SHALL BE SPF NO. 2 GRADE AS DEFINED BY THE NDS FOR WOOD CONSTRUCTION.
11. ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH 16d NAILS AT 12" OC 2 ROWS FOR BEAMS 9"-12" DEEP.
12. PLYWOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
13. FASTENING OF WOOD FRAMING MEMBERS AND SHEATHING BY BUILDING CODE, SEE STRUCTURAL DETAILS FOR INCREASED FASTENING SCHEDULES WHERE APPLICABLE.
14. WALL SHEATHING .50" WOOD STRUCTURAL PANEL EXTERIOR, .50" MIN GYPSUM WALL BOARD INTERIOR.
15. WOOD COLUMNS AND POST SHALL BE FRAMED TO TRUE END BEARINGS, AND SHALL BE POSITIVELY ANCHORED TO FOUNDATION WITH APPROVED POST BASES.
16. BEAR BEAMS AND GIRDERS AT LEAST 4" ON MASONRY OR CONCRETE, FLOOR, JOISTS, CEILING JOISTS AND ROOF RAFTERS SHALL HAVE 4" MIN BEARING ON WOOD OR WOOD PLATES ON METAL OR MASONRY.
17. PROVIDE 2" NOMINAL THICKNESS FULL DEPTH SOLID BLOCKING FOR JOISTS AND RAFTERS AT ENDS AND AT SUPPORTS.
18. FLOOR DECKING SHALL BE APA RATED FLOOR OR STEEL BEAMS.

CONCRETE MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI.
2. MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LOCATIONS.
3. FILLED CELLS SHALL BE FILLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476, PROPERTIES SHALL INCLUDE: 2500 PSI AT 28 DAY, 3/8" MAX. AGGREGATE, AND 8"-11" SLUMP.
4. CODES AND STANDARDS INCLUDE: ACI 530/ASCE 5, "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES"; ACI 530.1/ASCE 6, "SPECIFICATIONS FOR MASONRY STRUCTURES"
5. VERTICAL REINFORCING BARS SHALL BE HELD IN POSITION, WITH BAR POSITIONERS, AT THE TOP AND BOTTOM OF BAR AND AT 8'-0" OC MAX. WITH A MIN CLEARANCE OF 1/2" FROM MASONRY.
6. PROVIDE ACI 90 DEGREE STANDARD HOOKS INTO FOOTINGS AND ROOF TIE BEAM.
7. REINFORCING BARS SHALL BE STRAIGHT EXCEPT FOR BENDS AROUND CORNERS AND WHERE BENDS OR HOOKS ARE DETAILED ON THE PLANS.
8. MINIMUM LAP SPICE SHALL BE 48 BAR DIAMETERS, WIRE TIE LAP SPLICES.
9. WHEN FOUNDATION DOWELS DOES NOT LINE UP WITH VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THEN ONE HORIZONTAL IN SIX VERTICAL.
10. HORIZONTAL WALL REINFORCEMENT SHALL BE 9 GA. GALVANIZED LADUR TYPE DUR-O-WAL (OR EQUIVALENT) SPACED AT 16" OC MAX., VERTICAL LAP SPICE 12" MIN.
11. PROVIDE HORIZONTAL JOINT REINFORCEMENT AT MASONRY OPENINGS SUCH AS DOORS AND WINDOWS.
12. CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE OF MASONRY IN EACH GROUT POUR WHEN THE POUR HEIGHT EXCEEDS 5'-0".
13. GROUT POUR HEIGHT SHALL NOT EXCEED 24".
14. CONSOLIDATE GROUT POURS AT THE TIME OF PLACEMENT BY MECHANICAL MEANS AND RECONSOLIDATE AFTER INITIAL WATER LOSS AND SETTLEMENT.
15. PLACE ALL MASONRY IN RUNNING BOND WITH 3/8" MORTAR JOINTS.
16. MASONRY CONTROL JOINTS SHALL BE INSTALLED AT LOCATIONS INDICATED ON THE DRAWINGS.

MASONRY

- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) FOR THE YEAR REFERENCED IN THE BUILDING CODE NOTED.
2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING CODES.
3. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS.
4. CONCRETE MASONRY UNITS (CMU) SHALL BE MEDIUM WEIGHT UNITS CONFORMING TO ASTM C90.
5. WHEN STRUCTURAL REINFORCEMENT IS INCORPORATED IN MASONRY CEMENT MORTAR, THE MAXIMUM AIR CONTENT SHALL BE 18%.
6. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
7. DEFORMED BAR ANCHORS (DBA) SHALL CONFORM TO ASTM 496, 75 KSI YIELD STRENGTH.
8. ALL MASONRY UNITS SHALL HAVE GALVANIZED HORIZONTAL JOINT REINFORCEMENT AS FOLLOWS:
9. LAP JOINT REINFORCING AS SHOWN IN THE TABLE BELOW.
10. ALL CORES WITH REINFORCEMENT SHALL BE FILLED SOLID WITH GROUT.
11. PLACE REINFORCING BARS BEFORE GROUTING.
12. MORTAR PROTRUSIONS, EXTENDING INTO CELLS OR CAVITIES TO BE REINFORCED AND FILLED, SHALL BE REMOVED.
13. LAY MASONRY UNITS WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS.
14. GROUT ONE (1) COURSE OF MASONRY SOLID UNDER ALL WALL BEARING SLABS.
15. PROVIDE 16" OF SOLID MASONRY UNDER WALL BEARING BEAMS AND JOIST GIRDERS UNLESS NOTED OTHERWISE.
16. ALL CORNERS TO BE TIED BY MASONRY BOND.
17. GROUT CORES SOLID A MINIMUM OF ONE COURSE BELOW ANY CHANGE IN WALL THICKNESS.
18. PROVIDE 8" SOLID MASONRY 24" WIDE MINIMUM UNDER WALL BEARING JOISTS.
19. ALL MASONRY WALLS SHALL HAVE VERTICAL CONTROL JOINTS AT A MAXIMUM SPACING OF 25'.
20. COORDINATE WITH LOCATIONS INDICATED ON ARCHITECTURAL DRAWINGS.
21. MISCELLANEOUS STEEL LINTEL SCHEDULE
22. FOR MASONRY WALLS 8" OR THICKER OR MASONRY VENEER AND WOOD STUDS:
23. THE COLLAR JOINT IN MULTI-WYTHE WALLS BELOW GRADE SHALL BE FULLY GROUTED AS THE WALL IS CONSTRUCTED.
24. LAP SPLICES SHALL BE AS FOLLOWS:
25. POWER ACTUATED FASTENERS (PAFS) NOT PERMITTED AT MASONRY.
26. ALL REINFORCING HOOKS AND BENDS SHALL BE STANDARD ACI TYPE.
27. ALL WALL DOWELS SHALL MATCH REINFORCING SIZE AND QTY.



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Table with columns: PLAN REVISION, LOT, REVISIONS, DATE. Includes rows for 8-10-19, 6-13-19, 6-8-19, 6-1-19, 5-27-19, 5-26-19, 5-19-19.

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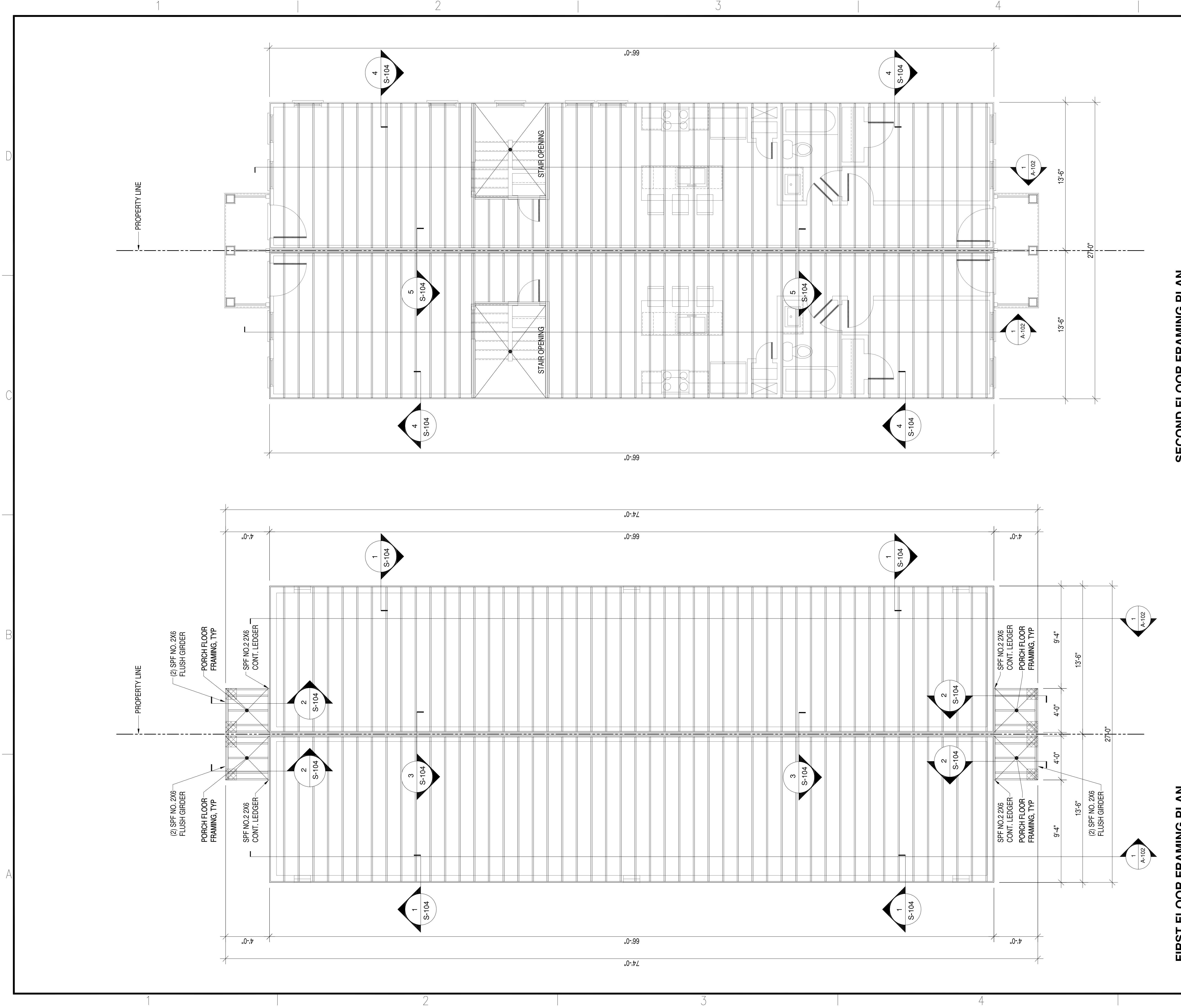
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GENERAL CONTRACTOR information.

DESIGNATED BY DATE table with columns: DES, DRW, JRP, CHK, JRP.

