



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 807/809 North 24th Street

Historic district Union Hill

Date/time rec'd: 9:37 9/28/18
Rec'd by: AM
Application #: COA-042472-2018
Hearing date: 10-23-18

APPLICANT INFORMATION

Name Marion Cake

Phone (804) 233-0911

Company project:HOMES

Email marion.cake@projecthomes.com

Mailing Address 88 Carnation Street

Applicant Type: Owner Agent

Richmond, VA 23225

Lessee Architect Contractor

Other (please specify):

OWNER INFORMATION (if different from above)

Name Elderhomes DBA project:HOMES

Company _____

Mailing Address 88 Carnation Street

Phone _____

Richmond, VA 23225

Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Construct two attached single family homes per plans

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner [Signature]

Date 9/27/2018



CERTIFICATE OF APPROPRIATENESS

NEW CONSTRUCTION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 807/809 North 24th Street

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

807 North 24th Street
Richmond, VA 23223

Exterior Materials and Finishes description:

Siding: smooth unbeaded fiber cement siding "Timber Bark"
Exterior trim: Miratec/PVC 5/4 White
Exterior Rails: Fir Richmond Rail White
Windows: Legacy Pro Series vinyl 2 over 2 with simulated divided lites
Doors: Therma-tru fiberglass 2 panel half lite with transom
Cornice: Fypon # BKT11X20X6
Dentil: Fypon # MLD310-8
Porch Floors: AZEK 3.25" tongue and groove composite, grey

**809 North 24th Street
Richmond, VA 23223**

Exterior Materials and Finishes description:

Siding: smooth unbeaded fiber cement siding "Autumn Tan"

