

Application for URBAN DESIGN COMMITTEE Review

Department of Planning and Development Review Planning & Preservation Division 900 E. Broad Street, Room 510 Richmond, Virginia 23219 (804) 646-6335

http://www.richmondgov.com/CommitteeUrbanDesign

Application Type Addition/Alteration to Existing Structure New Construction Streetscape Site Amenity	Encroachment Master Plan Sign Other	Review Type Conceptual Final
Project Name:		
Project Address:		
Applicant Information (on all applications other than encroachments, a City agency		
Name:	_ Email:	
City Agency:	Phone:	
Address:		
Main Contact (if different from Applicant):		
Company:	Phone:	
Email:		

Submittal Deadlines

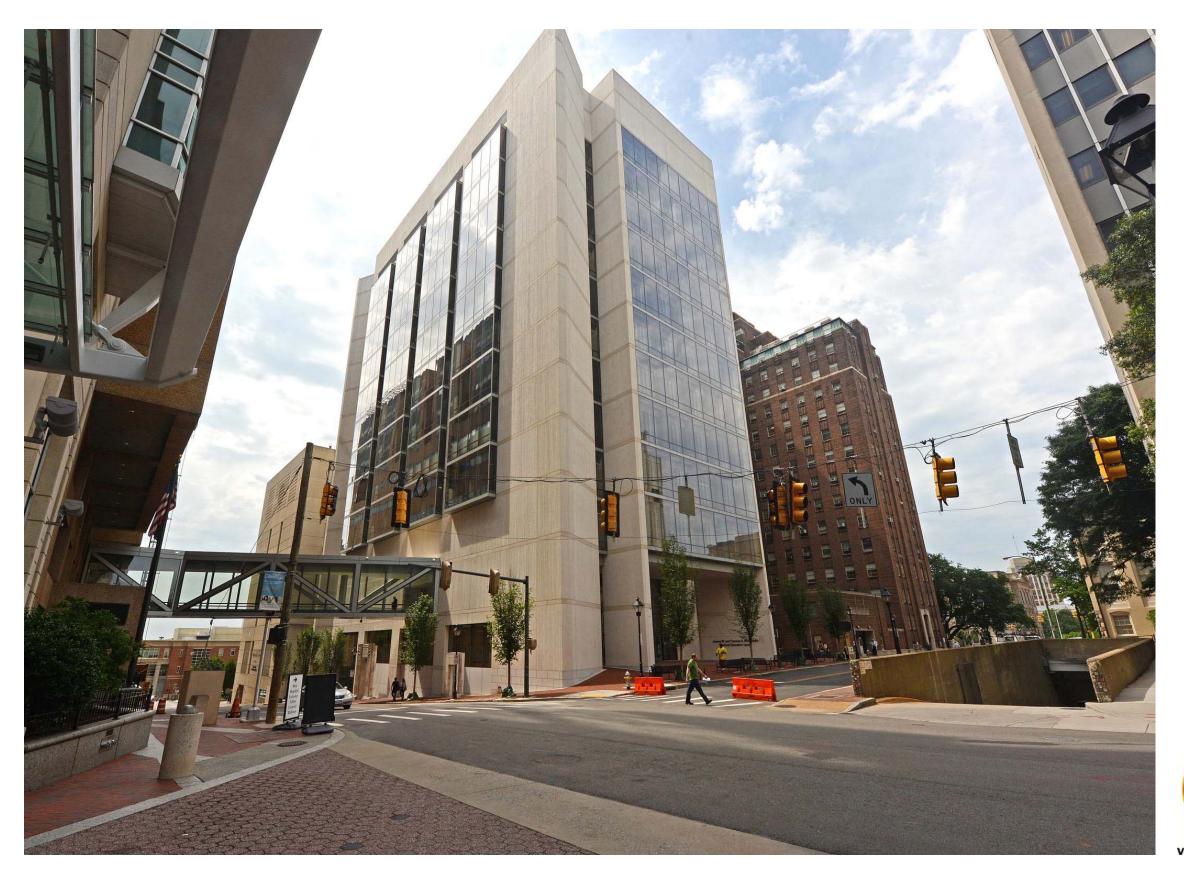
All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. Late or incomplete submissions will be deferred to the next meeting.

Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.

UDC Background

The UDC is a ten member committee created by City Council in 1968 whose purpose is to advise the City Planning Commission on the design of projects on City property or right-of-way. The UDC provides advice of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06 and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.