1213 & 1215 N 32nd STREET, RICHMOND, VIRGINIA 23223, STRUCTURAL GENERAL NOTES

SCALE: 1/4"=1'-0", PROJECT NO.: 2019-01, CONSTL. CONTR. NO., DRAWING NO., SHEET OF, S-001



FIRST FLOOR FRAMING PLAN

FLOOR FRAMING NOTES:

1. FLOOR FRAMING SHALL BE 9'-1/2" TJI JOIST AT 16" OC UON, 110 SERIES
2. ALL RIM BOARDS TO BE 1'-1/8" THICK. SEE MANUFACTURERS FRAMING PLANS.
3. FRONT PORCH FLOOR JOIST TO BE SPF, NO.2 2X6s AT 16" OC.
4. ALL JOIST HANGERS AT FRONT AND REAR PORCH TO BE SIMPSON LUS8. ATTACH PER SIMPSON SPECIFICATIONS. SEE CALCULATIONS PACKAGE FOR MORE INFORMATION.
5. PROVIDE DOUBLE FLOOR JOIST UNDER ALL INTERIOR PARALLEL WALLS.

SECOND FLOOR FRAMING PLAN

FLOOR FRAMING NOTES:

1. FLOOR FRAMING SHALL BE 9'-1/2" TJI JOIST AT 16" OC UON, 110 SERIES
2. ALL RIM BOARDS TO BE 1'-1/8" THICK. SEE MANUFACTURERS FRAMING PLANS.
3. FRONT PORCH FLOOR JOIST TO BE SPF, NO.2 2X6s AT 16" OC.
4. ALL JOIST HANGERS AT FRONT AND REAR PORCH TO BE SIMPSON LUS8. ATTACH PER SIMPSON SPECIFICATIONS. SEE CALCULATIONS PACKAGE FOR MORE INFORMATION.
5. PROVIDE DOUBLE FLOOR JOIST UNDER ALL INTERIOR PARALLEL WALLS.

SCALE: 1/4"=1'-0"	PROJECT NO.: 2019-01	CONSTR. CONTR. NO.	DRAWING NO.	SHEET	OF	S-101
1213 & 1215 N 32nd STREET						
RICHMOND, VIRGINIA 23223						
FIRST AND SECOND FLOOR FRAMING PLANS						
DES	CHK	DRW	JRP3	CHK	JRP3	
SATISFACTORY TO DATE						
ACTIVITY						
APPROVED						
GENERAL CONTRACTOR						
 3803 NOBLE AVENUE RICHMOND, VA 23222 (804) 486-0386 PHONE						
DESIGN CONSULTANT						
 42296 BENFOLD SQUARE ASHBURN VA 20148 (703) 675-4502 PHONE						
7	PLAN REVISION-0 LOT	8-10-19	DATE	APPRO		
6	PLAT REVISIONS	6-13-19				
5	SIDE WDW'S OMITTED	6-8-19				
4	FINAL PERMIT PLANS	6-1-19				
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GENERAL CONTRACTOR

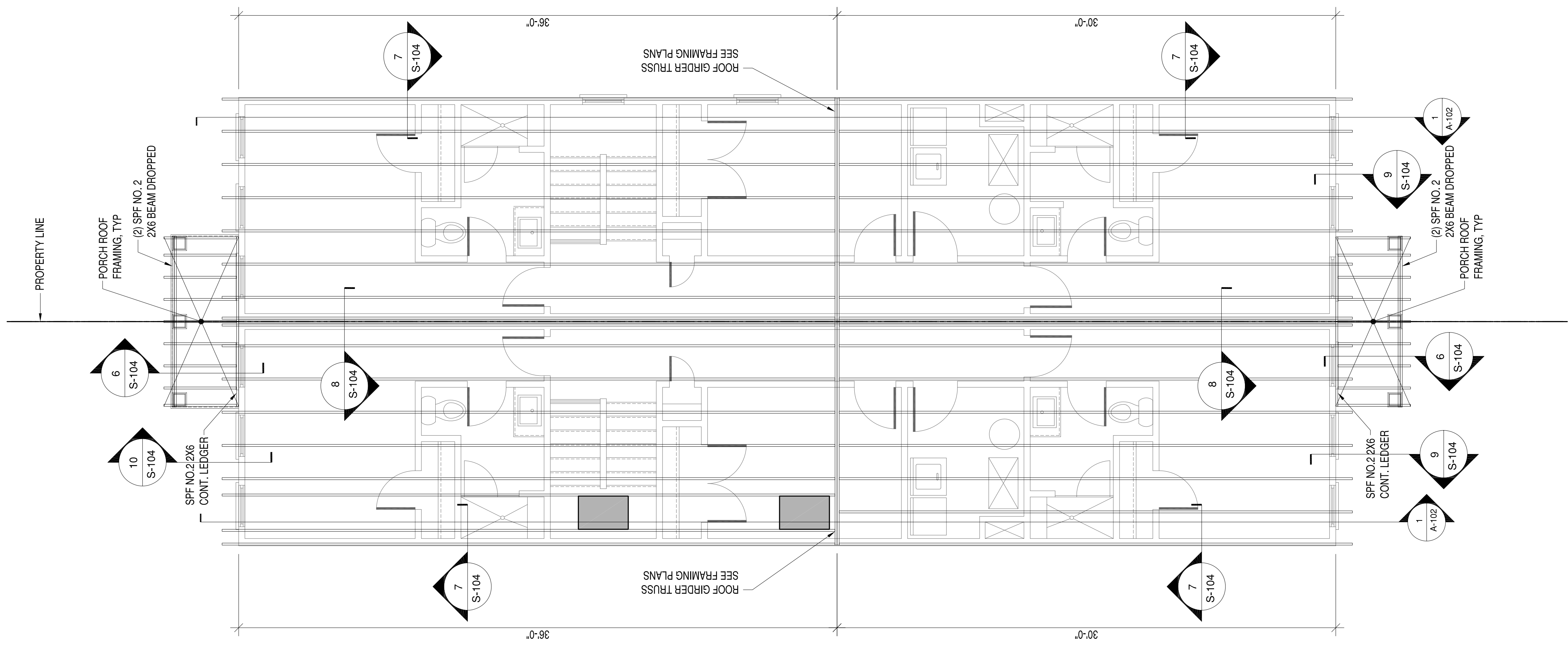
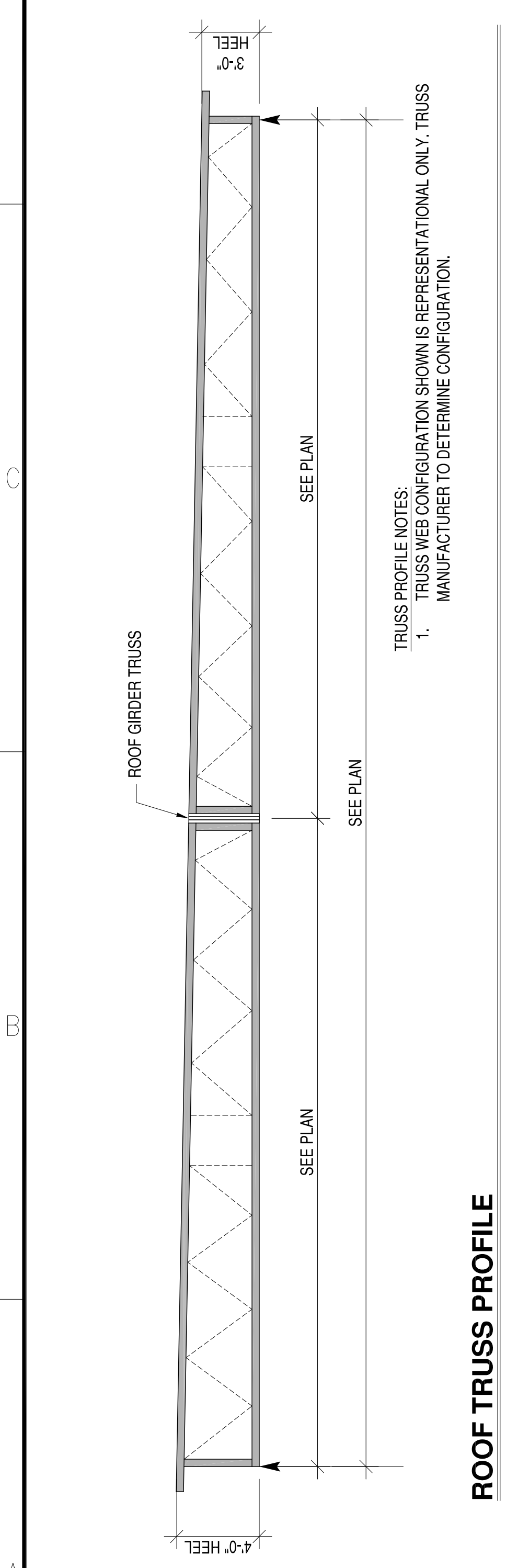
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1213 & 1215 N 32nd STREET

RICHMOND, VIRGINIA 23223

ROOF FRAMING PLANS

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-102



PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES

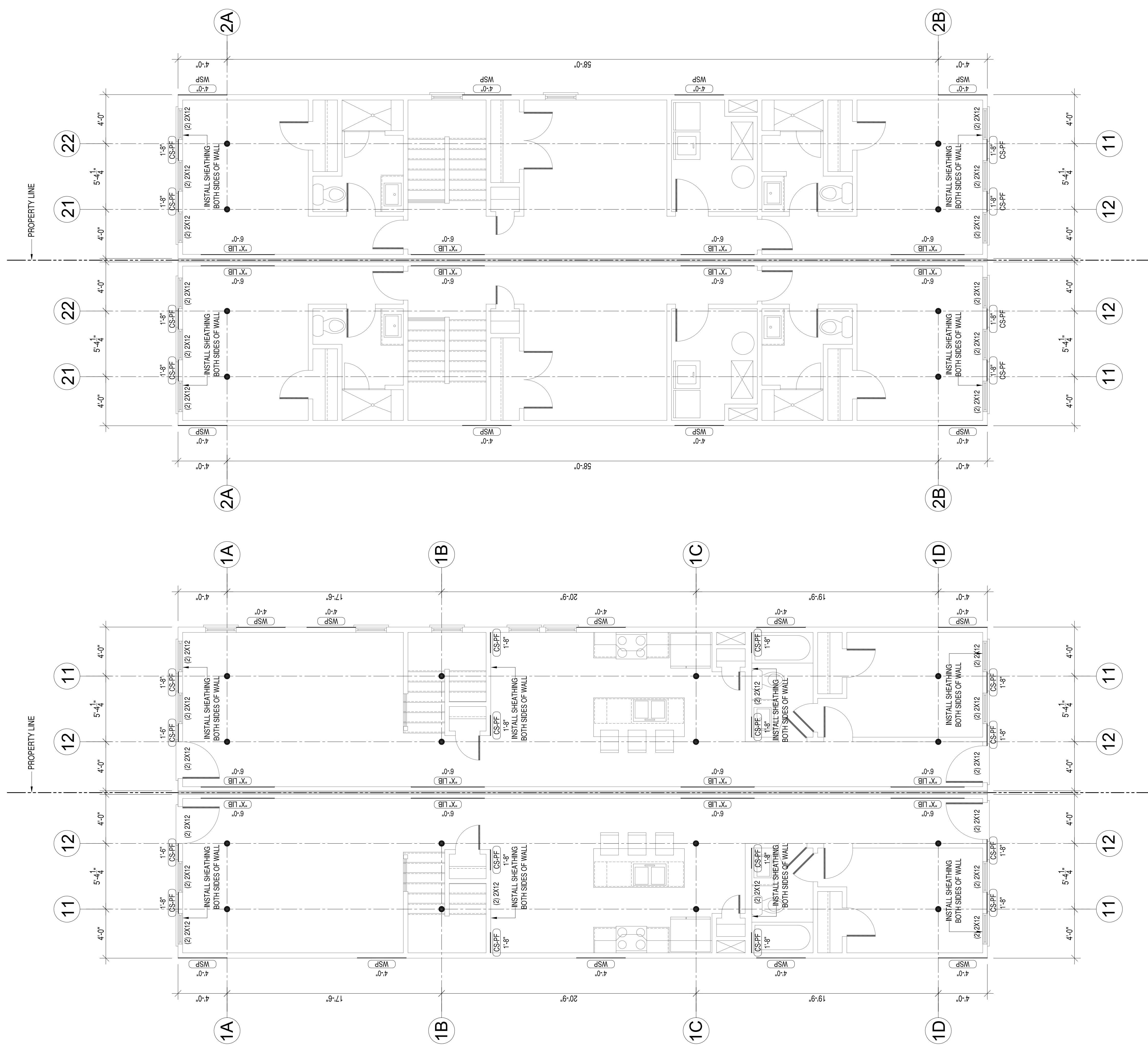
- THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
- 2.1. NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
- 2.2. TP-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE INSTITUTE.
3. MATERIALS
 - 3.1. THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPARATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
 - 3.2. LUMBER: SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
 4. DESIGN
 - 4.1. THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
 - 4.2. THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S SPECIFICATIONS.
 - 4.3. METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A653, COATING CLASS G60, MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.
 - 4.4. IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
 - 4.5. DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
 - 4.6. DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
 - 4.7. DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN.
5. DESIGN LOADS
 - 5.1. ROOF