Exterior trim: Miratec/PVC 5/4 White

Exterior Rails: Fir Richmond Rail White

Windows: Legacy Pro Series vinyl 2 over 2 with simulated divided lites

Doors: Therma-tru fiberglass 2 panel half lite with transom

Cornice: Fypon # BKT11X20X6

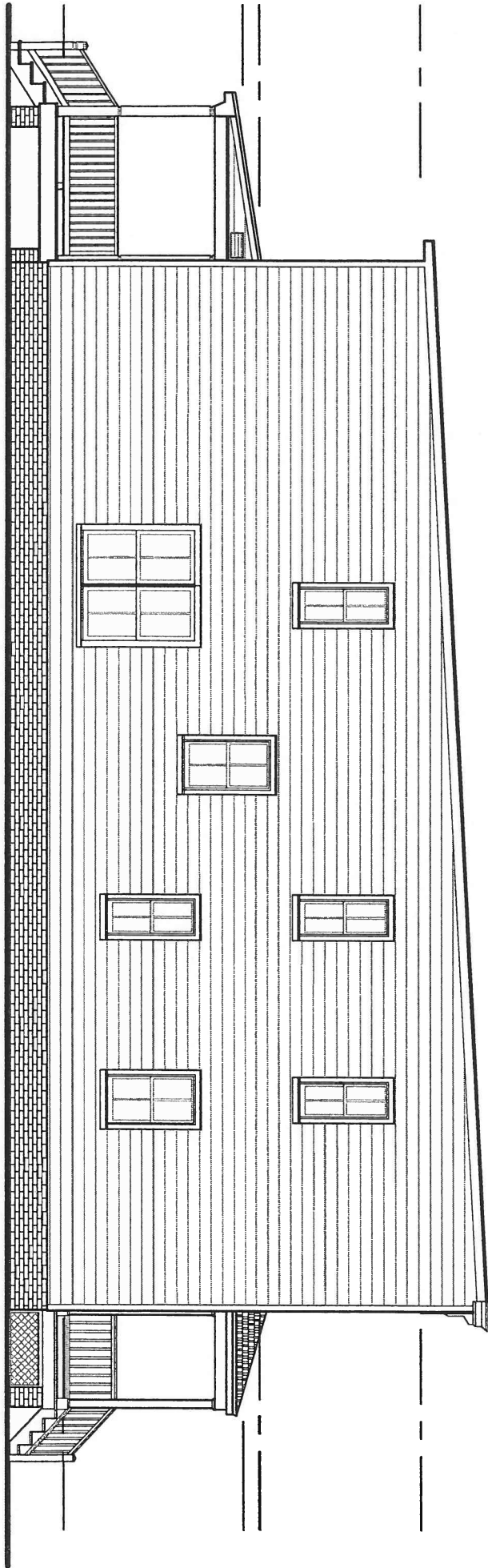
Dentil: Fypon # MLD310-8

Porch Floors: AZEK 3.25" tongue and groove composite, grey

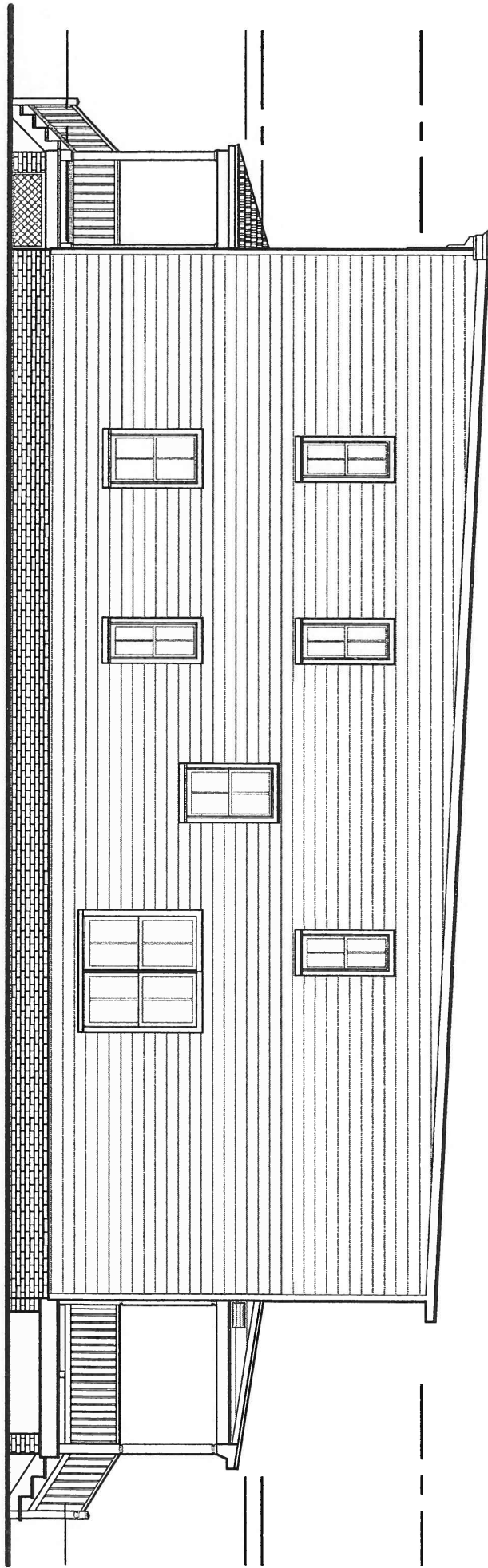


WEST

North

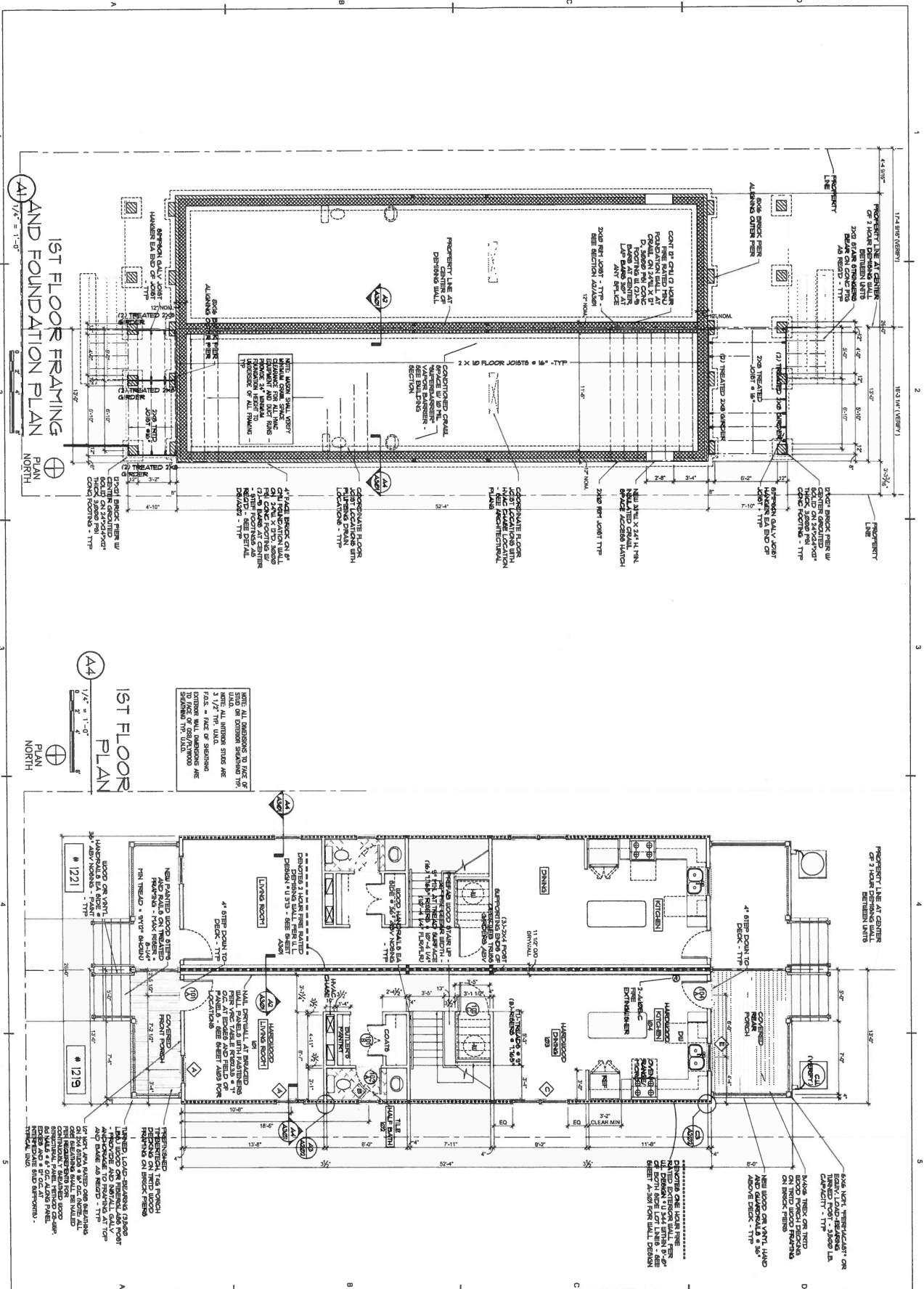


South





EAST



1ST FLOOR FRAMING AND FOUNDATION PLAN
PLAN NORTH

1ST FLOOR PLAN
PLAN NORTH

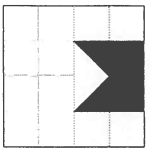
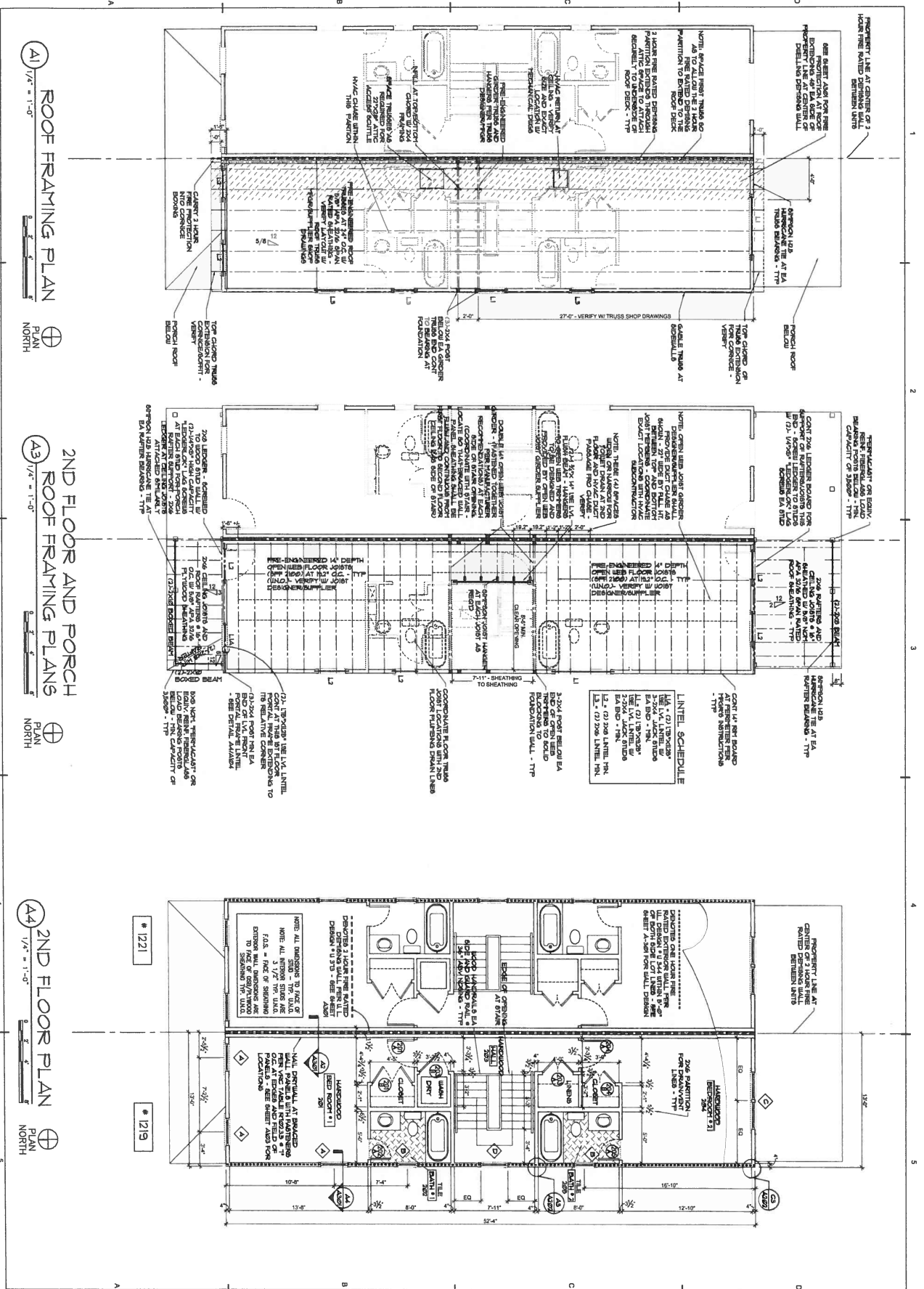
NOTE: ALL DIMENSIONS TO FACE OF UNLESS NOTED OTHERWISE.
 ALL DIMENSIONS TO FACE OF UNLESS NOTED OTHERWISE.
 EXTERIOR WALL DIMENSIONS ARE TO FACE OF EXTERIOR WALL.