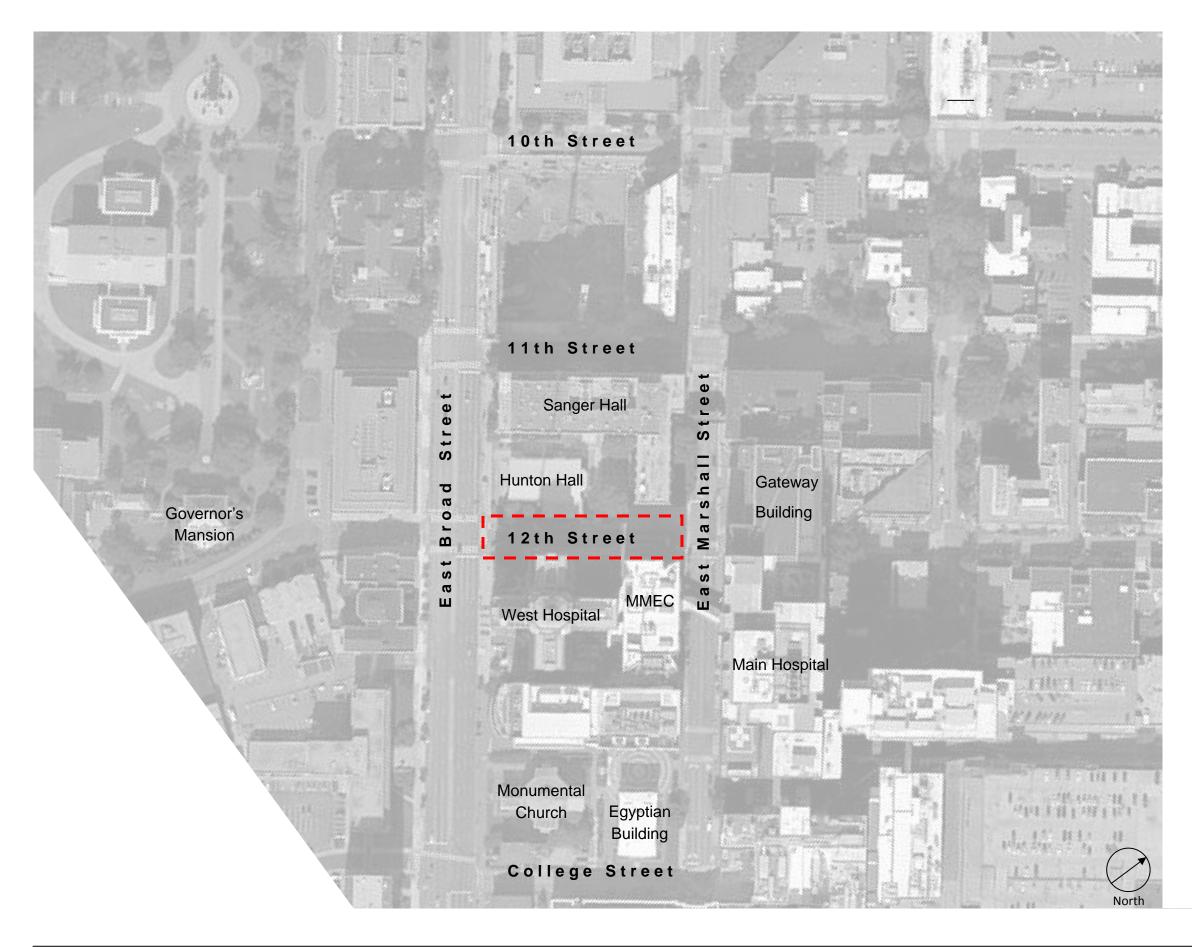
City of Richmond Urban Design Committee Submittal

July 16, 2015

12th Street Pedestrian Commons

MCV Campus
Virginia Commonwealth University
Richmond, Virginia





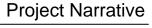
VCU is proposing streetscape improvements along 12th Street between East Broad and East Marshall Streets. The street has been closed temporarily to traffic since 2010 when construction began for the McGlothlin Medical Education Center and is scheduled to reopen to traffic when the Children's Pavilon on Broad Street opens in 2016.

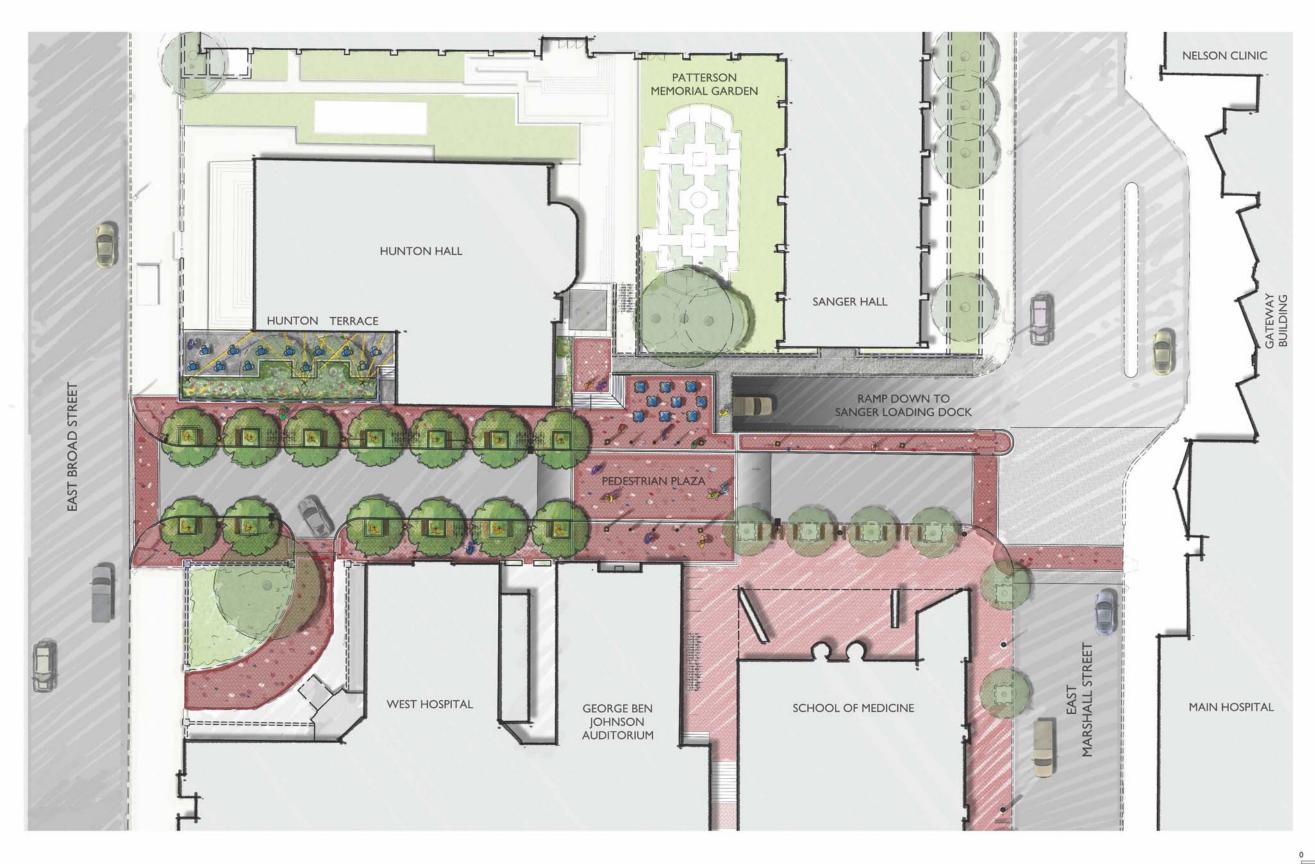
This project proposes to remove the short term parking in front of the George Ben Johnson Auditorium and the right turn lane onto Broad Street to provide for wider sidewalks and more street trees. The street width in front of McGlothin will be maintained at its current width (26 feet) for the length of the block. Brick paver cross walks are proposed at both Broad and Marshall Streets. A raised brick paver speed table is proposed in the center of the block to slow vehicular traffic and allow for pedestrians to cross the street.

