

INTRODUCED: November 12, 2024

AN ORDINANCE No. 2024-310

To authorize the special use of the property known as 6241 Forest Hill Avenue for the purpose of up to two single-family detached dwellings, upon certain terms and conditions. (4th District)

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: DEC 9 2024 AT 6 P.M.

WHEREAS, the owner of the property known as 6241 Forest Hill Avenue, which is situated in a R-2 Single-Family Residential District, desires to use such property for the purpose of up to two single-family detached dwellings, which use, among other things, is not currently allowed by section 30-620.2, concerning more than one main building on a lot, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 8 NOES: 0 ABSTAIN:

ADOPTED: DEC 9 2024 REJECTED: STRICKEN:

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 6241 Forest Hill Avenue and identified as Tax Parcel No. C004-0633/001 in the 2024 records of the City Assessor, being more particularly shown on a survey entitled “Sketch Showing the Proposed Improvements on Lot 1, Block ‘D’, Section ‘B’, ‘Granite Acres’ in the City of Richmond, VA.”, prepared by Virginia Surveys, and dated January 12, 2024, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to two single-family detached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “6241 Forest Hill Ave. Garage,” prepared by JRM, and dated March 1, 2024, and “Sketch Showing the Proposed Improvements on Lot 1, Block ‘D’, Section ‘B’, ‘Granite Acres’ in the City of Richmond, VA.,” prepared by Virginia Surveys, and dated January 12, 2024, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as up to two single-family detached dwellings, substantially as shown on the Plans.

(b) No off-street parking shall be required for the Special Use.

(c) The height of the Special Use shall not exceed two stories, substantially as shown on the Plans.

(d) All building materials, elevations, and site improvements shall be substantially as shown on the Plans. Vinyl siding shall have a minimum wall thickness of 0.044 inches, as evidenced by the manufacturer's printed literature.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable

underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

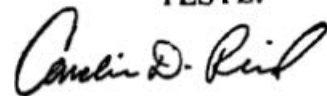
§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

APPROVED AS TO FORM:

CITY ATTORNEY'S OFFICE

A TRUE COPY:
TESTE:



City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Master

File Number: Admin-2024-0985

File ID: Admin-2024-0985	Type: Request for Ordinance or Resolution	Status: Regular Agenda
Version: 1	Reference:	In Control: City Clerk Waiting Room
Department:	Cost:	File Created: 08/13/2024
Subject:	Final Action:	
Title:		

Internal Notes:

Code Sections:

Agenda Date: 11/12/2024

Indexes:

Agenda Number:

Patron(s):

Enactment Date:

Attachments: Admin-2024-0985 - Application Documents - 6241
Forest Hill Ave, Admin-2024-0985 - AATF Ordinance

Enactment Number:

Contact:

Introduction Date:

Drafter: Shaianna.Trump@rva.gov

Effective Date:

Related Files:

Approval History

Version	Seq #	Action Date	Approver	Action	Due Date
1	1	10/21/2024	Matthew Ebinger	Approve	10/23/2024
1	2	10/21/2024	Kris Daniel-Thiem - FYI	Notified - FYI	
1	3	10/21/2024	Kevin Vonck	Approve	10/28/2024
1	4	10/21/2024	Alecia Blackwell - FYI	Notified - FYI	
1	5	10/24/2024	Sharon Ebert	Approve	10/23/2024
1	6	10/24/2024	Caitlin Sedano - FYI	Notified - FYI	
1	7	10/29/2024	Jeff Gray	Approve	10/28/2024
1	8	10/29/2024	Lincoln Saunders	Approve	10/31/2024
1	9	10/31/2024	Mayor Stoney	Approve	10/31/2024

History of Legislative File

Ver- sion:	Acting Body:	Date:	Action:	Sent To:	Due Date:	Return Date:	Result:

Text of Legislative File Admin-2024-0985

O&R Request

DATE: October 21, 2024 **EDITION:** 2

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (by request)
(This is no way reflects a recommendation on behalf of the Mayor)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, DCAO for Planning & Economic Development

FROM: Kevin J. Vonck, Director of Planning & Development Review

RE: To authorize the special use of the property known as 6241 Forest Hill Avenue for the purpose of up to two single-family detached dwellings, upon certain terms and conditions.

ORD. OR RES. No.

PURPOSE: The applicant is requesting a Special Use Permit to authorize the construction of one single-family detached dwelling on top of a garage. There is an existing dwelling on the lot and the additional dwelling is not permitted by the underlying zoning. Due to its size, the proposed dwelling is considered a second dwelling unit on the property rather than an accessory dwelling unit. A Special Use Permit is required.

BACKGROUND: The property is located in the Gravel Hill neighborhood on Forest Hill Avenue between Heartwood Road and Glyndon Lane. The property is currently a 17,926 square foot (0.412 acre) parcel of land improved with a one-story single-family detached dwelling. The City’s Richmond 300 Master Plan designates a future land use for the subject property as Residential, which is defined as, “Neighborhood consisting primarily of single-family houses on large- or medium-sized lots more homogeneous in nature” (Richmond 300, p. 54).

Intensity: Buildings are generally one to three stories. Lot sizes generally range up to 5,000 to 20,000+ sq. ft. Residential density of 2 to 10 housing units per acre.

Primary Uses: Single-family houses, accessory dwelling units, and open space.

Secondary Uses: Duplexes and small multi-family buildings (typically 3-10 units), institutional, and cultural. Secondary uses may be found along major streets

The current zoning for this property is R-2 Single-Family District. The area is generally residential properties. The density of the proposed is two units upon 0.412 acres or roughly 5 units per acre.

COMMUNITY ENGAGEMENT: Cherokee Area Neighbors Civic Association was notified of the application; additional community notification will take place after introduction.

STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL: Richmond 300 Master Plan

FISCAL IMPACT: \$300 application fee.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: November 12, 2024

CITY COUNCIL PUBLIC HEARING DATE: December 9, 2024

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Planning Commission on December 3, 2024

AFFECTED AGENCIES: Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey

STAFF: Matthew Ebinger, Planning Supervisor, Land Use Administration (Room 511) 646-6308

Shaianna Trump, Planner Associate, Land Use Administration (Room 511) 646-7319



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review

Land Use Administration Division

900 E. Broad Street, Room 511

Richmond, Virginia 23219

(804) 646-6304

<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Property Address: 6241 Forest Hill ave, Richmond, VA 23225 Date: 6/20/2024

Parcel I.D. #: C0040633001 Fee: 300

Total area of affected site in acres: _____

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-2

Richmond 300 Land Use Designation: United States

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Existing Use: This is new construction so the use would be a 2 bed 2 bath SFR above a 2 car garage

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Mark Stafford Reece

Company: _____

Mailing Address: 6241 Forest Hill Ave, Richmond VA 23225

City: Richmond State: VA Zip Code: 23225

Telephone: (804) 298-8772 Fax: ()

Email: reecems@vcu.edu

Property Owner: Mark Stafford Reece

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 6241 Forest Hill Ave, Richmond VA 23225

City: 6241 Forest Hill Ave, Richmond VA 23225 State: VA Zip Code: 23225

Telephone: (804) 298-8772 Fax: ()

Email: reecems@vcu.edu

Property Owner Signature: _____ M. Stafford Reece

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Proposal for Constructing a 2-Bedroom, 2-Bathroom Single-Family Residence (SFR) with 2-Car Garage in Granite Hills Neighborhood

In response to the ongoing housing crisis, the City of Richmond has taken proactive steps to address the shortage of housing options by approving legislation for Accessory Dwelling Units (ADUs) by right. Building upon this initiative, I propose the construction of a 2-bedroom, 2-bathroom single-family residence on top of a 2-car garage in the Granite Hills neighborhood. This proposal aims to provide higher-quality housing options for long-term tenants, aligning with the city's efforts to alleviate the housing shortage while adhering to the newly enacted ADU/SFR policies.

Need for Larger Housing Units: Research indicates a growing demand for larger housing units among long-term tenants. Initially, I considered constructing a 500 sq ft ADU as permitted by the city's regulations. However, further investigation revealed that such units may not adequately meet the needs of tenants seeking stable, long-term housing. While 500 sq ft may be sufficient, it does not necessarily fulfill the tenants' true desires for a long-term residence. This realization prompted a reconsideration of the original plan. It became evident that larger units, such as 2-bedroom, 2-bathroom homes, offer increased space and functionality, providing tenants with a more comfortable living environment conducive to long-term residency.

Minimal Impact on Infrastructure: I assure the city that the proposed construction will have minimal impact on local infrastructure. The additional square footage and amenities will not strain water or sewage systems, nor will they create congestion or safety concerns. Utilizing existing space on top of the garage ensures efficiency without expanding the property's footprint, maintaining harmony with the surrounding infrastructure.

Enhancing Neighborhood Value: The construction of a 2-bedroom, 2-bathroom home will enhance the value of the Granite Hills neighborhood in several ways. By offering a higher-quality housing option, property values may increase, contributing to overall neighborhood prosperity. Additionally, attracting stable, long-term residents fosters a sense of community and cohesion, further enriching the neighborhood fabric.

Comparable Footprint: Constructing either an ADU or SFR with the garage ensures a building footprint similar in size and scope to a 500 sq ft unit. This similarity arises from both plans incorporating a 2-car garage. This approach maintains compatibility with the neighborhood's existing structures while maximizing space utilization. Respecting the character of the neighborhood, this construction addresses the need for larger housing units while minimizing any perceived impact on the surrounding environment.

Additional Benefit of Corner Lot Configuration: Furthermore, the property's configuration as a corner lot offers additional advantages for potential tenants. Unlike properties with shared driveways, the proposed 2-bedroom, 2-bathroom home atop the 2-car garage will have its own separate driveway access. This configuration not only enhances privacy but also provides convenience and autonomy for the long-term tenant, further enriching their living experience.

Tenant Satisfaction and Retention: Providing tenants with adequate space is paramount for ensuring satisfaction and long-term retention. Research indicates that larger units lead to higher tenant satisfaction and longer lease durations. By offering a 2-bedroom, 2-bathroom home, we can provide tenants with the space they need to comfortably live and grow within the community.

Request for Approval: In conclusion, I respectfully request the city's consideration and approval for this proposal. By constructing a 2-bedroom, 2-bathroom home on top of a 2-car garage, we can provide a valuable housing option that meets the needs of long-term tenants while enhancing the overall value of the Granite Hills neighborhood. I am committed to working collaboratively with the city and community stakeholders to ensure the success of this project.



FD LETTERHEAD

The submitted plans for your commercial or multi-family project are under review with Fire & Emergency Services. Applications which only require conceptual plans will be reviewed to the appropriate level of detail for this stage of development planning.

Per the Department of Planning & Development Review, Final Subdivision Plat site plan and Building Permit architectural plan reviews require 100% construction drawings. When applicable, the following sheets should be noted in the Table of Contents of the plan set. Any symbols, fire lines, hydrants, etc. pertaining to our review should be in noted in red.

- Site Layout
- Utility Layout
- First Floor Plan
- Life Safety Plan
- Roof Plan
- Elevation Drawings

Please respond to the checklist items below **and include the corresponding sheet number when asked to provide locations** to expedite our review process. Further discussion may be necessary to provide approval from this department on your application's plans.

We reserve the right to change or amend our decisions should new evidence be discovered, site conditions change during the review period, or revisions on subsequent submissions for this application modify previously approved items which fall within our scope of review.

We look forward to working with you to design a safe project for our city's residents and visitors.