 INTERIOR WALL DIMENSIONS ARE TO FACE OF INTERIOR WALL.

A-101
Sheet 2 of 8
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NO.	DATE	DESCRIPTION
1	06/15/17	PROJECT SET
2	06/15/17	FOUNDATION WALL
3	06/15/17	FOUNDATION WALL
4	06/15/17	FOUNDATION WALL
5	06/15/17	FOUNDATION WALL
6	06/15/17	FOUNDATION WALL
7	06/15/17	FOUNDATION WALL
8	06/15/17	FOUNDATION WALL
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99	06/15/17	FOUNDATION WALL
100	06/15/17	FOUNDATION WALL

RICHMOND, VIRGINIA
 PREPARED FOR: MR. MARION CAKE

DAVID R. WINN, LLC
 residential design
 10132 BERRYVADE PLACE
 GLEN ALAN, VA 23060
 (804) 552-0646



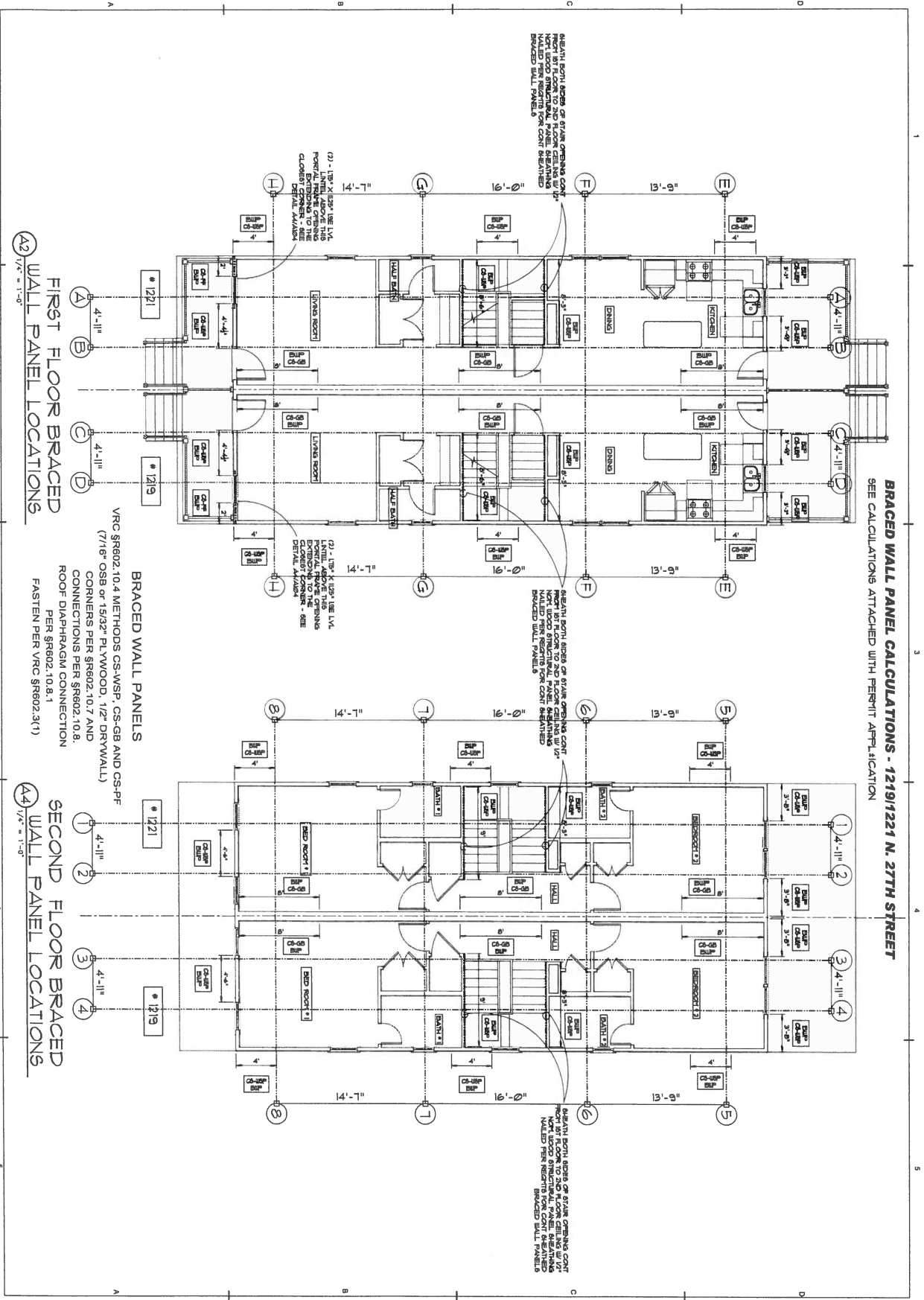
DAVID R. WYNN, LLC
 residential design
 10132 BERKSHIRE PLACE
 GLEN ALLEN, VIRGINIA 23060
 (804) 252-0948