New lighting will consist of the VCU standard ornamental fixture as a supplement to the existing cobra head style light fixtures. One additional cobra head light is proposed in front of McGlothlin to provide more even lighting.

We propose removing the concrete wall above grade that surrounds the Sanger Hall loading dock ramp and replace it with an ornamental metal railing. We also propose covering over a portion of the opening and creating an outdoor plaza with tables with attached seating.

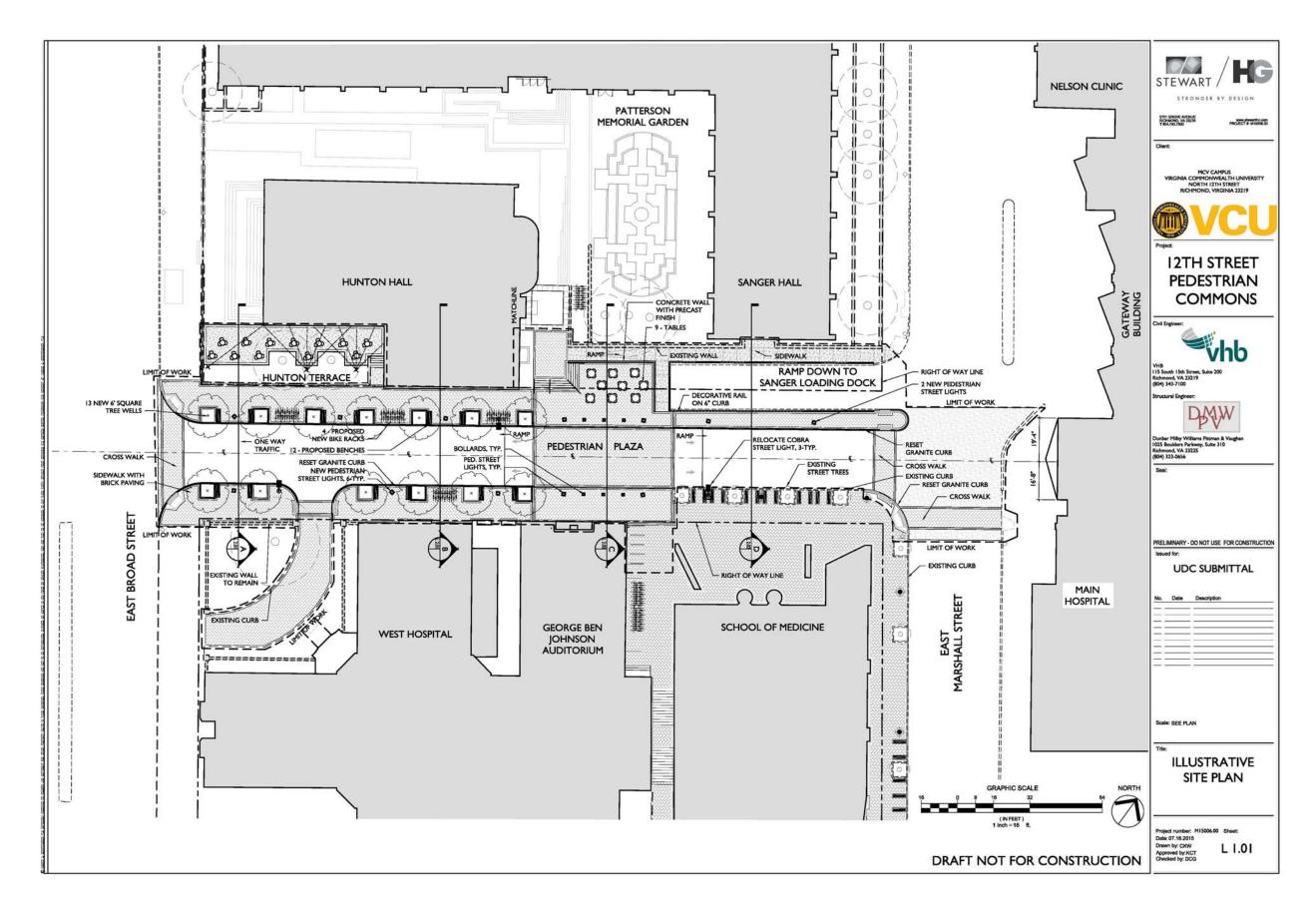
Street tree plantings will use the "suspended slab" detail which provides the tree roots with an increased soil volume. This detail was used on McGlothlin.