Office of the Fire Marshal
City of Richmond Fire Department
201 East Franklin Street
Richmond, VA 23219



FD LETTERHEAD
FIRE & EMERGENCY PLAN REVIEW CHECKLIST

Project Summary

1. Is this new construction or a rehabilitation project? -----New Construction
2. What is the height of the building(s)? How many stories? 25 feet tall 2 stories
3. Is there an accessory parking garage or parking garage levels? yes the first floor is garage and unlivable storage space
4. Are any levels below street level or below grade? No

Building Occupant Egress

5. Provide locations of roof access points on the plans. Since this is a single family home there roof access is not available without the use of a ladder
6. If there is a basement or floors below street level, provide locations for egress on the plans. no sub level is planned
7. For projects with 6 stories or more, stairways must be noted with compass directions (North, South, etc.) and the inside of stairwells must note each floor number. understood
8. If a fire escape is part of the structure, it must be inspected by a design engineer and necessary repairs or replacements must be made before a Certificate of Occupancy can be issued. no fire escape will be used in this proposed project

Suppression Systems

9. A temporary standpipe is required on site during construction. Its operative should be on the finished floor below the next floor being constructed. Provide the location on the plans. Understood and a temporary standpipe will be present on finished first floor at all times.
10. Alarm panel box. This must be in the first-floor lobby area on the street address side of the building. Provide location on the plans.
11. Knox-Box® Rapid Entry System. One is required on any new construction or renovated enclosed multi-story building. Provide the location on the plans. Understood this will be implemented 10)This is a single family residence, I don't believe a alarm panel box is required.
12. Fire pump(s). Provide the location on the plans.
13. Command Center. This needs to be clearly marked outside of the door. Provide the location on the plans. I will have all my fire hydrants clearly labeled
14. Sprinkler shut off valve. Provide the location on the plans. No sprinkler connection
15. Sprinkler connections. Provide the FDC location on the plans – in red ink please. No sprinkler connection

Hydrants & Fire Department Connections

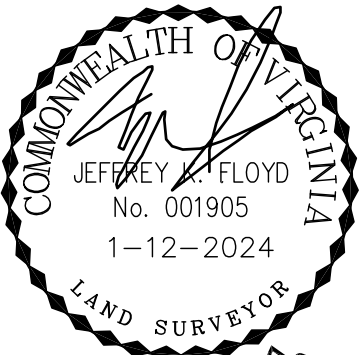
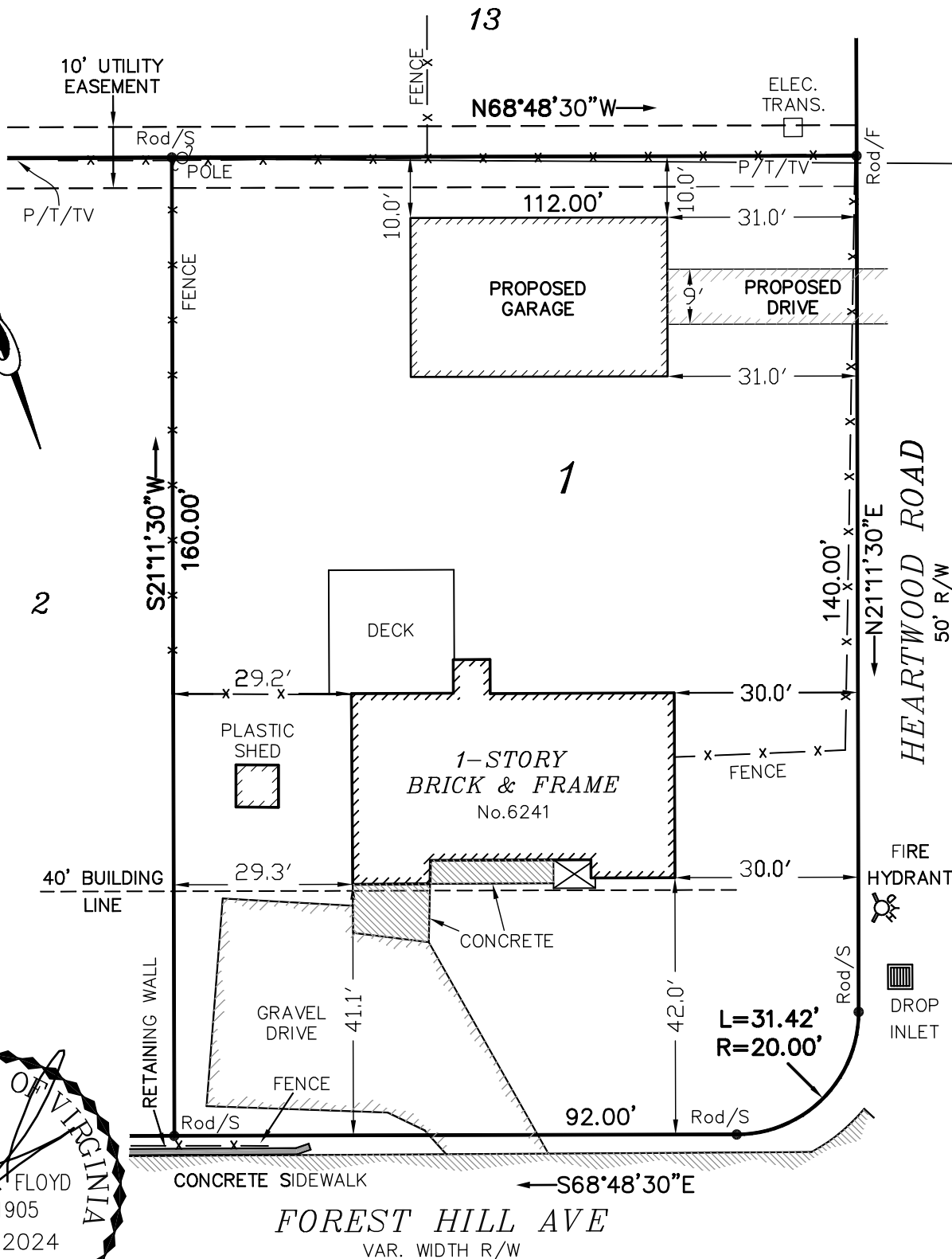
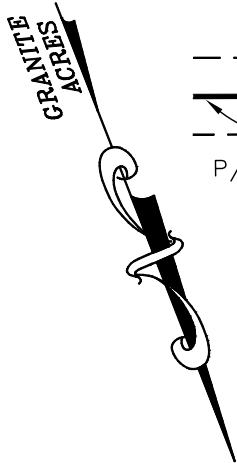
16. More than one hydrant may be required to support the project. How many existing hydrants are near the project? How many are proposed? Provide the locations on the plans. we have 1 public hydrant on the parcel, its labeled on the survey of the parcel.
17. The dedicated hydrant should be public. Special circumstances may allow for a private hydrant if an ISO Class 1 Rating can be maintained and the Department of Public Utilities approves of it. A private hydrant must also be maintained in accordance with NFPA 291 and the current Virginia Statewide Fire Prevention Code. Understood
18. The FDC for each building. Provide the location on the plans. Signage is required around it (i.e. FDC Connection, No Parking) and curbing before it must be painted yellow. We highly recommend a Knox FDC secure system to safeguard the sprinkler system. Understood
19. The FDC should be at least 50 feet from its dedicated hydrant, but no more than 100 feet. the building will be less than 50 feet from a fire hydrant.