RICHMOND, VIRGINIA
 PREPARED FOR: MR. MARION CAKE

DATE	DESCRIPTION
08/17/17	PROJECT SET
08/17/17	2ND FLOOR PLAN
08/17/17	2ND FLOOR AND ROOF FRAMING PLANS

Sheet Title: **A-102**
 Sheet 3 of 6
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BRACED WALL PANEL CALCULATIONS - 1219/1221 N. 27TH STREET
 SEE CALCULATIONS ATTACHED WITH PERMIT APPLICATION



A2 $1/8" = 1'-0"$
FIRST FLOOR BRACED WALL PANEL LOCATIONS

A4 $1/8" = 1'-0"$
SECOND FLOOR BRACED WALL PANEL LOCATIONS

BRACED WALL PANELS
 VRC §R602.10.4 METHODS CS-WSP, CS-G8 AND CS-PF
 (7/16" OSB OR 15/32" PLYWOOD, 1/2" DRYWALL)
 CORNERS PER §R602.10.7 AND
 CONNECTIONS PER §R602.10.8.
 ROOF DIAPHRAGM CONNECTION
 PER §R602.10.8.1
 FASTEN PER VRC §R602.3(1)

<p>A-103 sheet 4 of 7 © copyright 2017</p>		<p>BRACED WALL PANEL DIAGRAMS</p>
<p>DATE: 4/10/2017 TIME: 10:00 AM DRAWN BY: [redacted] CHECKED BY: [redacted]</p>	<p>PROJECT SET</p>	<p>RICHMOND, VIRGINIA PREPARED FOR: MR. MARION CAKE</p>

DAVID R. WYNN, LLC
 residential design
 10132 BERRYVADE PLACE
 OAKLEY (604) 252-0948

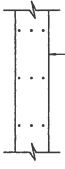
STRUCTURAL NOTES

1. THE DESIGN INDICATED ON THESE DRAWINGS PRESUMES THAT THE STRUCTURE IS TO BE BUILT ON NATURAL UNDISTURBED SOIL OR ROCK. THE DESIGNER ASSUMES RESPONSIBILITY FOR THE PROVISION OF SUFFICIENT INFORMATION TO THE CONTRACTOR TO ALLOW PROPER FOUNDATION DESIGN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN NECESSARY INFORMATION FROM THE LOCAL AGENCIES TO DETERMINE DESIGN CODES, SOIL CONDITIONS, SEISMIC ZONING, AND ALL INFORMATION PERTAINING TO LOCAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL INFORMATION FROM LOCAL AGENCIES AND TO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES TO DETERMINE DESIGN CODES, SOIL CONDITIONS, SEISMIC ZONING, AND ALL INFORMATION PERTAINING TO LOCAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL INFORMATION FROM LOCAL AGENCIES AND TO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

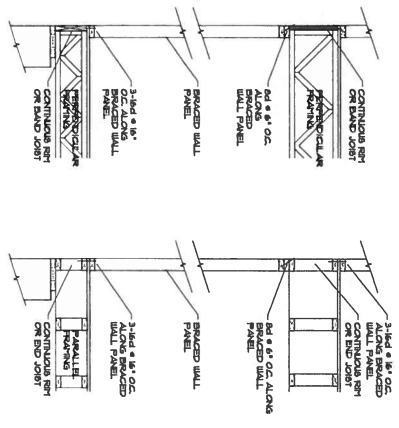
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY INFORMATION TO THE ARCHITECT TO ALLOW PROPER FOUNDATION DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES TO DETERMINE DESIGN CODES, SOIL CONDITIONS, SEISMIC ZONING, AND ALL INFORMATION PERTAINING TO LOCAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL INFORMATION FROM LOCAL AGENCIES AND TO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

3. CONCRETE SHALL BE PLACED WITHIN THE FULLY SPECIFIED CORNER OF THE CHU. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY INFORMATION TO THE ARCHITECT TO ALLOW PROPER FOUNDATION DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES TO DETERMINE DESIGN CODES, SOIL CONDITIONS, SEISMIC ZONING, AND ALL INFORMATION PERTAINING TO LOCAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL INFORMATION FROM LOCAL AGENCIES AND TO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

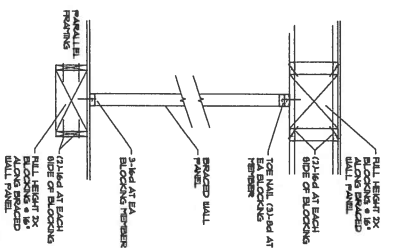
4. FOR ALL CONCRETE WORK, CONCRETE TO ALL APPLICABLE SECTIONS OF SECTION 050500-10-10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY INFORMATION TO THE ARCHITECT TO ALLOW PROPER FOUNDATION DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES TO DETERMINE DESIGN CODES, SOIL CONDITIONS, SEISMIC ZONING, AND ALL INFORMATION PERTAINING TO LOCAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL INFORMATION FROM LOCAL AGENCIES AND TO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.