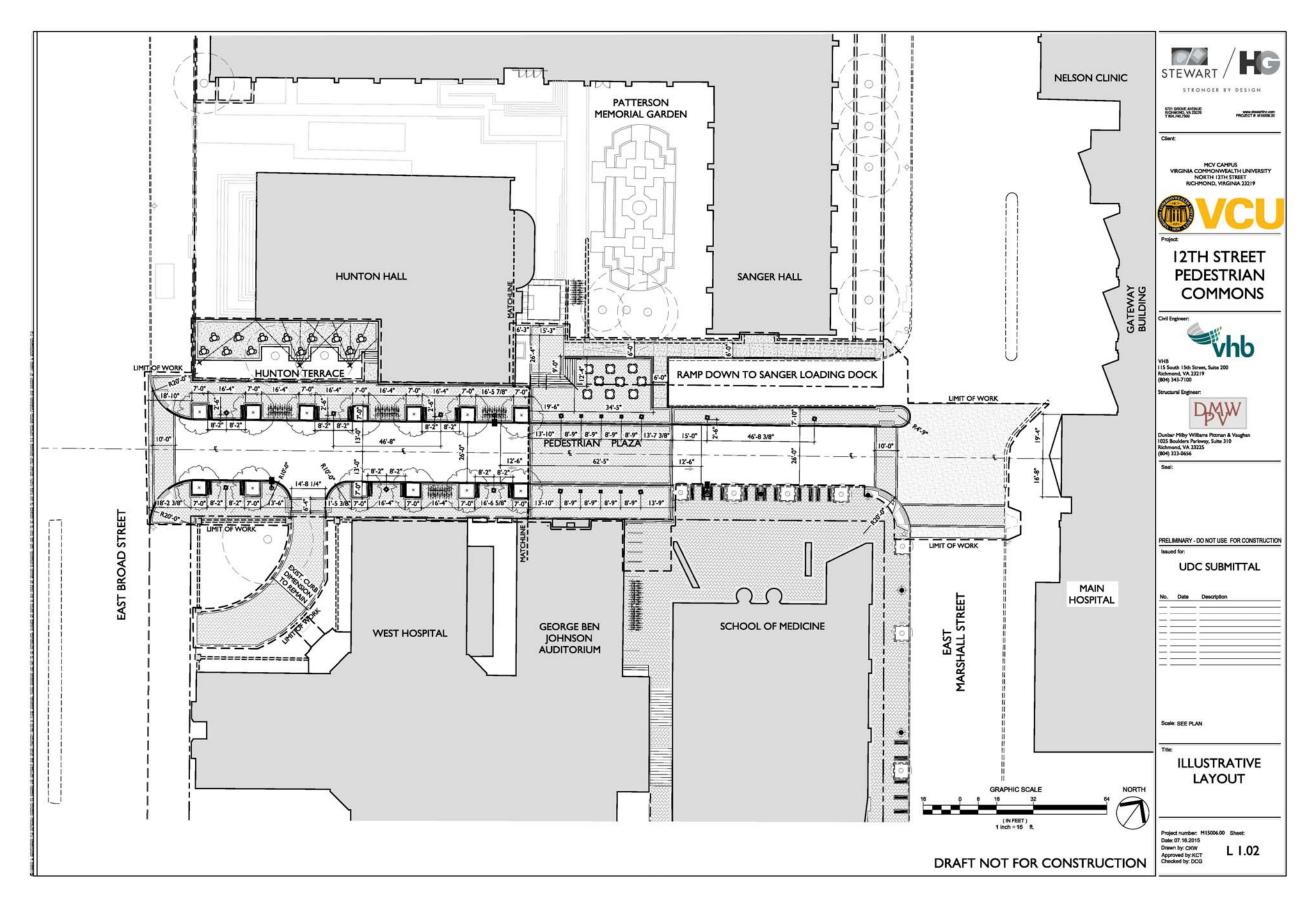




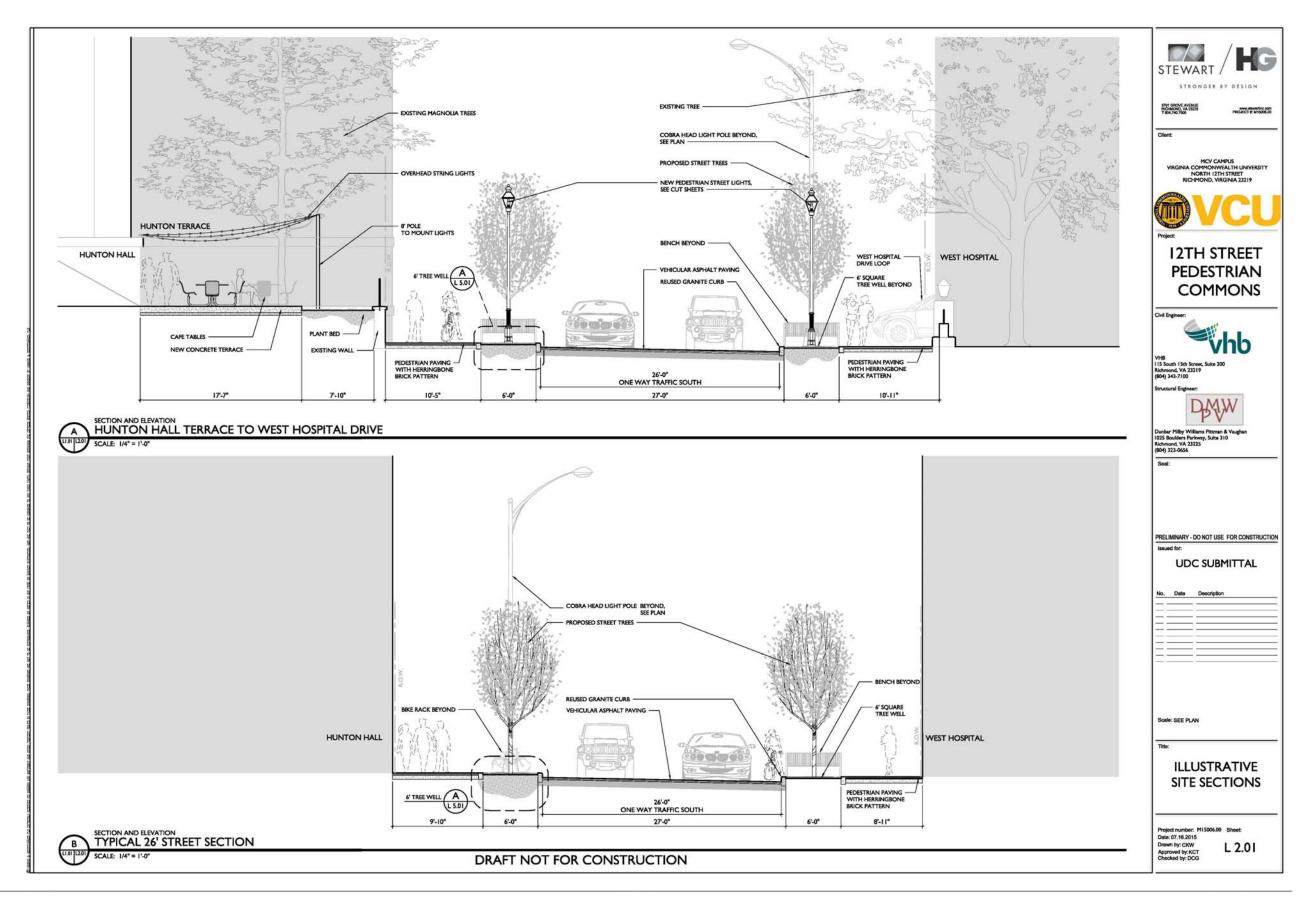
Rendering



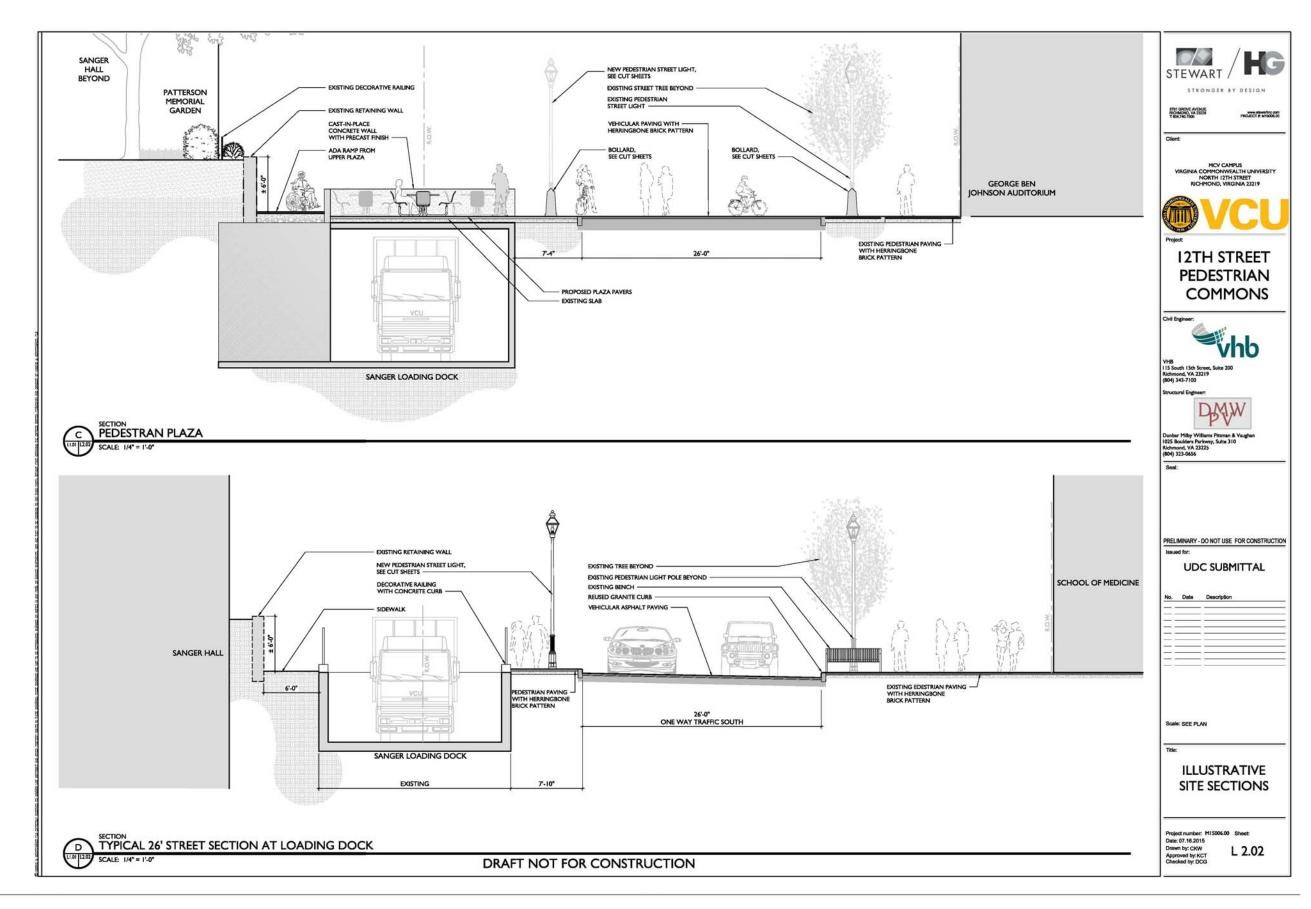