Emergency Vehicle Access to Site

20. New construction projects require at least (2) two roads for emergency vehicles to access the site and shall comply with Chapter 5 of Statewide Virginia Fire Prevention Code Fire Service Features. multiple access points within the neighborhood exist
21. Proposed or improved road surfaces used for emergency access must be able to support a minimum weight of 75,000 lbs. yes
22. Proposed or improved road surfaces used for emergency access must be at least 20 feet in width. In some cases, 27 feet may be required. done
23. Curb cuts into and around the site for emergency access must support a fire apparatus turning radii of 36' inside and 52' outside.
24. New construction projects may require access to all sides of the building for emergency vehicles. no curb cuts required, but the driveway will comply will all regulations
there will be at least 10 ft of space on all sides 3 sides will have 25 ft + space for access

Environmental Concerns

25. Are you aware of any underground storage tanks (USTs) or above ground storage tanks (ASTs) which currently hold, or may have at one time held, flammable or combustible substances? If any are discovered during land disturbance, excavation, or construction activities, they must be immediately reported to the Fire Marshal's Office. A permit is required before removal or abandonment. All documents pertaining environment reports shall be forwarded to the Fire Marshal's Office. None present
26. Are you aware of any environmental concerns that need to be mitigated before construction, i.e. leaks, spills, etc.? no environmental concerns are present at this time.
27. Will this project involve any rock blasting? A rock blasting permit shall be obtained from the Fire Marshal's Office. no rock blasting of any kind



Virginia Surveys

P.O. BOX 118
 CHESTERFIELD, VA 23832
 (804) 748-9481
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FOREST HILL AVE
 VAR. WIDTH R/W

SKETCH SHOWING THE
 PROPOSED IMPROVEMENTS
 ON LOT 1, BLOCK "D", SECTION "B",
 "GRANITE ACRES"
 IN THE CITY OF RICHMOND, VA.

DATE: 1-12-2024

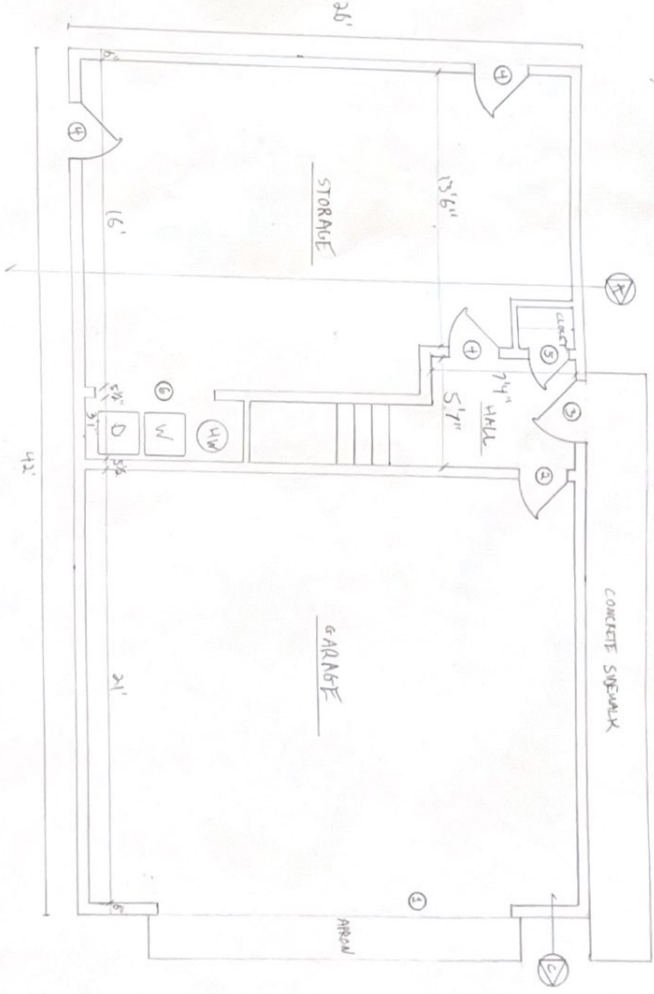
CERTIFIED BY JEFFREY K. FLOYD

VIRGINIA CERTIFICATE NO. 001905

SCALE: 1"=25'