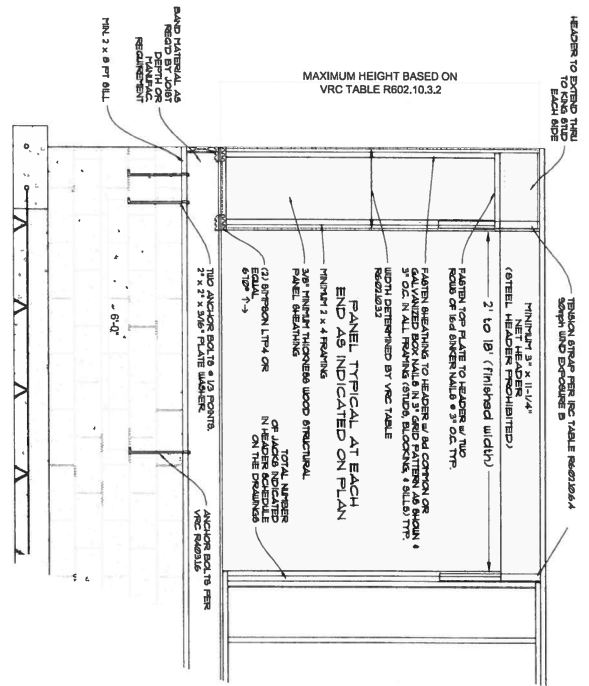
PORTAL FRAME LINTEL AND LVL GIRDER NAILING
NOT TO SCALE



BRACED WALL PANEL CONNECTIONS
NO SCALE



BRACED WALL PANELS
IRC §R602.10.4 METHODS CS-WSP AND CS-PF (7/16\"/>



CONTINUOUSLY SHEATHED PORTAL FRAME SECTION: VRC FIG. R602.10.6.4
SEE VRC TEXT FOR ADDITIONAL NOTES AND LIMITATIONS

DAVID R. WINN, LLC
1072 BERRYDALE PLACE
GALVESTON, TX 77550
(409) 262-0948

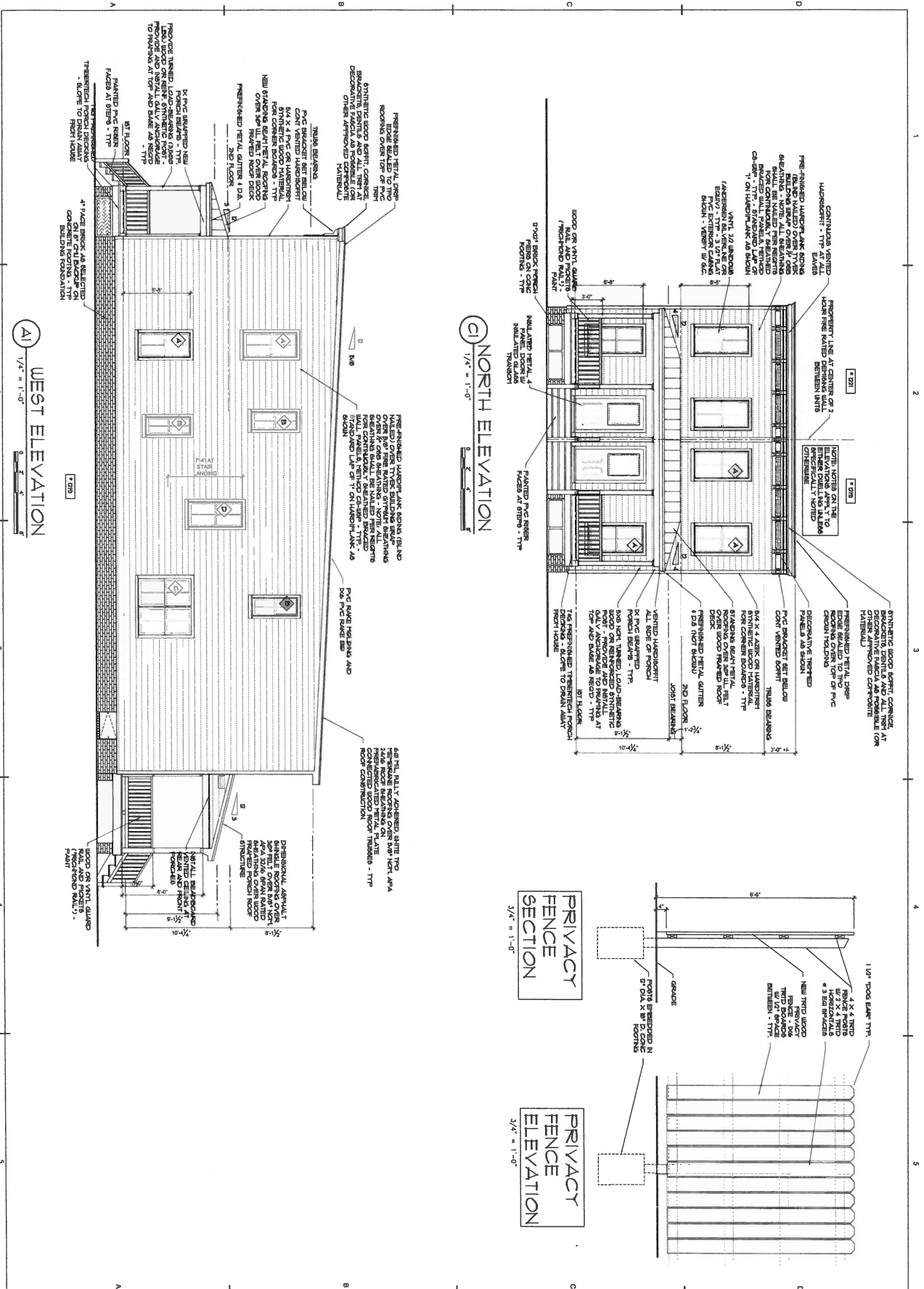
RICHMOND, VIRGINIA
PREPARED FOR: MR. MARION CAKE