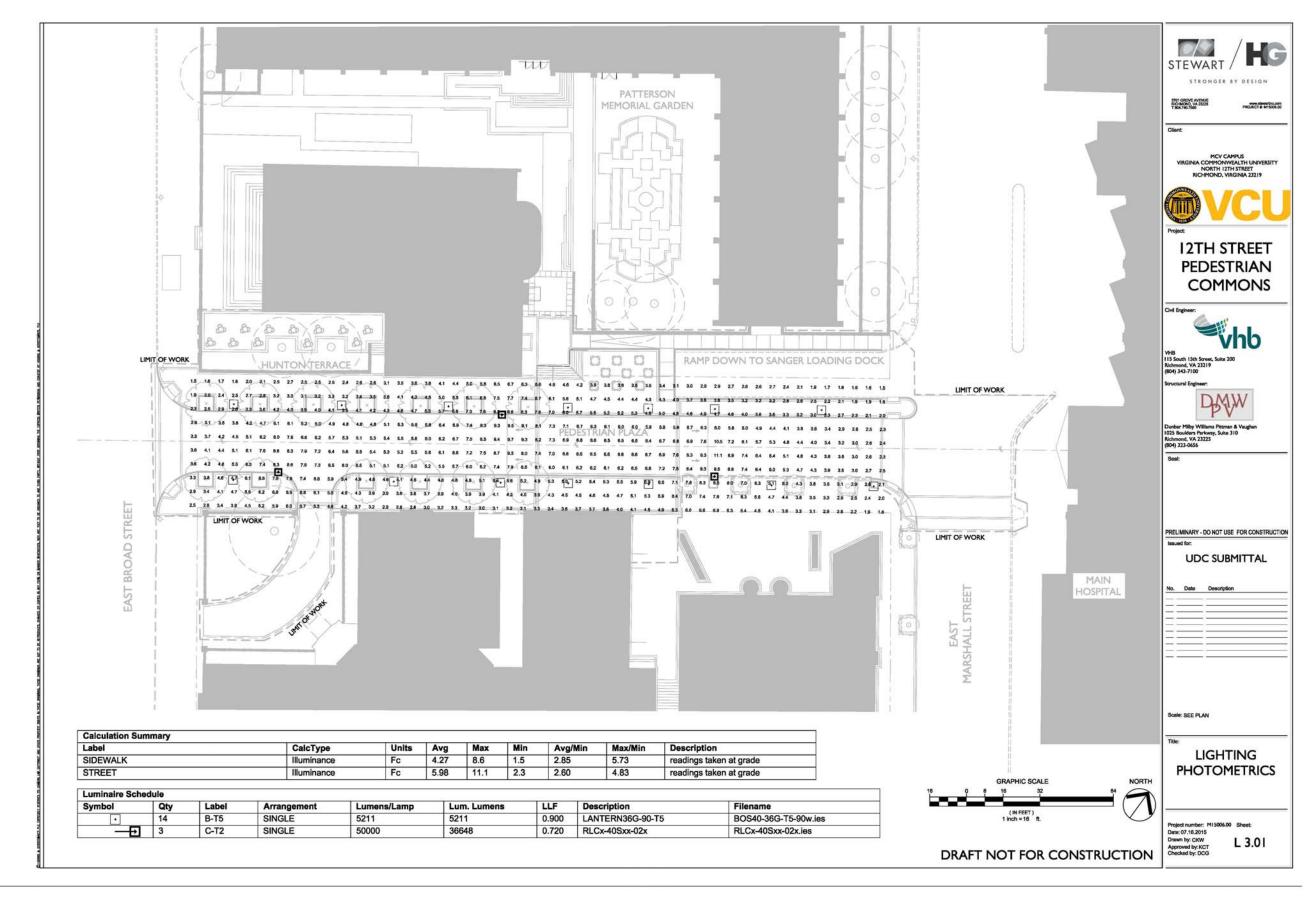




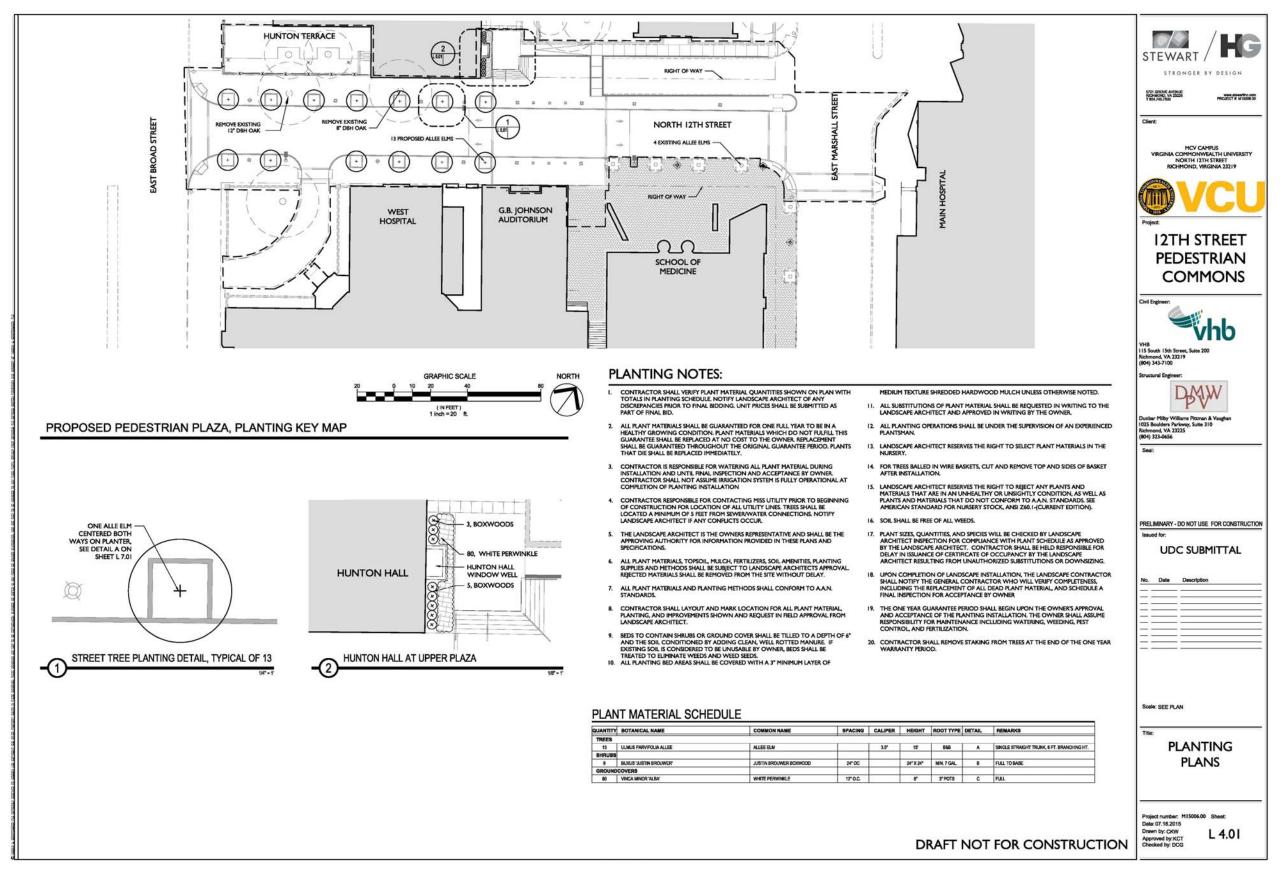


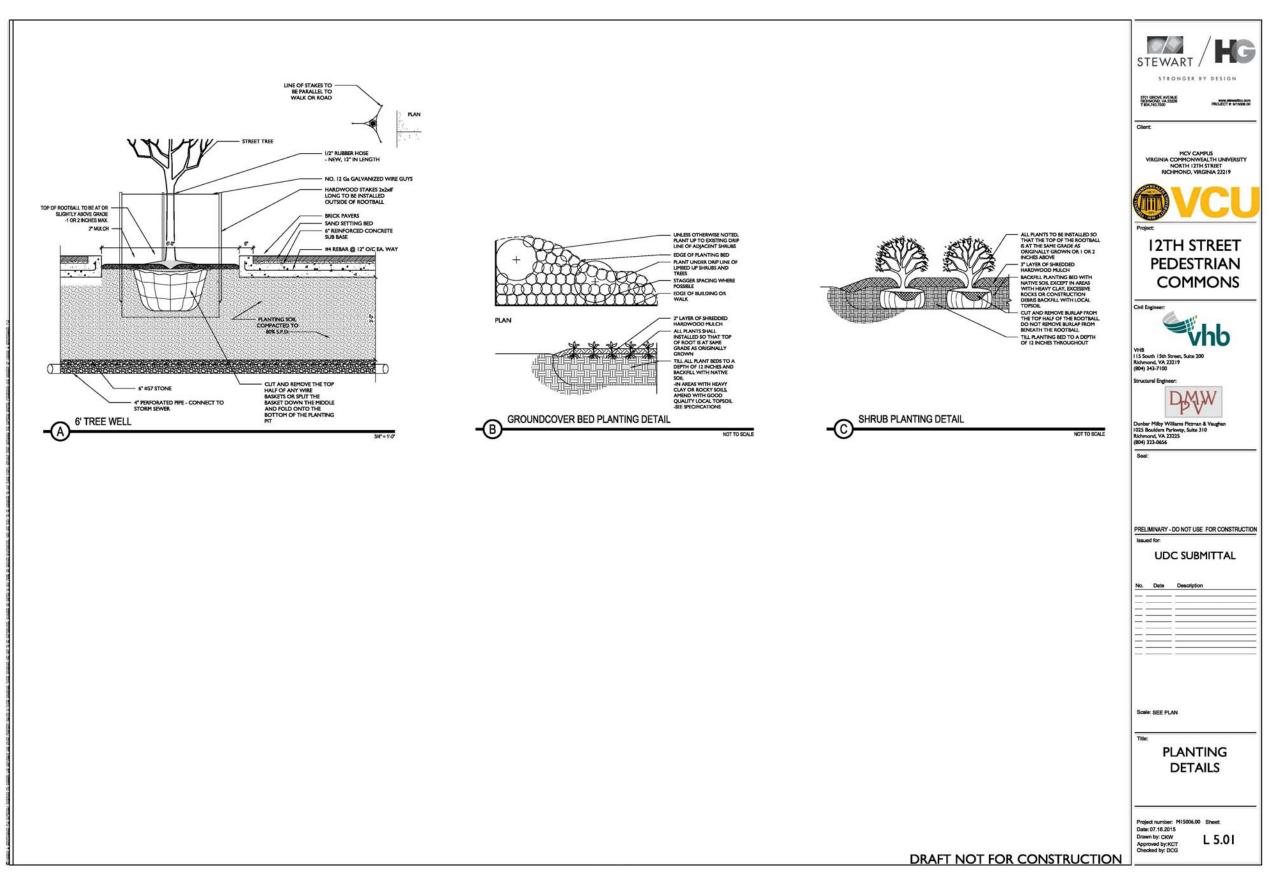
















Bike Racks

STANDARD RIBBON BENCHES

Victor Stanley Manufacturer: Catalog No: RB-28 - 6' Length w/ center arm

Color: Black

Manufacturer: Timberform Renaissance Catalog No. 2806-6 - 6' Bench

w/ center arm

Black

Color:

Manufacturer: Keystone Ridge Designs P26C' 6' Pullman w/ Catalog No.