TOP CHORD DEAD LOAD	=	10	PSF
TOP CHORD LIVE LOAD	=	20	PSF
BOTTOM CHORD DEAD LOAD	=	10	PSF
BOTTOM CHORD LIVE LOAD	=	0	PSF
WIND LOADING:	=	SEE DESIGN LOADS SECTION ON SHEET S 001	
NET WIND UPLIFT	=	8	PSF
 - 5.2. DEFLECTIONS

ROOF	
5.2.1. MAXIMUM LIVE LOAD DEFLECTION	= L/360, OR .625" MAXIMUM
5.2.1.1. MAXIMUM TOTAL LOAD DEFLECTION	= L/240, OR 1.0" MAXIMUM
 - 5.3. DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
6. SUBMITTALS
 - 6.1. SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
 - 6.2. SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
 - 6.3. SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
 - 6.4. INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.

ROOF FRAMING PLAN

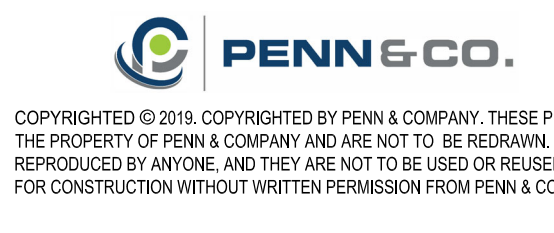
- ROOF FRAMING NOTES:
1. ALL ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC UNLESS OTHERWISE NOTED.



FIRST FLOOR BRACED WALL PLAN

- BRACED WALL PLAN NOTES:**
- RESIDENCE ANALYZED AS TWO SEPARATE STRUCTURES.
 - DESIGN AND CALCULATIONS BASED ON 2015 IRC SECTION R602.10.
 - DESIGN BASED ON 90 MPH WIND SPEED. SEE CALCULATIONS.
 - CLASSIC WALL BRACING METHOD USED.
 - DENOTES BRACED WALL PANELS.
 - BLOCK ALL HORIZONTAL JOINTS AT EXTERIOR SHEATHING AT CS-PF, CS-WSP AND LB "X" PANELS.
 - PROVIDE FLOOR JOIST UNDER ALL INTERIOR BRACED WALL LINES.

SECOND FLOOR BRACED WALL PLAN



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PLAN REVISION-0	LOT	DATE	APPRO
7	8-10-19		
6	PLAT REVISIONS 6-13-19		
5	SIDE WDW'S OMITTED 6-8-19		
4	FINAL PERMIT PLANS 6-1-19		
3	CLIENT REVIEW 5-27-19		
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1	CLIENT REVIEW 5-19-19		

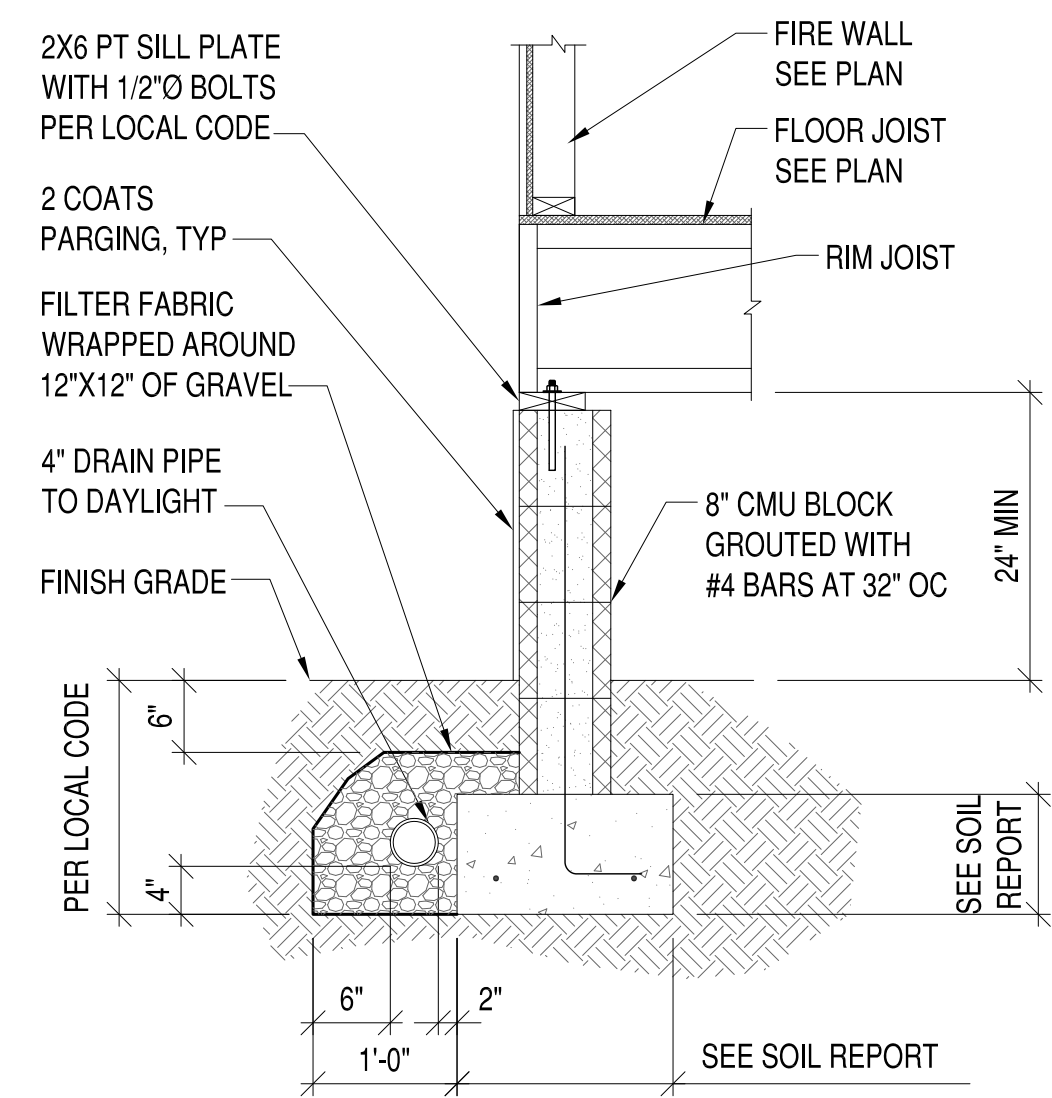
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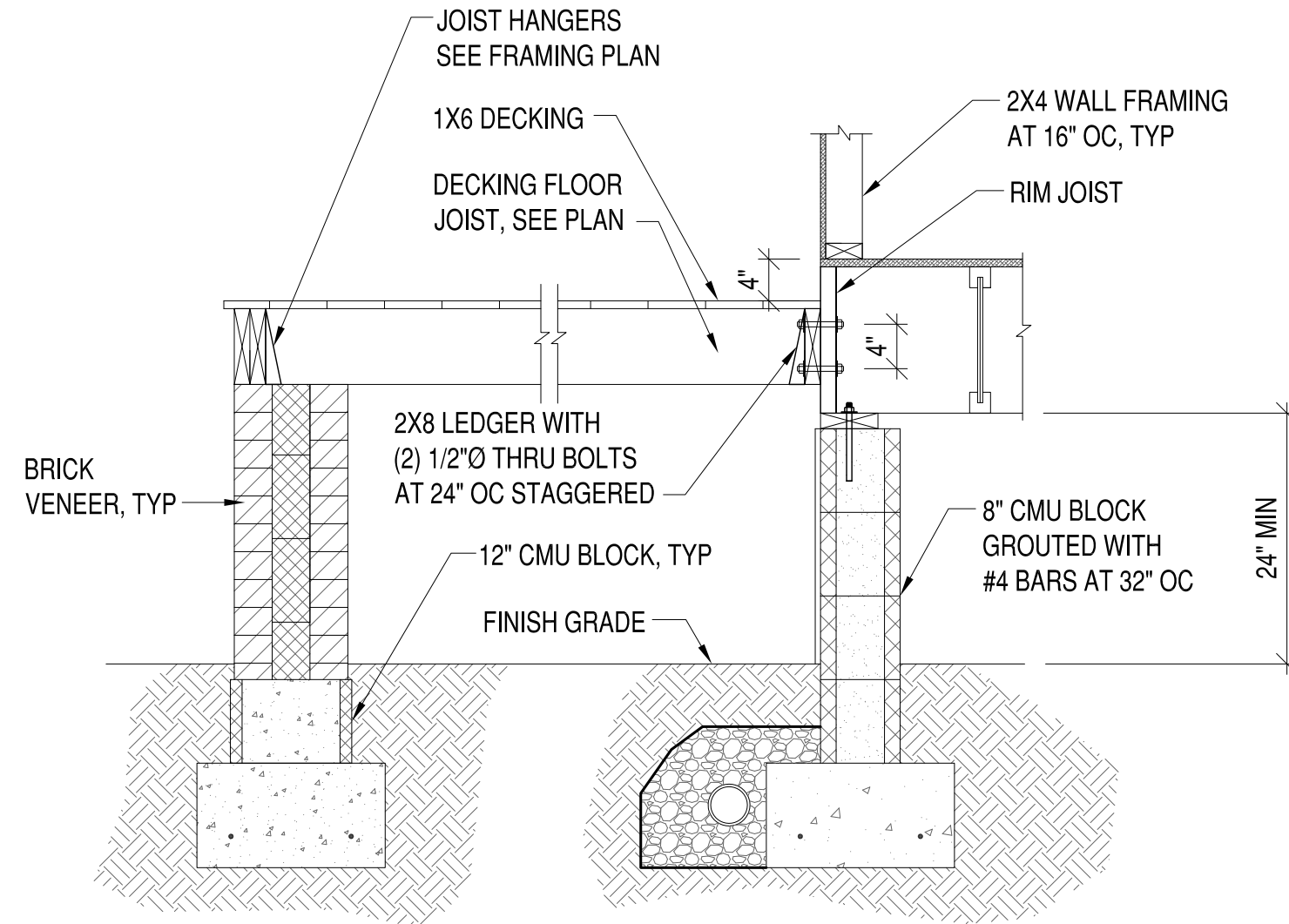
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1213 & 1215 N 32nd STREET
 RICHMOND, VIRGINIA 23223
FIRST AND SECOND FLOOR BRACED WALL PLAN