DATE	DESCRIPTION
06.15.17	PERMIT SET
06.15.17	DATE
06.15.17	DATE
06.15.17	DATE
06.15.17	DATE

2017-24857
J.R. & S.R.
1104-010
001 F

BRACED WALL PANEL DIAGRAMS / STRUCTURAL NOTES

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Sheet 4 of 7
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(A) WEST ELEVATION
 1/4" = 1'-0"
 0' 2' 4'

(C) NORTH ELEVATION
 1/4" = 1'-0"
 0' 2' 4'

PRIVACY FENCE SECTION
 3/4" = 1'-0"

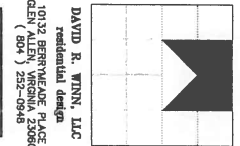
PRIVACY FENCE ELEVATION
 3/4" = 1'-0"

A-201
 Sheet 5 of 8
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sheet title	
BUILDING ELEVATIONS	
job #	2017-04-07
date	04/07/17
drawn by	ASL/MLW
scale	ASL/MLW
check	
date	
description	
revision	
date	
description	

RICHMOND, VIRGINIA
PREPARED FOR: MR. MARION CAKE

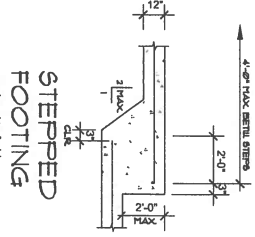
DAVID R. WINN, LLC
 Residential design
 10132 BERRYVADE PLACE
 GLEN ALLEN, VIRGINIA 23060
 (804) 522-0948



DAVID R. WINN, LLC
 residential design
 10132 SEBRINGWOOD PLACE
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 (804) 352-0948

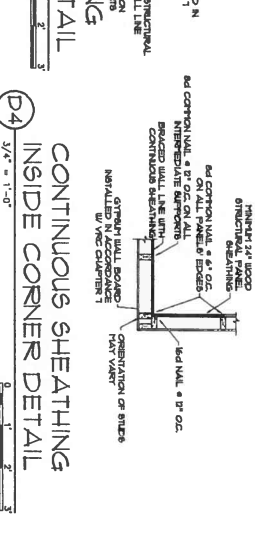
STEPPED FOOTING DETAIL

5/8" - 1'-0"
 NOT TO SCALE



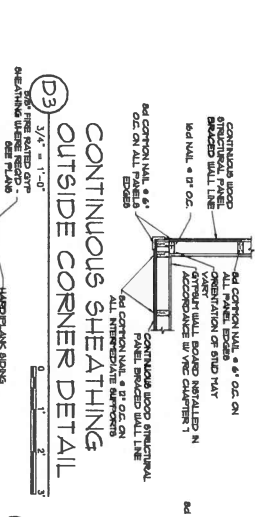
CONTINUOUS SHEATHING INSIDE CORNER DETAIL

3/4" - 1'-0"



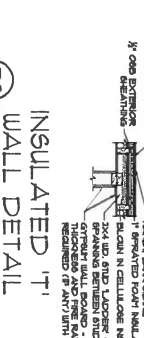
CONTINUOUS SHEATHING OUTSIDE CORNER DETAIL

3/4" - 1'-0"



INSULATED 1" WALL DETAIL

3/4" - 1'-0"



WINDOW SCHEDULE -

WINDOWS

MARK	NO.	SIZE (FRAME/OPERATING)		TYPE	MATERIAL	FINISH	GLASS	TYPE	DETAIL		NOTES
		HT	WT						HT	WT	
A	3	3'-2 1/2" X 4'-7"	3"	6-20T	UPPER WOOD	DEL. WANO	DEL. WANO	DEL. WANO	DEL. WANO	DEL. WANO	REPLACE EXISTING WINDOW WITH NEW WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
B	3	3'-2 1/2" X 4'-7"	3"	6-20T	UPPER WOOD	DEL. WANO	DEL. WANO	DEL. WANO	DEL. WANO	DEL. WANO	REPLACE EXISTING WINDOW WITH NEW WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
C	1	3'-2 1/2" X 4'-7"	3"	6-20T	UPPER WOOD	DEL. WANO	DEL. WANO	DEL. WANO	DEL. WANO	DEL. WANO	REPLACE EXISTING WINDOW WITH NEW WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
D	1	3'-2 1/2" X 4'-7"	3"	6-20T	UPPER WOOD	DEL. WANO	DEL. WANO	DEL. WANO	DEL. WANO	DEL. WANO	REPLACE EXISTING WINDOW WITH NEW WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
E	1	3'-2 1/2" X 4'-7"	3"	6-20T	UPPER WOOD	DEL. WANO	DEL. WANO	DEL. WANO	DEL. WANO	DEL. WANO	REPLACE EXISTING WINDOW WITH NEW WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.

DOOR SCHEDULE -

DOORS

MARK	NO.	SIZE (FRAME)		TYPE	MATERIAL	FINISH	TYPE	DETAIL		NOTES
		HT	WT					HT	WT	
10A	3-2'	6-0"	6-0"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	4-1/2"	REPLACE EXISTING DOOR WITH NEW DOOR. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
10B	3-2'	6-0"	6-0"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	4-1/2"	REPLACE EXISTING DOOR WITH NEW DOOR. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
10C	3-2'	6-0"	6-0"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	4-1/2"	REPLACE EXISTING DOOR WITH NEW DOOR. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
10D	3-2'	6-0"	6-0"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	4-1/2"	REPLACE EXISTING DOOR WITH NEW DOOR. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
10E	3-2'	6-0"	6-0"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	4-1/2"	REPLACE EXISTING DOOR WITH NEW DOOR. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.