center arm

Color: Black



Standard Ribbon Bench - Victor Stanley

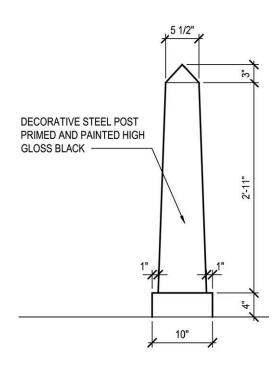
Benches



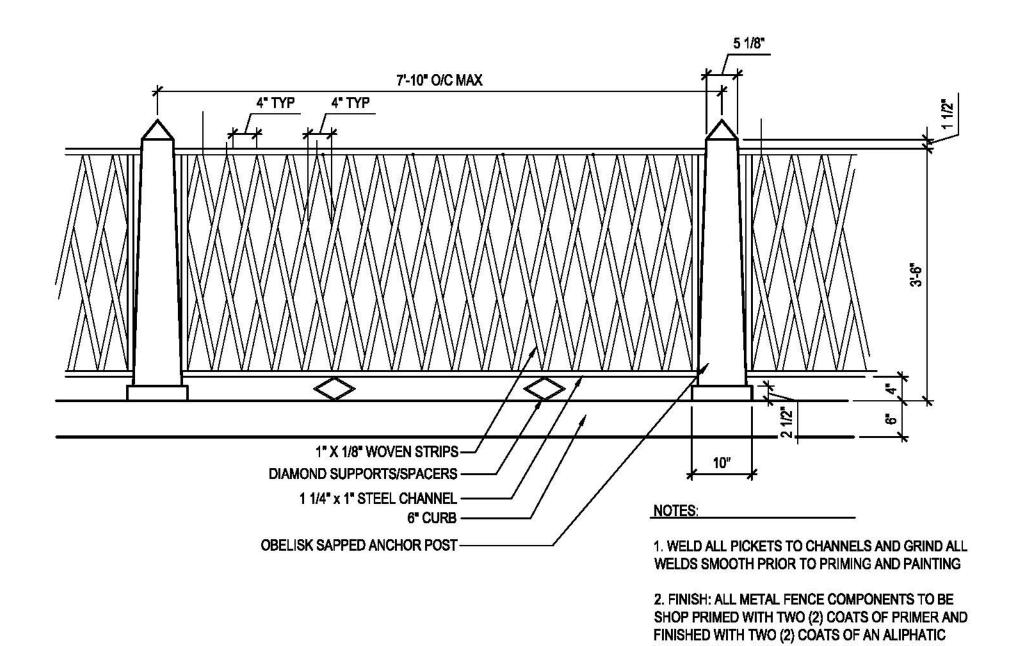
Brick Pavers

Materials - Site Furnishings and Paving





Bollards



Ornamental Railing at Loading Dock Ramp



ACRYLIC POLY- URETHANE PAINT - HIGH GLOSS,

BLACK

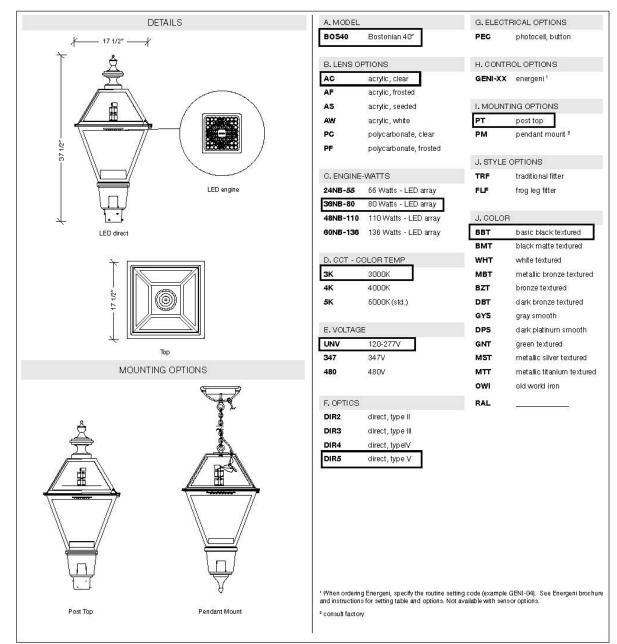




rev. 04.06.2015 BOS 40 (LED) 40" Bostonian Luminaire Max Weight: 50.0 lbs Max EPA: 3.94 sq ft

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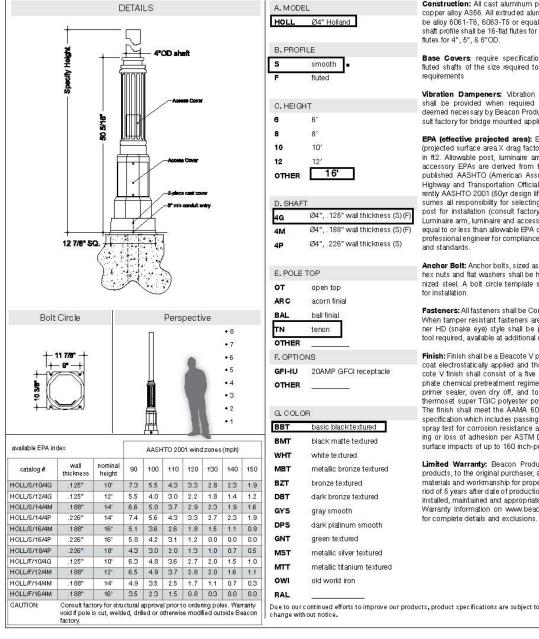
2041 58th Avenue Circle East Bradenton, fl 34203 Phone: (800) 345-4928 Fax: (941) 751-5535





rev. 02.20.2014 HOLLAND Poles & Bases

Sample	HOLL		S		8		4G		OT		GFI-IU		BBT
Ordering	HOLL	1	s	£	16	1	4G	f	TN	1		1	BBT
	Α		В		С		D		E		F		G



Construction: All cast aluminum parts shall be low copper alloy A356. All extruded aluminum parts shall be alloy 6061-T6, 6063-T5 or equal. Standard fluted shaft profile shall be 16-flat flutes for 3"OD and 12-flat flutes for 4", 5", & 6"OD.

Base Covers require specification of smooth or fluted shafts of the size required to meet wind load requirements

Vibration Dampeners: Vibration dampener pads shall be provided when required by customer or deemed necessary by Beacon Products. Please consult factory for bridge mounted applications.

EPA (effective projected area): FPA is defined as (projected surface area X drag factor) and measured in ft2. Allowable post, luminaire arm, luminaire and accessory EPAs are derived from the most current published AASHTO (American Association of State Highway and Transportation Officials) standard, currently AASHTO 2001 (50yr design life). Customer as sumes all responsibility for selecting the appropriate post for installation (consult factory for assistance). Luminaire arm, luminaire and accessory EPA must be equal to or less than allowable EPA of post. Consult a professional engineer for compliance with local codes and standards.

Anchor Bolt: Anchor bolts, sized as required, double hex nuts and flat washers shall be hot dipped galvanized steel. A bolt circle template shall be provided

Fasteners: All fasteners shall be Corrosion Resistant When tamper resistant fasteners are required, spanner HD (snake eye) style shall be provided (special tool required, available at additional cost).

Finish: Finish shall be a Beacote V polyester powdercoat electrostatically applied and thermocured. Bea-cote V finish shall consist of a five stage iron phosphate chemical pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermoset super TGIC polyester powder coat finish. The finish shall meet the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pound.

Limited Warranty: Beacon Products warrants its products, to the original purchaser, against defects in materials and workmanship for proper usage for a period of 5 years after date of production, when properly installed, maintained and appropriately specified. See Warranty Information on www.beaconproducts.com for complete details and exclusions.

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