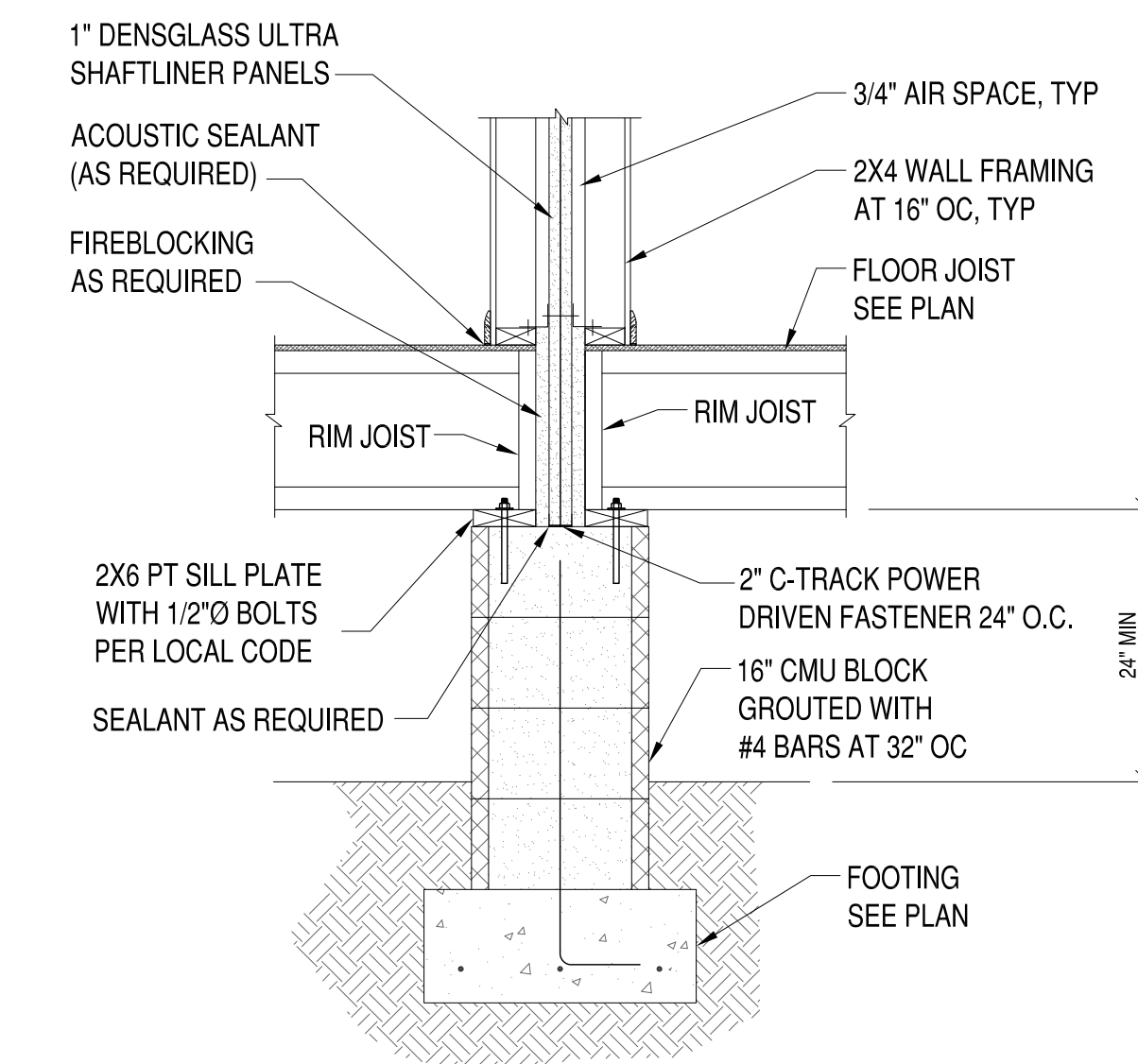
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PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-103