SECOND FLOOR

MARK	NO.	SIZE (FRAME)	TYPE	MATERIAL	FINISH	TYPE	DETAIL	NOTES
20A	3-2'	6-0" X 4-7"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	BRIDGE OVER EXISTING WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
20B	3-2'	6-0" X 4-7"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	BRIDGE OVER EXISTING WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
20C	3-2'	6-0" X 4-7"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	BRIDGE OVER EXISTING WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
20D	3-2'	6-0" X 4-7"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	BRIDGE OVER EXISTING WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
20E	3-2'	6-0" X 4-7"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	BRIDGE OVER EXISTING WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.

FIRST FLOOR

MARK	NO.	SIZE (FRAME)	TYPE	MATERIAL	FINISH	TYPE	DETAIL	NOTES
10A	3-2'	6-0" X 4-7"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	REPLACE EXISTING WINDOW WITH NEW WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
10B	3-2'	6-0" X 4-7"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	REPLACE EXISTING WINDOW WITH NEW WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
10C	3-2'	6-0" X 4-7"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	REPLACE EXISTING WINDOW WITH NEW WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
10D	3-2'	6-0" X 4-7"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	REPLACE EXISTING WINDOW WITH NEW WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.
10E	3-2'	6-0" X 4-7"	1-3/4"	CAMP. BRNKNL	W8	4-1/2"	4-1/2"	REPLACE EXISTING WINDOW WITH NEW WINDOW. REPLACE GLASS. REPLACE UPPER WOOD. REPLACE LOWER WOOD. REPLACE FRAME. REPLACE FINISH.

1. ALL WINDOW UNITS SHALL BE PROVIDED WITH INSECT SCREENS.

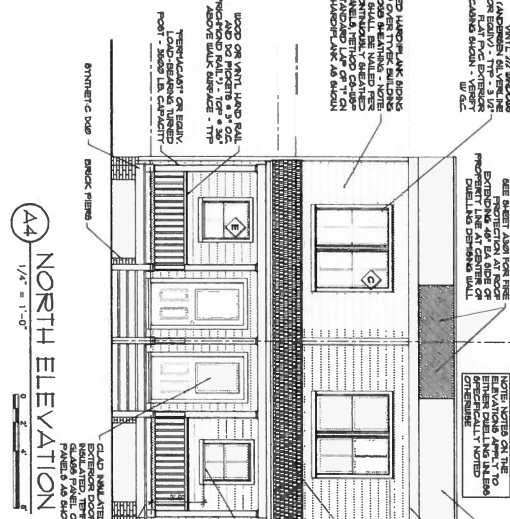
2. ALL WINDOW UNITS SHALL BE PROVIDED WITH HARDWARE AND FINISH.

3. PROVIDE TRIPWIRE SAFETY GLAZING IN ALL WINDOW LOCATIONS IN VULNERABLE LOCATIONS.

4. THE WINDOW SCHEDULE ON THE DRAWINGS IS BASED ON THE WINDOW SCHEDULE PROVIDED BY THE MANUFACTURER. ANY CHANGES TO THE WINDOW SCHEDULE SHALL BE INDICATED BY CHANGES TO THE WINDOW SCHEDULE AND NOTATION OF THE MANUFACTURER'S WINDOW PRODUCT.

44 NORTH ELEVATION

1/4" - 1'-0"