JOB NO. 231216091

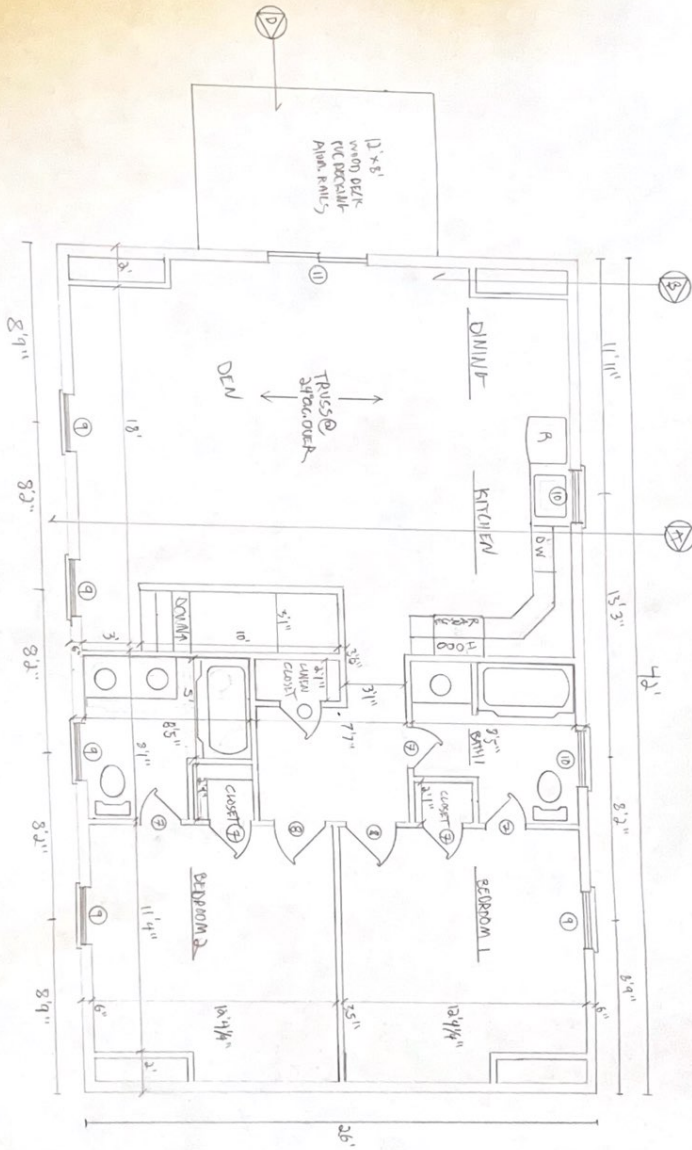
FIRST FLOOR



- WINDOW AND DOOR SCHEDULE
- ① 18x7 CASE COOR (1) 2x10 LVL - HEADER
 - ② 24" DOOR FRAME DOOR (2) 2x10 HEADER
 - ③ 3" ENTRY DOOR (1) 2x10 HEADER
 - ④ 2" ENTRY DOOR (1) 2x10 HEADER
 - ⑤ 2" 6 PANEL (1) 2x10 HEADER
 - ⑥ (1) 3" SINGLED (1) 2x4 HEADER
 - ⑦ 2" 6 PANEL (1) 2x4 HEADER
 - ⑧ 2" 6 PANEL (1) 2x4 HEADER
 - ⑨ 2x4 CORNER (1) 2x8 HEADER
 - ⑩ 2x8 CORNER (1) 2x8 HEADER
 - ⑪ 5" SQUEAK (1) 2x10 HEADER

6241 FOREST WILLY AVE GARAGE	
SCALE 1/4" = 1'	APPROVED BY
DATE 3/11/24	DESIGNED BY SKM
REVISIONS	
1 OF 8	

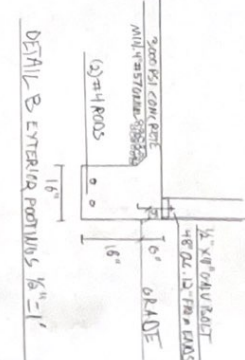
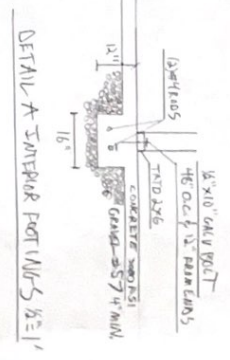
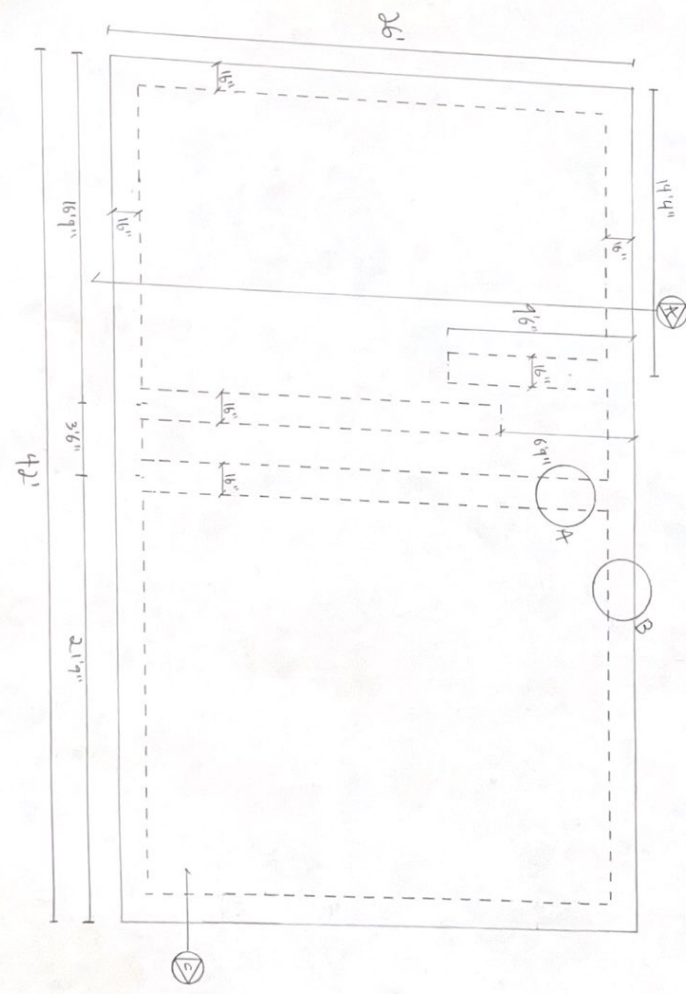
SECOND FLOOR