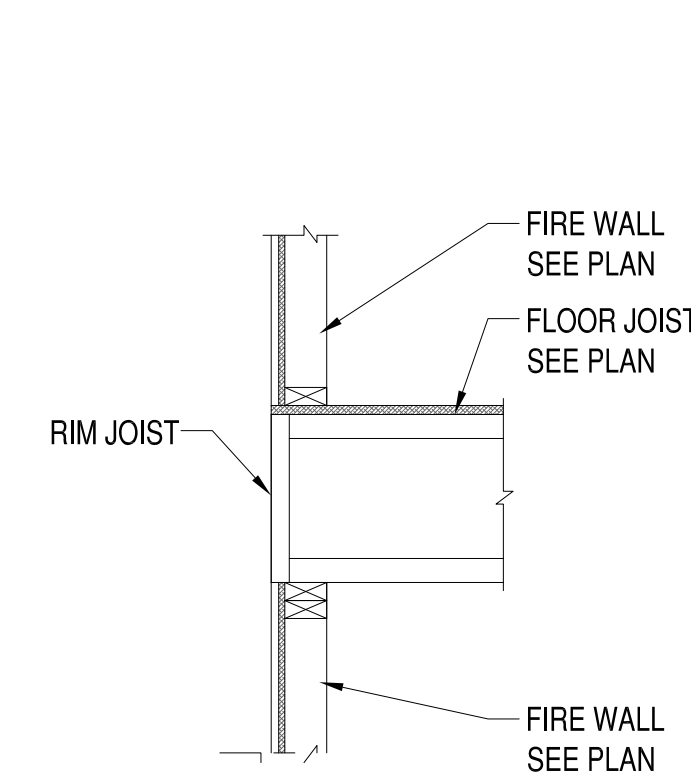
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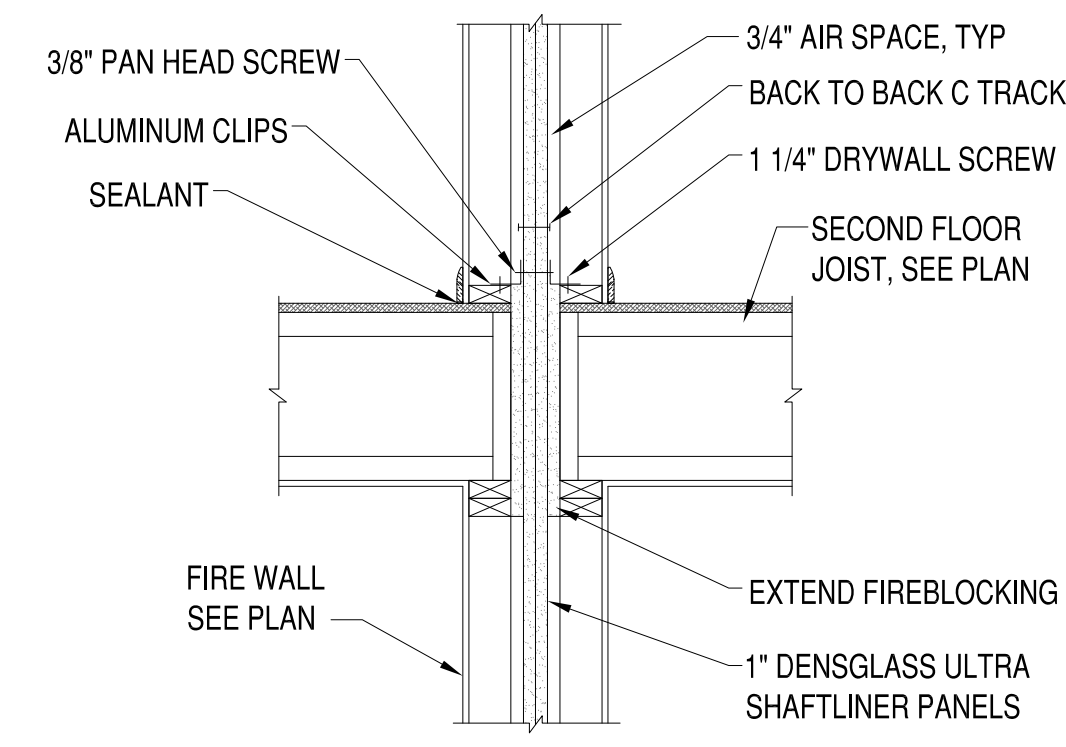
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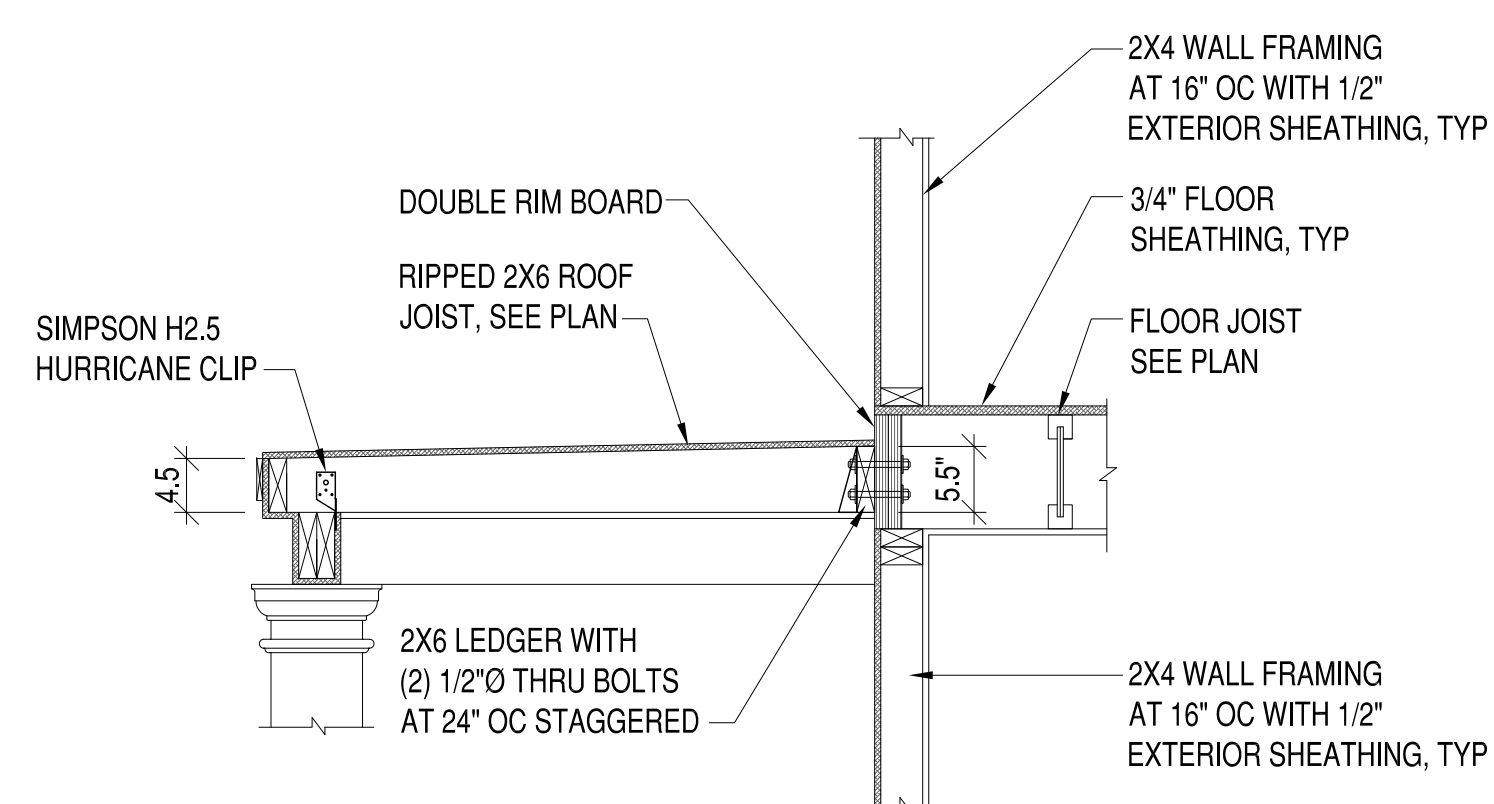
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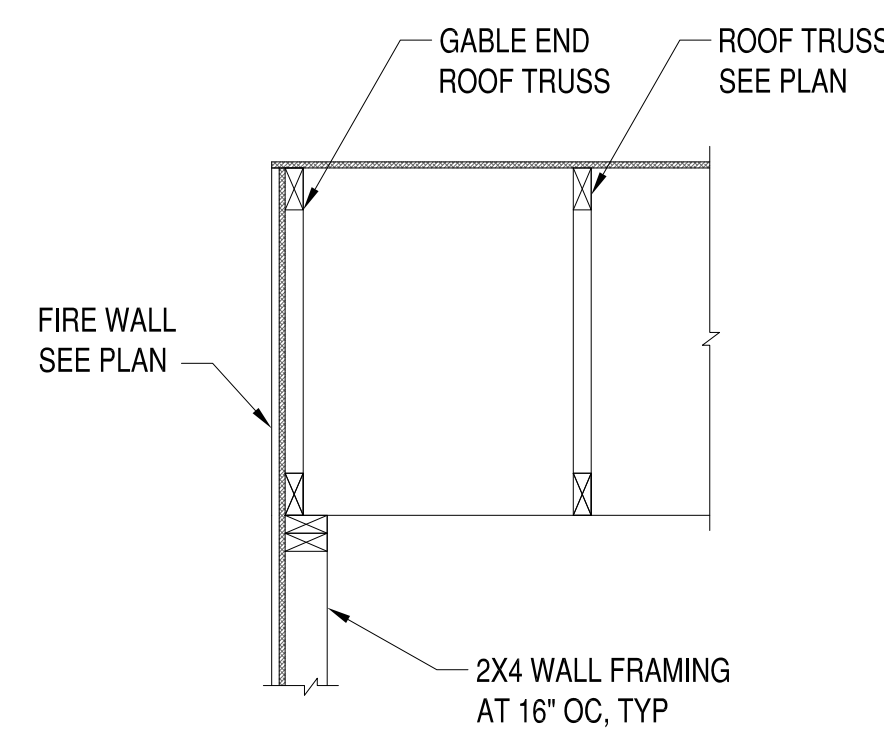
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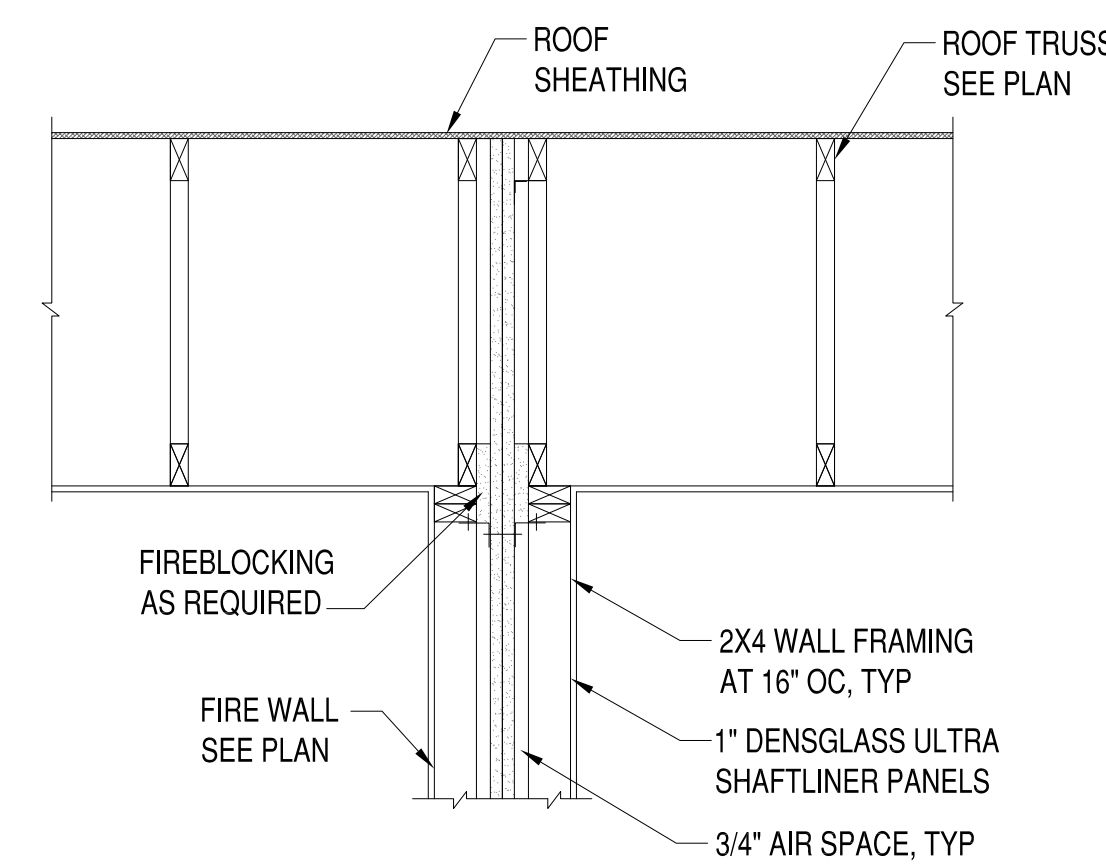
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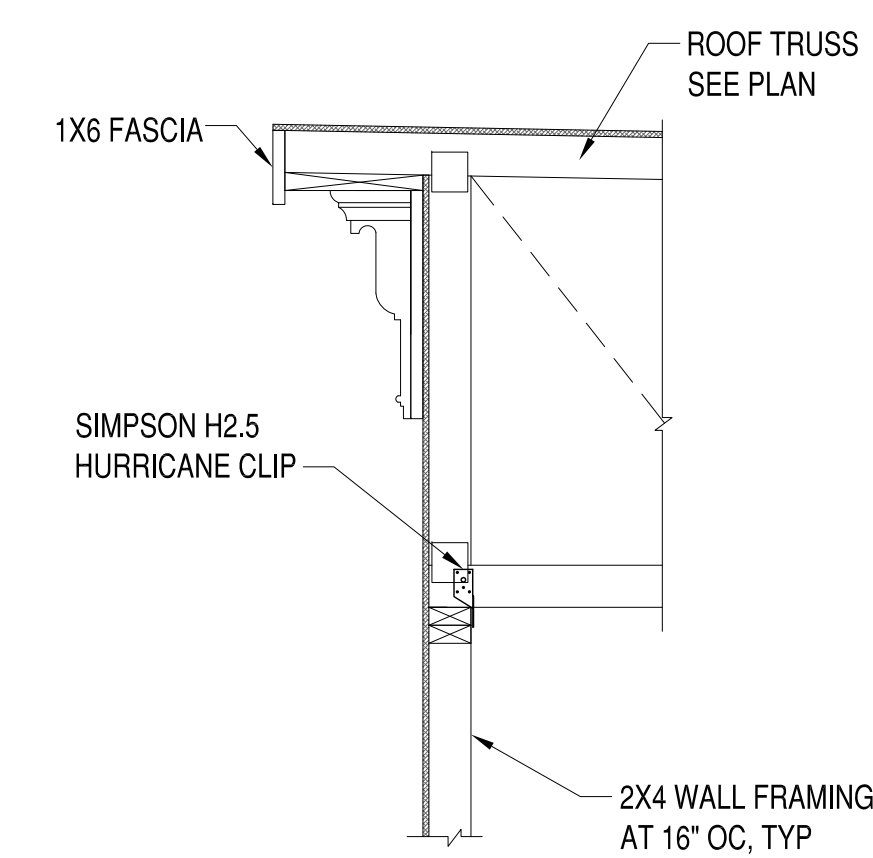
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S-104 3/4"=1'-0"



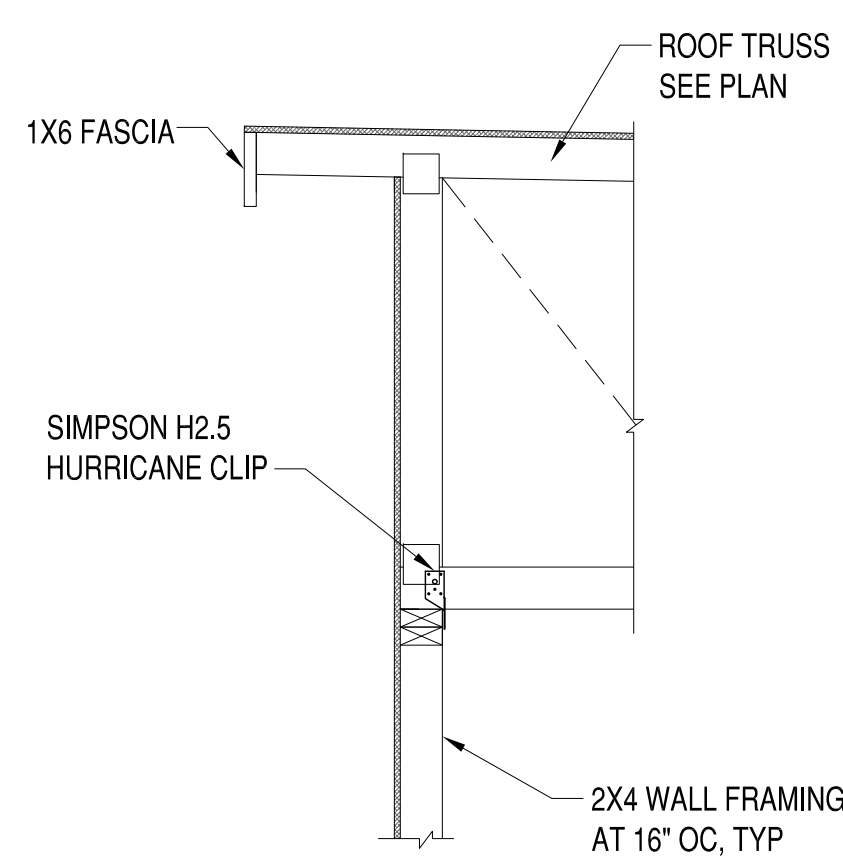
7 SECTION
S-104 3/4"=1'-0"