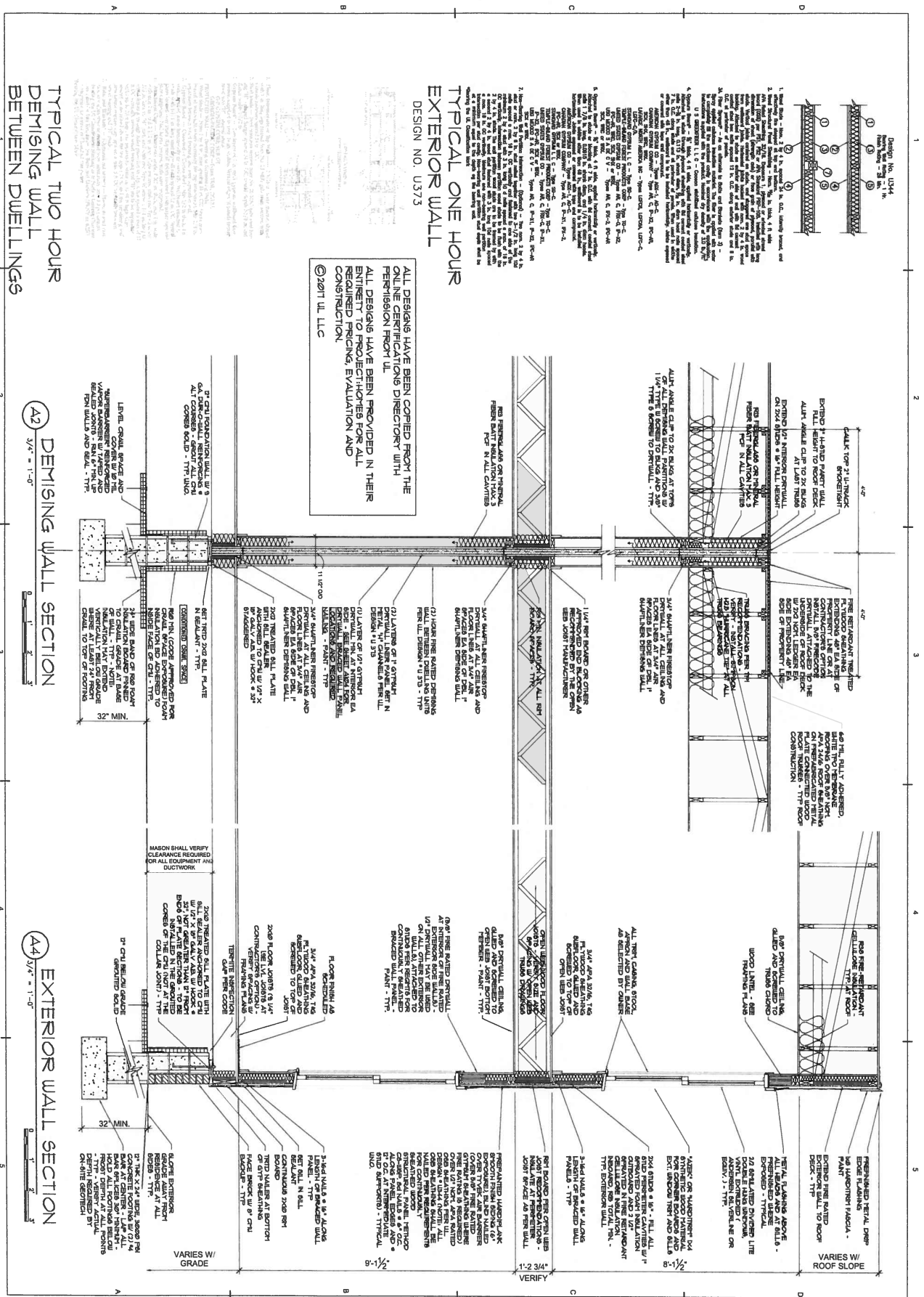


Richmond, Virginia
 Prepared for: MR. MARION CAKE

NO.	DATE	DESCRIPTION
04/18/17	REBUILT SET	
04/18/17	REBUILT SET	

Job # 2017-04-01
 Drawn by: J. WINN
 Scale: AS SHOWN

Sheet title
 BUILDING
 ELEVATIONS /
 DOOR & WINDOW
 SCHEDULES



TYPICAL ONE HOUR EXTERIOR WALL
DESIGN NO. U373

TYPICAL TWO HOUR DEMISING WALL BETWEEN DWELLINGS

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A2 3/4" = 1'-0"
TYPICAL TWO HOUR DEMISING WALL SECTION

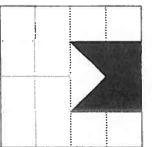
A4 3/4" = 1'-0"
TYPICAL ONE HOUR EXTERIOR WALL SECTION

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100	08/11/17	FORNIT SET

RICHMOND, VIRGINIA
PREPARED FOR: MR. MARION CAKE

DAVID R. WINN, LLC
residential design
10132 GERRYVADE PLACE
GLEYS ALLEN, VIRGINIA 23060
(804) 252-0948

A301
Sheet 7 of 8
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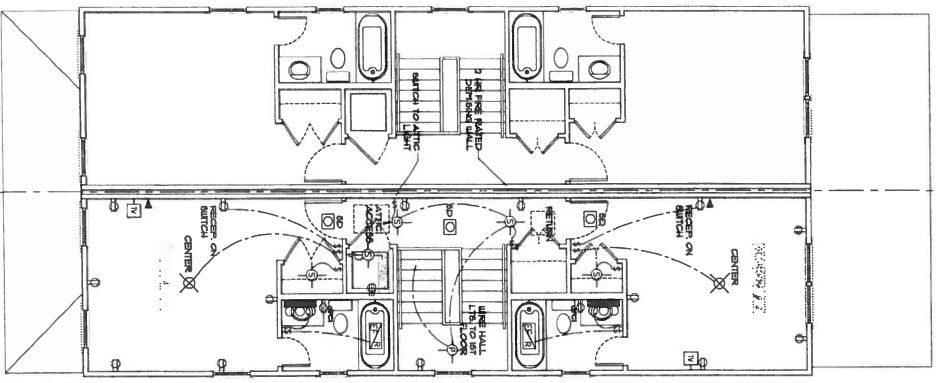
DAVID R. WINN, LLC
residential design
10132 BERRYVADE PLACE
GLENN ALLEN, VIRGINIA 22060
(804) 352-5948

RICHMOND, VIRGINIA
PREPARED FOR: MR. MARION CAKE

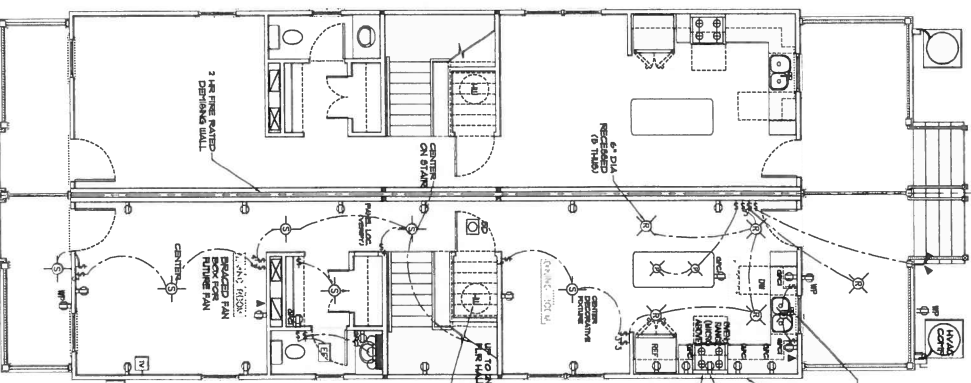
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sheet title
ELECTRICAL PLANS
job # 2017-04-28
dwg no. 10101-000
of 5
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E-101
sheet 1 of 5
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ELECTRICAL 2ND FLOOR PLAN
PLAN NORTH
1/4" = 1'-0"



ELECTRICAL 1ST FLOOR PLAN
PLAN NORTH
1/4" = 1'-0"

ELECTRICAL LEGEND

(V)	CANAL, TELEVISION	(B)	BALL AND VALVE LIGHT
(R)	TELEPHONE RECEPTACLE	(P)	FLOOR FINISHMENT
(S)	CEILING ON WALL	(L)	HOTON ACTIVATED
(D)	CEILING LIGHT W/ WAXED	(T)	WITH SWITCHES TO
(X)	RECESSED LIGHT	(S)	WITH SWITCHES (S)
(X)	RECESSED LIGHT	(S)	WITH SWITCHES (S)
(X)	RECESSED LIGHT	(S)	WITH SWITCHES (S)

NOTE: ELECTRICAL RECONNECTION BALL, VALVE, AND COMPONENTS WITH SERVICES INCLUDING SWITCHES, SWITCHES, RECEPTACLES AND OTHER SABLE RECONNECTION, OVER AND OVER-CONFIDENTIAL OF THE INTERNATIONAL ELECTRICAL CODE AND DISCONNECTS FROM ALL ELECTRICAL CONNECTIONS THAT ARE BE LOCATED ON THE BATTED BULLS (IF ANY) FOR 200 VDC - SEE ARCHITECTURAL.