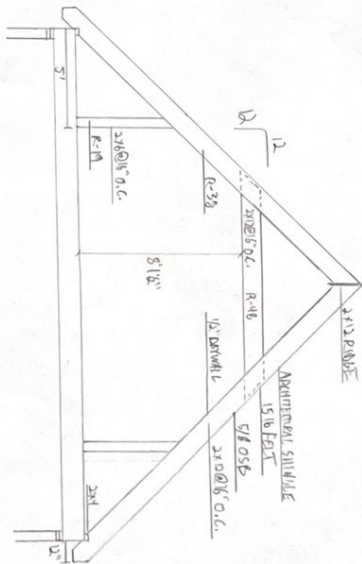
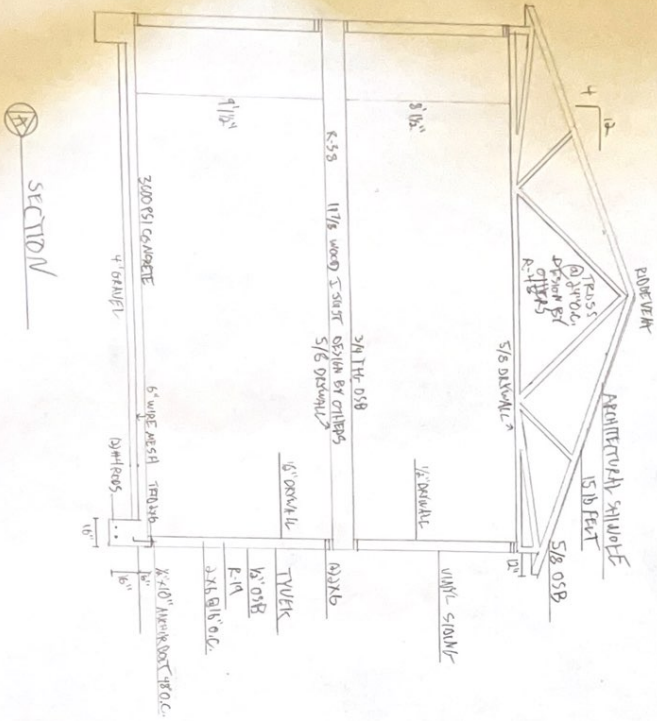
SECOND FLOOR NOTE
 ALL EXTERIOR WALLS 2X6
 NO INTERIOR WALLS 2X4

6241 FOREST AVE GARAGE	
SCALE 1/4" = 1'	APPROVED BY
DATE 3/1/24	REVIEWED
DRAWN BY STRA	
CHECKED BY	
DATE	
PROJECT	

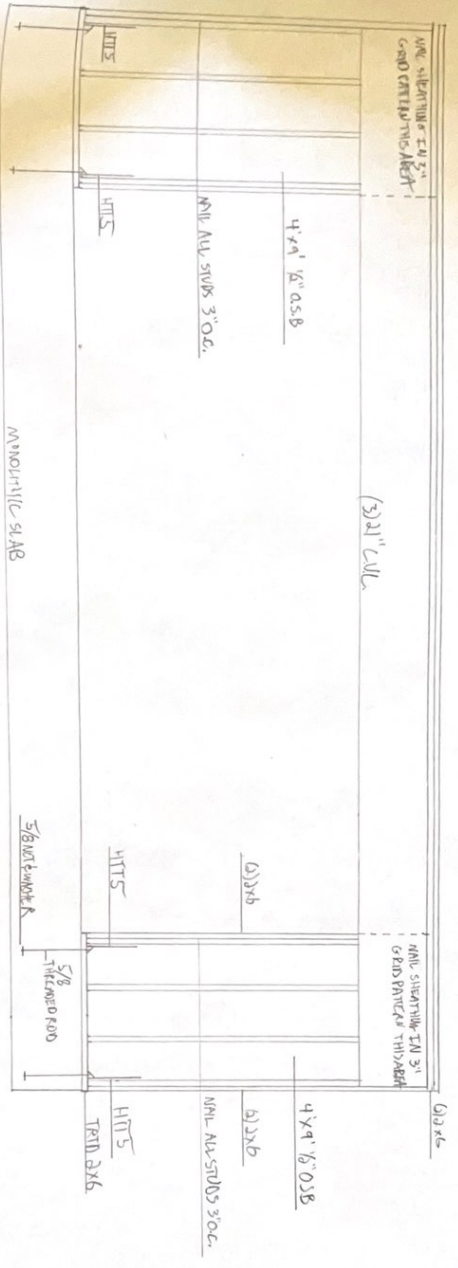
FOUNDATION



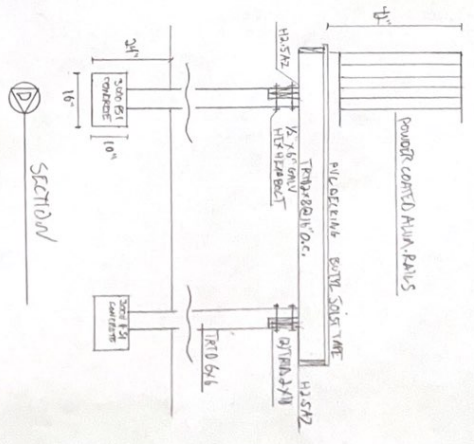
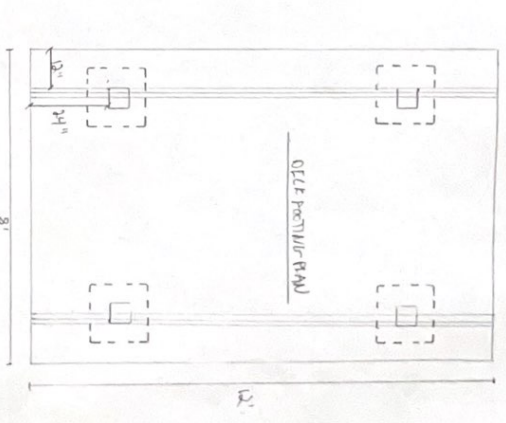
6241 FOREST HILANE GARAGE		DRAWN BY S.R.M.	
SCALE: 1/8"=1'	APPROVED BY:	DATE: 5/1/84	REVIEWED:
DRAWING NUMBER		30F 8	