8 SECTION
S-104 3/4"=1'-0"



9 SECTION
S-104 3/4"=1'-0"



10 SECTION
S-104 3/4"=1'-0"

PLAN REVISION-0 LOT	DATE	DESCRIPTION
8-10-19		
6-13-19		
6-8-19		
6-1-19		
5-27-19		
5-26-19		
5-19-19		

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GENERAL CONTRACTOR

APPROVED
ACTIVITY
SATISFACTORY TO DATE
DES: [initials] DRW: JRP3 CHK: JRP3

1213 & 1215 N 32nd STREET
RICHMOND, VIRGINIA 23223
TYPICAL SECTIONS & BRACED WALL CALCULATIONS

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-104

7	PLAN REVISION-0 LOT	8-10-19	DATE
6	PLAT REVISIONS	6-13-19	DATE
5	SIDE WDW'S OMITTED	6-8-19	DATE
4	FINAL PERMIT PLANS	6-1-19	DATE
3	CLIENT REVIEW	5-27-19	DATE
2	CLIENT REVIEW	5-26-19	DATE
1	CLIENT REVIEW	5-19-19	DATE

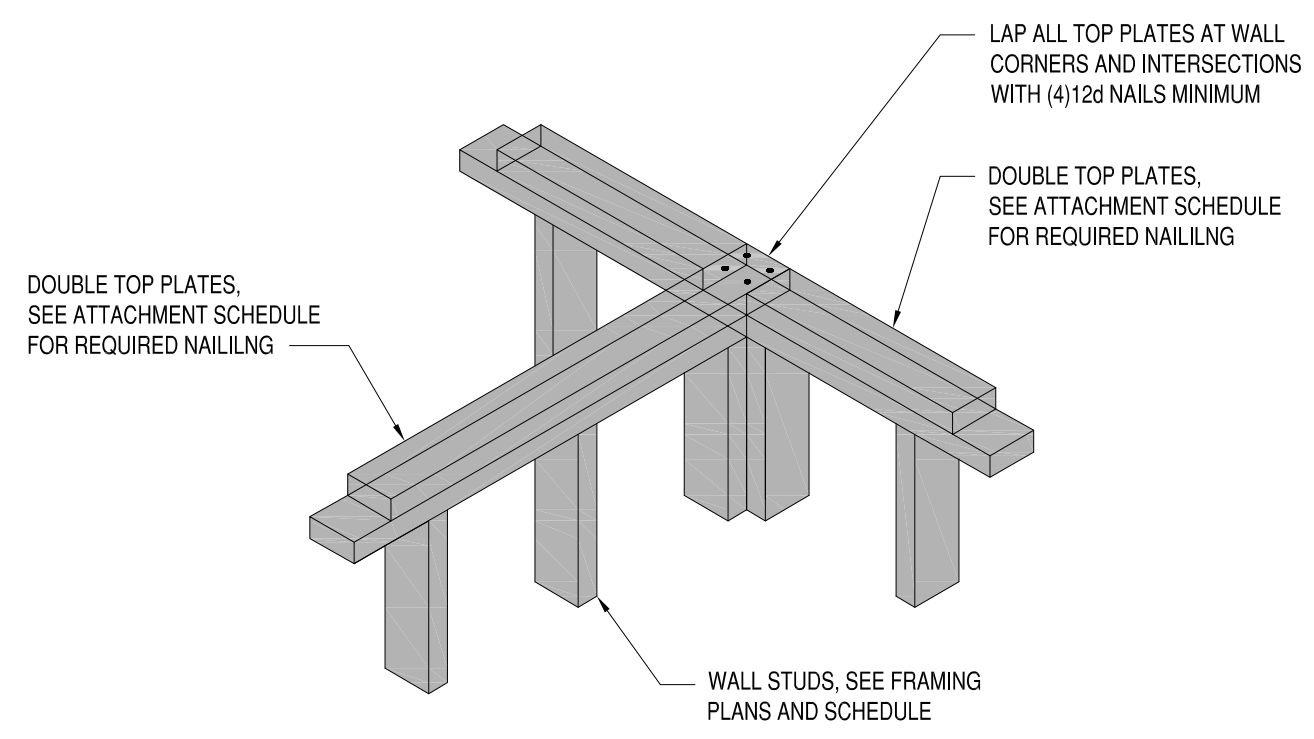
PENN & CO.
 42296 BENFOLD SQUARE
 ASHBURN VA 20148
 (703) 675-4502 PHONE
DESIGN CONSULTANT

WATCHTOWER
 homes & construction
 3803 NOBLE AVENUE
 RICHMOND, VA 23222
 (804) 486-0386 PHONE
GENERAL CONTRACTOR

DESIGNER: DRW_JRP3
 CHECKER: JRP3

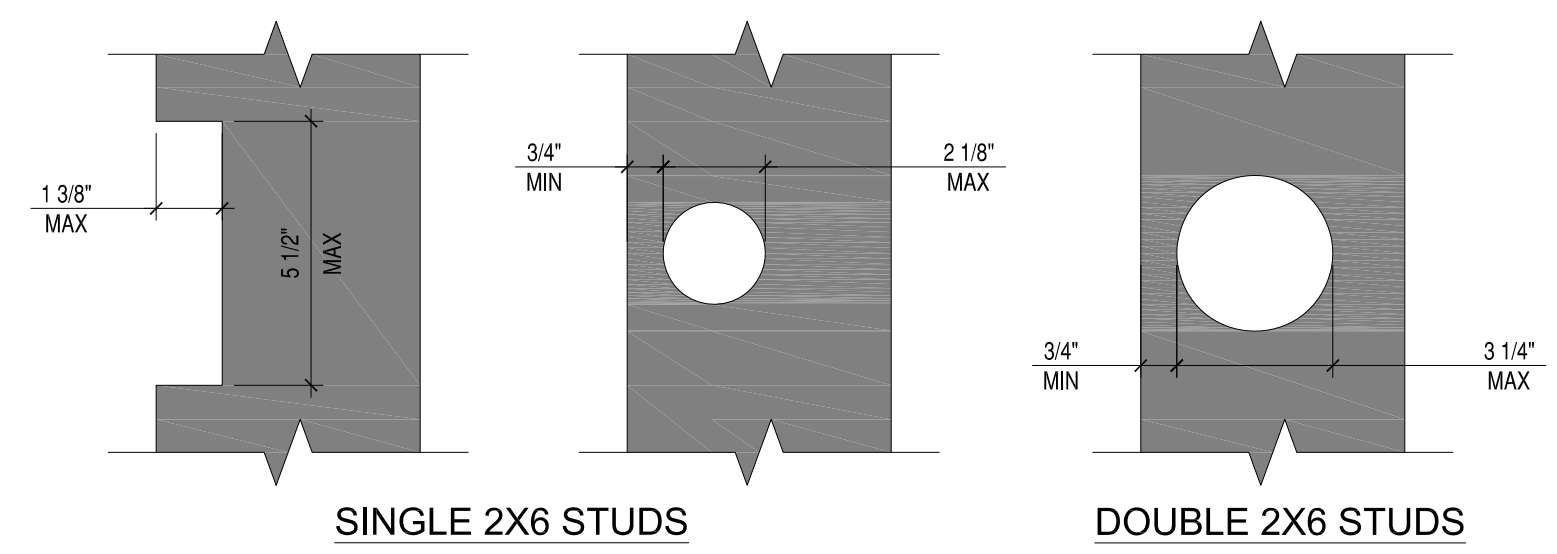
1213 & 1215 N 32nd STREET
 RICHMOND, VIRGINIA 23223
TYPICAL DETAILS