6241 ROEST ST ALLIANCE GARAGE	
SCALE: 1/4" = 1'	DRAWN BY: SARA
DATE: 3/1/2021	APPROVED BY:
	REVISION:
	DATE:
	PROJECT NUMBER:
	4 of 8



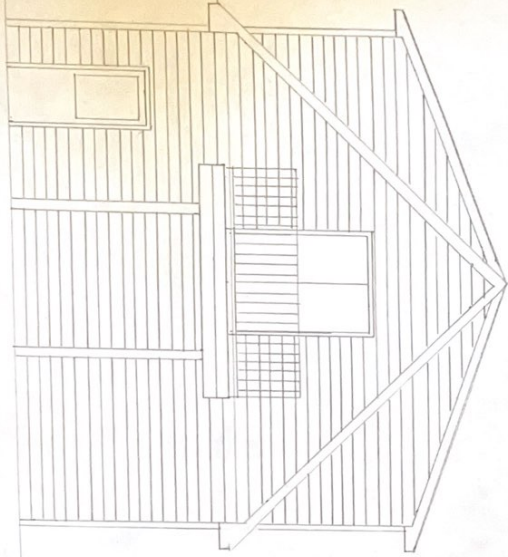
SECTION



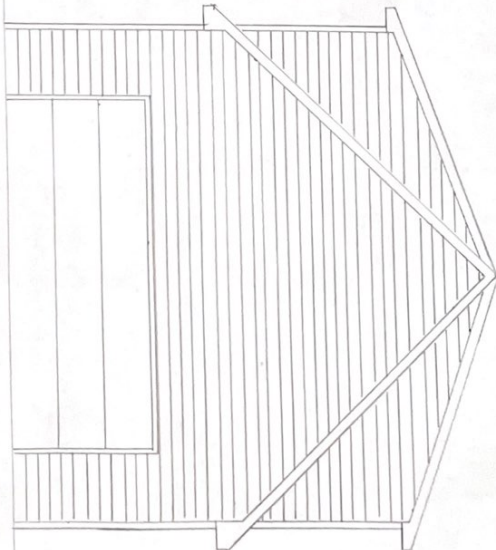
SECTION

6241 FOREST HILLS AVE GRANGE	
SCALE: 1/2" = 1'	APPROVED BY:
DATE: 7/1/2024	DRAWN BY: S.G.M.
	REVIEWED:
DRAWING NUMBER: 5 of 8	

EAST ELEVATION

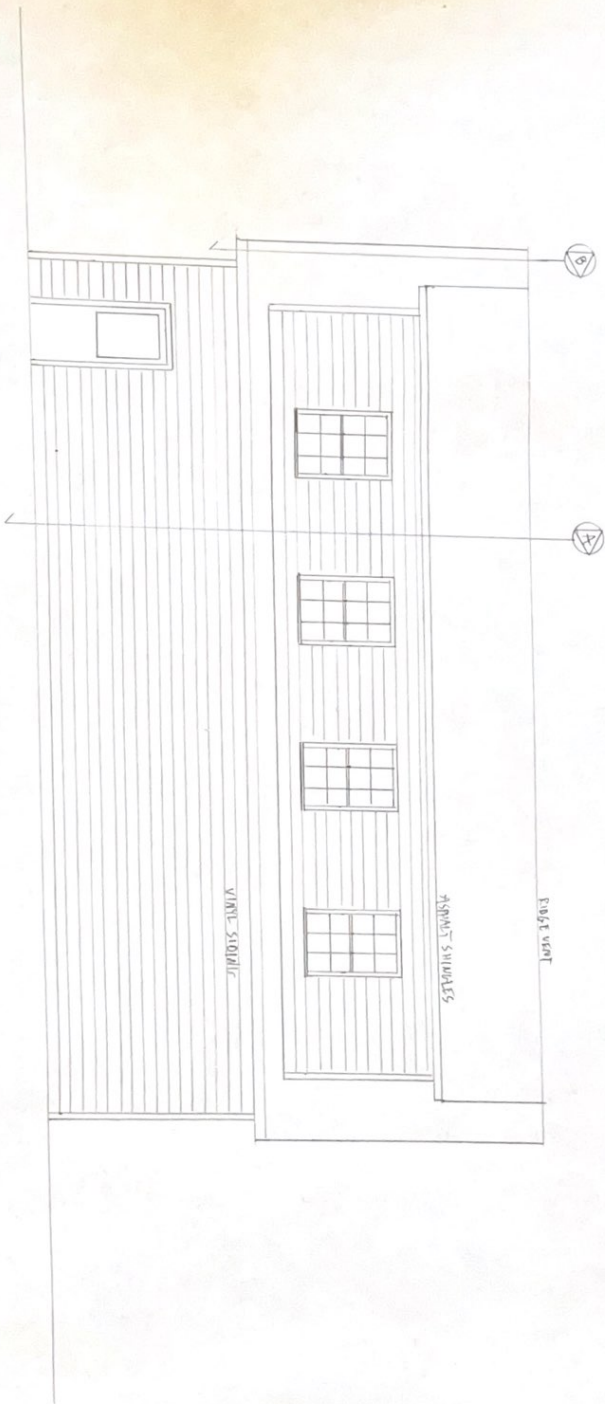


WEST ELEVATION



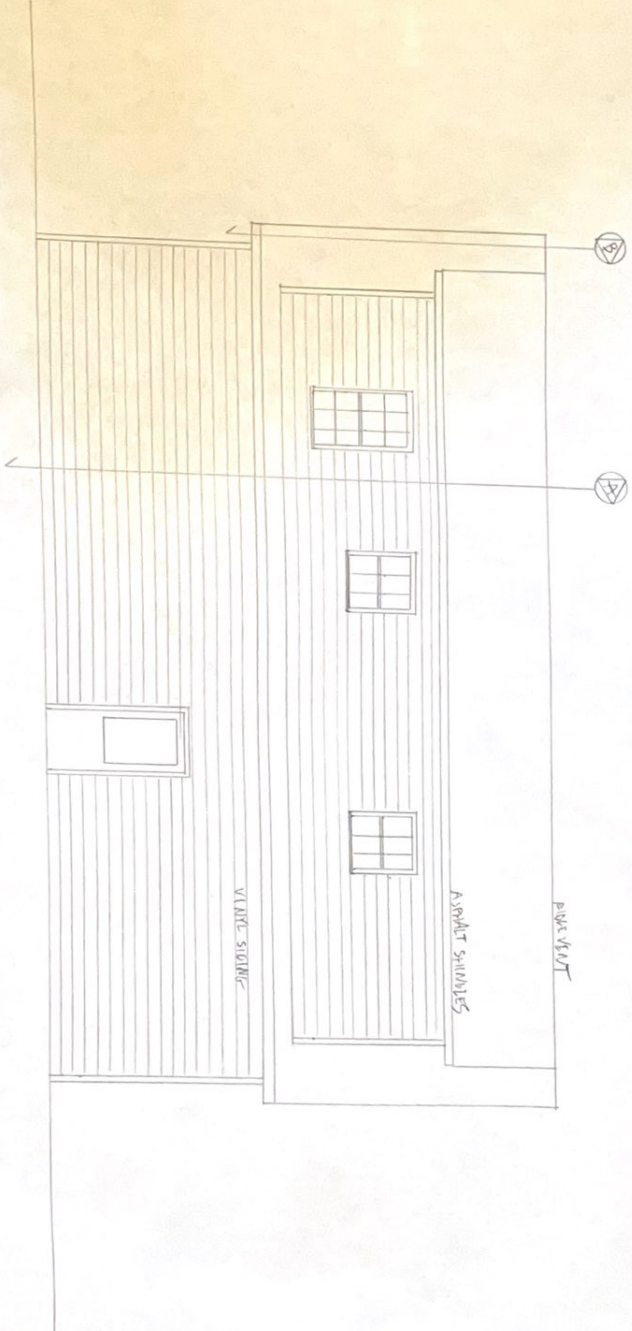
6241 FOREST HILL AVE GRANITE	
SCALE: 1/4" = 1'	APPROVED BY:
DATE: 3/1/2024	DESIGNED BY: SPAN
	REVISION:
	DRAWING NUMBER
	6 of 8

NORTH ELEVATION

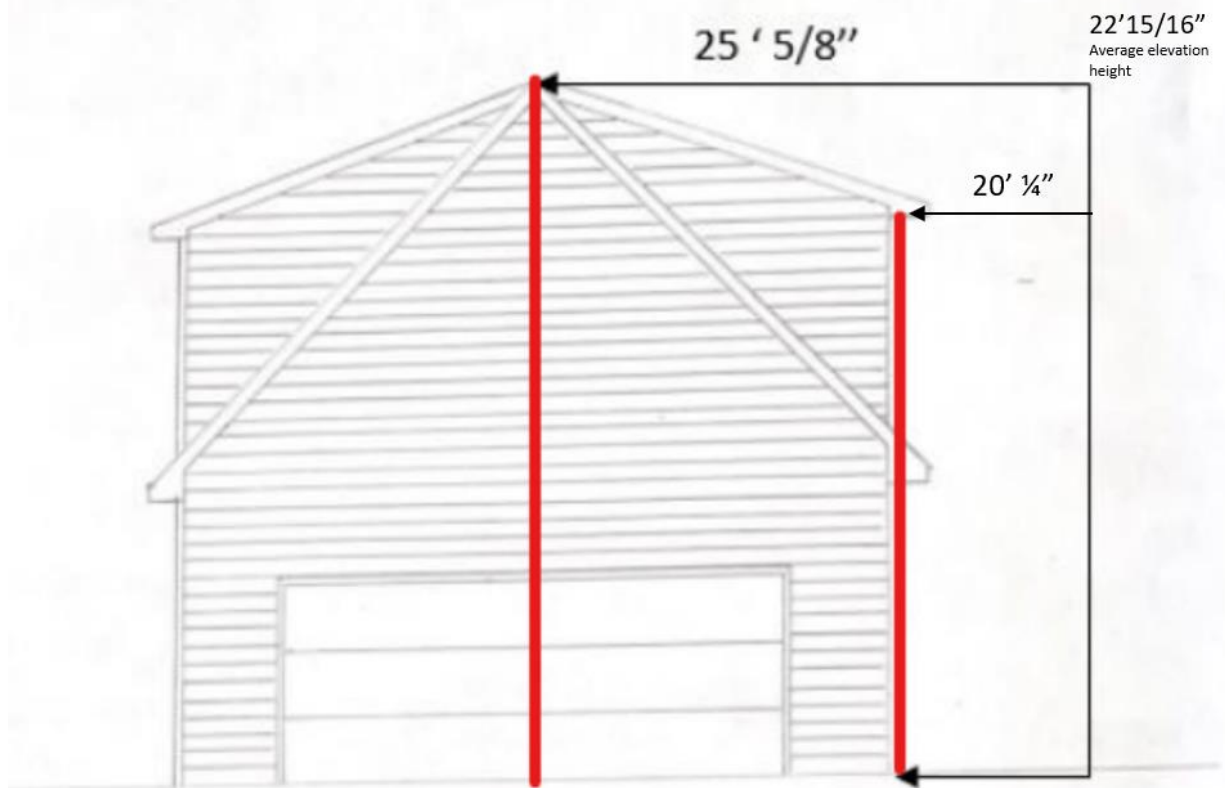


6041 FORESTHILL AVE GARAGE	
SCALE: 1/4" = 1'-0"	APPROVED BY:
DATE: 5/1/2004	REVIEWED:
	DRAWN BY: S.C.A.
	7 OF 8

SOUTH ELEVATION



6341 FOREST HILL AVE GARDNER	
SCALE: 1/4"=1'	APPROVED BY: J.R.M.
DATE: 3/1/03H	REVISION:
DRAWING NUMBER: 8 AF 8	



WEST ELEVATION

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