SCALE: 1/4"=1'-0"
 PROJECT NO.: 2019-01
 CONSTR. CONTR. NO.:
 DRAWING NO.:
 SHEET OF
S-105



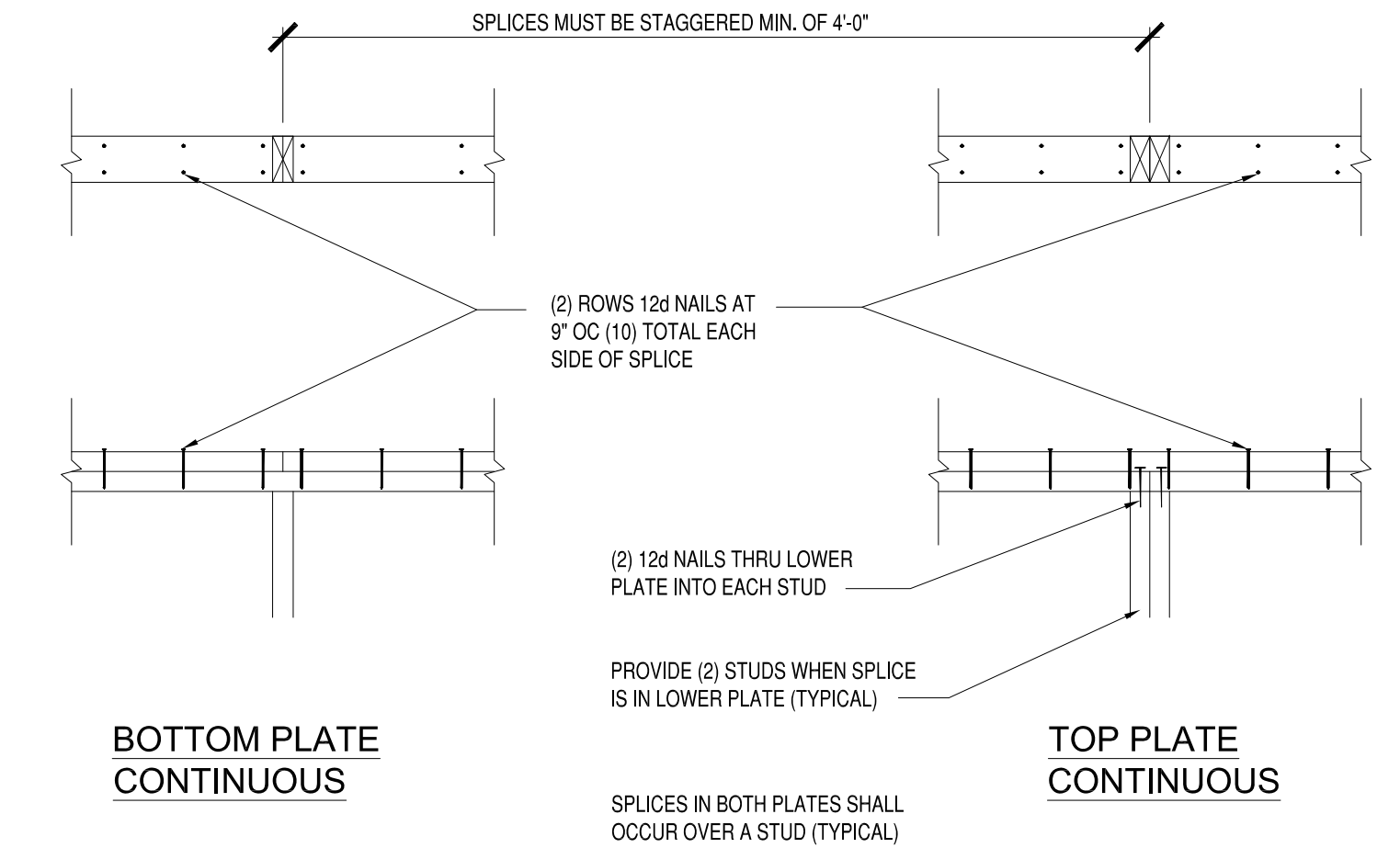
ISOMETRIC VIEW

1 TYPICAL SHEAR WALL INTERSECTION
 S-105 1-1/2"=1'-0"

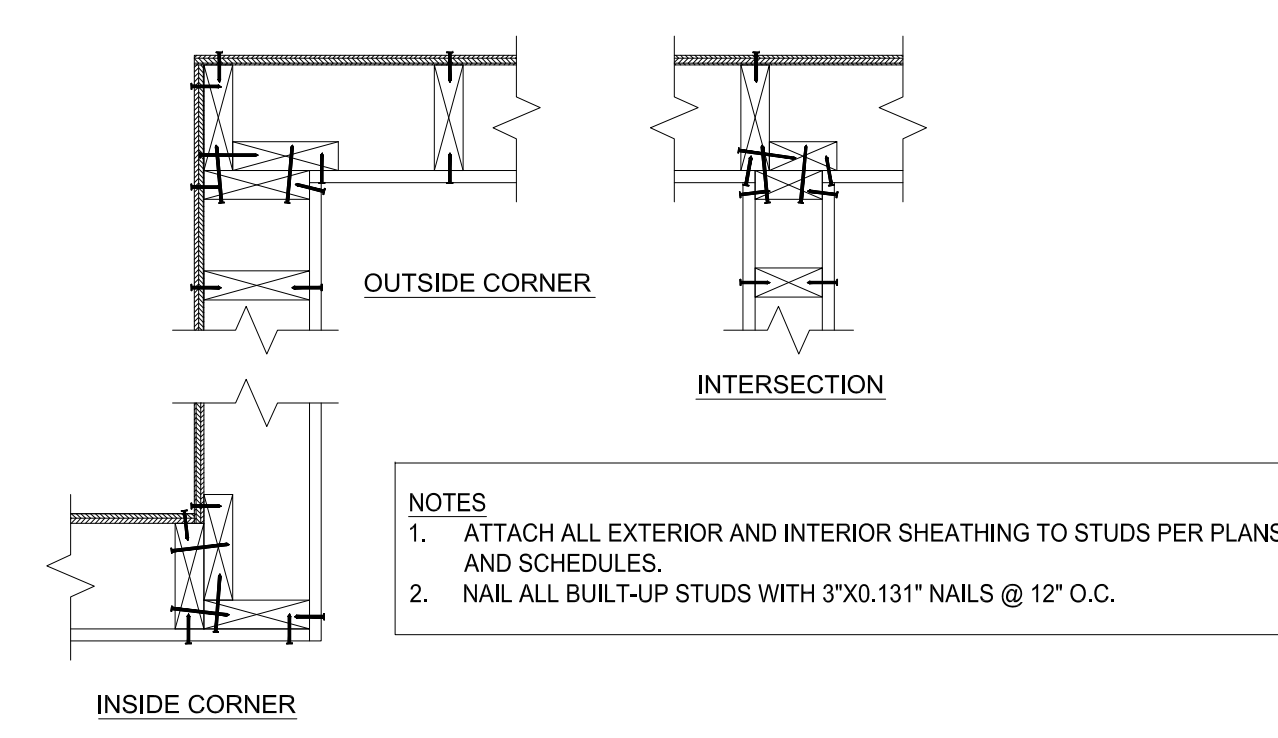


2012 INTERNATIONAL BUILDING CODE
 2308.9.10 CUTTING AND NOTCHING
 IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. CUTTING OR NOTCHING OF STUDS TO A DEPTH NOT GREATER THAN 40% OF THE WIDTH OF THE STUD IS PERMITTED IN NONBEARING PARTITIONS SUPPORTING NO LOADS OTHER THAN THE WEIGHT OF THE PARTITION.
 2308.9.11 BORED HOLES
 A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60% OF THE WIDTH OF THE STUD ARE PERMITTED IN NONBEARING PARTITIONS OR IN ANY WALL WHERE EACH BORED STUD IS DOUBLED, PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED.
 • IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" TO THE EDGE OF THE STUD.
 • BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

2 ALLOWABLE STUD NOTCH & BORING
 S-105 3"=1'-0"

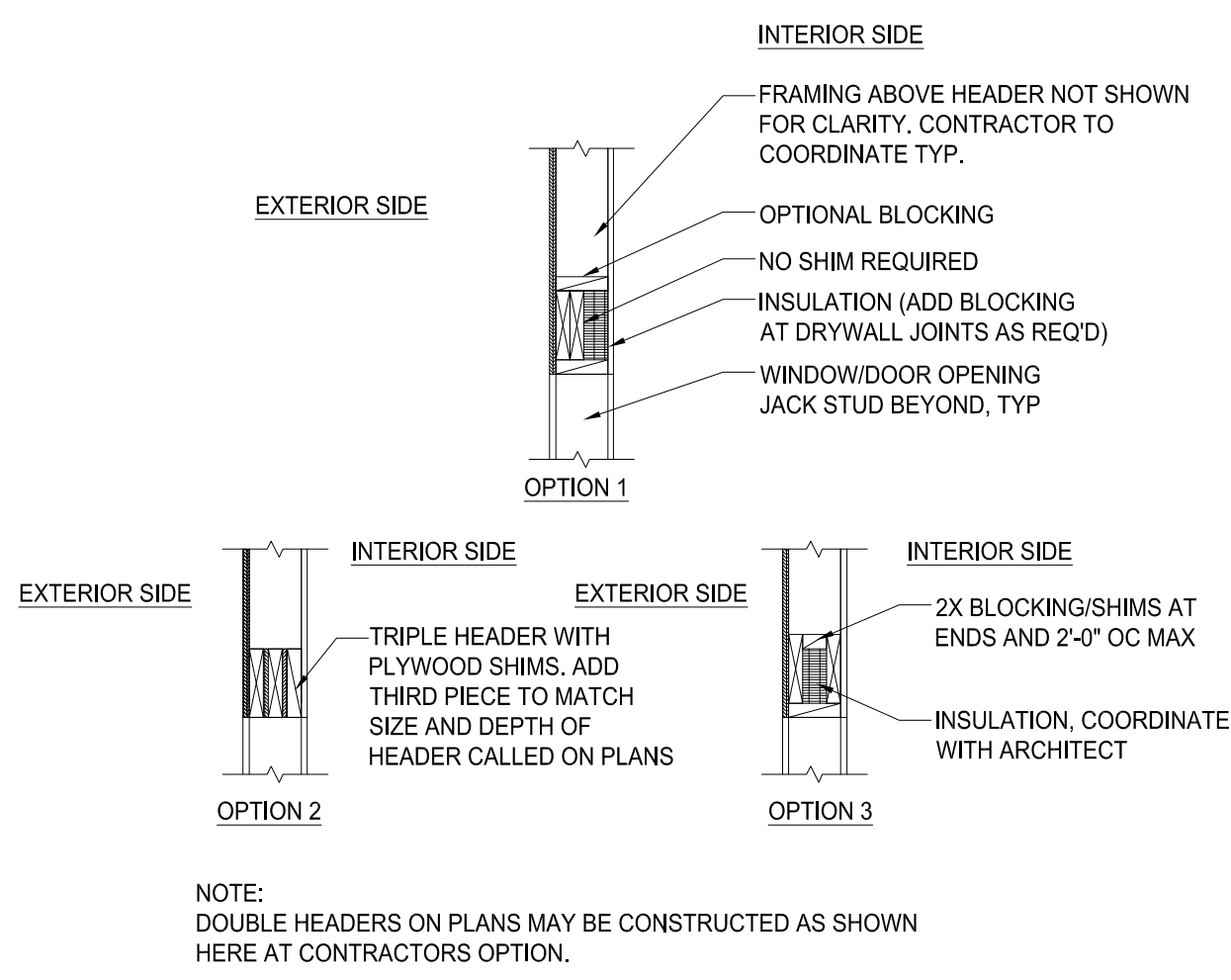


3 TYP TOP PLATE SPLICE AT BEARING WALLS
 S-S02 1-1/2"=1'-0"



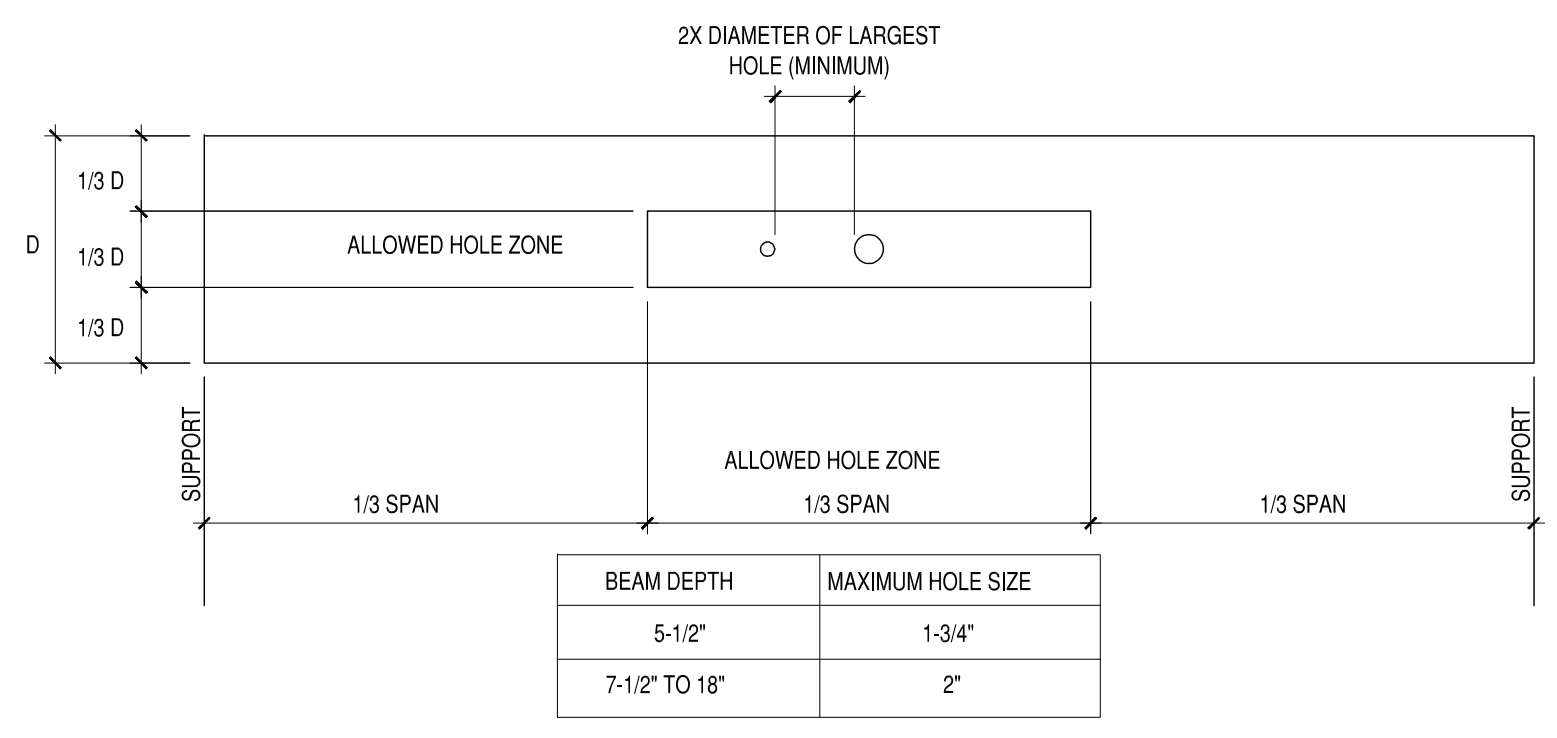
NOTES
 1. ATTACH ALL EXTERIOR AND INTERIOR SHEATHING TO STUDS PER PLANS AND SCHEDULES.
 2. NAIL ALL BUILT-UP STUDS WITH 3"x0.131" NAILS @ 12" O.C.

4 CORNER AND INTERSECTION FRAMING
 S-105 1"=1'-0"



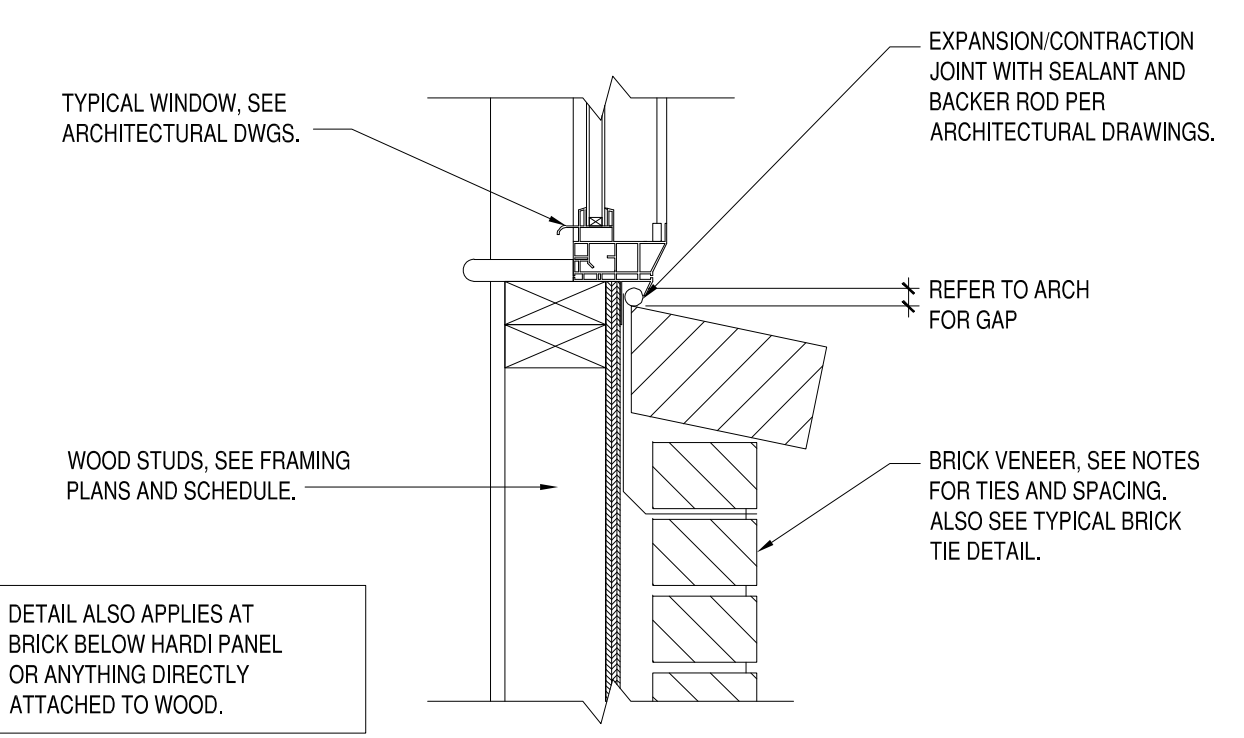
NOTE:
 DOUBLE HEADERS ON PLANS MAY BE CONSTRUCTED AS SHOWN HERE AT CONTRACTORS OPTION.

5 2-PLY HEADER FOR 2X6 WALLS
 S-105 1"=1'-0"



GENERAL NOTES:
 1. DIAGRAM IS FOR UNIFORMLY LOADED BEAM ONLY.
 2. RECTANGULAR HOLES ARE NOT PERMITTED.

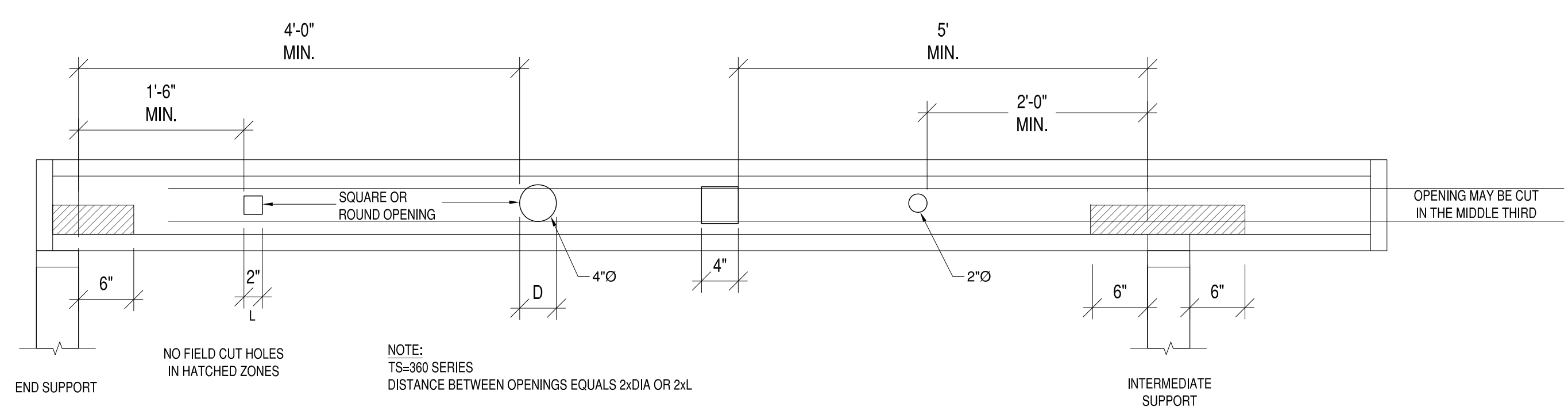
6 ALLOW HOLES FOR BEAM/HEADER
 S-105 1-1/2"=1'-0"



DETAIL ALSO APPLIES AT BRICK BELOW HARDI PANEL OR ANYTHING DIRECTLY ATTACHED TO WOOD.

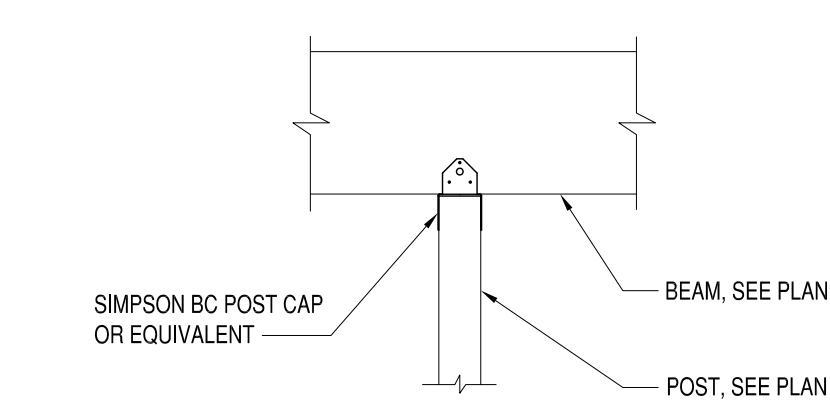
TYPICAL NOTE TO ARCHITECT/CONTRACTOR
 FOR BRICK VENEER CONSTRUCTION OVER 25', CARE MUST BE TAKEN TO ALLOW EXPANSION OF BRICK AND SETTLEMENT OF WOOD FRAMING. THE DIFFERENTIAL SETTLEMENT BETWEEN BRICK AND WOOD FRAMING VARIES PER FLOOR IN AN WOOD FRAMED STRUCTURE. SEE REQUIRED GAP SCHEDULE. WHERE WINDOWS OVERLAP BRICK VENEER, AN ADEQUATE EXPANSION JOINT MUST BE PROVIDED.

7 TYPICAL EXPANSION JOINT AT BRICK VENEER
 S-105 1-1/2"=1'-0"

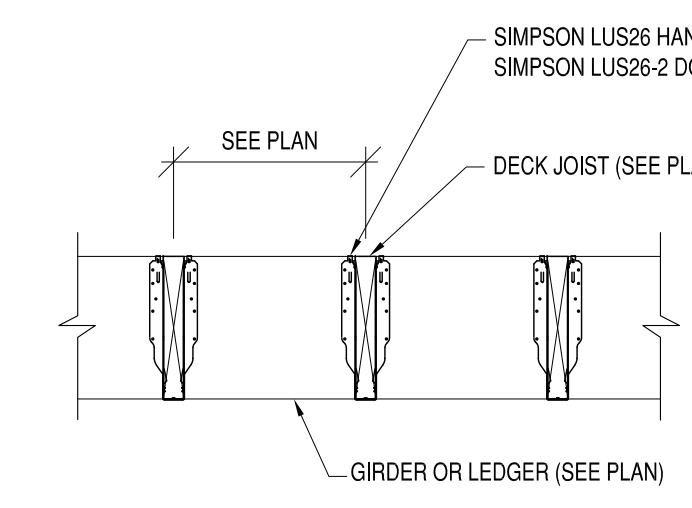


NOTE:
 TS-360 SERIES
 DISTANCE BETWEEN OPENINGS EQUALS 2xDIA OR 2L

10 TYPICAL OPENINGS IN JOIST
 S-105 1"=1'-0"



11 TYP DECK POST TO BEAM DETAIL
 S-105 3/4"=1'-0"



12 2X6 & 2X8 DECK JOIST DETAIL
 S-105 3/4"=1'-0"

R/F 0.67'
NORTH OF
CORNER

16' ALLEY

This is to certify to the PURCHASER/OWNER shown hereon, and his TITLE INSURER and Lender, that on 1-21-19 I made an Accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than those shown hereon. This survey has been made without the benefit of a title search and is subject to any uses recorded and unrecorded and other pertinent facts in which a title search may disclose. Copies of this plat without the certifying surveyor's seal with an original signature are INVALID.

SCALED
CITY BASELINE

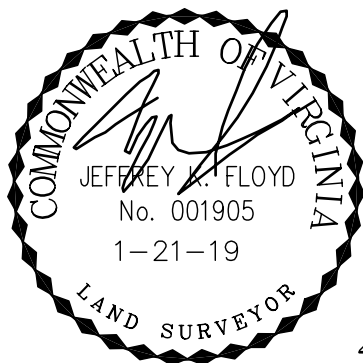
LEIGH A. WOODLEY
PARCEL ID: 0000802020
DEED REF. 2016-16610

EQUITY TRUST CC
FBO RICHARD W. REESE IRA
PARCEL ID: E0000802019
DEED REF. 2015-24038

TAYLORS VISION LLC
PARCEL ID: E0000802018
DEED REF. 2009-5832

BEATRICE B. LANE
BERNARD LANE JR.
PARCEL ID: E0000802018
DB. 15 PG. 469

2 STORY
FRAME
No. 1217



DILAPIDATED
1 STORY
BLOCK &
FRAME
No. 1215

DILAPIDATED
1 STORY
FRAME
No. 1213

1 STORY
FRAME
No. 1211

14.38'

9.51'

90'00"12"

17.77'

17.74'

17.74'

BLDG. 0.1'

150' TO THE
N/LINE OF
"R" ST.

PK NAIL/F

N 32nd STREET

66' R/W

MAP SHOWING THE IMPROVEMENTS ON
No. 1213 & No. 1215 N 32nd STREET
IN THE CITY OF RICHMOND, VA.

Virginia Surveys
P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
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DATE: 1-21-19
 CERTIFIED BY JEFFREY K. FLOYD
 VIRGINIA CERTIFICATE NO. 001905
 SCALE: 1"=15'
 JOB NO. 190112499